

## AGENDA

### PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, AUGUST 2, 2022 - 2:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3<sup>RD</sup> FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code -

#### CALL TO ORDER -

#### PLEDGE OF ALLEGIANCE -

#### INVOCATION -

#### 1) MINUTES:

- a) Minutes from the meeting held on July 6, 2022

#### 2) PUBLIC HEARING

##### a) CONDITIONAL USE PERMITS:

1. Request of Melissa Ortiz, on behalf of McAllen ISD, for a Conditional Use Permit, for life of the use, and adoption of an ordinance for an institutional use (school), at Lot 1, McAllen I.S.D Middle School Subdivision, Hidalgo County, Texas, 7800 North Ware Road. **(CUP2022-0088)**.
2. Request of Jorge A. Martinez, for a Conditional Use Permit, for one year, for a Portable Food Concession Stand, at Lot 1, All-In-One Subdivision No. 4, Hidalgo County, Texas; 6221 North 23rd Street. **(CUP2022-0087)**.
3. Request of Robert Wilson, for a Conditional Use Permit, for one year, and adoption of an ordinance for a Bar at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Space G **(CUP2022-0098)**
4. Request of Eric R. Pena, for a Conditional Use Permit, for one year, for a bar at N98.5' LOT 1 BLK 1 , Fairway North Subdivision, Hidalgo County, Texas; 2001 South 10th Street. **(CUP2022-0100)**
5. Request of Maria I. Salazar, for a Conditional Use Permit, for one year, for a Home Occupation (beauty salon), at .55 acres out of Lot 327, John H. Shary Subdivision, Hidalgo County, Texas; 5009 Buddy Owens Boulevard. **(CUP2022-0089)**
6. Request of Sandra E. Hernandez on behalf of Texas College of Healthcare Professionals, LLC for a Conditional Use Permit, for one year, for an institutional use (dental assistant school) at Lot 1-B of Lots 1-A, 1-B & 1-C One Nolana Center

Subdivision, Hidalgo County, Texas; 1309 East Nolana Avenue, Suite B. **(CUP2022-0092)**

7. Request of Andre Sutiono for Conditional Use Permit, for the life of the use, and adoption of an ordinance for an automotive service and repair shop (oil change shop) at Lot A, 29th Place Subdivision and Lot 1, Asian Valley Subdivision (proposed Vacating & Replat of Asian Valley Subdivision Lot 1 and 29th Place Subdivision Lot A and Asian Valley Lots 1A & 1B), Hidalgo County, Texas; 2813 Nolana Avenue. **(CUP2022-0099)**
8. Request of Mayela X. Ramirez, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar (nightclub) at Lot 1, Nolana West Subdivision, Hidalgo County, Texas; 2200 Nolana Avenue, Suites 2232 & 2234. **(CUP2022-0102)**

**b) REZONING:**

1. Rezone from R-1 (single-family residential) District to C-1 (office building) District: 0.43 of an acre comprised of all of Lot 9, and the east 67.5 feet of Lot 10, Block 4, Club Addition, Hidalgo County, Texas; 108 Pecan Boulevard. **(REZ2022-0022)**
2. Rezone from R-1 (single-family residential) District to R-3A (multifamily residential apartment) District: 10 acres being of Lot 4, Resubdivision of Lots 164-171 Inc. Of Pride O' Texas, Hidalgo County, Texas; 3300 La Lomita Road. **(REZ2022-0023)**
3. Rezone from R-1 (single-family residential) District to C-3 (general commercial) District: 6.713 acres out of Lot 7, E.M. Card Survey No. 1 and out of Lot 14, Section 279, Tex-Mex Railway Company Survey Subdivision, Hidalgo County, Texas; 2300 Oxford Avenue. **(REZ2022-0024)**
4. Rezone from A-O (agricultural-open space) District to R-2 (duplex-fourplex) District: 7.929 acres out of Lot 397, John H. Shary Subdivision, Hidalgo County, Texas; 7301 North 48th Street. **(REZ2022-0029)**
5. Rezone from A-O (agricultural-open space) District to R-1 (single-family residential) District: 96.258 acres being all of Lots 1, 2, 3, 4 and 5, Block 1 all of Lot 7, Block 5, and out of Lots 6, 8, 9, and 10, Block 5, M and M Subdivision, Hidalgo County, Texas; 15401 North 29th Street. **(REZ2022-0030)**
6. Rezone from R-2 (duplex-fourplex residential) District to C-3 (general business) District: Lot 3, Quincy Subdivision, Hidalgo County, Texas; 1609 Quebec Avenue. **(REZ2022-0025)**
7. Rezone from R-4 (mobile home and modular home) District to R-2 (duplex-fourplex residential) District: Lot 17, Jennings Subdivision Unit No. 2, Hidalgo County, Texas; 5801 North Main Street. **(REZ2022-0026)**
8. Rezone from A-O (agricultural and open space) District to R-2 (duplex-fourplex residential) District: 11.015 acres out of Lot 397, John H. Shary Subdivision, Hidalgo County, Texas; 7208 North Taylor Road. **(REZ2022-0027)**

9. Rezone from C-2 (neighborhood commercial) District to R-1 (single-family residential) District: 2.34 acres out of Lot 348, John H. Shary Subdivision, Hidalgo County, Texas; 5517 North Bentsen Road. **(REZ2022-0031)**

c) SUBDIVISION:

1. Vacating and Replat of Bann Subdivision Lot 2 and Bann, Lots 2A,2B,2C and 2D Subdivision, 2401 Quince Avenue, Nachito Enterprises, LLC **(SUB2022-0061)(FINAL)STIG**

3) SITE PLAN:

- a) Site plan approval for Lot 3D, Redbud Subdivision NO.2 , 6600 North 23rd Street. **(SPR2022-0016)**

4) CONSENT:

- a) Nemont Estates II Subdivision, 7100 Mile 6 Road, Nemont Estates II, LP **(SUB2022-0087)(FINAL)BIG**
- b) Neuhaus Estates Subdivision, 4229 Neuhaus Drive, Mario A. Salinas**(SUB2021-0148)(REVISED FINAL)MAS**

5) INFORMATION ONLY:

- a) City Commission Actions: July 25, 2022

**ADJOURNMENT:**

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting & Public Hearing on Tuesday, July 6, 2022, at 3:30p.m. in the McAllen City Hall, 1300 Houston Avenue City Commission Chambers 3<sup>rd</sup> floor.

<b>Present:</b>	<b>Michael Fallek</b>	<b>Chairperson</b>
	<b>Gabriel Kamel</b>	<b>Vice-Chairperson</b>
	<b>Jose Saldana</b>	<b>Member</b>
	<b>Emilio Santos Jr.</b>	<b>Member</b>
	<b>Erica De La Garza-Lopez</b>	<b>Member</b>
	<b>Rudy Elizondo</b>	<b>Member</b>
<b>Absent:</b>	<b>Marco Suarez</b>	<b>Member</b>
<b>Staff Present:</b>	<b>Austin Stevenson</b>	<b>Assistant City Attorney II</b>
	<b>Edgar Garcia</b>	<b>Planning Director</b>
	<b>Omar Sotelo</b>	<b>Senior Planner</b>
	<b>Liliana Garza</b>	<b>Planner III</b>
	<b>Mario Escamilla</b>	<b>Planner III</b>
	<b>Kaveh Forghanparast</b>	<b>Planner II</b>
	<b>Katia Sanchez</b>	<b>Planner II</b>
	<b>Porfirio Hernandez</b>	<b>Planner Technician I</b>
	<b>Carmen White</b>	<b>Administrative Assistant</b>

**CALL TO ORDER** - Chairperson Mr. Michael Fallek

**PLEDGE OF ALLEGIANCE**

**INVOCATION**- Emilio Santos Jr.

**1) MINUTES:**

- a) Minutes for the meeting held on June 21, 2022.

The minutes for the regular meeting held June 21, 2022 was approved as submitted by Ms. Erica De la Garza. Seconding the motion was Mr. Jose Saldana which carried unanimously with 6 members present and voting.

**2) PUBLIC HEARING:**

**a) CONDITIONAL USE PERMITS**

- 1) Request of Blanca I. Cantu, for a Conditional Use Permit, for one year, for an event center, at Trevino's Acre Subdivision and the south 60.62 ft., the north 355.78 ft. out of Lot 2, Block 8, McColl A.J. Subdivision, Hidalgo County, Texas; 2000 South Jackson Road. **(CUP2022-0067) TABLED ON 6/7/2022 AND 6/21/2022.**

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Chairperson, Mr. Michael Fallek asked Ms. Katia Sanchez if item was going to remain tabled. Ms. Sanchez requested for item to be removed from table. Ms. Erica De la Garza motioned to remove and Mr. Jose Saldana seconded the motion with six members present and voting. Item is off the table.

Ms. Katia Sanchez stated that the property is located on the West side of South Jackson Road, approximately 530 ft. south of E. Savannah Avenue and is zoned C-3 (general business) District. The adjacent zoning is R-1 (single-family residential) District and R-2 (duplex-fourplex) District to the south, C-3 District to the north and west and outside city limits to the east. Surrounding land uses includes commercial businesses, restaurants, and apartments outside city limits, vacant land and single-family residences within city limits. An event center is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

: The initial conditional use permit for a dance hall was disapproved in 2010; beginning in 2011 reapply for the permit and renewed through. In 2013, both a Dwelling Unit and Event Center CUP was approved by City Commission, the dwelling unit CUP was approved for life of the use, while dance hall was approved only for a year. In 2014, applicant apply once more but failed to meet the deadline to appeal the decision of the Planning and Zoning Board, hence permit was disapproved. No other CUP has been submitted since then.

SUMMARY/ANALYSIS: The applicant is proposing to operate an event center from a proposed garden that is approximately 5,500 SF in size and a pavilion of 2,400 SF. The proposed hours of operation are from 2:00 PM to 1:00 AM Monday – Sunday.

Additionally, the applicant is proposing to build restrooms a pavilion and a warehouse, the proposed structures will have to meet setbacks as it cannot be built to property line as the southern lot is residentially zoned, an elevation plan will be required, furthermore, subdivision process will be required for the construction of any construction since the tract where its being proposed it's not subdivided.

A Site Plan review process will be required based on the location of the subject property.

The Fire Department is pending inspection of the establishment. An inspection by the Health Department was performed, and requirements were satisfactory. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from the nearest residentially zoned property and apartment zoned area.
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to South Jackson Street
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage of the garden, approximately 5,500 SF, 2,400 SF of pavilion area, 79 parking spaces are required, only 50 parking spaces are being proposed.

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4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.

5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

PLANNING AND ZONING MEETING OF JUNE 7, 2022:

At the P&Z meeting of June 7, 2022, after a brief discussion, the Board voted to table the item, in order for the applicant to show additional parking spaces on site plan. There were five members present and voting.

PLANNING AND ZONING MEETING OF JUNE 21, 2022:

Item remained tabled.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) and #3 (parking) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Vice Chairperson moved to disapprove with favorable recommendation. Mr. Jose Saldana seconded the motion, which was disapproved with six members present and voting.

- 2) Request of Jessica Aguilar, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar, at the North 20 ft. of Lot 1 & all of Lot 2 excluding the Northwest 225 ft. X 240 ft. of Lot 2, Plaza Del Norte Subdivision, Hidalgo County, Texas, 3424 North 10th Street. **(CUP2022-0084)**.

Ms. Katia Sanchez stated that the property is located on the east side of North 10th Street, approximately 200 ft. south of Jonquil Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south and west, R-3T (multifamily-townhouses) District to the east and R-1 (single-family) District to the northeast. Surrounding land uses include retail stores, restaurants, multifamily residences, single-family residences and IBC bank. A bar is allowed in a C-3 district with a Conditional Use Permit and in compliance with requirements.

Previous tenant Korea Garden was issued a certificate of occupancy for a restaurant on January 27, 2010. The current applicant applied for a conditional use permit for a proposed bar last year and was approved for a year by City Commission at their meeting of May 24, 2021. Applicant is renewing the permit for 2022.

The applicant is proposing to continue operating a bar (Love Buzz) from an existing 3,850 SF

building. The proposed days and hours of operation are, Monday through Sunday from 12:00 PM to 2:00 AM.

The Fire and Health Departments have inspected the bar and the property is in compliance. The police activity report for service calls from February 2021 to present is attached. The Planning Department has received no complaints regarding the present use as a bar. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. the establishment is less than 400 ft. of a residential zone/use, to the northeast and east of the subject property
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has access from north 10th Street.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The bar requires 39 parking spaces based on SF of building and additional 3 parking spaces for the existing outside seating area (3 benches) for a total of 41 parking spaces
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

Staff recommends disapproval of the request due to noncompliance with requirement #1 (distance) of Section 138-118(a) (4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Vice Chairperson moved to disapprove with favorable recommendation. Ms.De la Garza seconded the motion, which was disapproved with six members present and voting.

- 3) Request of Khiabet Magallan Cruz, for a Conditional Use Permit, for one year, and adoption of an ordinance for a Portable Office, at Lot 2, Gentry Subdivision, Hidalgo County, Texas; 2801 Highway 83. **(CUP2022-0085)**.

Ms. Katia Sanchez stated that the subject property is located on the south side of US Business 83, 160 ft. east of South 29th Street. The property is zoned C-3 (general business) District, and the adjacent zoning is C-3 District to the east and west, R-2 (duplex/fourplex) District to the south and I-1 (light industrial) District to the north. Surrounding land uses include a car lot, tire shop, warehouses, residential houses and vacant retail stores. A portable office is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The applicant is requesting a conditional use permit for a portable office measuring 66 feet x 14 feet located at the rear of the property, and proposed to be used as an office for the proposed car lot business. Based on mobile office use, 4 parking spaces are required, 5 parking spaces are being provided on site plan. A site inspection revealed that parking lot is not meeting city standards, if approved a follow inspection will be required. Hours of operation are as follows: Monday through Saturday 9:00AM to 6:00PM. The proposed business will be using the adjacent lot for the car inventory; the adjacent lot is under contract as stipulated on the commercial lease.

The Fire Department inspection is still pending. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The portable building must also meet the requirements set forth in Section 138-118(2) (a) of the Zoning Ordinance as follows:

- 1) Accessory to a permitted use;
- 2) Provided that there is only one per premises;
- 3) It must be related to an existing ongoing business located on that site
- 4) The mobile home must be located in such a manner as to have access to a public right-of-way within 200 feet;
- 5) The mobile home must be connected to an approved water distribution and sewage disposal system;
- 6) The mobile home must be tied down and meet all other applicable provisions of the mobile home ordinance; and
- 7) There must be provision for garbage and trash collection and disposal

Staff recommends approval of the request, subject to Sections 138-118(2)(a) and 138-400 of the Zoning Ordinance and Fire and Building Departments requirements.

Vice Chairperson Mr. Gabriel Kamel asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Mr. Jose Saldana moved to approve with conditions noted and Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.



- 4) Request of Frank Trevino for a Conditional Use Permit, for one year, and adoption of an ordinance for an automotive service and repair shop and warehouse at Lots 1-3, Block 50, North McAllen Subdivision, Hidalgo County, Texas; 111 North 11th Street. **(CUP2022-0082)**

Ms. Katia Sanchez stated that the subject property is located at the northeast corner of Beech Avenue and North 11th Street. The property is zoned C-3 (general business) District, and the adjacent zoning is C-3 District to the east, south, and west. The adjacent zoning is R-3A (multifamily apartment) District to the north. Surrounding land uses include Motor Mart Machine Shop, Dimart Medical, Gosmar LLC Industrial Supply. An automotive service and repair business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

There are two existing commercial buildings on site, building A and building B. Building A is approximately 1,650 square feet which will comprise of two offices, reception area, post lifts, and a restroom. Building B is approximately 7,747 square feet and will be used as the facility for auto part installation. Building B will have storage space and post lifts. The applicant is requesting a CUP for a length of one year.

Based on the total 4,800 sq. ft. for the body shop repair, 16 parking spaces and one van accessible parking spaces are required; 9 parking spaces are provided on site.

Staff has received one phone call in favor to this request. As per the citizen, the proposed business will increase business for his machine shop.

Fire Department has conducted the necessary inspection, and gave approval to continue with CUP process. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 21,000 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing to work inside the commercial structure.
- 3) Outside storage of materials is prohibited. The applicant indicated that there would be no outside storage.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The building where the work is to take place is within 100 feet is adjacent to single-family residential use to the east, south and north.
- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

Staff recommends disapproval of the request based on non-compliance with requirements #4 (distance) of Section 138-281 and Section 138-395 (off-street parking requirement) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Ms. Erica De la Garza moved to disapprove with favorable recommendation and Mr. Emilio Santos Jr. seconded the motion, which was disapproved with six members present and voting.

- 5) Request of Frank Trevino for a Conditional Use Permit, for one year, for a portable building greater than 10 feet by 12 feet at Lots 1-3, Block 50, North McAllen Subdivision, Hidalgo County, Texas; 111 North 11th Street.  
**(CUP2022-0083)**

The subject property is located at the northeast corner of Beech Avenue and North 11th Street. The property is zoned C-3 (general business) District, and the adjacent zoning is C-3 District to the east, south, and west. The adjacent zoning is R-3A (multifamily apartment) District to the north. Surrounding land uses include Motor Mart Machine Shop, Dimart Medical, Gosmar LLC Industrial Supply. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The applicant is requesting a conditional use permit for a portable building located at the front of the property. The proposed building that measures 10 feet by 25 feet (250 square feet), and will be used as a temporary office for the proposed business of an auto service shop.

The Fire Department has conducted the necessary inspection for this property and has passed it. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The portable building must also meet the requirements set forth in Section 138-118(3) of the Zoning Ordinance as follows:

- 1) Portable buildings must not be used for living quarters. The portable building will be used as a temporary office for the proposed business only;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 feet. The property has access to east side of North 11th Street and north side of Beech Avenue
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. The parking lot has to be paved and striped according to Section 138-400 of the Zoning Ordinance;
- 4) Must provide garbage and trash collection and disposal;
- 5) No form of pollution shall emanate beyond the immediate property line of the permitted use; and
- 6) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar

improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

Staff recommends approval of the request, subject to Sections 138-118(a)(3) portable buildings and 138-400 pavement standards of the Zoning Ordinance and Fire requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Mr. Jose Saldana moved to approve and Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

- 6) Request of Sandra Claudio de Gomez on behalf of Desperado Saloon, for a Conditional Use Permit, for a bar (Billiard Saloon), for one year at Lot A, J.G. Ortegon Subdivision, Hidalgo County, Texas; 6328 South 23rd Street.  
**(CUP2022-0081)**

Mr. Kaveh Forghanparast stated that The property is located at the northwest corner of South 23rd Street and Military Highway and is zoned C-4 (commercial industrial) District. The adjacent zoning is C-4 District to the north and south, I-1 (light industrial) District to the east and A-O (agricultural and open space) District to the west. Surrounding land uses include a convenience store, gas station, auto sales, the McAllen Produce Terminal Market, Burger King, Texas Inn Hotel and vacant land. A bar is allowed in a C-4 District with a Conditional Use Permit and in compliance with requirements.

The initial conditional use permit for this establishment was approved by the Planning and Zoning Commission in September of 1991 and has been renewed annually to different tenants. The last permit was approved for one year on May 4, 2021.

REQUEST/ANALYSIS: The applicant is proposing to continue operating a billiard sallon (Desperado Saloon) from the existing lease space. The hours of operation will be from 5:00 p.m. to 2:00 a.m. Monday through Saturday.

A police activity report is attached for service calls from June 2021 to present. The Health and Fire Departments inspections are still pending. Should the Conditional Use Permit be approved, the applicant will be required to sign the application acknowledging and agreeing to the conditions of the permit. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1)The property line of those businesses having late hours (after 10:00 p.m.) must be at least 400 feet from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. This establishment is not within 400 feet of the above mentioned zones or uses;

- 2)The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to South 23rd Street and Military Highway;

3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage of the establishment, 2,036 square feet, 21 parking spaces are required for this use and 21 additional spaces are required for the remainder of the building. There are 56 parking spaces provided in the common parking area in the front and rear of the building. The parking lot must be maintained free of potholes and clearly striped.

4)The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.

5)The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

6)The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

7)The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director. The allowable number of persons within the building is 116 persons.

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118(4) of the Zoning Ordinance, Health and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve and Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

## **b) REZONING**

- 1) Initial zoning to R-3A (multifamily apartment residential) District: 19.953-Acre Tract (20.0 acres recorded) of land, being out of the West half of Lot 13 Section 280, Texas-Mexican Railway Subdivision, Hidalgo County, Texas; 2700 Sprague Road. **(REZ2022-0019)**

Ms. Katia Sanchez stated that the property is located along the north side of Sprague Road, and approximately 1,290 feet south of State Highway 107. The tract has 660.00 feet of frontage along Sprague Road with a depth of 1,300 feet for a lot size of 20 acres.

The applicant is requesting R-3A (multifamily residential apartment) District for proposed apartments. The tract is currently outside the City limits and is undergoing voluntary annexation. The initial zoning to R-3A District will become effective upon the annexation of the tract into the City. The subject property will undergo the subdivision process for proposed Bright Woods Subdivision at a later date.

The adjacent properties to the subject property are R-1 (single family residential) District to the north, south, and west. R-3A District to the west. The property to the east of the subject property are located outside of city limits.

The property is currently used as agricultural land. Surrounding land uses include single-family residences, agricultural land, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Residential. The proposed initial zoning of the subject property does not conform to the land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The development trend for this area along Sprague Road is generally single-family residential.

The requested zoning does not conform to the Suburban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition to the initial zoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartment residential) District as the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning permit. There was none.

Being no discussion, Mr. Jose Saldana moved to approve rezoning plan and Ms. Erica De La Garza seconded the motion, which was approved with six members present and voting.

- 2) Rezone from R-1 (single-family residential) District to R-3T (multifamily residential townhouse) District: 1.07 acres and 0.84 acres out of Lot 7, Section 8, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 501 & 519 Dallas Avenue. **(REZ2022-0020)**

Mr. Kaveh Forghanparast stated that the property is located on the south side of Dallas Avenue, approximately 840 ft. east of South 8th Street. The irregularly-shaped tract consists of two lots with 147 ft. of frontage along Dallas Avenue and a depth of 346 ft. at its deepest point for the total lot size of 1.91 acres.

The applicant is requesting to rezone the property to R-3T (multifamily residential townhouse) District in order to construct townhomes. The subject property will be part of a larger development which includes the adjacent property to the west. A feasibility plan has not been submitted.

The adjacent zoning is R-1 (single-family residential) District to the north, east, and south, and C-1 (office building) District to the west.

The property is currently vacant. Surrounding land uses include single-family residences, apartments, Victor Fields Elementary School, Victor Fields City School Park, William B. Travis Middle School, Merit Energy Company, office, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential which is comparable to A-O (agricultural and open space) District and R-1 (single-family residential) District.

The development trend for this area along Dallas Avenue is single and multifamily residential.

The tract was zoned R-1 District during the comprehensive zoning in 1979. There has been no other rezoning request for the subject property since then.

A rezoning request to C-1 District for the adjacent property to the west was approved on July 10, 2000, by the City Commission. However, the property was never developed.

A rezoning request to R-3A District for the property at 615 Dallas Avenue was approved by the City Commission on February 24, 2020.

The rezoning request does not conform to the land use designation; however, it follows the development and rezoning trend in this area to multi-family residential use. The proposed development will also be in proximity of compatible uses, an elementary school and a middle school, since these institutional uses are located within residential neighborhoods. The rezoning request provides opportunity for residential development of the vacant lot and will encourage home ownership.

The maximum density in R-3T (multifamily residential townhouse) District is 20 units per acre. Therefore, the maximum number of units for the subject property is approximately 38 townhouses.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouse) District since it follows the development trend, will be in proximity of compatible uses, and provides opportunity for residential development of the vacant lot.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning permit. There was none.

Being no discussion, Mr. Rudy Elizondo moved to approve rezoning and Ms. Erica e la Garza seconded the motion, which was approved with six members present and voting.

- 3) Rezone from C-1 (office building) District to R-3T (multifamily residential townhouse) District: 1.41 acres out of Lot 7, Section 8, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 601 Dallas Avenue. **(REZ2022-0021)**

Mr. Kaveh Forghanparast stated that the property is located on the south side of Dallas Avenue, approximately 660 ft. east of South 8th Street. The tract has 177 ft. of frontage along Dallas Avenue with a depth of 346 ft. for a lot size of 1.41 acres.

The applicant is requesting to rezone the property to R-3T (multifamily residential townhouse) District in order to construct townhomes. The subject property will be part of a larger development which includes the adjacent property to the east. A feasibility plan has not been submitted.

The adjacent zoning is R-1 (single-family residential) District to the north, east, and south, and R-3A (multifamily residential apartment) District to the west.

The property is currently vacant. Surrounding land uses include single-family residences, apartments, Victor Fields Elementary School, Victor Fields City School Park, William B. Travis Middle School, Merit Energy Company, office, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential which is comparable to A-O (agricultural and open space) District and R-1 (single-family residential) District.

The development trend for this area along South McColl Road is single and multifamily residential.

The tract was rezoned from R-1 to R-3T District in 1978 and remained R-3T District during the comprehensive zoning in 1979. A rezoning request to C-1 District for the subject property was approved on July 10, 2000, by the City Commission. There has been no other rezoning request for the subject property since then.

A rezoning request to R-3A for the adjacent property to the west was approved by the City Commission on February 24, 2020.

The rezoning request does not conform to the land use designation; however, it follows the development and rezoning trend in this area to multi-family residential use. The proposed development will also be in proximity of compatible uses, an elementary school and a middle school, since these institutional uses are located within residential neighborhoods. The rezoning request provides opportunity for residential development of the vacant lot and will encourage home ownership.

The maximum density in R-3T (multifamily residential townhouse) District is 20 units per acre. Therefore, the maximum number of units for the subject property is approximately 28 townhouses.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouse) District since it follows the development trend, will be in proximity of compatible uses, and provides opportunity for residential development of the vacant lot.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning permit. There was none.

Being no discussion, Mr. Rudy Elizondo moved to approve rezoning and Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

### **c) SUBDIVISION**

- 1) Vacating & Replat of Asian Valley Subdivision Lots 1 and 29th Place Subdivision Lot A and Asian Valley Lots 1A & 1B Subdivision, 2825 Nolana Avenue, SEC Nolana & 29th LP(SUB2022-0027)(FINAL)SE**

Ms. Lilita Garza stated that Nolana Ave.: 60 ft. from centerline for 120 ft. ROW Paving: 65 ft. Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. North 29th Street: 10 ft. dedication for 50 ft. from centerline for 100 ft. ROW Paving: 65 ft. Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Paving, curb and gutter. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW: 20 ft. Paving: 16 ft.. Alley/service drive easement required for commercial properties. Minimum 24 ft. wide paved private access easement proposed on plat. Minimum 24 ft. private service drive as needed will be reviewed at time of site plan. Plat note as needed will be finalized prior to recording. Subdivision Ordinance: Section 134-106. Front: In accordance with the zoning ordinance, or greater for easements, or in line with existing structures, or approved site plan, which ever is greater. Please remove "15 feet" wording from plat note prior to recording, rest of note is ok. Zoning Ordinance: Section 138-356. Rear: In accordance with the zoning ordinance, or greater for easements, or in line with existing structures, or approved site plan, which ever is greater. Please remove "5 feet" wording from plat note prior to recording, rest of note is ok. Zoning Ordinance: Section 138-356. Sides: In accordance with the zoning ordinance, or greater for easements, or in line with existing structures, or approved site plan, which ever is greater. Please remove "10 feet" wording from plat note prior to recording, rest of note is ok. Zoning Ordinance: Section 138-356. Corner: In accordance with the zoning ordinance, or greater for easements, or in line with existing structures, or approved site plan, which ever is greater. Please remove "10 feet" wording from plat note prior to recording, rest of note is ok. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. 29th Street and Nolana Avenue. Sidewalk requirement may be increased to 5 ft. by Engineering Department. Plat note #9 must be revised as shown above and once finalized prior to recording Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development



Departments prior to building permit issuance. Vacating plat proposed, therefore, plat note #14 is not required. Please clarify if proposing to remove or keep note #14. If proposing to remove plat #14, site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Clarify plat note #11 shown on initial plat submittal, prior to final. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation approved, No TIA required due to existing TIA. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Plat being vacated due to original "Asian Valley Subdivision Lot 1" and "29th Place Subdivision" based on revisions/removal of existing plat notes. As vacate-replat is being processed/reviewed additional notes/requirements may be applicable prior to final.

Staff recommends approval of the subdivision in final form subject to conditions noted.

Being no discussion, Vice Chairperson Mr. Jose Saldana moved to approve subdivision replat and Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

### 3) SITE PLAN

- a) Site Plan approval for LOT 3, The Warehouse Kingdom Subdivision; 6501 South 23rd Street. **(SPR2021-0027)**

Ms. Katia Sanchez stated the property is located on the east side of South 23rd Street, approximately 330 ft. south of Military Highway (FM 1016). The property has 259 ft. of frontage along South 23rd Street and 221.79 ft. at its deepest point, for a lot size of 1.31 acre-tract according to the recorded subdivision plat. The property is zoned I-1 (light industrial) District and the adjacent zoning is I-1 District to the north, east and south and C-4 (commercial- industrial) District to the west.

The applicant is proposing to construct an office and a trailer parking on the subject property. Trailer parking will be for additional parking spaces for an adjacent business and serve as a washout area for the trailers.

Based on the 1,300 SF of office area, 10 parking spaces are required, 10 parking spaces are provided on site. Additionally, 21 trailer parking spaces are being provided, no trailer parking is required for this project. One of the proposed parking spaces must be accessible, which one must also be van accessible with an 8 ft. wide aisle. Access to the site is from an existing curb cut along South 23rd Street. A recorded parking agreement for the trailer parking will be required before approval of the building permit stage. Required landscaping for the lot is 5,720.92 sq. ft., 6,766 sq. ft. is provided, with trees required as follows: 18 – 2 ½" caliper trees, or 9 – 4" caliper trees, or 5 – 6" caliper trees, or 6 palm trees and 15 – 2 ½" caliper trees. Applicant is proposing 9- 4-inch caliper trees. A minimum 10 ft. wide landscaped strip is required inside the property line along South 23rd Street. Fifty percent of the landscaping must be visible in front areas, and each parking space must be within 100 ft. of a landscaped area with a tree, as required by ordinance. A 5 ft. wide sidewalk along South 23rd Street is required as per the Engineering Department. A 6 ft. buffer is required

around dumpsters/compactors if visible from the street. No structures are permitted over easements.

The Building Permit Site Plan must comply with requirements noted on the development Team Review sheet. The Engineering Department will require grading and drainage plans to be reviewed at the time of building permit.

As per Utilities Engineering Dept., the applicant will need to provide a revised utility layout showing sewer connections from the pretreatment devices to the main sewer line

Staff recommends approval of the site plan subject to the conditions noted, paving and Building Permit requirements, Utilities Engineering Dept. requirements, recordation of parking agreement and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Jose Saldana moved to approve site plan subject to conditions noted and Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting and one member, Mr. Rudy Elizondo abstaining from voting.

- b) Site Plan approval for LOT 2A, Valencia Marketplace, Lots 1A and 2A Subdivision; 7317 North 10th Street. **(SPR2022-0021)**

Ms. Katia Sanchez stated that the property is located on the west side of North 10th Street, approximately 560 ft. north of Trenton Road. The property is an irregular shaped lot that has 66.18 ft. of frontage along North 10th Street, for a lot size of 4.46 acre-tract according to the recorded subdivision plat. The property is zoned C-3 (general business) District and the adjacent zoning is C-3 District in all directions.

The applicant is proposing to construct a 104,400 SF self-storage-building.

Based on the 250 SF of office area, 5 parking spaces are required, 12 parking spaces are provided on site. One of the proposed parking spaces must be accessible, which one must also be van accessible with an 8 ft. wide aisle. Access to the site is from an existing curb cut along North 10th Street and internal private drive that has a curb cut along Trenton Road. Required landscaping for the lot is 19,444 sq. ft., 30,592 sq. ft. is provided, with trees required as follows: 38 – 2 ½” caliper trees, or 19 – 4” caliper trees, or 10 – 6” caliper trees, or 14 palm trees and 31 – 2 ½” caliper trees. Applicant is proposing 32- 2.5-inch caliper trees and 14 palm trees. A minimum 10 ft. wide landscaped strip is required inside the property line along Valencia Market Place. Fifty percent of the landscaping must be visible in front areas, and each parking space must be within 100 ft. of a landscaped area with a tree, as required by ordinance. A 5 ft. wide sidewalk along North 10th Street is required as per the Engineering Department. A 6 ft. buffer is required around dumpsters/compactors if visible from the street. No structures are permitted over easements.

The Building Permit Site Plan must comply with requirements noted on the development Team Review sheet. The Engineering Department will require grading and drainage plans to be reviewed at the time of building permit.

As per Utilities Engineering Dept., the applicant will need to provide a revised utility layout showing:

1. Show a two way clean out for the sewer service at the edge of the utility easement.

2. Manholes are not needed for service lines.
3. Please indicate the other service as irrigation/landscape service if that is the purpose.

Staff recommends approval of the site plan subject to the conditions noted, paving and Building Permit requirements, Utilities Engineering Dept. requirements, recordation of parking agreement and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve site plan subject to conditions noted and Mr. Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.

#### 4) CONSENT

- a) Garcia Estates Subdivision, 2901 Gumwood Avenue, Sonia Garcia/Erik J. Mora **(SUB2022-0072)(FINAL)M&H**
- b) Vida subdivision, 5901 Mile 5 Road, Liman Ventures, LTD **(SUB2022-0057)(FINAL)STIG**
- c) Shops at Nolana Lot 2 Subdivision, 2909 Nolana Avenue, Ponderosa Investors, LTD. **(SUB2022-0073)(FINAL)HA**
- d) Sharyland Business Park No. 10 Subdivision, 6901 South Shary Road, Cascada Real Estate Operating L.P. **(SUB2022-0075)(FINAL)HA**
- e) STEC Tres Lagos Subdivision, 6801 7 Mile Line, Michael A. Hernandez **(SUB2022-0074)(FINAL)M&H**
- f) Yuma Subdivision, 513 East Yuma Avenue, Yuma McColl Retail Partners, LTD **(SUB2022-0076) (FINAL)TABC**
- g) North Via Cantera Subdivision, 7321 Mile 7 ½ Road, North Via Cantera, LLC. **(SUB2022-0064) (FINAL)RDE**

Being no discussion, Mr. Gabriel Kamel moved to approve final for items 4a-4g. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

#### 5) SUBDIVISIONS:

- a) Just a Closet Oxford Subdivision, 2300 Oxford Avenue, Domain Development Corp. **(SUB2022-0067) (PRELIMINARY)RDE**

Ms. Liliana Garza stated that Paving: By the state Curb & gutter: By the state. Provide existing ROW from centerline on both sides and total ROW to determine additional dedication required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Oxford Avenue: 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: Both sides. Provide existing ROW from centerline on both sides and total ROW to determine if additional dedication is required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM

Thoroughfare Plan Paving, Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Plat note: "A private service drive easement will be established as part of the site plan and will be maintained by the lot owner and not the City of McAllen." Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance, or greater for easements, or in line with existing structures, or approved site plan, whichever ever is greater. Please revise plat note #2 as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner: In accordance with the Zoning Ordinance, or greater for easements, or in line with existing structures, or approved site plan, whichever ever is greater. Please add plat note as shown above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. 23rd Street and Oxford Avenue. Sidewalk requirement may be increased to 5 ft. by Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Please revise plat note #10 as shown above prior to final. Additional buffers along street perimeters may be needed as applicable prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Please revise plat note #10 as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along, Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: C-3. Rezoning will be presented at Planning & Zoning Commission on 8/2/22 and at City Commission on 8/22/22. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Rezoning will be presented at Planning & Zoning Commission on 8/2/22 and at City Commission on 8/22/22. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Provide site plan for review of the access locations along N. 23rd Street and Oxford Avenue.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, utilities and drainage approval.

Being no discussion, Mr. Jose Saldana moved to approve in preliminary form and Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

b) Amigo Park Subdivision Unit No. 3, Lots 12A& 12B, 3113 North 46th Street, Johnny Rodriguez **(SUB2022-0068) (PRELIMINARY) SEC**

Mr. Mario Escamilla stated that N.46th Street (Private Drive): Dedication as needed 25 ft. from centerline for 50 ft. of total ROW. Paving :32 ft. Curb & gutter: Both Sides Include document number on plat regarding how existing street was dedicated, and copies of referenced document prior to

final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving, curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Front: As shown, or greater for easements. Revise note as shown above prior to final. Proposing: Zoning Ordinance: Section 138-356 Rear: In accordance with Zoning Ordinance or greater for easements. Revise note as shown above prior to final. Proposing: 20 feet or greater for easement. 20 ft. Utility Easement presented on plat. Zoning Ordinance: Section 138-356. Non-compliance. Sides: 6 ft. or greater for easement. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Add note as shown above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along N.46th Street. Sidewalk requirements for N. 46th Street may increase to 5 ft. prior to final per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Finalize wording for plat note #8, prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Submitted plat currently presents N.46th Street (Private Drive). Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Provide individual lot dimensions for lot 12A and 12B, prior to final. Zoning Ordinance: Section 138-356. Existing: R-1(Single Family) Residential District. Proposed: R-1(Single Family) Residential District. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, In accordance with McAllen's Park Land Dedication and Park Development Fees Ordinance, Park fees apply at \$700 per dwelling unit. Fees amount to \$1,400 and payable prior to plat recording. Park fees will be adjusted accordingly if proposed number of lots changes. As per Traffic Department, Trip Generation waived. Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic Department, Trip Generation waived. Must comply with City's Access Management Policy. Public Hearing with notices will be required for the resubdivision. If any plat restrictions are proposed to be changed from original plat, vacate and replat would be required.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, utilities and drainage approvals.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form and Mr. Rudy Elizondo seconded the motion, which was approved with six members present and voting.

c) ABA Estates Subdivision, 4613 Buddy Owens Boulevard, ABA Group

**Investments, LLC (SUB2022-0070)(PRELIMINARY)SEA**

Mr. Mario Escamilla stated Buddy Owens Boulevard: 10 ft. of additional ROW dedication required for 60 ft. from centerline for 120 ft. total ROW Paving: By the state Curb & gutter: By the state. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. N.47th Street on west boundary: 25 ft. dedication from centerline for future 50 ft. ROW Paving: 32 ft. Curb & gutter: Both Sides. ROW being reviewed and plat would need to be revised accordingly. Submit ownership map with surrounding legal descriptions and document numbers, to ensure no landlocked properties exist or will be created. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Paving, Curb & gutter Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 600 ft. Maximum Cul-de-Sac. Cul-de-Sac is required at the south end of property for N. 47th Street with a minimum of 96 ft. paving diameter face to face and approximately 10 ft. ROW back of curb. If cul-de-sac exceeds the 600 ft. length requirement and variance is requested, paving requirement subject to increase to 40 ft. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Alley or service drive easement cannot dead-end. Provide for alley or service drive easement on the plat prior to final. Subdivision Ordinance: Section 134-106. Front: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater. Revise note as shown above prior to final. Proposing: 60 ft. or greater for approved site plan or easements. Zoning Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner :To be established if street on west side is required, prior to final. Zoning Ordinance: Section 138-356. Garage :Commercial Development. Remove Garage setback note, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Buddy Owens Blvd. 5 ft. sidewalk might be required on Buddy Owens Blvd. by Engineering Department, will be finalized prior to final. Proposing: Minimum 5 ft. wide sidewalk required on Buddy Owens Blvd. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3(General Business) District. Proposed: C-3(General Business) District. Zoning Ordinance: Article V. As per Traffic Department, Trip generation will be honored, no TIA required. Must comply with City's Access Management Policy. Submit ownership map with surrounding legal descriptions and document numbers, to ensure no landlocked properties exist or will be created. Please submit updated survey that corresponds to the proposed subdivision.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted,

utilities and drainage approvals.

Being no discussion, Mr. Jose Saldana moved to approve subject to conditions noted and Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

6) Information: City Commission Actions from June 13, 2022

- a) Mr. Edgar Garcia spoke regarding actions taken by the City Commission Board.

**ADJOURNMENT:**

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel Kamel Saldana adjourned the meeting at 3:57p.m. and Mr. Jose Saldana seconded the motion, which carried unanimously with six members present and voting.

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Chairperson Michael Fallek

ATTEST: \_\_\_\_\_  
Magda Ramirez, Administrative Assistant

**Memo**

**TO:** Planning and Zoning Commission

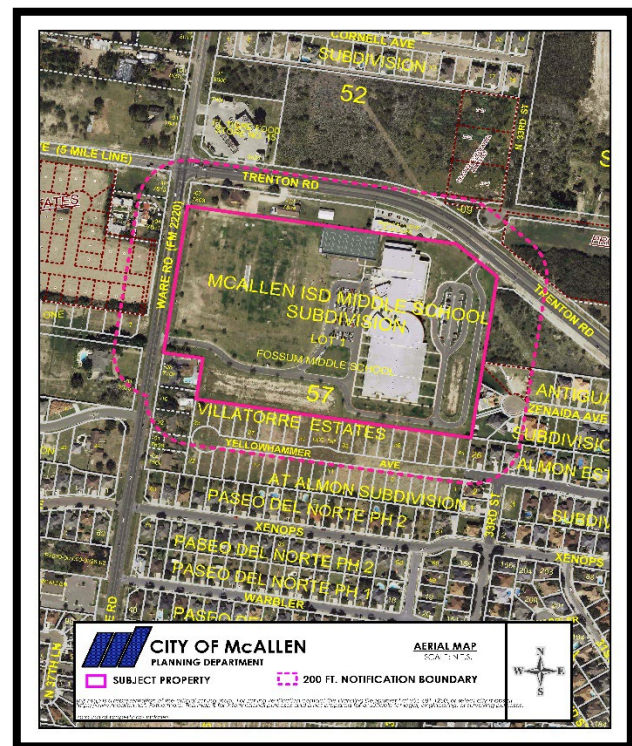
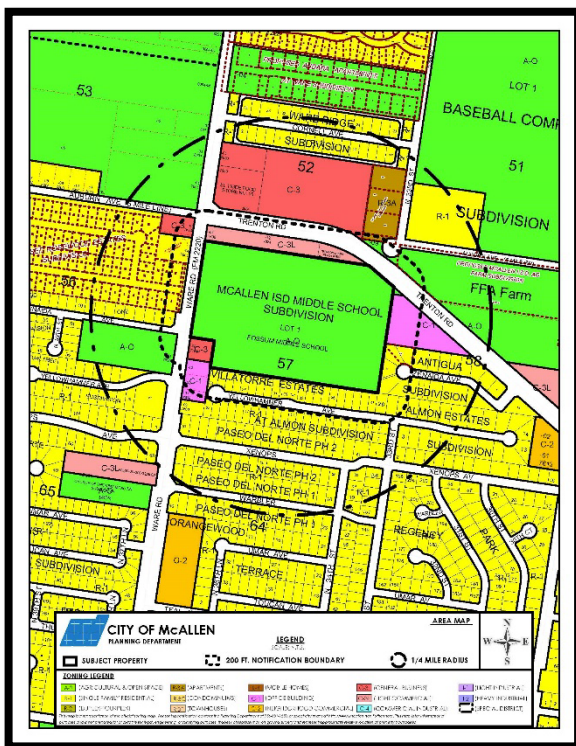
**FROM:** Planning Staff

**DATE:** July 21, 2022

**SUBJECT: REQUEST OF MELISSA ORTIZ ON BEHALF OF MCALLEN I.S.D FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE FOR AN INSTITUTIONAL USE (PUBLIC SCHOOL) AT LOT 1, MCALLEN I.S.D MIDDLE SCHOOL SUBDIVISION, HIDALGO COUNTY, TEXAS; 7800 NORTH WARE ROAD. (CUP2022-0088)**

**DESCRIPTION:**

The subject property is located south of Trenton road, east of North Ware Road. The property is zoned A-O (agricultural open space) District. There is C-3L (light commercial) district to the north, R-1 (single family residential) District to the south and east, and C-1 (Office Building) District to the Northeast and Southwest of the property. Surrounding land uses include Trenton Curve Plaza, commercial and office buildings, and residential homes. A portable building for institutional use (school) is permitted in the A-O District with a conditional use permit.





**REQUEST/ANALYSIS:**

The applicant is requesting a conditional use permit for a portable building to be located on the property near the basketball courts. The proposed building measures 24 ft. by 64 ft., and will be used as a classroom.

The Fire Department has conducted their respective inspections; however, a follow up inspection is required. Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to the conditions of the permit.

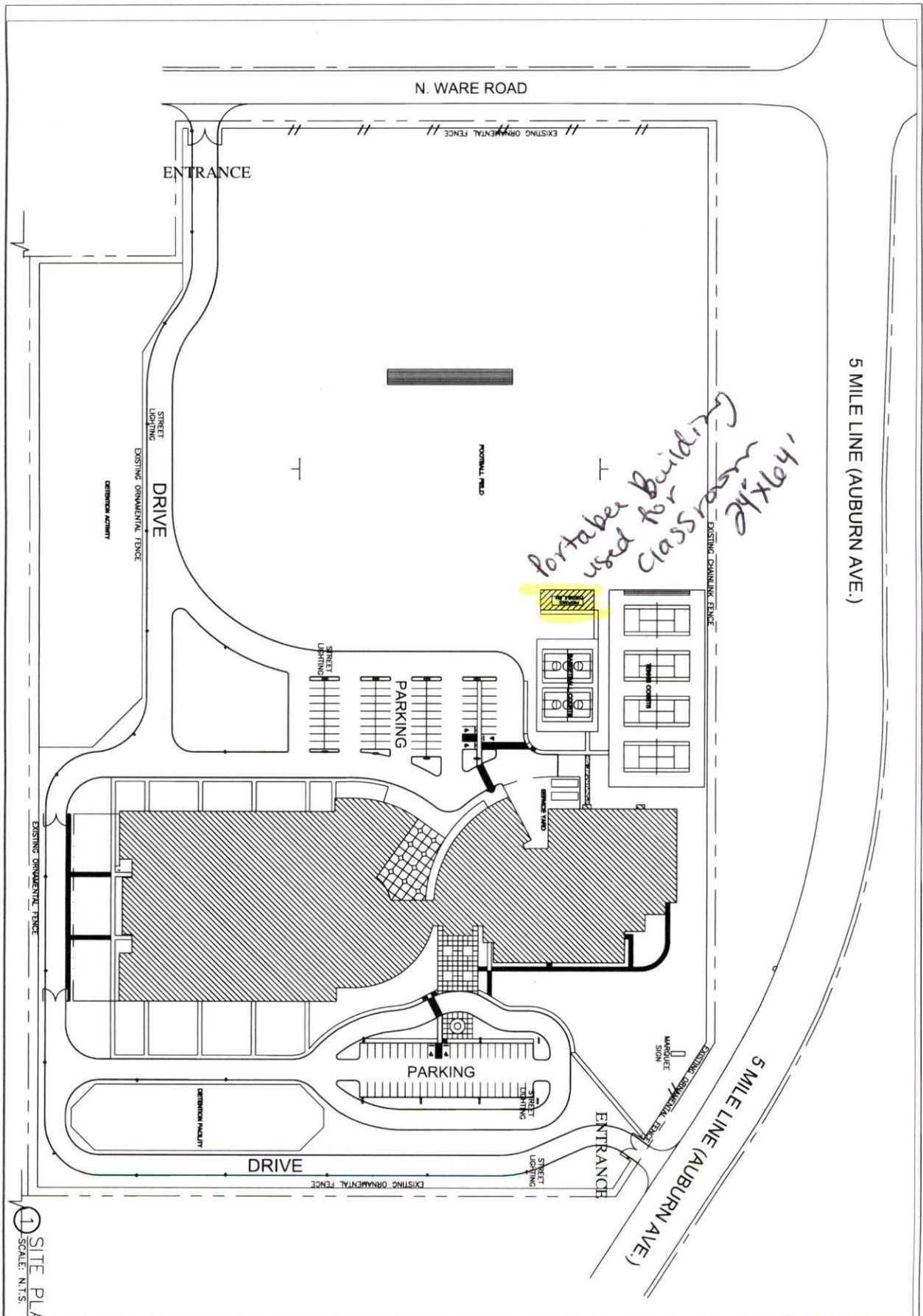
The establishment must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

Section 138-118(3) of the Zoning Ordinance as follows:

- 1) Portable buildings must not be used for living quarters. The portable building will be used as a classroom only;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 feet.
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. The parking lot has to be paved and striped according to Section 138-400 of the Zoning Ordinance;
- 4) Must provide garbage and trash collection and disposal;
- 5) No form of pollution shall emanate beyond the immediate property line of the permitted use; and
- 6) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

**RECOMMENDATION:**

Staff recommends approval of the Conditional Use Permit request, subject to compliance with the Zoning Ordinance, circulation pattern as approved by the Traffic Operations Department, and Health Fire Department requirements.



1 SITE PLAN  
SCALE: N.T.S.

**ENTERED**

SHEET NO. A-1  
PROJECT NAME: FOSSUM MIDDLE SCHOOL  
7800 N WARE ROAD  
SITE PLAN  
DRAWING NAME: Fossom MS Site Plan

**McALLEN**  
INDEPENDENT SCHOOL  
FACILITY PLANNING SERVICES

DATE	REVISIONS	SCALE	DATE DRAWN

Initial: 9 2022  
*ark*

**NOTICE  
INSTITUTIONAL  
USE  
FOR  
THIS PROPERTY  
CUP2022-0088**

 CITY OF MCALEN PLANNING DEPT.  
956-681-1250  
WWW.MCALEN.NET



Memo

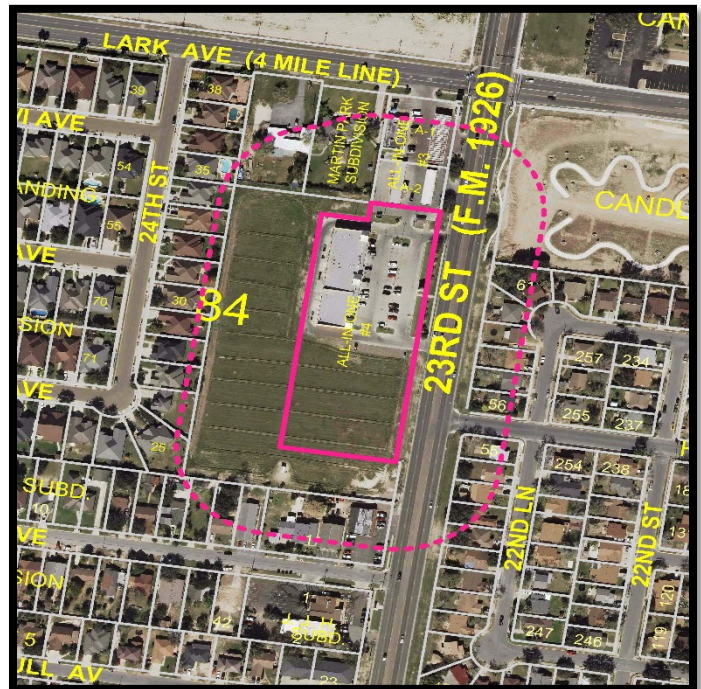
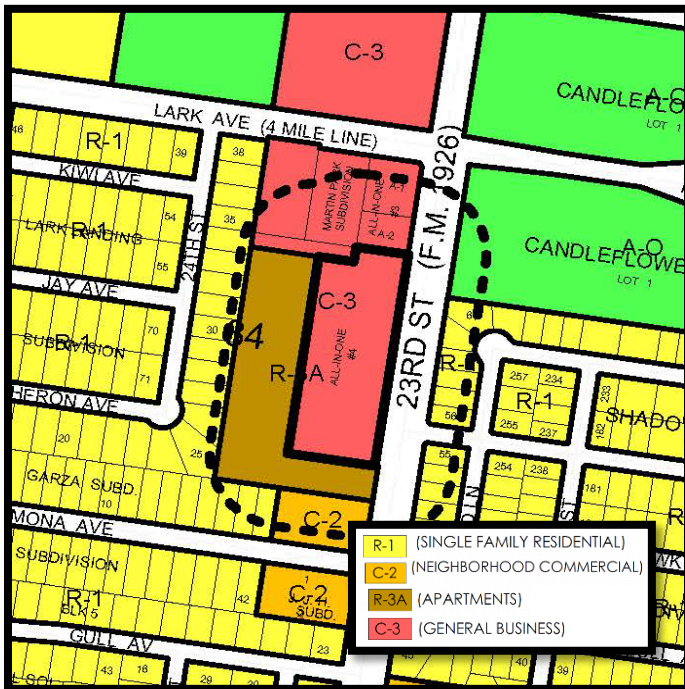
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: July 26, 2022.

SUBJECT: REQUEST OF JORGE A. MARTINEZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A PORTABLE FOOD CONCESSION STAND, AT LOT 1, ALL-IN-ONE SUBDIVISION NO. 4, HIDALGO COUNTY, TEXAS; 6221 NORTH 23<sup>RD</sup> STREET. (CUP2022-0087).

**BRIEF DESCRIPTION:** The subject property is located along the west side of north 23<sup>rd</sup> street, approximately 250 ft. south of Lark Avenue. The subject property is zoned C-3 (general business) District. There is R-3A (multifamily residential apartments) District to the west and south. There is a C-3 district to the North. A portable food concession stand is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



**REQUEST/ANALYSIS:** The applicant is proposing to operate a portable food concession stand on the subject property. The previous Conditional Use Permit for the same use was approved by the Planning and Zoning Commission on July 20, 2021. A new applicant is applying for a Conditional Use Permit for a snow cone stand. The portable food concession stand is already in place and will be maintaining its current footprint. Based on the submitted site plan, four parking spaces are required and four are provided. The proposed days and hours of operation are, 11 a.m. until 11 p.m. Monday - Sunday.

The Planning Department has not received any phone calls in opposition of the Conditional Use Permit request.

The portable building must also meet the requirements set forth in Section 138-118(a)(9) of the Zoning Ordinance and specific requirements as follows:

- 1) Cannot be located in residentially zoned area;
- 2) Stand must be inspected by building inspection department and meet applicable building codes;
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent;
- 4) If it is a portable building or trailer it must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewage disposal facilities must be available and may be required.

**RECOMMENDATION:**

Staff recommends approval of the Conditional Use Permit request since this business has been in operation but is undergoing a change in ownership.

NO changes  
& shelves  
Lark Plaza  
No changes on  
6-2-22  
June

S.

Parking space

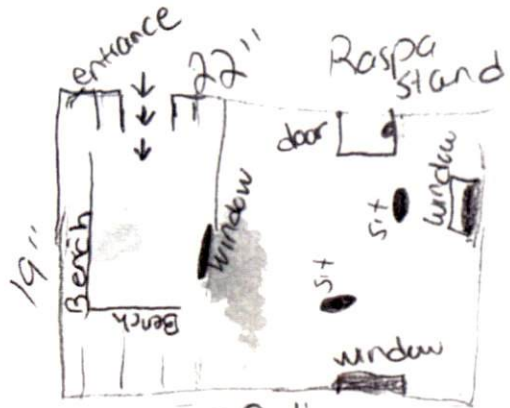
Garbage

Car wash

Seven Eleven

parking area

W. Parking Lot



Air vacuums for car wash

Gas pumps

Lark Avenue E.

No. 23rd St.

Parking space

ENTERED

JUN 03 2022

Initial: all

Can Wash

N

E



22"

20 r d st

W

NO charger  
st 24/21

NO Charges  
6-2-22

S

PIZZA! PIZZA!  
HOT-A-BREADY  
LARGE PIZZA \$5.99

ILL & BAR  
Deluxe Nails & Spa  
FELDMAN  
WINE & LIQUORS  
Little Caesars



**NOTICE  
PORTABLE FOOD  
FOR  
THIS PROPERTY  
CUP2022-0087**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





# Planning Department

## Memo

**TO:** Planning and Zoning Commission

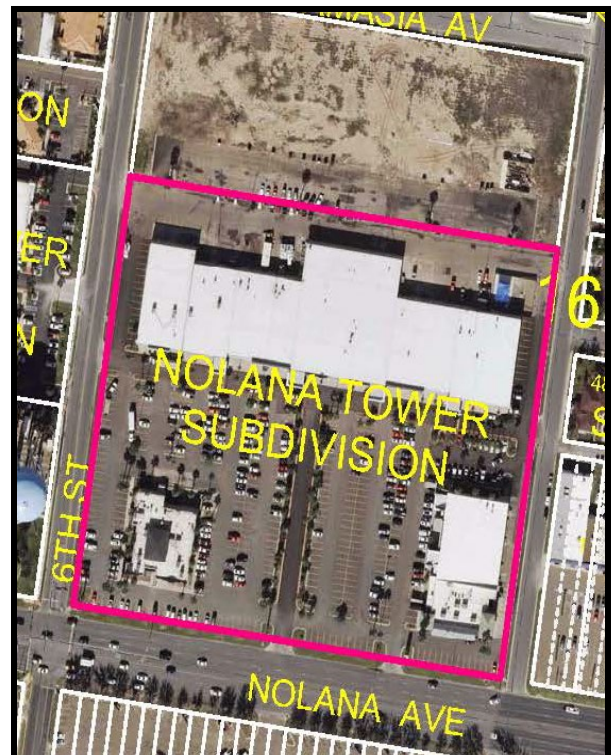
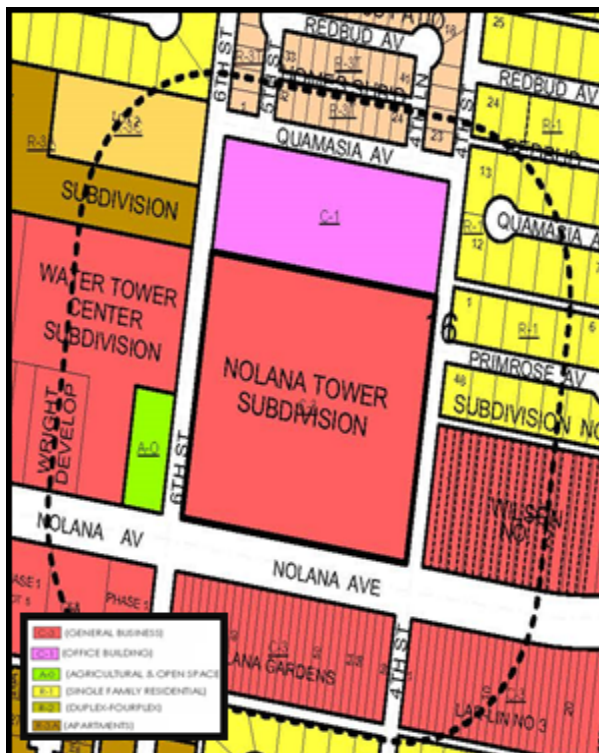
**FROM:** Planning Staff

**DATE:** July 26th, 2021

**SUBJECT: REQUEST OF ROBERT WILSON, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AT LOT A-1, NOLANA TOWER SUBDIVISION, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITE G. (CUP2022-0098)**

### BRIEF DESCRIPTION:

The property is located along the north side of Nolana Avenue between North 4<sup>th</sup> and North 6<sup>th</sup> Streets, and is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C-3 District to the east, south and west. There is also R-1 (single family residential) District to the east and A-O (agricultural and open space) District to the west. Surrounding land uses include commercial businesses, offices, restaurants, single and multifamily residences, vacant land, and a water tower. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

The initial conditional use permit was approved for this establishment by the Planning and Zoning Commission on November 2, 1999 and had been renewed annually until September 2011. A renewal was not done for the year 2012. Code Enforcement issued a notice of violation at the time. A permit renewal was approved for one year on March 25, 2020 by the City Commission with a variance to the distance requirement. The last permit renewal was approved for one year on June 12th of 2021 by the City Commission with a variance to the distant requirement.

**REQUEST/ANALYSIS:**

The applicant is proposing to continue to operate a bar/pool hall (Fast Eddie's) from the existing 14,891 sq. ft. lease space within the shopping center. The hours of operation will continue to be from 11:00 a.m. to 2:00 a.m. Monday thru Saturday and from 12:00 p.m. to 2:00 a.m. on Sundays.

Fire Department has inspected the establishment and found it to be in compliance, pending Health Department inspection. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. of residential zones and uses, and a water tower;
- b) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property has direct access to Nolana Avenue, North 4<sup>th</sup> Street, and North 6<sup>th</sup> Street. The existing gates on North 4<sup>th</sup> Street need to be closed as required by other Conditional Use Permits issued in this commercial plaza;
- c) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Currently there is a multi-tenant commercial building on the property. The shopping center consists of various uses including office, retail, vacant suites, restaurants, a children's event center, and bars. The proposed 11,875 sq. ft. bar/pool hall requires 149 parking spaces; 729 parking spaces are provided on the common parking area in the front and rear of the building. For the 729 parking spaces of the common parking area, 15 accessible parking spaces are required and are provided on site, as per section 138-400(a) of the Off-Street Parking and Loading requirements, all off-street parking must be clearly striped and free of potholes;

- d) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- e) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- f) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- g) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. The occupancy load for this establishment will be established by the Building Inspection Department as part of the building permit review process.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

LOT 16, SECTION 11,  
HIDALGO CANAL CO. SUBDIVISION  
VOL. Q, PG. 177, H.C.D.R.



WILSON SUBDIVISION NO. 2  
VOL. 19, PG. 176, H.C.M.R.

REDBUD SUBDIVISION  
VOL. 19, PG. 123, H.C.M.R.

Raiser  
Rom

Rear Exit

pool

pool

pool

pool

pool

pool

Service Bar

Tables

[ ]

soft tip  
darts

T

T

T

Dance  
Floor

T

Tables

T

T

T

Ping pong

T

T

T

Patio Exit

Patio

Entrance

Ceiling is 14 ft. High

MAIN BAR

tables

tables

tables

tables

Tables

Tables

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

pool

Rear Exit

Office

Mens

Womens

Rest Rooms

Steel tip  
darts

pool

pool

pool

pool

pool

pool

pool

pool

Patio Exit

Patio  
ENTERED

JUN 30 2022

Initial:

*AM*



**NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2022-0098**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET



**Memo**

**TO:** Planning and Zoning Commission

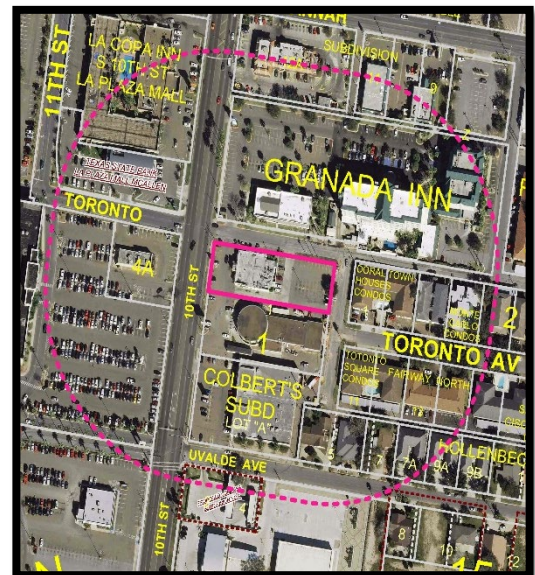
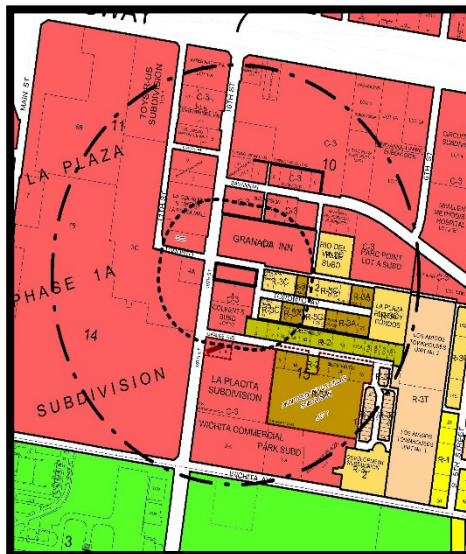
**FROM:** Planning Staff

**DATE:** July 26, 2022

**SUBJECT:** Request of Eric R. Pena, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar at N98.5' Lot 1 Blk 1, Fairway North Subdivision, Hidalgo County, Texas; 2001 South 10th Street. (CUP2022-0100)

**DESCRIPTION:**

The property is located at the southeast corner of South 10<sup>th</sup> Street and Toronto Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, west and south, R-3A and R-3C District to the east. Surrounding land uses include McAllen Country Club, Logan’s Roadhouse, McCreery Aviation Co., La Placita retail plaza, Fairway Plaza Shopping Center, and condominiums. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

This is the initial request for a bar at this location. This location was previously a restaurant (House of China).

**ANALYSIS/REQUEST:**

The applicant is proposing to operate a bar (Suerte Bar and Grill) from the existing building. The proposed hours of operation are from Sunday- Saturday from 11:00 AM- 2 AM.

The Health Department inspected the bar and determined the property to be in compliance. An inspection from the Fire Department is pending. The Planning Department has received no complaints regarding this use. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

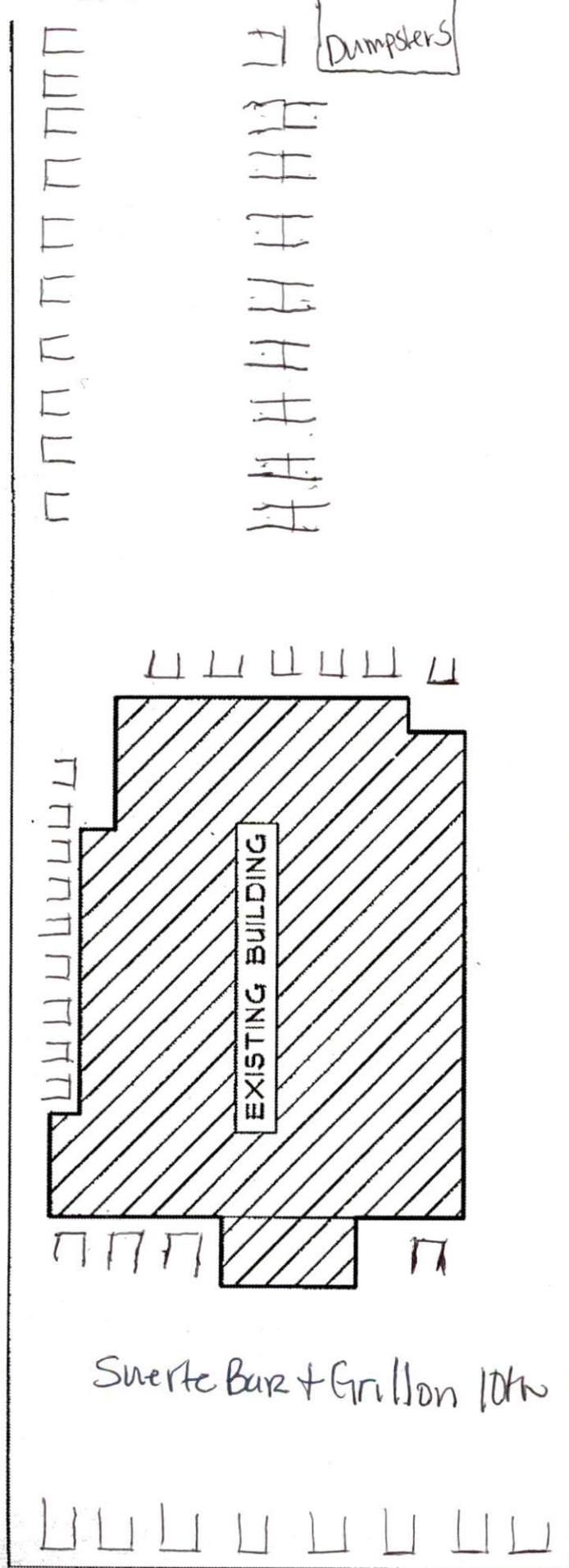
- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of the residential zone/use to the northeast;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to South 10th Street;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. 61 parking spaces are required and 54 are provided as per site plan.
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the Planning and Zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirement #1 and #3 (distance, and parking) of Section 138-118(a)(4) of the Zoning Ordinance.



TORONTO



Dumpsters

EXISTING BUILDING

Snerte Barz + Grillon 10th

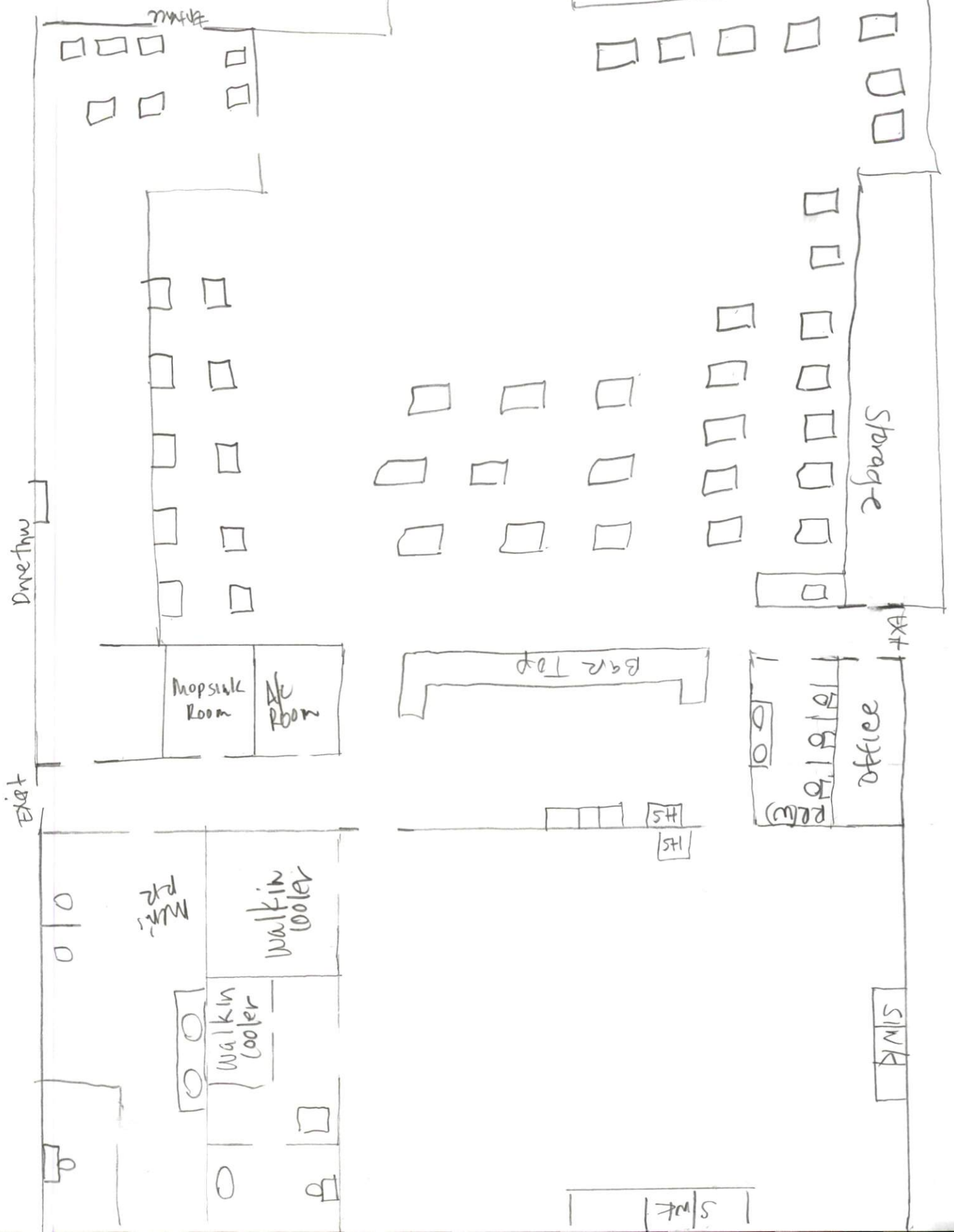
2001 5TH 10TH ST.



2001 S. 10th St  
Sweate Bar + Grill on 10th

Entrance

□ = tables



**NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2022-0100**

 CITY OF McALLEN PLANNING DEPT.  
366-681-1250  
WWW.MCALLEN.NET



 CITY OF  
McALLEN  
PLANNING

PL2003  
525



**Memo**

**TO:** Planning and Zoning Commission

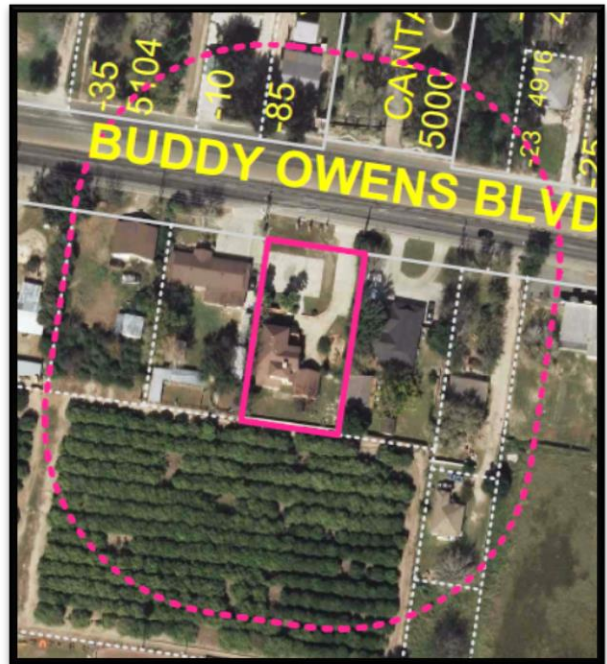
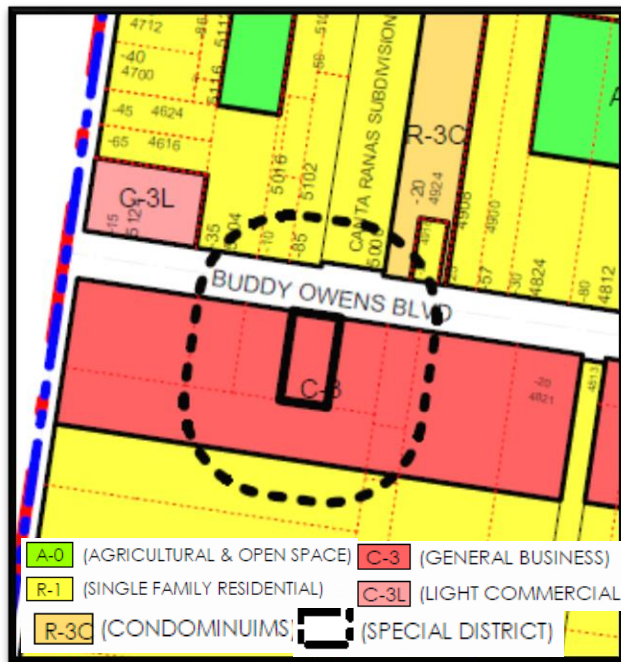
**FROM:** Planning Staff

**DATE:** July 7, 2022

**SUBJECT: REQUEST OF MARIA I. SALAZAR, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A HOME OCCUPATION (BEAUTY SALON), AT .55 ACRES OUT OF LOT 327, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 5009 BUDDY OWENS BOULEVARD. (CUP2022-0089)**

**BRIEF DESCRIPTION:**

The property is located on the south side of Buddy Owens Boulevard, approximately 460 ft. east of North Taylor Road and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the east, south, and west, with R-1 (single family residential) District to the north across Buddy Owens Boulevard. Surrounding land uses include commercial and single-family residential. A home occupation is permitted in the C-3 district with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

According to the Hidalgo County Appraisal District, the home was built in 1987. The City of McAllen annexed the property in 1999 with an existing residential structure. The conditional use permit application for a home occupation was submitted on June 10, 2022.

**REQUEST/ANALYSIS:**

The applicant is proposing to operate a beauty salon from an approximately 528 sq. ft. area within the existing residence. The proposed hours of operation will be 9:00 AM to 5:00 PM, Monday through Friday and 9:00 AM to 1:00 PM Saturdays; the beauty salon will be closed on Sundays.

Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The home occupation may not be operational until the issuance of the certificate. The Fire Department has inspected the building, and the building was compliant with requirements. The business must comply with requirements set forth in Section 138-118(a)(1) of the Zoning Ordinance and the specific requirements are as follows:

- 1) The home occupation must be clearly secondary to the residential use;
- 2) No signs are permitted. No sign is proposed or installed;
- 3) There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling;
- 4) There shall be no more than one additional unrelated employee other than immediate members of the family residing on the premises. There will be no additional unrelated employees.
- 5) There shall be no outside storage of materials or products. The applicant does not propose any outside storage;
- 6) The permitted use shall not create frequent or heavy traffic, not greater than ten percent (10%) of the average load per hour as determined by the city traffic engineer.
- 7) No retail sales (items can be delivered). The applicant did not propose any retail sales from home;
- 8) No additions to the residence or accessory building specifically to accommodate the business. The applicant proposes no additions or accessory building to accommodate the business.
- 9) The business must take place in the primary residential structure on the property rather than in a detached garage or separate accessory building. The occupation is proposed to take place in the primary residential structure; and
- 10) The activity must take place at the location for which the permit was issued.

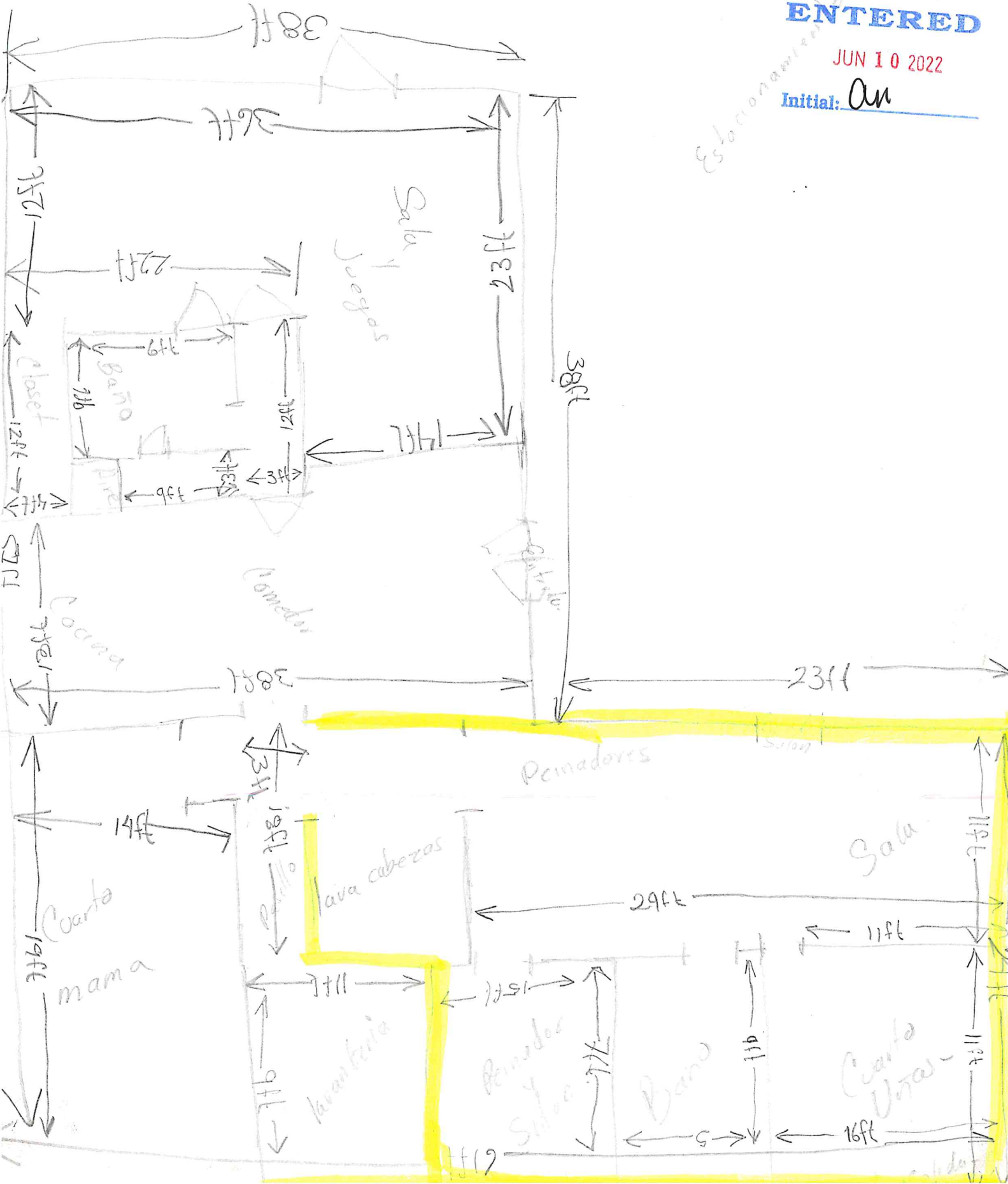
**RECOMMENDATION:**

Staff recommends approval of the request, for one year, subject to compliance with the requirements in Section 138-118(a)(1) of the Zoning Ordinance and Fire Department requirements.

5009 Buddy Wells Blvd. Meador Tx 78504  
Eslocamiento

# Planta baja

**ENTERED**  
JUN 10 2022  
Initial: an



ISABELL CASTILLO  
BORN FEBRUARY 17, 1988  
YOUR AUNT'S HEALTH SERVICES  
WAS FOR YOUR LOVE AT THE  
LIVING AREA  
THANK YOU FOR ALL THE SERVICES  
YOU PROVIDED TO MY AUNT  
ISABELL CASTILLO

FIRE  
EXTINGUISHER



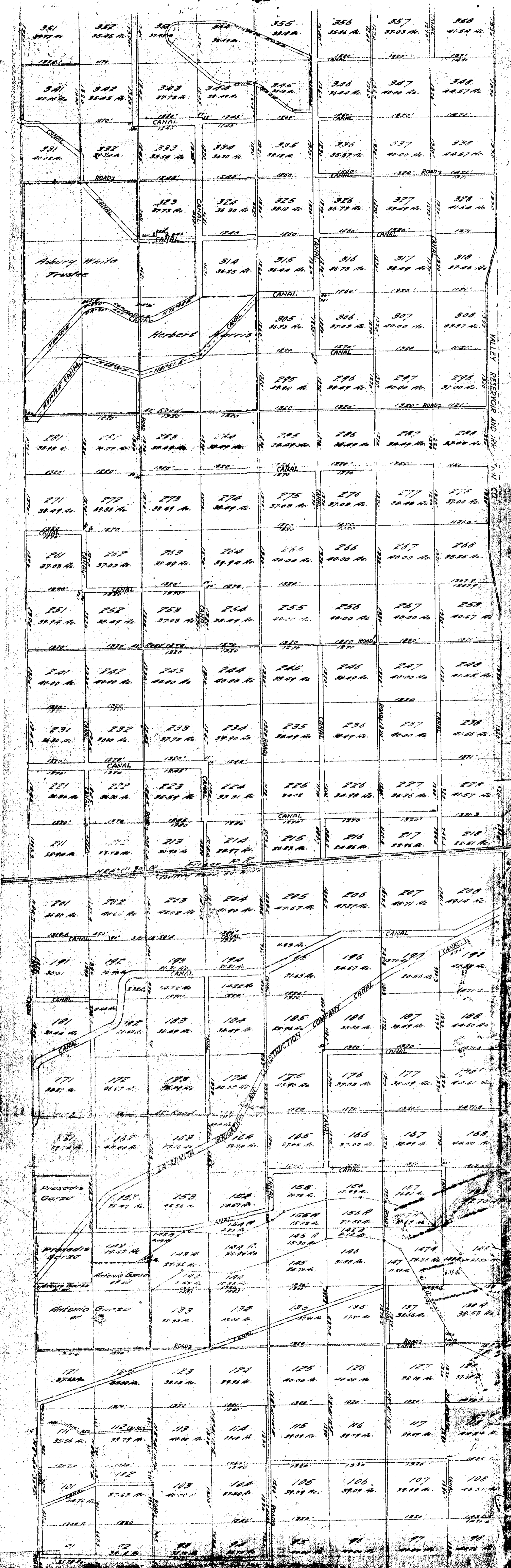
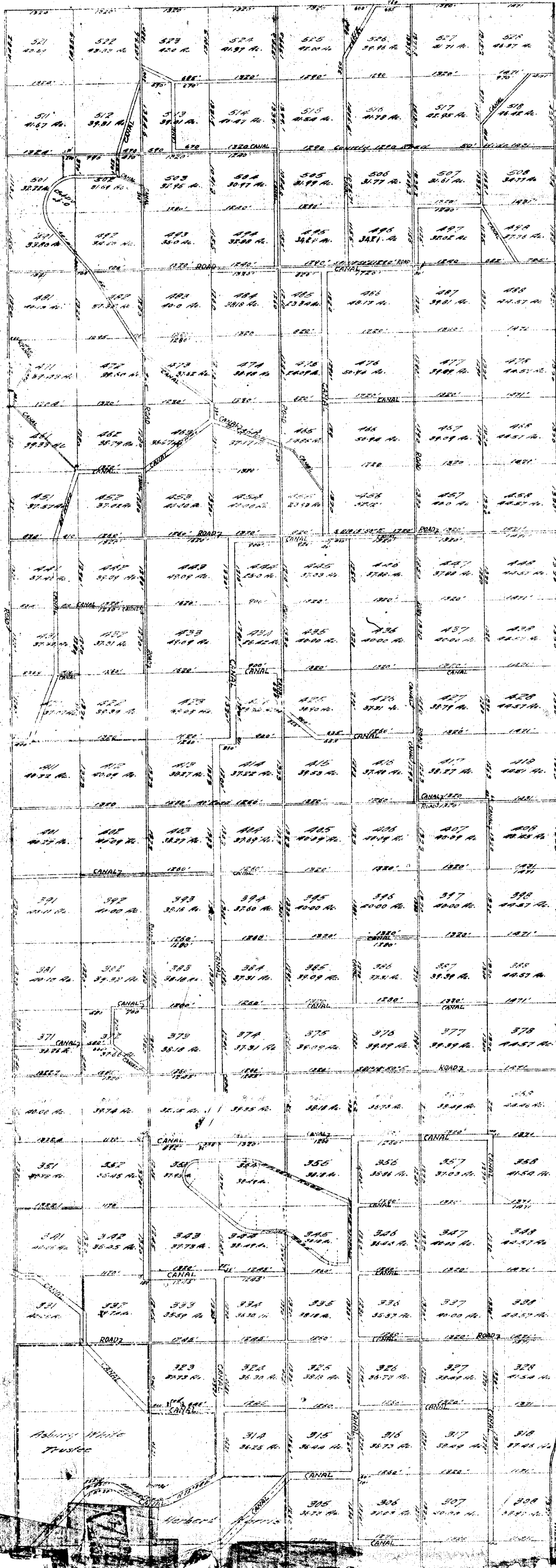
**NOTICE  
HOME  
OCCUPATION  
FOR  
THIS PROPERTY  
CUP2022-0089**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





# AMENDED MAP OF JOHN H. SHARY SUBDIVISION OF PORCTIONS 58, 59 & 60, HIDALGO COUNTY TEXAS SCALE 1"=1000'



# Planning Department

## Memo

**TO:** Planning and Zoning Commission

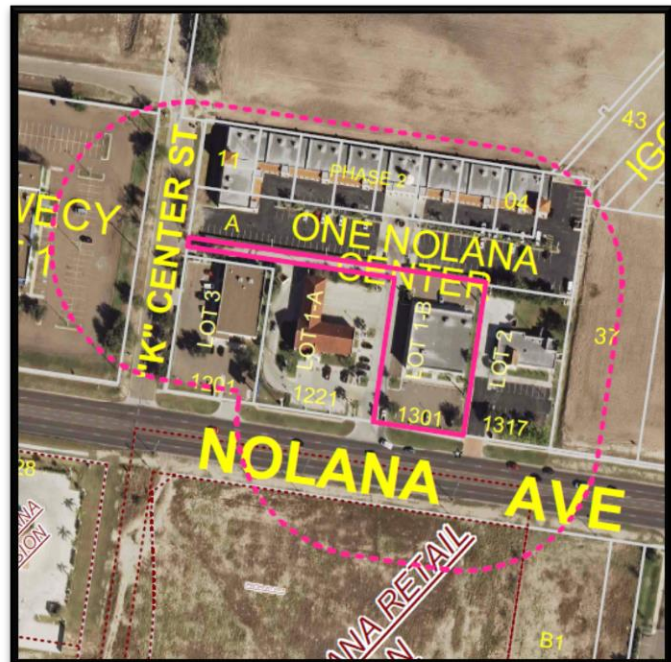
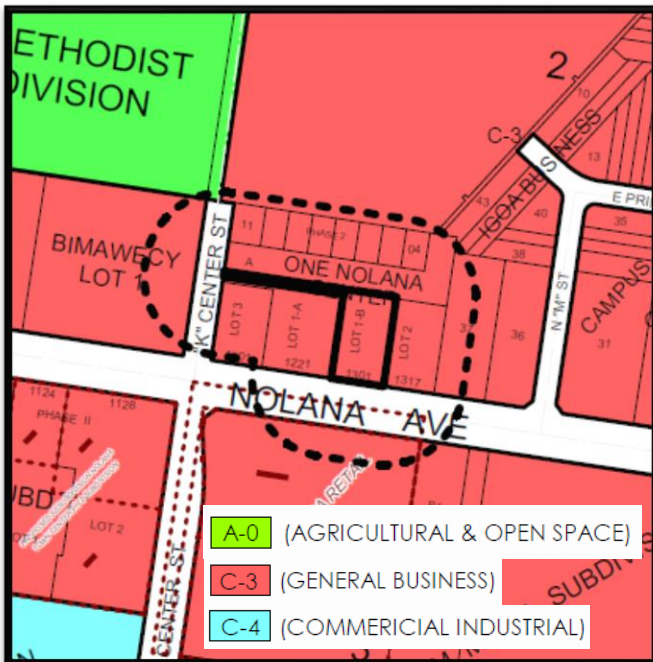
**FROM:** Planning Staff

**DATE:** July 7 2022

**SUBJECT: REQUEST OF SANDRA E. HERNANDEZ ON BEHALF OF TEXAS COLLEGE OF HEALTHCARE PROFESSIONALS, LLC FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (DENTAL ASSISTANT SCHOOL) AT LOT 1-B OF LOTS 1-A, 1-B & 1-C ONE NOLANA CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 1309 EAST NOLANA AVENUE, SUITE B. (CUP2022-0092)**

### BRIEF DESCRIPTION:

The property is located on the north side of Nolana Avenue, approximately 900 ft. west of Jackson Road. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include a KRGV Channel 5 television broadcasting studio, Freedom Bank, and O'Reilly's Auto Parts. An institutional use is permitted in the C-3 district with a conditional use permit.



### HISTORY:

The plat for Lots 1-A, 1-B & 1-C One Nolana Center Subdivision was recorded on December 11, 2000. According to the Hidalgo County Appraisal District, the structure on the property was built in 2005. The application for a conditional use permit for the proposed Texas College of Healthcare Professionals LLC was submitted on June 15, 2022.

**SUMMARY/ANALYSIS:**

The applicant is proposing to operate a dental assistant school from the 2,380 square feet lease space. The dental assistant school will have a reception office and admissions office that are proposed to operate Monday through Friday 8:00 a.m. to 5:00 p.m. Classes will be offered between 5:00 p.m. and 10:00 p.m. in four adjoining classrooms.

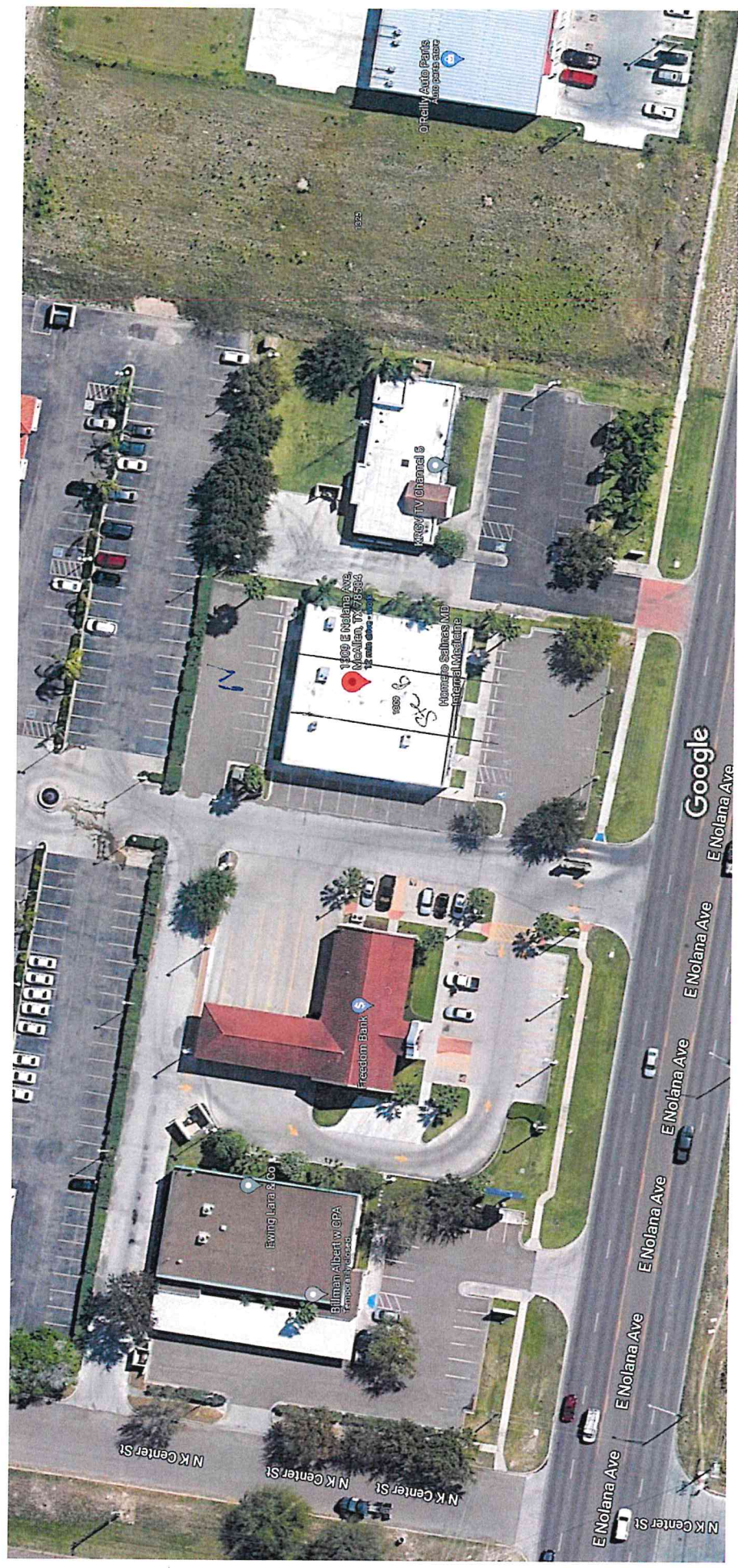
Based on (5) parking spaces per classroom area and (1.5) parking spaces per administration office, 23 parking spaces are required; 41 parking spaces are provided on site. The parking spaces are provided as part of shared parking with the existing commercial development. The parking requirement for the proposed dental assistant school is in compliance since the adjoining offices close at 5:00 p.m. and operate Monday through Friday.

The Fire Department conducted an inspection and the result was satisfactory. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial; the property fronts Nolana Avenue.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas; 23 parking spaces are required, 41 spaces are provided on site. The parking spaces are provided as common parking for the existing commercial development.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance.

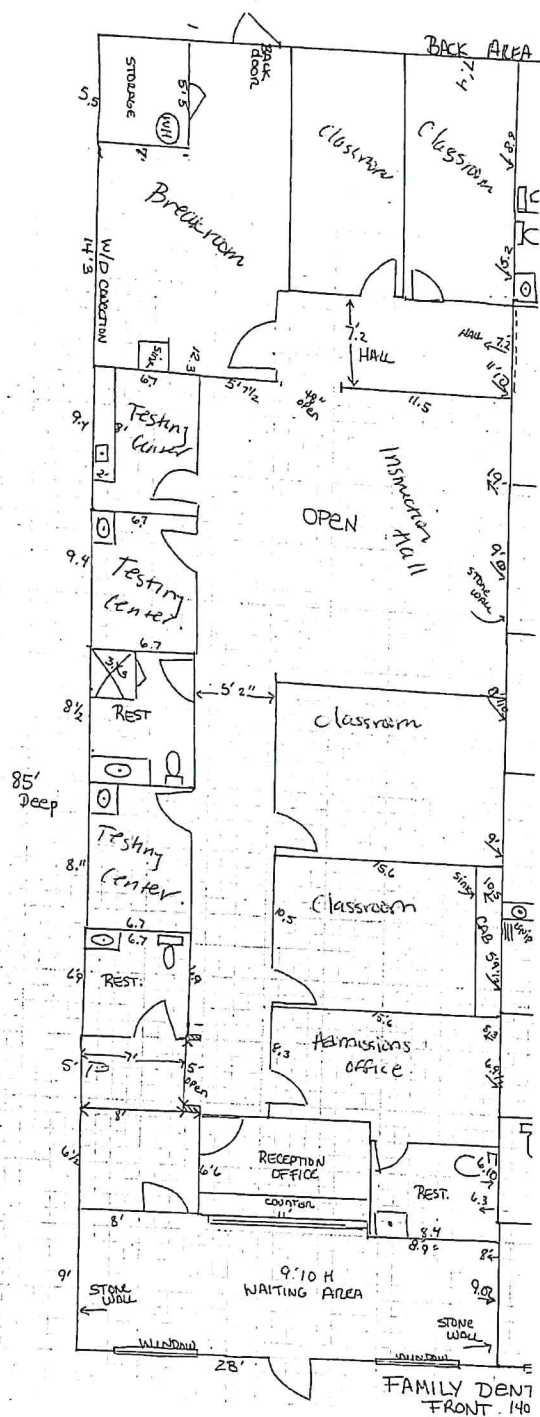
**RECOMMENDATION:**

Staff recommends approval of the request, for one year, subject to compliance to the aforementioned conditions, Zoning Ordinance, Fire Department requirements, and building permit requirements.

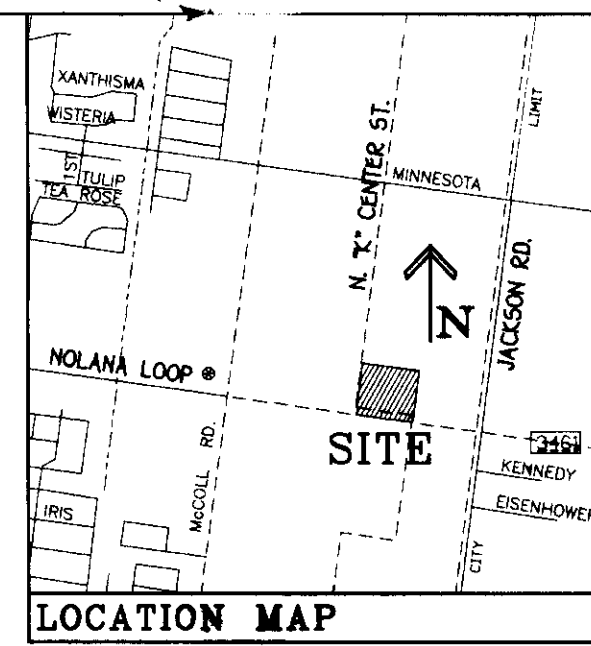
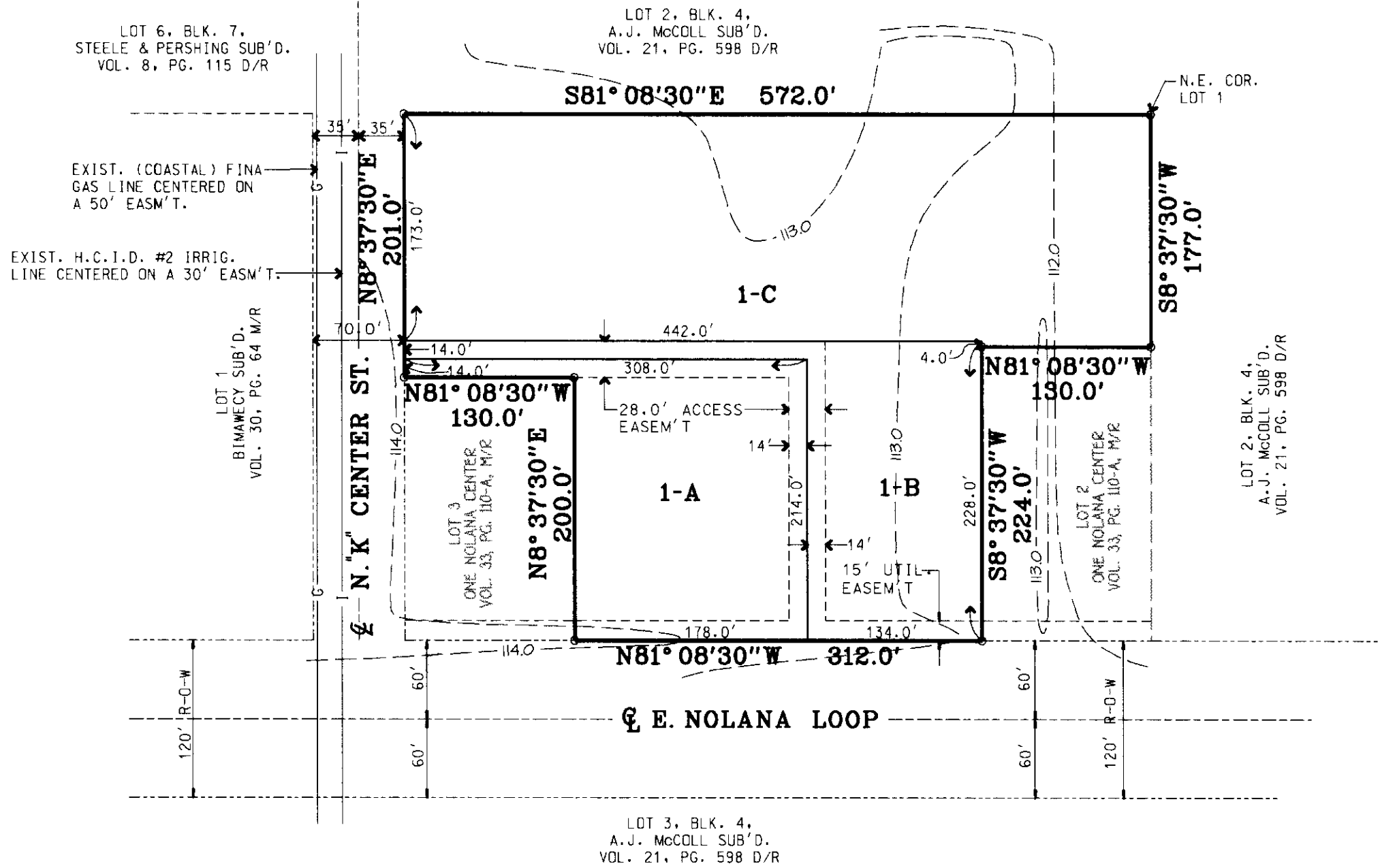


Map data ©2022, Map data ©2022 Google 50 ft

N



S



- NOTES:
- MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
    - E. NOLANA LOOP - 60 FT OR GREATER FOR APPROVED SITE PLAN
    - NORTH "K" CENTER ST. - 35 FT OR GREATER FOR APPROVED SITE PLAN
    - ALL OTHERS IN ACCORDANCE WITH ZONING ORDINANCE, EASEMENTS OR APPROVED SITE PLAN, WHICHEVER REQUIRES THE GREATER SETBACK
  - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
  - THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480343 0010, DATED 11-2-82.
  - OWNER IS REQUIRED TO PROVIDE AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPT. PRIOR TO APPLICATION FOR BUILDING PERMIT.
  - A 6 FT HIGH OPAQUE BUFFER IS REQUIRED FROM ADJACENT RESIDENTIAL ZONE/USE.
  - SITE PLAN MUST BE APPROVED BY THE PLANNING & ZONING COMMISSION PRIOR TO ISSUANCE OF ANY BUILDING PERMITS AND SITE PLAN WILL BE FOR THE BENEFIT OF ALL LOT OWNERS AND WILL INCLUDE COMMON PARKING, CURB CUTS, LANDSCAPING AND SETBACKS.
  - DRAINAGE DETENTION OF 0.51 AC-FT IS REQUIRED FOR THIS PROPERTY.
  - 4 FT SIDEWALK IS REQUIRED ON E. NOLANA LOOP AND ON NORTH "K" CENTER ST.
  - 28 FT ACCESS EASEMENT IS FOR THE BENEFIT OF ALL LOTS AND MAINTAINED BY THE PROPERTY OWNERS.

jd-onolana4.0LI  
 METES AND BOUNDS  
 DESCRIPTION OF LOT 1, ONE NOLANA CENTER, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 33, PAGE 110-A, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the Northeast corner of Lot 1, for the Northeast corner of the following described tract of land;  
 THENCE, with the most Easterly East line of Lot 1, South 8 Deg. 37 Min. 30 Sec. West, 177.0 feet to the most Northerly Southeast corner of Lot 1, for the most Northerly Southeast corner hereof;  
 THENCE, with the most Northerly South line of Lot 1, North 81 Deg. 08 Min. 30 Sec. West, 130.0 feet to an interior corner of Lot 1, for an interior corner hereof;  
 THENCE, with the most Westerly East line of Lot 1, South 8 Deg. 37 Min. 30 Sec. West, 224.0 feet to the most Southerly Southeast corner of Lot 1, for the most Southerly Southeast corner hereof; said point being on the North line of East Nolana Loop;  
 THENCE, with the most Southerly West line of Lot 1, and the North line of East Nolana Loop, North 81 Deg. 08 Min. 30 Sec. West, 312.0 feet to the most Southerly Southwest corner of Lot 1, for the most Southerly Southwest corner hereof;  
 THENCE, with the most Easterly West line of Lot 1, North 8 Deg. 37 Min. 30 Sec. East, 200.0 feet to an interior corner of Lot 1, for an interior corner hereof;  
 THENCE, with the middle South line of Lot 1, North 81 Deg. 08 Min. 30 Sec. West, 130.0 feet to the most Northerly Southwest corner of Lot 1, for the most Northerly Southwest corner hereof; said point being on the East line of North "K" Center Street;  
 THENCE, with the most Westerly West line of Lot 1, and the East line of North "K" Center Street, North 8 Deg. 37 Min. 30 Sec. East, 201.0 feet to the Northwest corner of Lot 1, for the Northwest corner hereof;  
 THENCE, with the North line of Lot 1, South 81 Deg. 08 Min. 30 Sec. East, 572.0 feet to the POINT OF BEGINNING. Containing 4.0 acres of land, more or less.

MAP OF  
**LOTS 1-A, 1-B & 1-C**  
**ONE NOLANA CENTER**

McALLEN, TEXAS

Recorded in Volume 37 Page 13A  
 of the map records of Hidalgo County, Texas  
 Weiden and Hunt, Inc.

BEING A RESUBDIVISION OF LOT 1,  
 ONE NOLANA CENTER,  
 McALLEN, TEXAS,  
 AS REC. IN VOL. 33, PG. 110-A MR,  
 HIDALGO COUNTY, TEXAS  
 CONTAINING 4.0 AC. OF LAND, MORE OR LESS

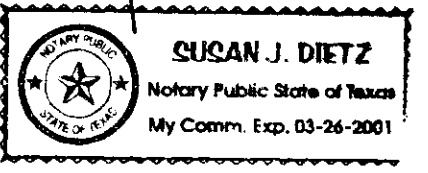
PREPARED BY:  
**FADIAN NELSON & MEDINA, INC.**  
 320 N. 5TH STREET, McALLEN, TEXAS  
 SCALE: 1"=100' DATE: 10-5-00  
 PHONE: 682-5444

FILED FOR RECORD IN:  
 HIDALGO COUNTY  
 BY J.D. SALINAS, III  
 COUNTY CLERK  
 ON: 12-11-00 AT 8:45 AM PM  
 AS A RECORDING NUMBER 927167  
 BY: J.D. Salinas DEPUTY

STATE OF TEXAS  
 COUNTY OF HIDALGO  
 I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE ONE NOLANA CENTER SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, PUBLICLY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CALL TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

STATE OF TEXAS  
 COUNTY OF HIDALGO  
 I, (WE), THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS LOTS 1-A, 1-B & 1-C ONE NOLANA CENTER SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

STATE OF TEXAS  
 COUNTY OF HIDALGO  
 BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DOUG BREADY, VICE PRESIDENT OF TEXAS STATE BANK KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 3rd DAY OF November, 2000.



STATE OF TEXAS:  
 COUNTY OF HIDALGO:

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

LOTS 1-A, 1-B & 1-C

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE ONE NOLANA CENTER SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, PUBLICLY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CALL TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

G.A. Smith Jr.  
 G.A. SMITH JR.  
 3827 NORTH 10TH STREET  
 SUITE 304  
 McALLEN, TEXAS 78501

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED G.A. SMITH JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 3rd DAY OF November, 2000.



Jane Ellen Rios  
 JANE ELLEN RIOS  
 MY COMMISSION EXPIRES  
 December 5, 2002  
 NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

D. Bouley  
 D. BOULEY  
 CHAIRMAN, PLANNING COMMISSION

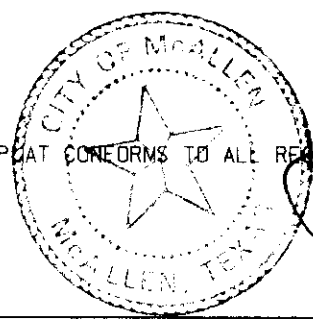
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 1590 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

Plinio C. Medina  
 PLINIO C. MEDINA  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 McALLEN, TEXAS

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

Stephen Spoor  
 11-3-00  
 REGISTERED PROFESSIONAL ENGINEER  
 P.E. REGISTRATION NO. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.



Mayor  
 MAYOR, CITY OF McALLEN

**Memo**

**TO:** Planning and Zoning Commission

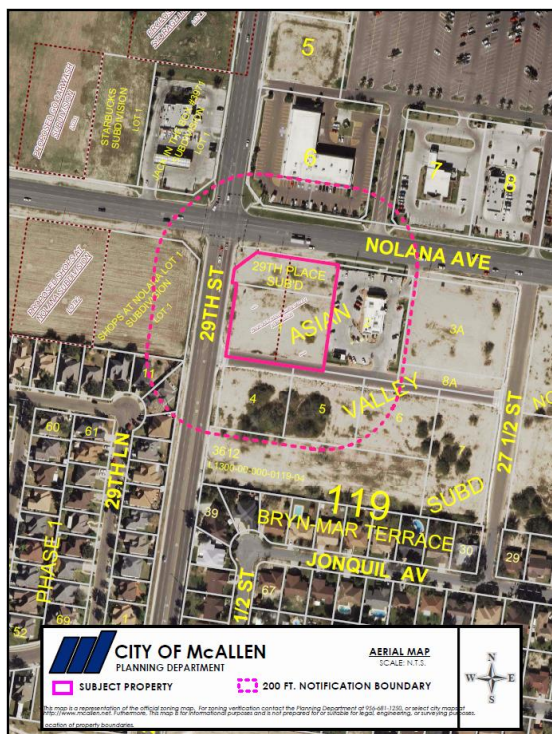
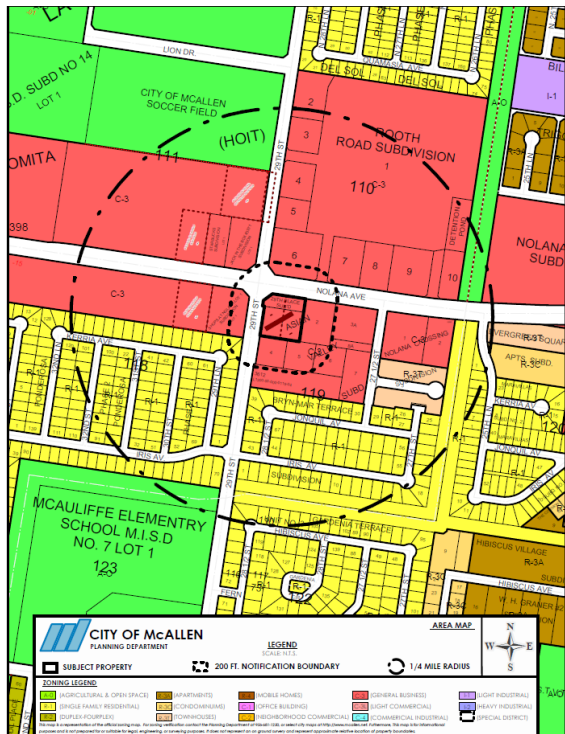
**FROM:** Planning Staff

**DATE:** July 26, 2022

**SUBJECT: REQUEST OF ANDRE SUTIONO FOR A CONDITIONAL USE PERMIT, FOR THE LIFE OF THE USE, FOR AN AUTOMOTIVE SERVICE AND REPAIR SHOP (OIL CHANGE SHOP) AT LOT A, 29<sup>TH</sup> PLACE SUBDIVISION AND LOT 1, ASIAN VALLEY SUBDIVISION (PROPOSED VACATING & REPLAT OF ASIAN VALLEY SUBDIVISION LOT 1 AND 29TH PLACE SUBDIVISION LOT A AND ASIAN VALLEY LOTS 1A & 1B), HIDALGO COUNTY, TEXAS; 2813 NOLANA AVENUE. (CUP2022-0099)**

**BRIEF DESCRIPTION:**

The property is located on the corner of 29<sup>th</sup> Street and Nolana Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions, with an R-1 (single family residential) District south west across 29<sup>th</sup> Street. Surrounding land uses include McDonalds restaurants, CareNow health emergency facility, Goodwill Thrift Store, and 7-Eleven convenience store. An automotive service and repair business is allowed in a C-3 zoning district with a conditional use permit and in compliance with requirements. The subject properties are currently vacant and undergoing a re-plat process for commercial use.



**REQUEST/ANALYSIS:**

The applicant is proposing to use the property, after the completion of the re-platting process, as an oil change shop. The proposed oil change shop will use 1,438 square feet in size. The proposed hours of operations for said oil change shop are between 7:00 AM to 7:00 PM Monday through Saturday, and 9:00 AM to 5:00 PM on Sundays.

The Fire Department will conduct inspections (after construction of building is completed and prior to occupancy); pending approval of the building permit and conditional use permit request.

The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The proposed subject property (Lot 1-B) is 33,524 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The work will be performed in the workshop area.
- 3) Outside storage of materials is prohibited.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence.
- 5) A 6 ft. opaque fence to buffer the proposed use from any residential use or residentially zoned area is required (if applicable).
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

The Planning Department has not received any phone calls, emails, or letters in opposition to the request.

**RECOMMENDATION:**

Staff recommends approval of the request for the life of the use, subject to compliance with Section 138-281 of the Zoning Ordinance, Fire, Health, Building Permits and Inspections, and other departments' requirements and conditions.



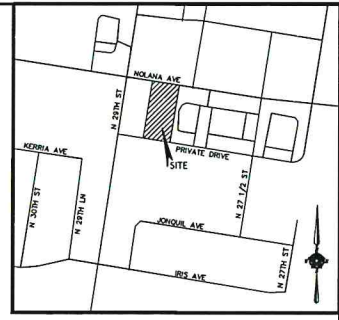
**CAUTION NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**FLOODNOTE**  
 FLOOD ZONE DESIGNATION: "ZONE B" - AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVES FROM THE BASE FLOOD.  
 COMMUNITY-PANEL NUMBER: 480340005C  
 MAP REVISED: NOVEMBER 2, 1982

**BENCHMARKS**  
 COMMENCING AND POINT OF BEGINNING: AT THE COMMON CORNER FOR LOT "A", 29TH PLACE SUBDIVISION AND LOT 2, ASIAN VALLEY SUBDIVISION  
 X = 1067266.6608  
 Y = 16613002.2137

**SITE DATA TABLE**

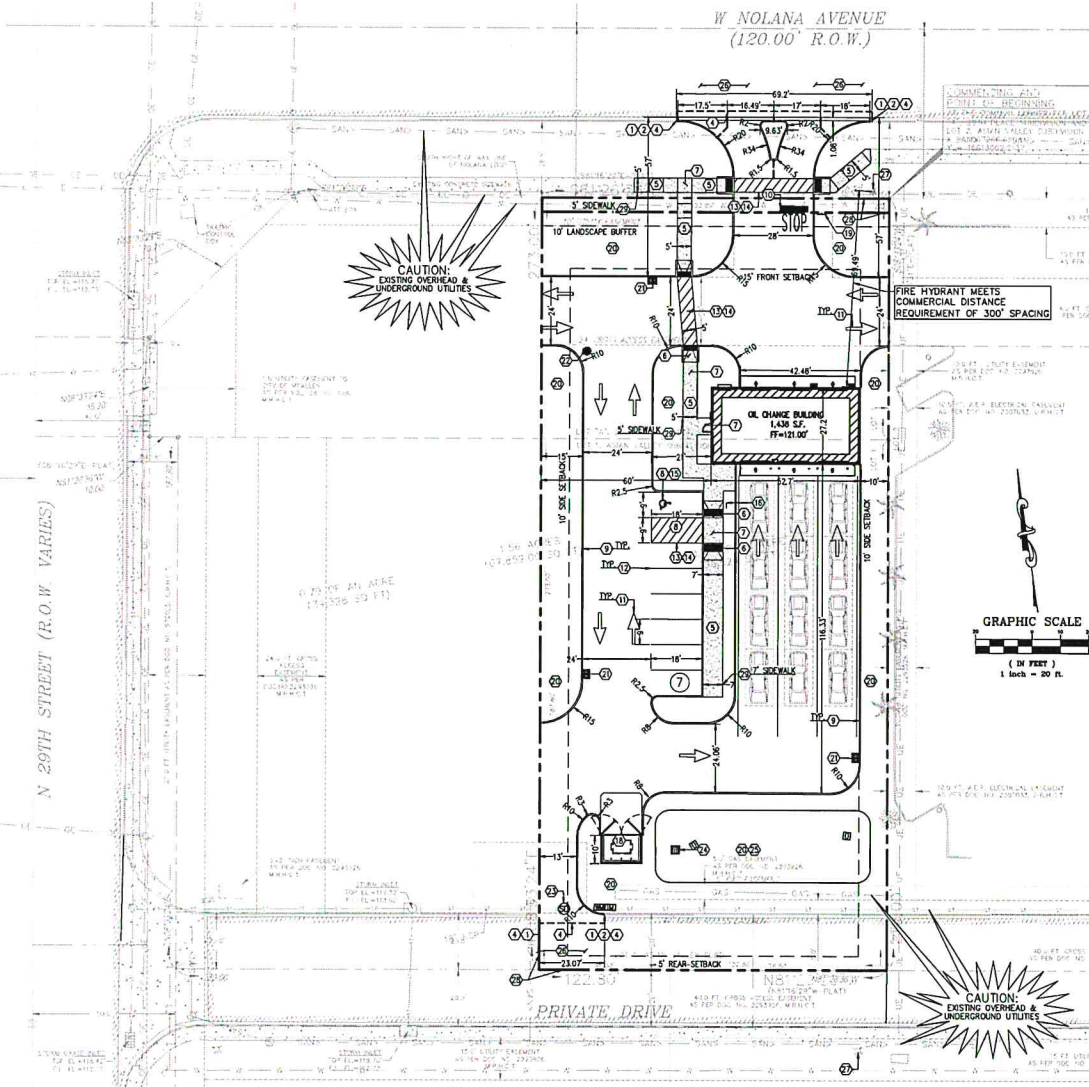
LOCATION:	2825 W NOLANA STREET N STOKES AVE. MCALLEN, TEXAS 78504	
LOT AREA:	0.77 AC. (33,524 S.F.)	
ZONING:	ZONING - C-3	
CURRENT USE:	VACANT	
PROPOSED USE:	AUTO SERVICE AND REPAIR	
BUILDING DATA:	BUILDING AREA: 1,438 S.F. BUILDING HEIGHT: 27'-0" (1 STORY) BUILDING COVERAGE: 4.3% F.A.R.: 0.43:1	
PARKING SUMMARY:	REQUIRED	PROVIDED
1 SP PER 4 SEATS (248 SEATS)	7	6
PARKING SPACES (9'x18')	1	1
ACCESSIBLE SPACES	8	7
TOTAL SPACES		
LANDSCAPE:		
PERVIOUS:	10,851 S.F.	
IMPERVIOUS:	22,673 S.F.	



**LOCATION MAP**  
 NOT TO SCALE

**JM CIVIL**  
 1101 Central Expressway South  
 Suite 215  
 Allen, TX 75013  
 Ph. 214-491-1830  
 John Measell, PE  
 CIVIL ENGINEER

FIRM NO. F-19504  
  
 06/30/2022



- PROPOSED LEGEND:**
- PROPOSED CURB & GUTTER
  - LIMITS OF FULL DEPTH SAWCUT
  - PROPERTY LINE
  - PARKING SPACES
  - STOP BAR STRIPING
  - ACCESSIBLE SPACES
  - ADA RAMP
  - BOLLARD
  - TRAFFIC SIGN
  - 10'x20' CAR FOOTPRINT
  - LIGHT POLE
  - CLEAN-OUT
  - DOUBLE CLEAN-OUT
  - GAS METER
  - WATER METER
  - IRRIGATION METER
  - NYLOPLAST BASIN
  - AREA DRAIN
  - STORM DRAIN MANHOLE
  - NYLOPLAST COMBINATION INLET

- EXISTING LEGEND:**
- PROPERTY LINE
  - EXISTING CURB & GUTTER
  - STORM DRAIN LINE
  - SANITARY SEWER LINE
  - WATER LINE
  - GAS LINE
  - OVERHEAD ELECTRIC LINE
  - UNDERGROUND ELECTRIC LINE
  - POWER POLE
  - LIGHT POLE
  - CLEAN OUT
  - WATER METER
  - ELECTRICAL BOX
  - STOP SIGN
  - TRAFFIC SIGN
  - SANITARY SEWER MANHOLE
  - TRANSFORMER BOX
  - FIRE HYDRANT

- SITE KEY NOTES:**
- MATCH EXISTING PAVEMENT ELEVATION.
  - MATCH EXISTING CURB.
  - TAPER CURB.
  - LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL.
  - 2.00% MAX CROSS SLOPE AND 5.00% MAX LONGITUDINAL SLOPE @ SIDEWALK (PER LOCAL CODES).
  - 2.00% MAX CROSS SLOPE AND 8.33% MAX LONGITUDINAL SLOPE @ RAMP (PER LOCAL CODES).
  - 2.00% MAX IN ALL DIRECTIONS @ LEVEL LANDING (PER LOCAL CODES).
  - 2.00% MAX IN ALL DIRECTIONS @ ADA PARKING STALL (PER LOCAL CODES).
  - PROPOSED CONCRETE CURB AND GUTTER. (PER LOCAL CODES)
  - STOP BAR. (PER LOCAL CODES)
  - DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
  - PARKING STALL STRIPING. (PER LOCAL CODES)
  - 4' WIDE PAINTED STRIPES, 2' OFF CENTER @ 45'.
  - PEDESTRIAN/ACCESSIBLE SIDEWALK STRIPING.
  - ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
  - PROPOSED LIGHT POLE.
  - DUMPSTER ENCLOSURE. (PER CITY DETAIL 401. SEE SHEET C740)
  - "STOP" SIGN.
  - LANDSCAPE AREA. (PER LANDSCAPE PLAN)
  - PROPOSED NYLOPLAST COMBINATION INLET.
  - PROPOSED 36" NYLOPLAST BASIN.
  - PROPOSED 4" DIA MANHOLE.
  - PROPOSED OUTFALL STRUCTURE.
  - DETECTION BASIN.
  - EXISTING PAVEMENT TO REMAIN.
  - EXISTING FIRE HYDRANT.
  - PROPOSED PROPERTY LINES
  - SIDEWALK WIDTH



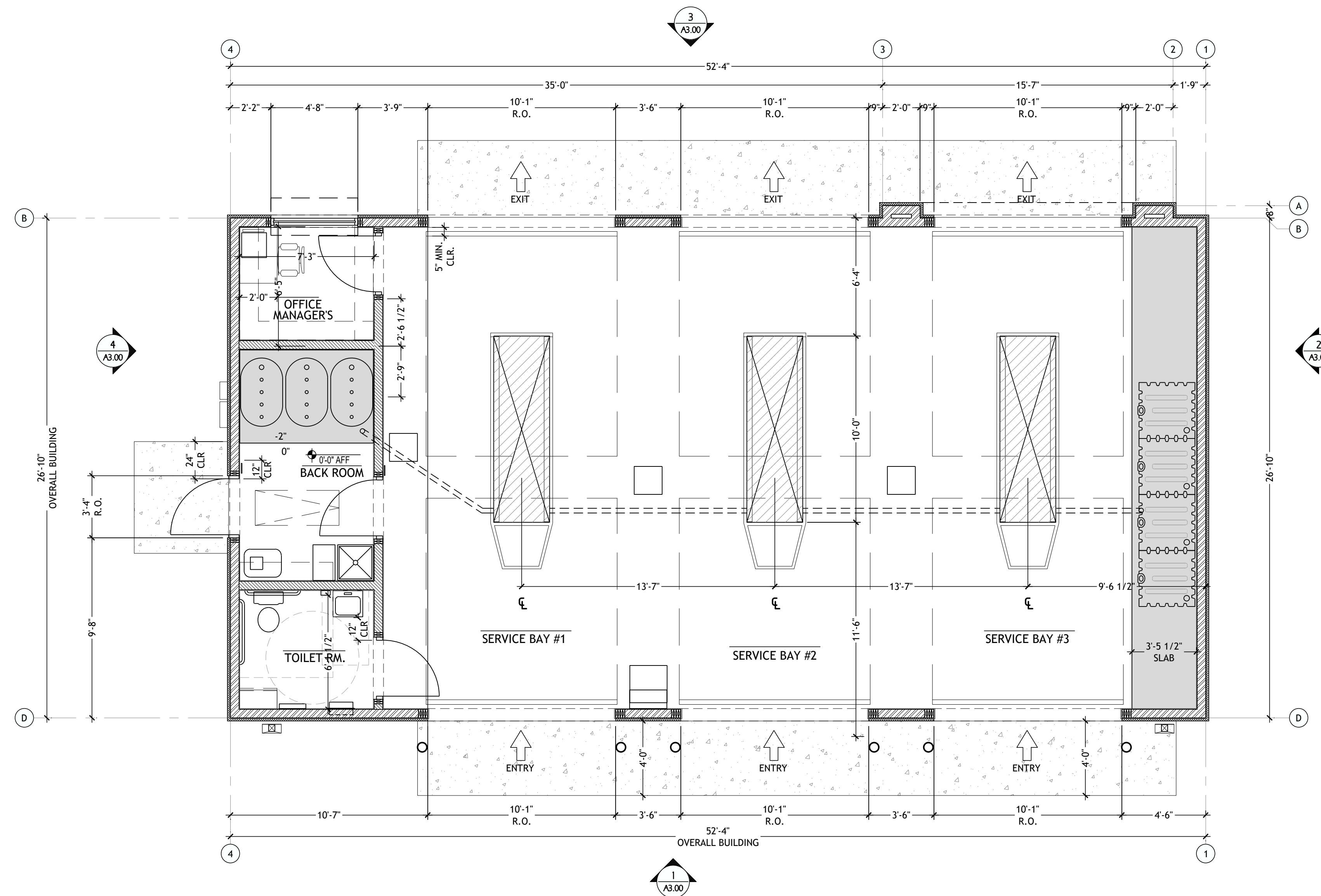
TAKE FIVE OIL CHANGE  
 2825 W NOLANA AVE  
 MCALLEN, TX 78501  
 CONDITIONAL USE PERMIT

NO.	DATE	DESCRIPTION	BY	CHKD.
1	06/30/22	PREPARED	JM	JM
2	06/30/22	CHECKED	JM	JM
3	06/30/22	APPROVED	JM	JM



CUP  
 C 105

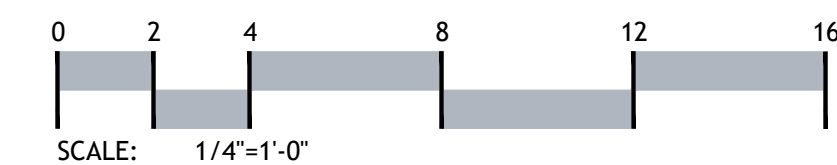
2: NAME THE OIL-CHANGE - MCALLEN, TX, CURRENT DRAWING: JLM-TD01033, MCALLEN, TX, MASTERFILE: 6/29/2022 11:37 AM, JLM, VCA

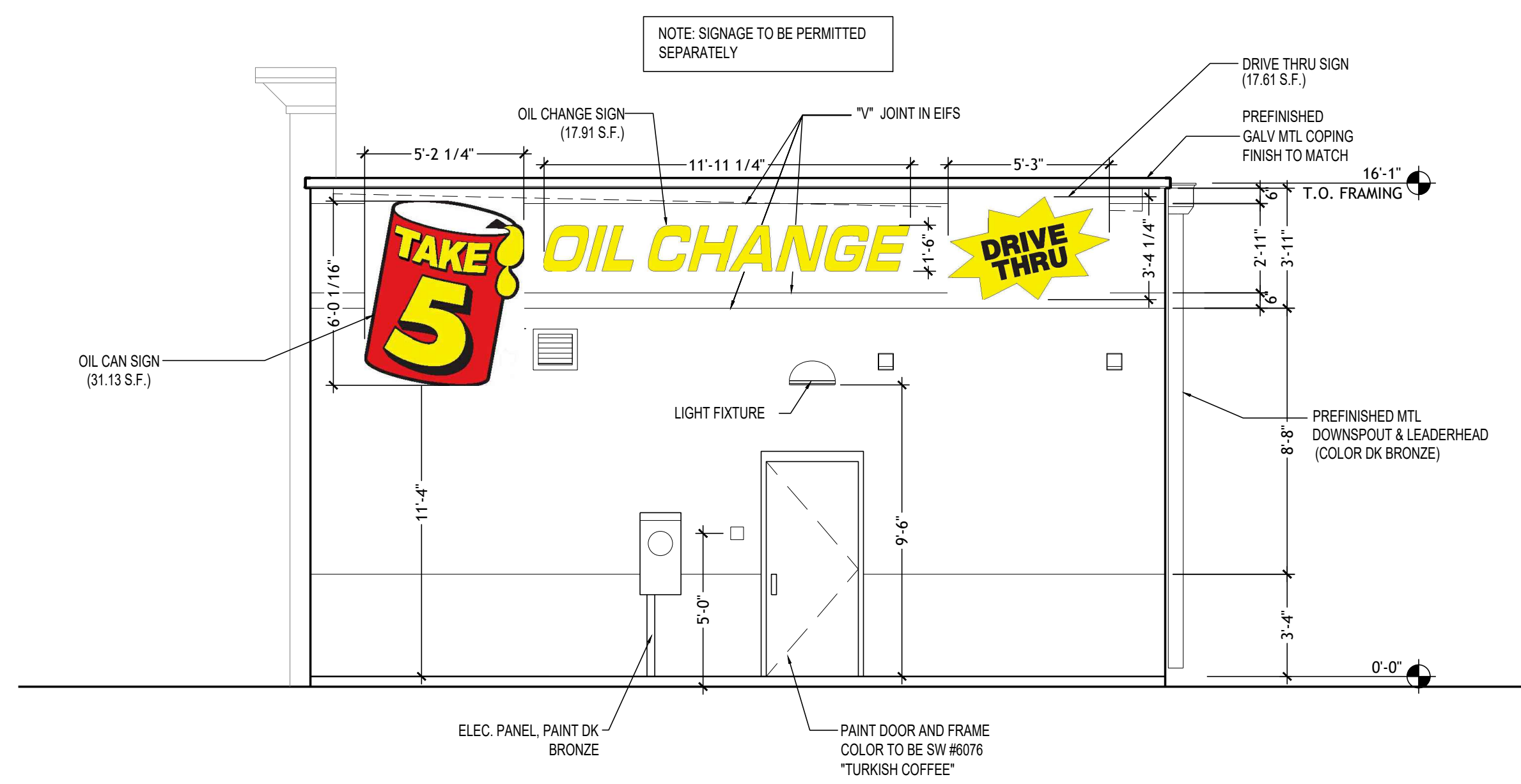


FLOOR PLAN EXHIBIT  
 DATE : 4-5-22  
 SCALE : 1/4" = 1'-0"

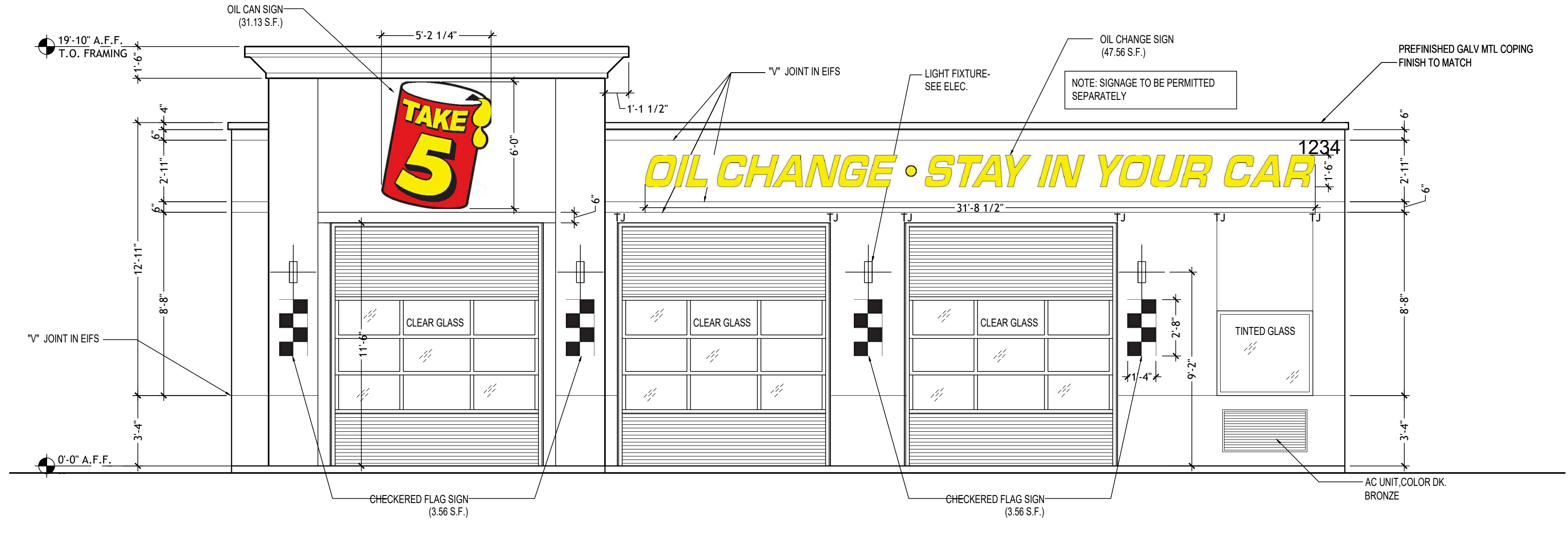
# TAKE 5 OIL CHANGE

N. 29th St. & NOLANA AVE.  
 McALLEN, TX.

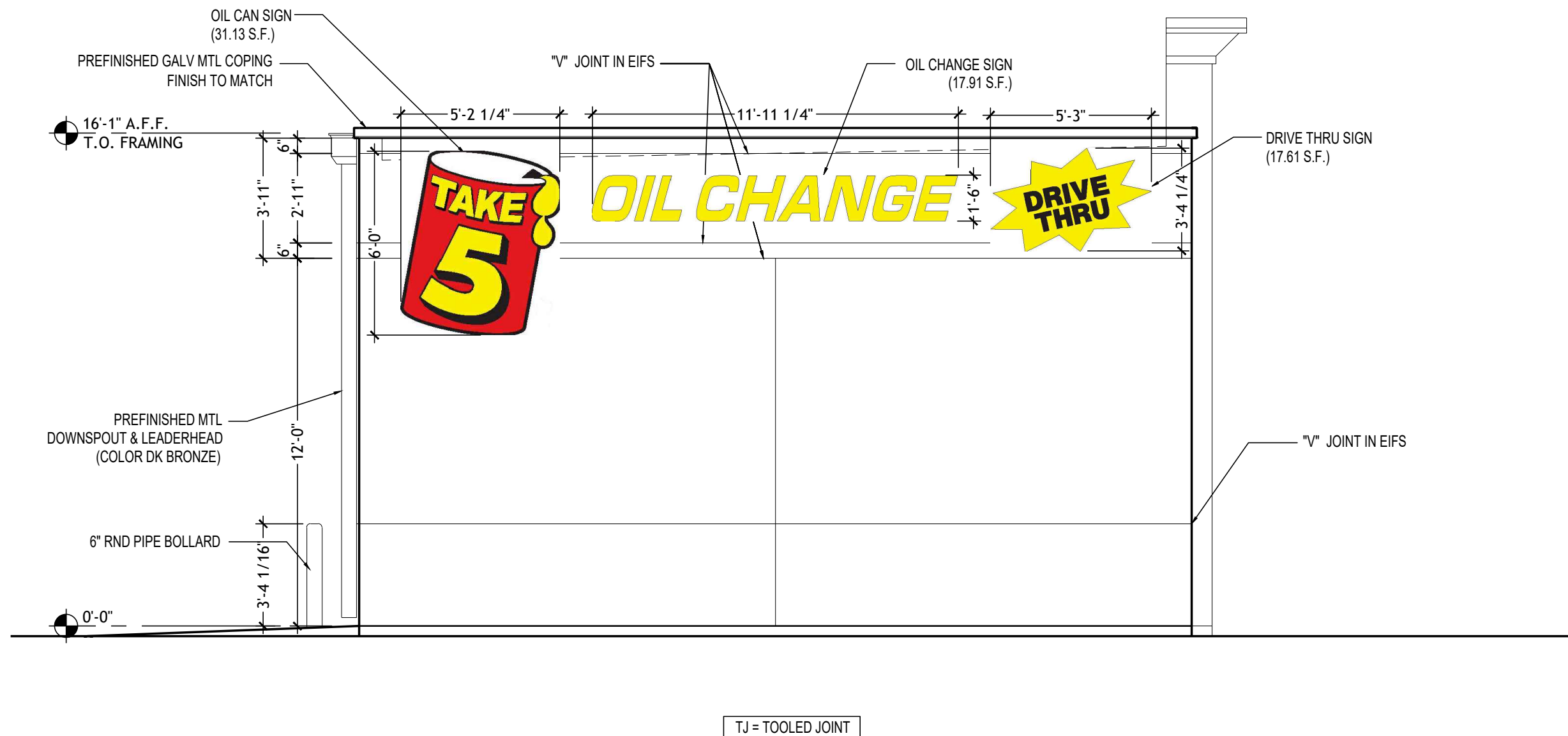




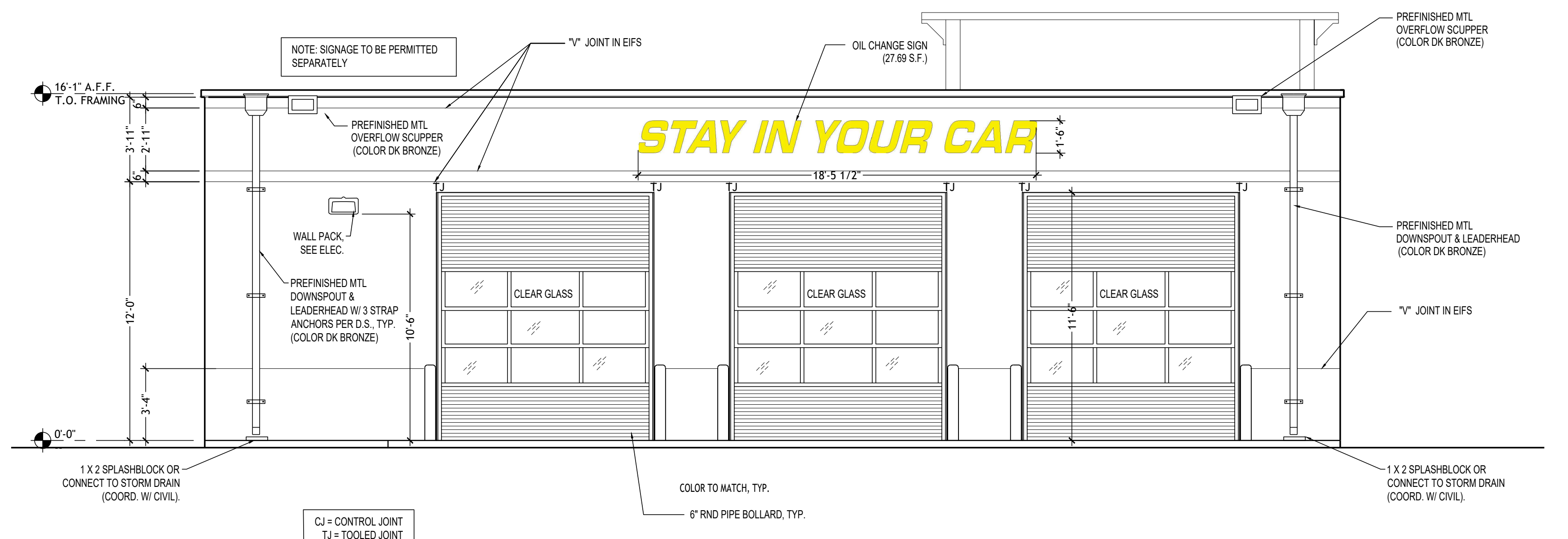
4 WEST ELEVATION  
1/4"=1'-0"



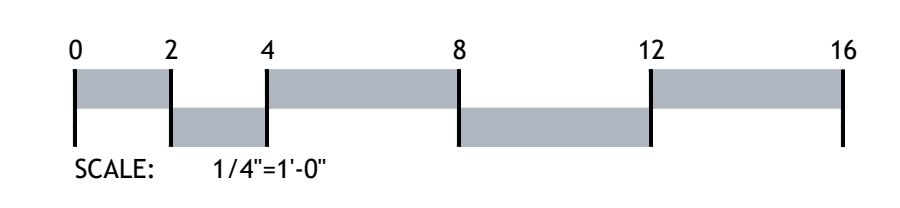
3 NORTH ELEVATION  
1/4"=1'-0"



2 EAST ELEVATION  
1/4"=1'-0"

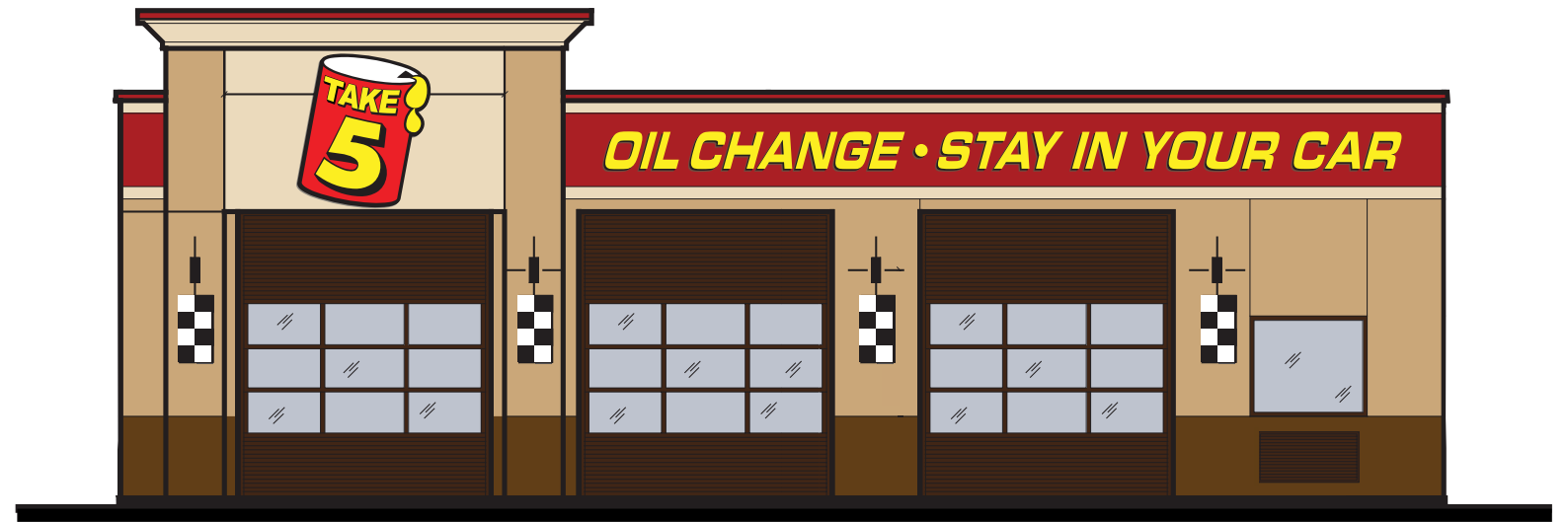


1 SOUTH ELEVATION  
1/4"=1'-0"

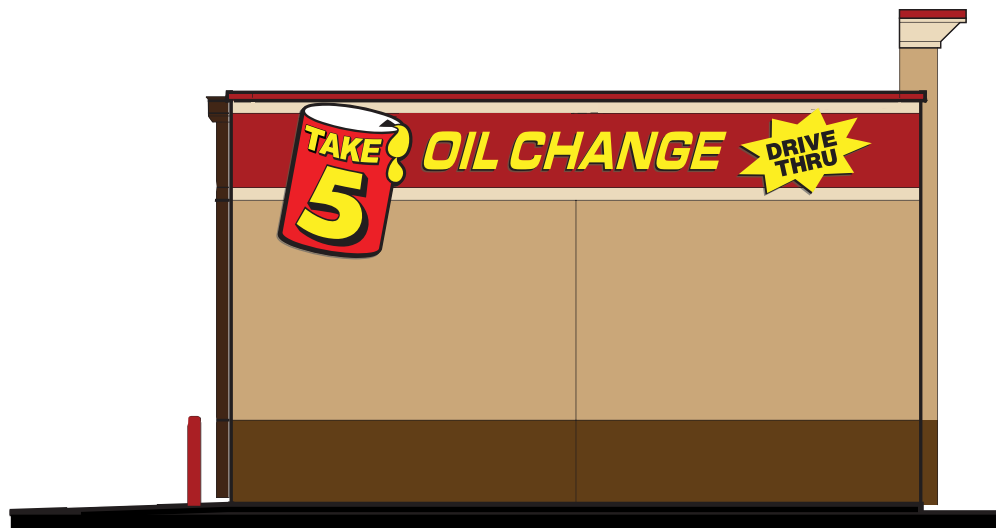




4 WEST ELEVATION  
1/4"=1'-0"



3 NORTH ELEVATION  
1/4"=1'-0"



2 EAST ELEVATION  
1/4"=1'-0"



1 SOUTH ELEVATION  
1/4"=1'-0"

SW 7693 Stonebriar  
EIFS or Stucco Finish ,  
color match Sherwin Williams  
SW 7693 STONEBRIAR

SW 6097 Sturdy Brown  
EIFS or Stucco Finish ,  
color match Sherwin Williams  
SW 6097 STURDY BROWN

SW 6871 Positive Red  
Coping ,  
color match Sherwin Williams  
SW 6871 POSITIVE RED

SW 6097 Sturdy Brown  
Man & Overhead doors ,  
color match Sherwin Williams  
SW 6097 STURDY BROWN

SW 7678 Cottage Cream  
EIFS or Stucco Finish ,  
color match Sherwin Williams  
SW 7678 COTTAGE CREAM

SW 6871 Positive Red  
EIFS or Stucco Finish ,  
color match Sherwin Williams  
SW 6871 POSITIVE RED

SW 6871 Positive Red  
Bollards ,  
color match Sherwin Williams  
SW 6871 POSITIVE RED

Downspouts & Scuppers ,  
Mfr'f Pre- Finished  
DARK BRONZE

Disclaimer : Please note this illustration is only a representation. Due to variations in computer software and printers , these illustrations cannot be considered an exact color nor material match.

COLOR ELEVATIONS EXHIBIT  
DATE : 4-5-22  
SCALE : NTS

TAKE 5 OIL CHANGE  
N. 29th St. & NOLANA AVE.  
McALLEN, TX.



**NOTICE  
AUTO  
REPAIR  
FOR  
THIS PROPERTY  
CUP2022-0099**

 CITY OF McALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





## Memo

**TO:** Planning and Zoning Commission

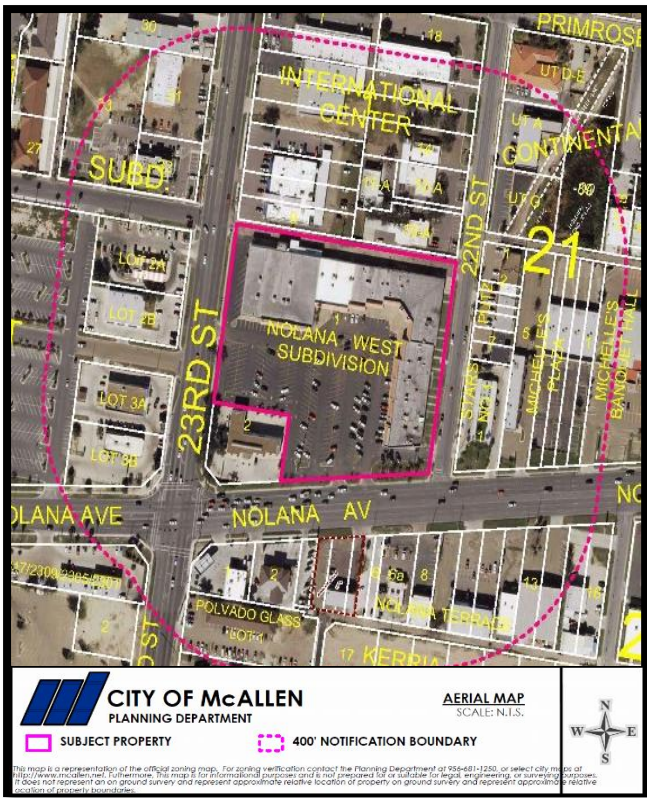
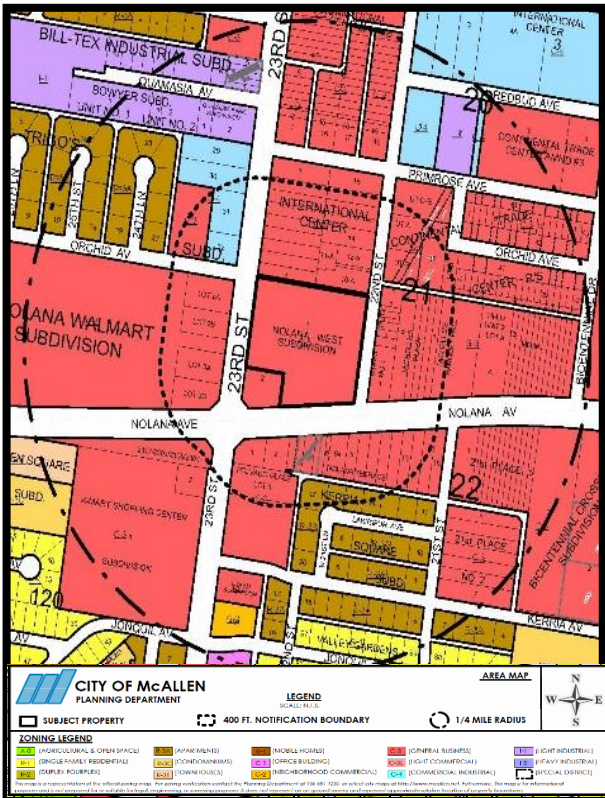
**FROM:** Planning Staff

**DATE:** July 27, 2020

**SUBJECT: REQUEST OF MAYELA X. RAMIREZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR (NIGHTCLUB) AT LOT 1, NOLANA WEST SUBDIVISION, HIDALGO COUNTY, TEXAS; 2200 NOLANA AVENUE, SUITES 2232 & 2234. (CUP2022-0102)**

**DESCRIPTION:**

The property is located on the northeast corner of North 23<sup>rd</sup> Street and Nolana Avenue. It is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. There is R-3A (multifamily residential apartments) District to the south and C-4 (commercial-industrial) District to the northwest. Surrounding land uses are commercial businesses, offices, bars, churches, libraries and restaurants. Surrounding uses include BBVA Bank, Cigar Bar, Rebecca’s Mexican Restaurant, New Life Family Church and McAllen’s Public Library. A bar is allowed in a C-3 district with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

The initial Conditional Use Permit was approved by the City Commission on July 9, 2007 with a variance to the 600 ft. distance requirement. The last approval by the City Commission was on December 9, 2019 with a variance to the distance requirement of being at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property.

**ANALYSIS:**

The subject property is the location for a multi-tenant commercial shopping center by the name of Nolana West. The applicant is proposing to continue operating a bar (Ranas) from combined suites 2232 and 2234 with an area of 3000 sq. ft. as shown on the submitted site plan. The hours of operation would continue to be from 8:00 P.M. to 2:00 A.M. Wednesday through Sunday.

Inspections from the Fire and Health Departments are pending. A current police activity report for service calls for the last year has been requested and is pending. The Planning Department has received no complaints regarding the present use as a bar. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from residential zones/uses, New Life Family Church and McAllen's Public Library;
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on two major arterials, Nolana Avenue and North 23<sup>rd</sup> Street, and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The proposed 3,000 sq. ft. bar would require 30 parking spaces. For every business to run simultaneously in the commercial plaza, 293 parking spaces would be required; there are 305 parking spaces provided on site;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

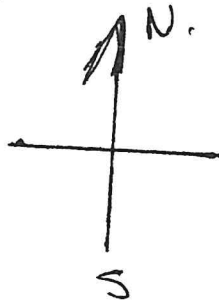


- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

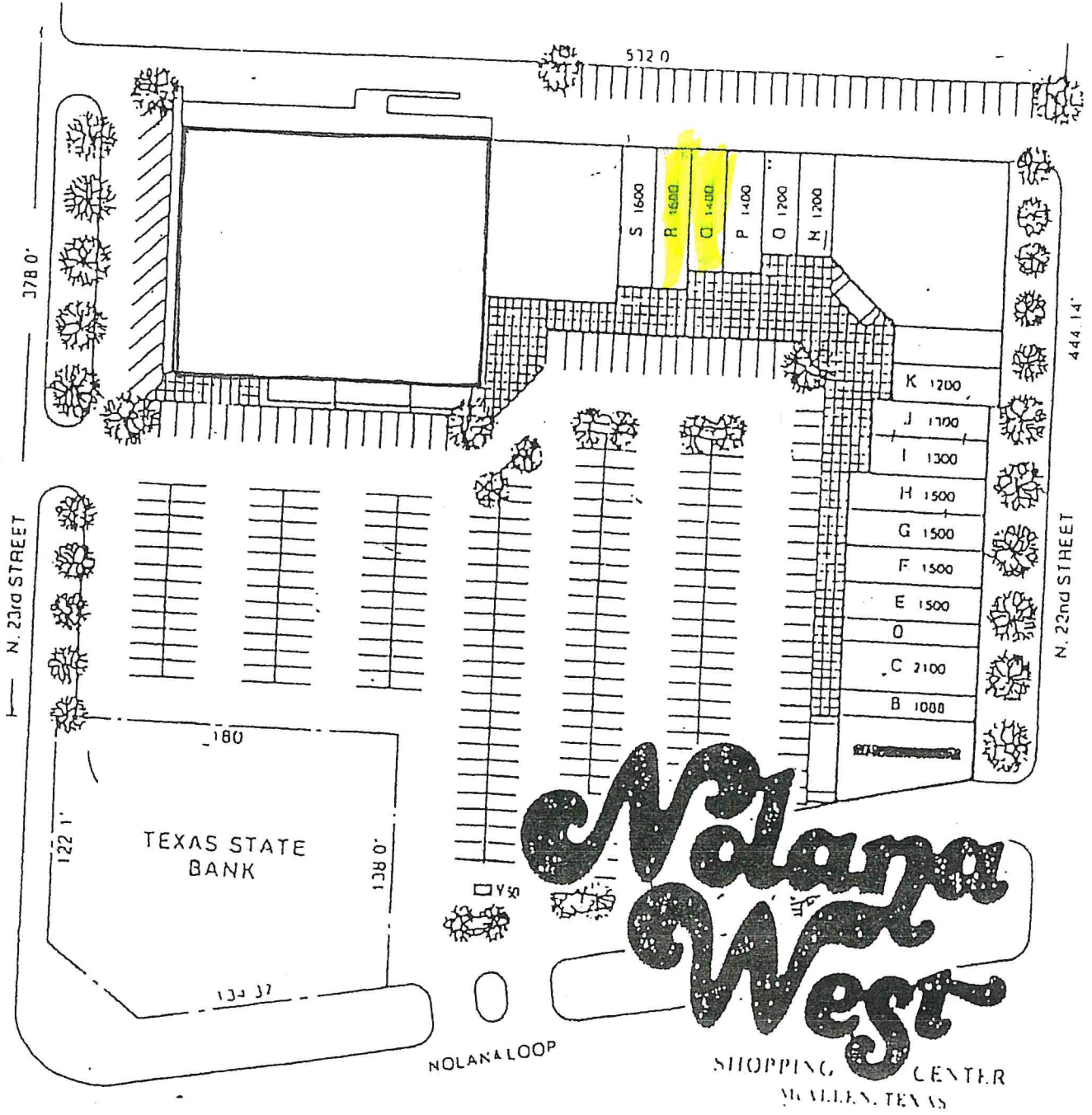
Staff has not received any phone calls, emails, or letters in opposition to this request.

**RECOMMENDATION:**

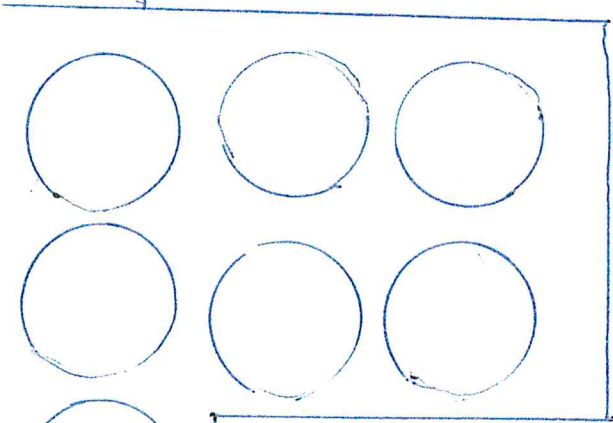
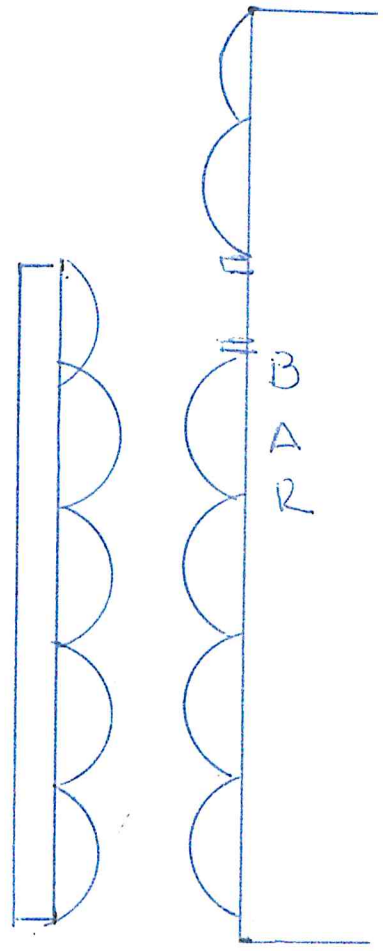
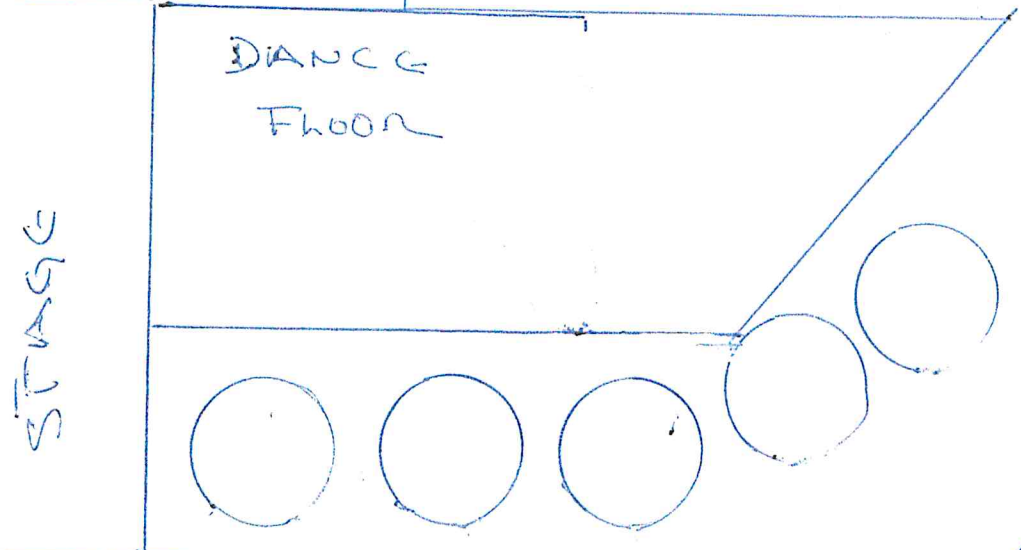
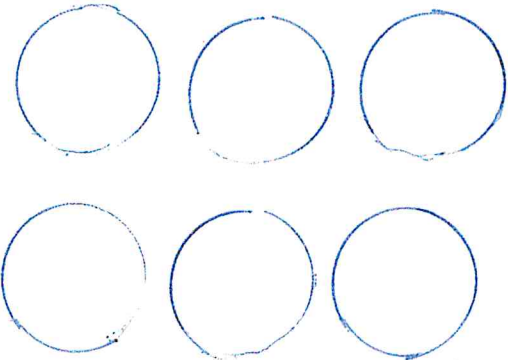
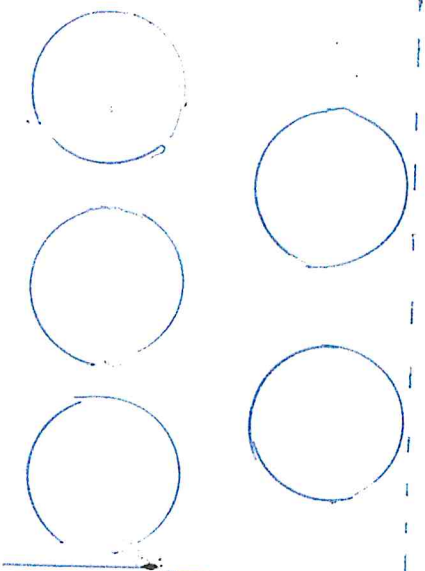
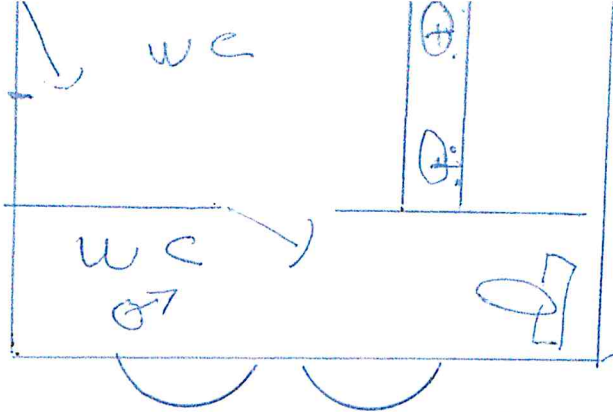
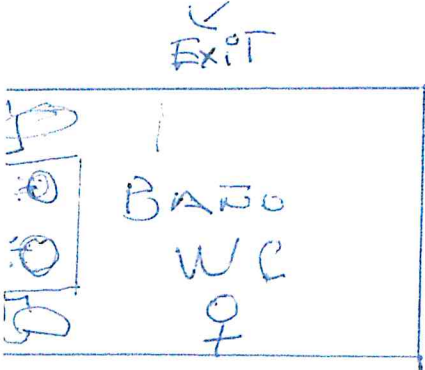
Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.



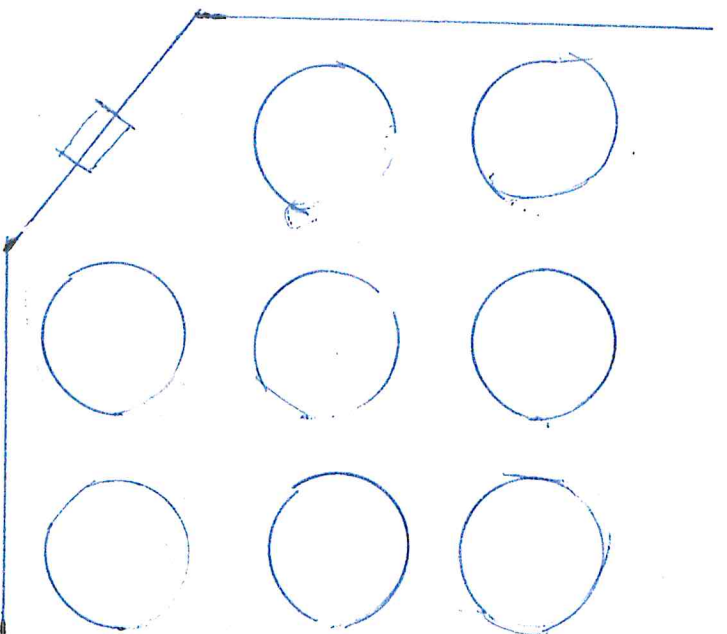
23 SC

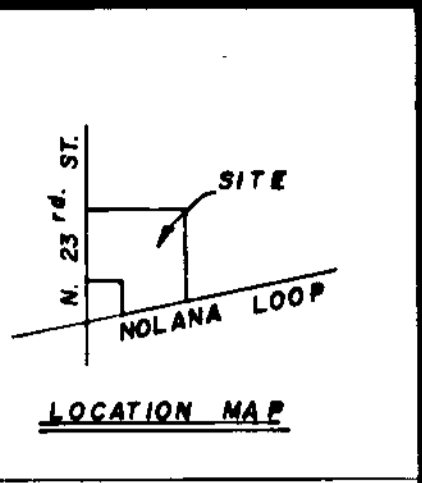
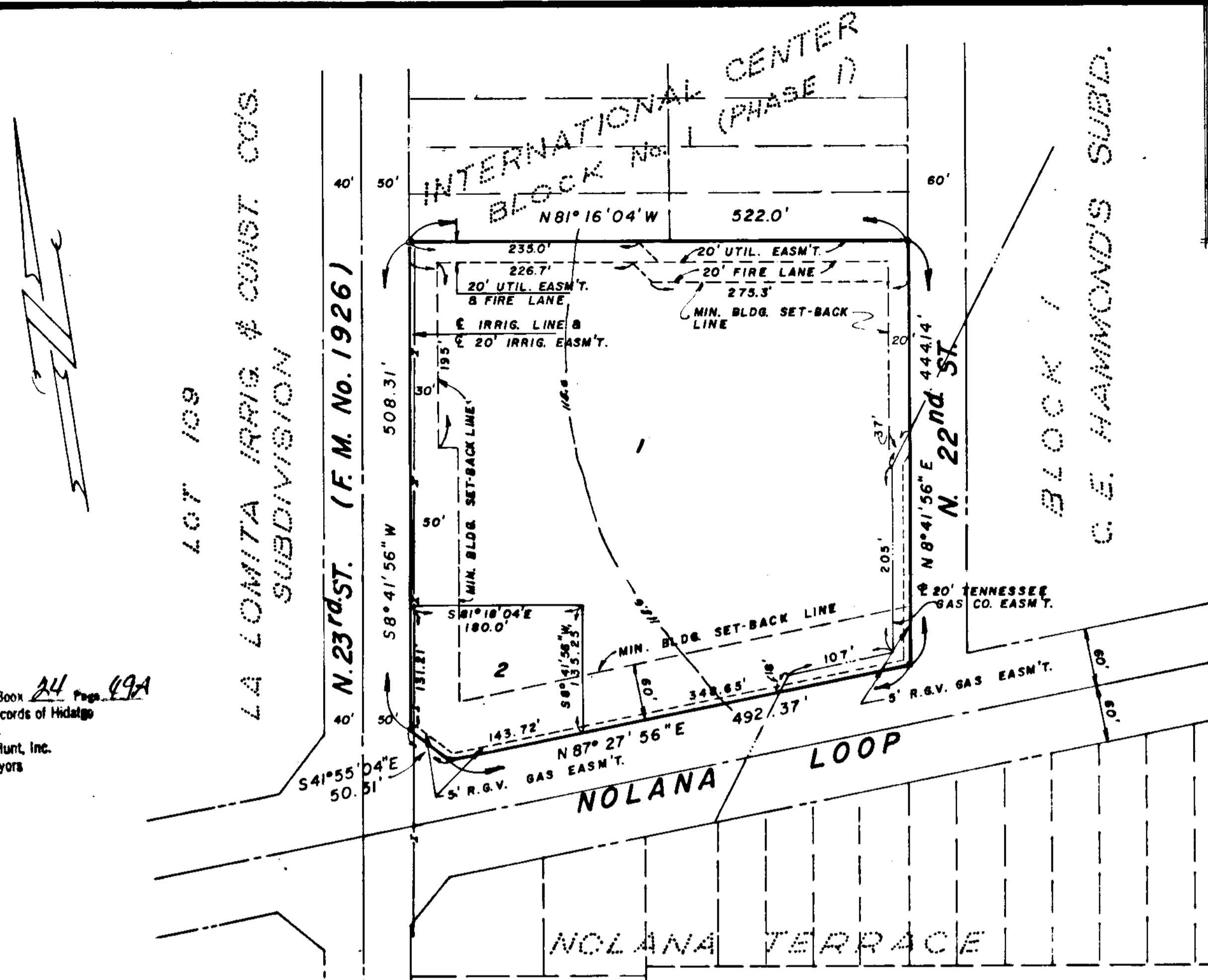


NOLANA LOOP



RAMA'S  
SPORTS  
CLUB  
OCCUPANCY  
152





Recorded in Book 24 Page 49A  
 of the map records of Hidalgo  
 County, Texas  
 Meiden and Hunt, Inc.  
 County Surveyors

LA LOMITA IRRIG. & CONST. CO'S  
 SUBDIVISION  
 LOT 109  
 N. 23rd ST. (F.M. No. 1926)

BLOCK 1  
 C. E. HAMMOND'S SUBD.

NOTES:

1. 4' SIDEWALK SHALL BE REQUIRED ALONG 23rd STREET, NOLANA LOOP AND 22ND STREET.
2. FINISH FLOOR ELEVATION SHALL BE 121.2 ABOVE MEAN SEA LEVEL, U.S.C. & G. SURVEY DATUM.
3. HIDALGO COUNTY IRRIGATION DISTRICT #1 SHALL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION.
4. THE PARKING AREA SHALL BE HELD IN COMMON FOR THE BENEFIT OF ALL, THE ACCESS, INGRESS, EGRESS, ON, OVER AND ACROSS EACH OTHER.
5. NO CURB CUTS PERMITTED ON LOT 2 FROM EITHER NOLANA LOOP OR NORTH 23RD STREET.

AMENDED MAP  
 OF  
 NOLANA WEST SUBDIVISION  
 McALLEN, TEXAS

BEING A RESUBDIVISION OF LOTS 1 & 2 NOLANA WEST SUBDIVISION McALLEN, HIDALGO COUNTY, TEXAS AS RECORDED IN VOL. 23, PAGE 105-A HIDALGO COUNTY, TEXAS CONTAINING 5.92 AC. OF LAND MORE OR LESS.

PREPARED BY:  
 FABIAN, NELSON & MEDINA INC.  
 McALLEN, TEXAS

SCALE: 1" = 100' DATE: 8/7/84

6-5' S. Tx. Nat. Gas Easement shown on Nolana West Subdivision abandoned by RGV Gas Co, as recorded in Vol. 1860 Pg. 704.

FILED  
 OCT 1 1984  
 J. EDGAR RUIZ  
 County Clerk, Hidalgo County, Texas

APPROVED  
 Filed in 2004  
 Hidalgo Co. Right of Way Dept.  
 By: [Signature]  
 Date: Oct 4, 1984

CHECKED FOR DRAINAGE  
 BY: [Signature]

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "AMENDED MAP NOLANA WEST SUBDIVISION" SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN. FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

[Signature]  
 DALE CHAPMAN

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DALE CHAPMAN KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 9th DAY OF August, 1984

[Signature]  
 NOTARY PUBLIC 11-21-87

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS:  
 COUNTY OF HIDALGO:

I, THE UNDERSIGNED, A REGISTERED PUBLIC SURVEYOR 1590 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

[Signature]  
 PLINIO C. MEDINA  
 REGISTERED PUBLIC SURVEYOR  
 McAllen, Texas

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

APPROVED FOR RECORDING  
 BY  
 COMMISSIONER  
 This the 10th day of Sept. 84  
 J. EDGAR RUIZ  
 County Clerk, Hidalgo County, Texas  
 By: [Signature]

[Signature]  
 Mayor, City of McAllen



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

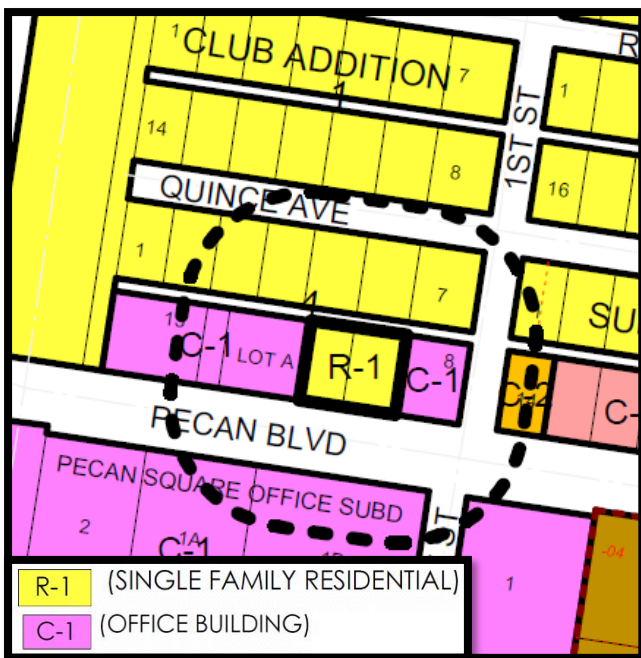
**DATE:** July 5, 2022

**SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO C-1 (OFFICE BUILDING) DISTRICT: 0.43 OF AN ACRE COMPRISED OF ALL OF LOT 9, AND THE EAST 67.5 FEET OF LOT 10, BLOCK 4, CLUB ADDITION, HIDALGO COUNTY, TEXAS; 108 PECAN BOULEVARD. (REZ2022-0022)**

**LOCATION:** The property is located along the north side of Pecan Boulevard. The tract has 89.25 feet of frontage along Pecan Boulevard with a depth of 125 feet for a lot size of 11,156.25 square feet.

**PROPOSAL:** The applicant is requesting C-1 (office building) District in order to construct office buildings. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent properties to the subject property are R-1 (single family residential) District to the north. The properties to the east, south, and west are C-1 (office building) District.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences, United Way of South Texas, and the Disability Networking Services.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family. The proposed rezoning of the subject property does not conform to the land use designation as indicated on the Foresight McAllen Comprehensive Plan.

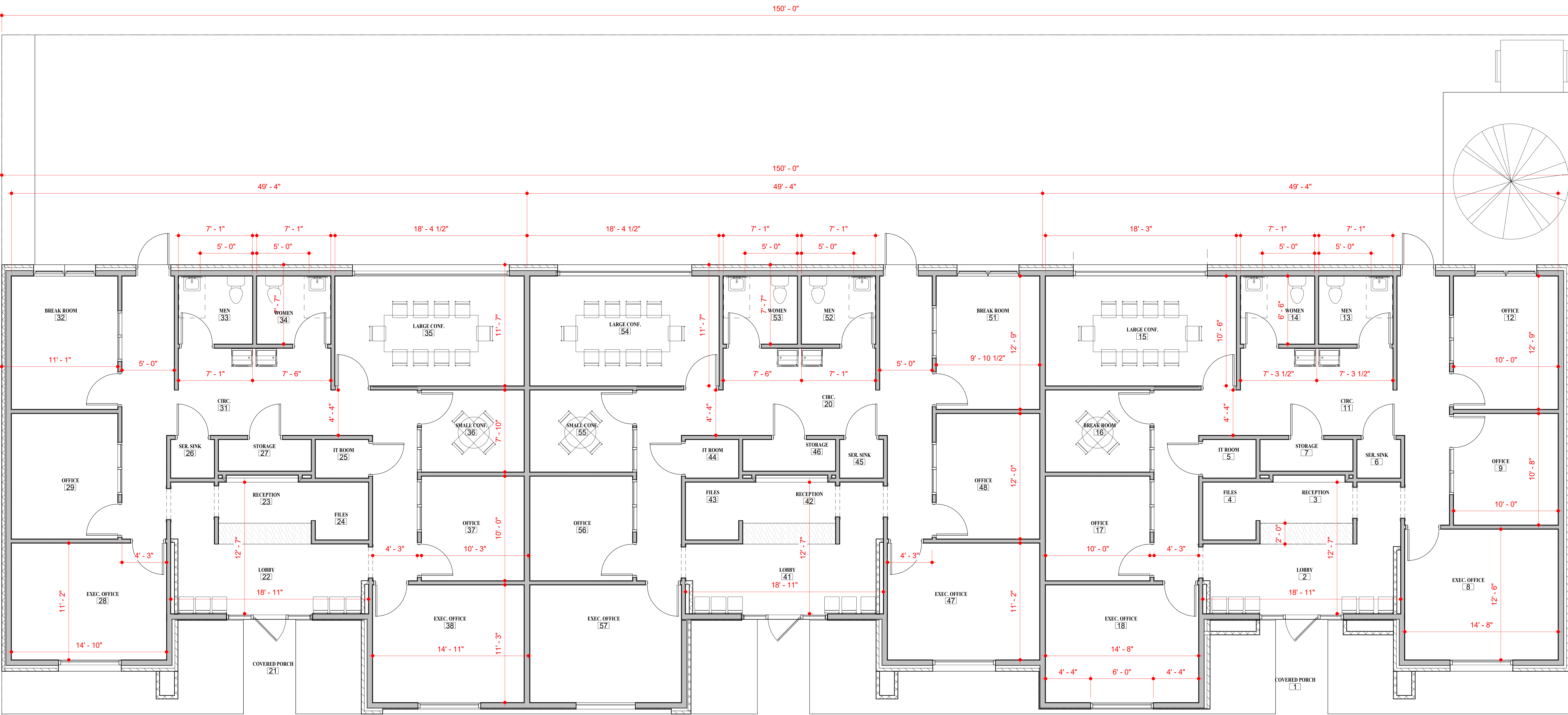
**DEVELOPMENT TRENDS:** The development trend for this area along Pecan Boulevard is mixed use of both C-1 and R-1 (single family residential) District.

**ANALYSIS:** The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, there is a trend for office and neighborhood commercial zonings along this section of Pecan Boulevard that would allow for a favorable review of this request.

Staff has not received any calls or emails in opposition to the rezoning request.

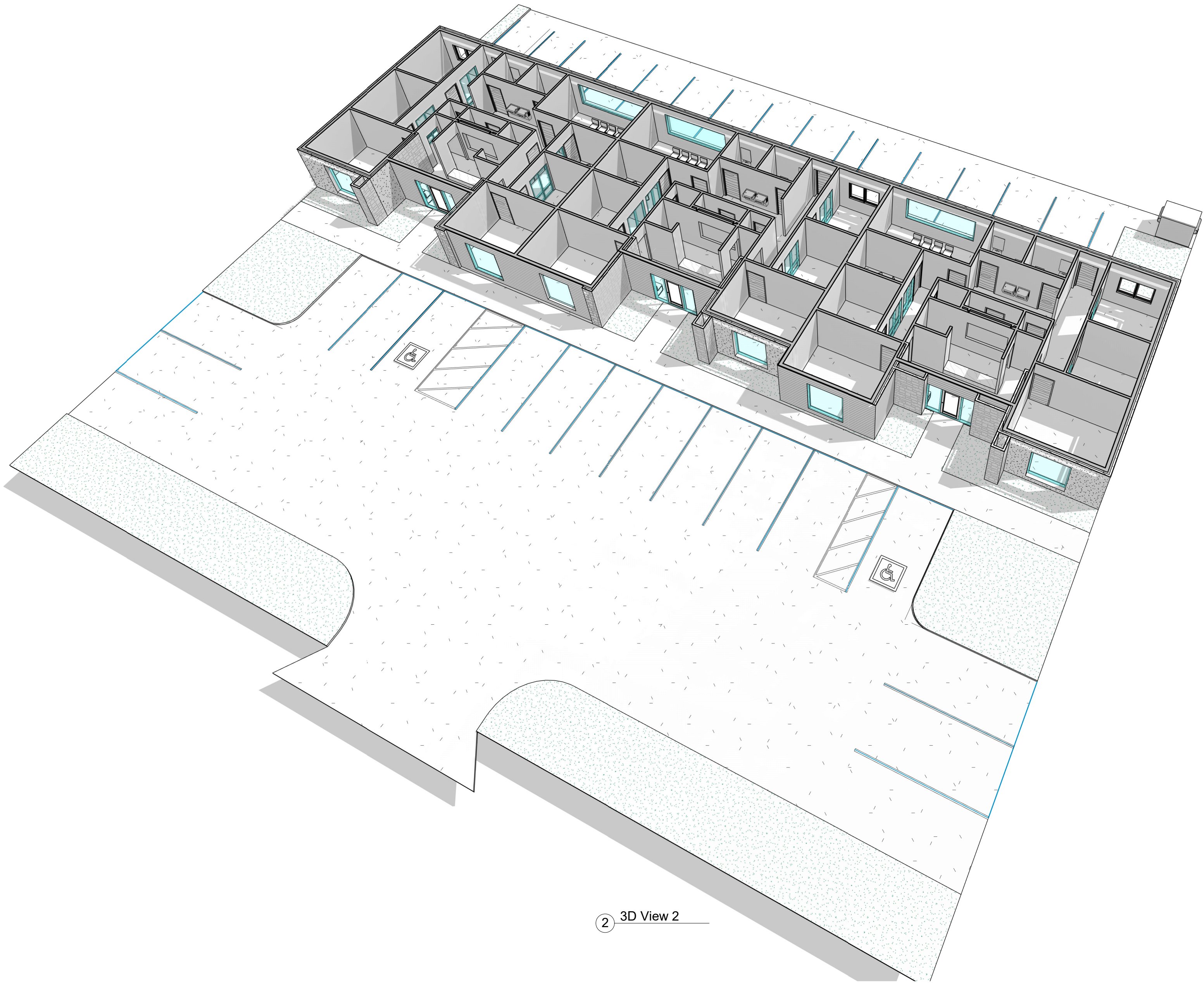
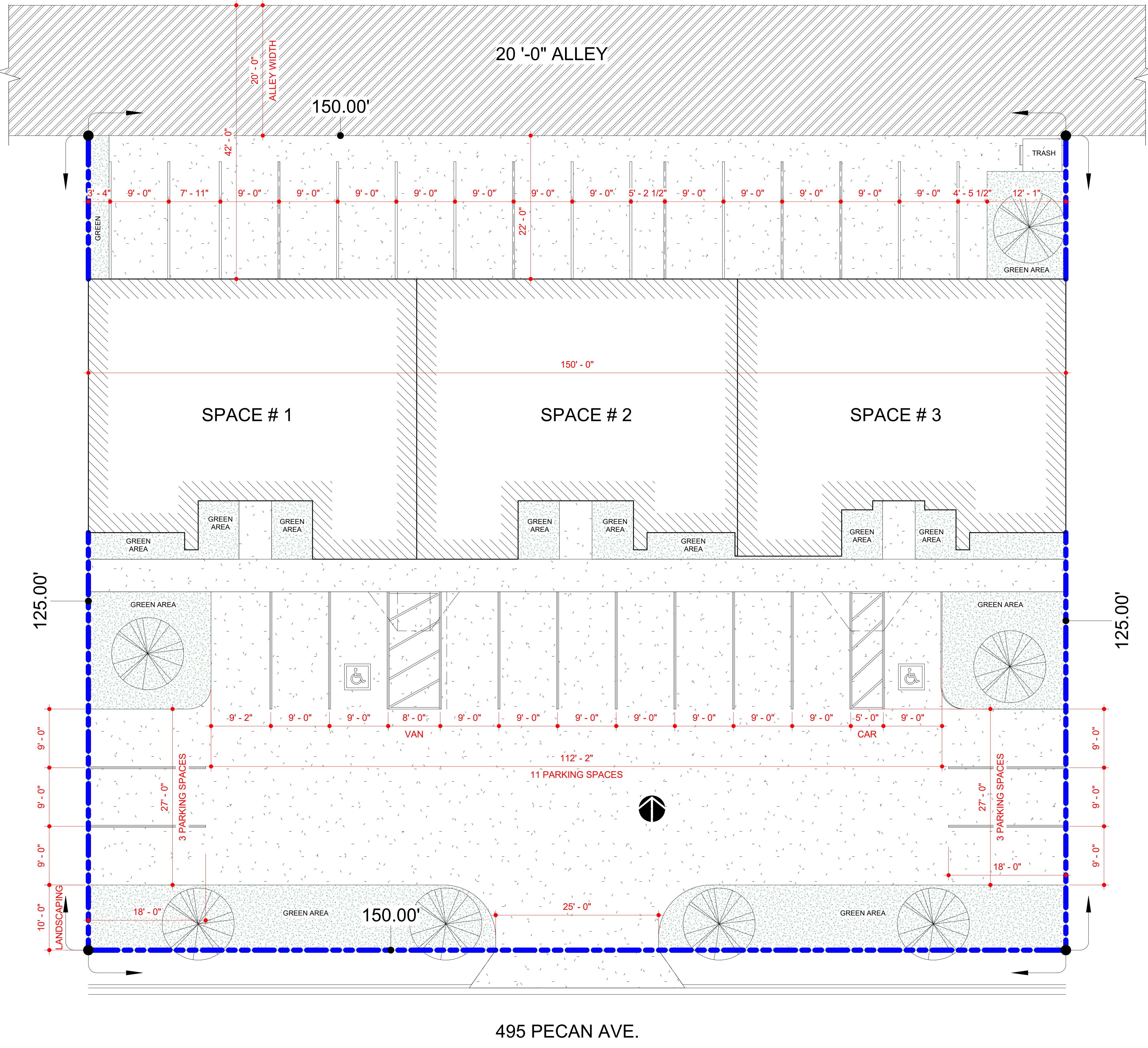
**RECOMMENDATION:** Staff recommends approval of the rezoning request to C-1 District as it does conform to the development trend in the area.





Area Schedule	
Name	Area
SPACE # 1	1935 SF
SPACE # 2	1897 SF
SPACE # 3	1936 SF
Grand total: 3	5768 SF





**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ 2022 - 0022**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

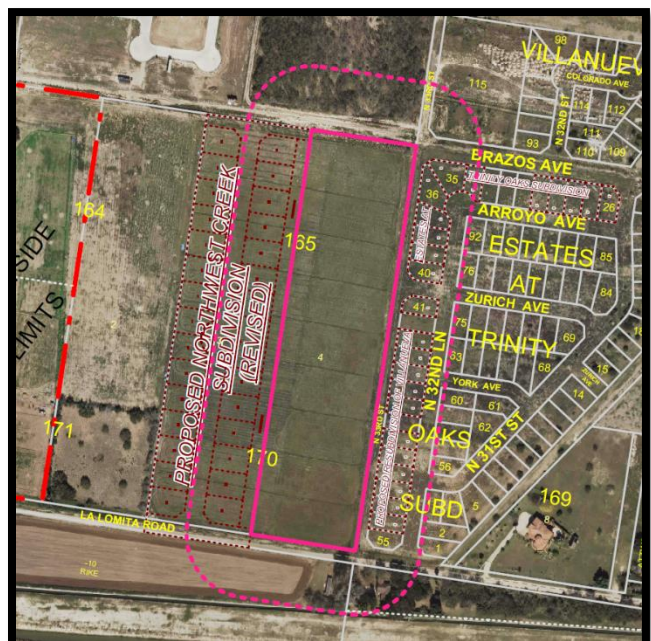
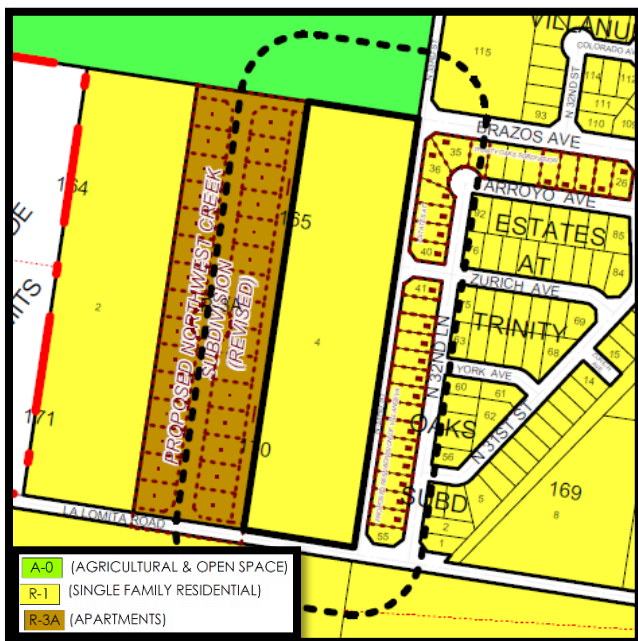
**DATE:** July 5, 2022

**SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT) DISTRICT: 10 ACRES BEING OF LOT 4, RESUBDIVISION OF LOTS 164-171 INC. OF PRIDE O' TEXAS, HIDALGO COUNTY, TEXAS; 3300 LA LOMITA ROAD. (REZ2022-0023)**

**LOCATION:** The property is located along the north side of La Lomita Road. The tract has a total lot size of 10 acres.

**PROPOSAL:** The applicant is requesting R-3A (multifamily residential apartment) District in order to construct multifamily residences. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent properties to the subject property are A-O (agricultural-open space) District to the north, R-1 (single family residential) District to the east and south. The properties to west is R-3A District.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences and vacant land.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future

land use for this property as Auto Urban Single Family which is comparable to R-1 District.

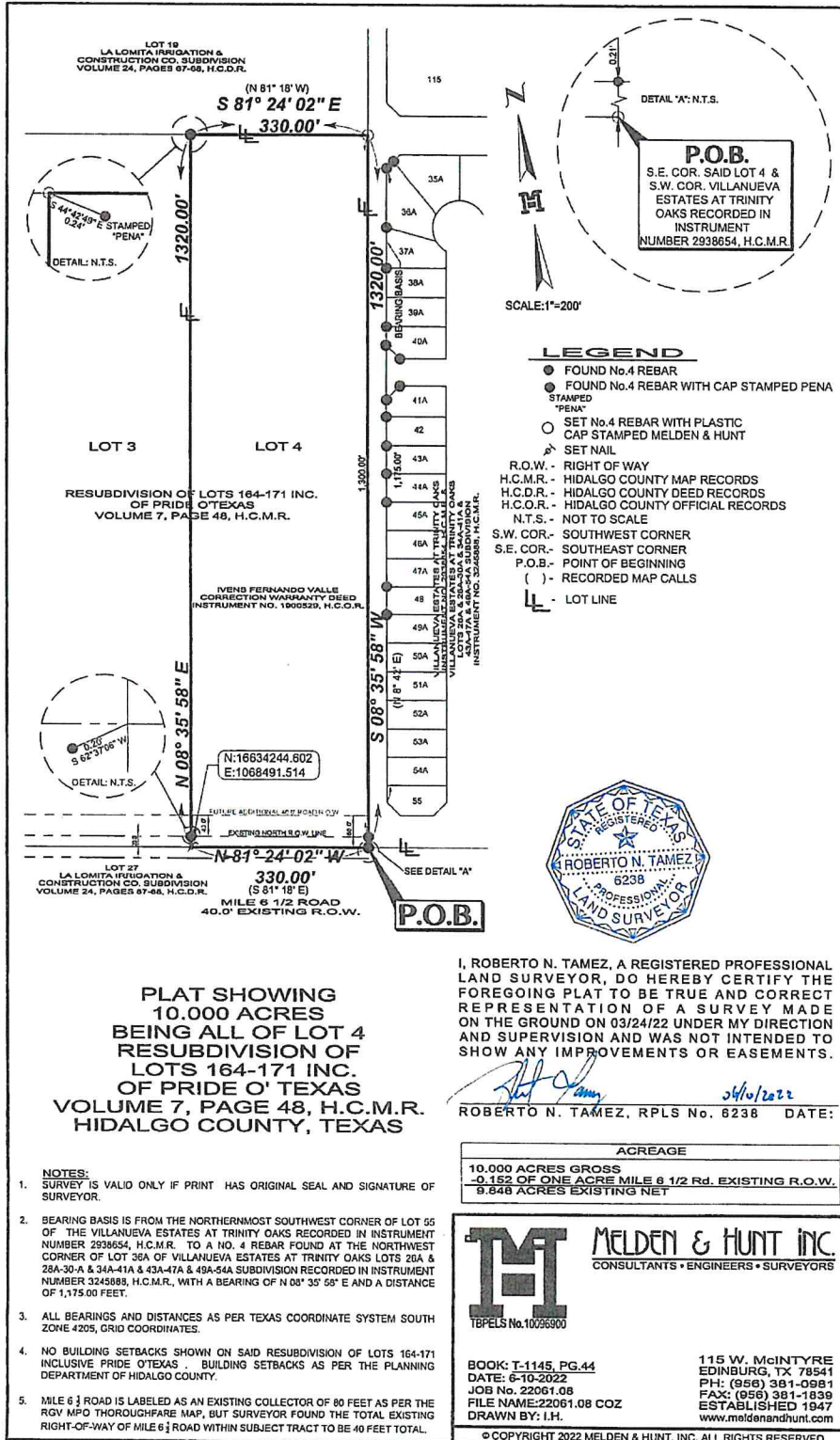
**DEVELOPMENT TRENDS:** The development trend for this area along La Lomita Road is mixed use of both R-1 and R-3A District.

**ANALYSIS:** The requested zoning does not conform to the Estate Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-3A (multifamily apartment residential) District as it will provide opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.




**PLAT SHOWING  
10.000 ACRES  
BEING ALL OF LOT 4  
RESUBDIVISION OF  
LOTS 164-171 INC.  
OF PRIDE O' TEXAS  
VOLUME 7, PAGE 48, H.C.M.R.  
HIDALGO COUNTY, TEXAS**

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 03/24/22 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW ANY IMPROVEMENTS OR EASEMENTS.

*Roberto N. Tamez*      04/10/2022  
ROBERTO N. TAMEZ, RPLS No. 6238      DATE:

ACREAGE
10.000 ACRES GROSS
- 0.152 OF ONE ACRE MILE 6 1/2 Rd. EXISTING R.O.W.
9.848 ACRES EXISTING NET



**M**  
TBPELS No. 10296900

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

BOOK: T-1145, PG. 44  
DATE: 6-10-2022  
JOB No. 22061.08  
FILE NAME: 22061.08 COZ  
DRAWN BY: I.H.

115 W. McINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1839  
ESTABLISHED 1947  
www.meldenandhunt.com

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- NOTES:**
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
  - BEARING BASIS IS FROM THE NORTHERNMOST SOUTHWEST CORNER OF LOT 55 OF THE VILLANUEVA ESTATES AT TRINITY OAKS RECORDED IN INSTRUMENT NUMBER 2938654, H.C.M.R. TO A NO. 4 REBAR FOUND AT THE NORTHWEST CORNER OF LOT 36A OF VILLANUEVA ESTATES AT TRINITY OAKS LOTS 26A & 29A-30-A & 34A-41A & 43A-47A & 49A-54A SUBDIVISION RECORDED IN INSTRUMENT NUMBER 9245883, H.C.M.R., WITH A BEARING OF N 08° 35' 58" E AND A DISTANCE OF 1,175.00 FEET.
  - ALL BEARINGS AND DISTANCES AS PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205, GRID COORDINATES.
  - NO BUILDING SETBACKS SHOWN ON SAID RESUBDIVISION OF LOTS 164-171 INCLUSIVE PRIDE O' TEXAS. BUILDING SETBACKS AS PER THE PLANNING DEPARTMENT OF HIDALGO COUNTY.
  - MILE 6 1/2 ROAD IS LABELED AS AN EXISTING COLLECTOR OF 80 FEET AS PER THE RGV MPO THOROUGHFARE MAP, BUT SURVEYOR FOUND THE TOTAL EXISTING RIGHT-OF-WAY OF MILE 6 1/2 ROAD WITHIN SUBJECT TRACT TO BE 40 FEET TOTAL.

Z:\Survey\952022\22061\dwg\22061.08.coz.dwg, 6/10/2022 2:49:28 PM, \\WIN-7\H\F\A\C\8V\Survey\Area



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2022-0023**

 CITY OF MCALLEN PLANNING DEPT  
956/811-1250  
WWW.MCALLEN.TX

# Planning Department

## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** July 22, 2022

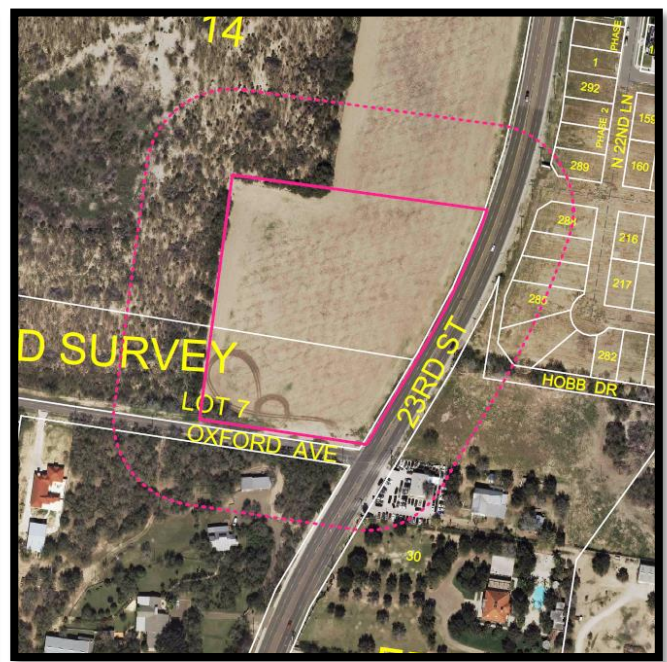
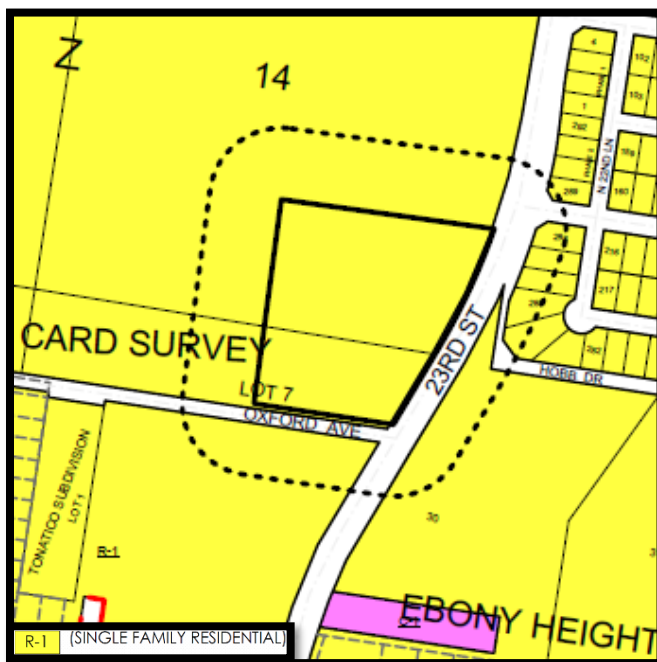
**SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO C-3 (GENERAL COMMERCIAL) DISTRICT: 6.713 ACRES OUT OF LOT 7, E.M. CARD SURVEY NO. 1 AND OUT OF LOT 14, SECTION 279, TEX-MEX RAILWAY COMPANY SURVEY SUBDIVISION, HIDALGO COUNTY, TEXAS; 2300 OXFORD AVENUE. (REZ2022-0024)**

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**LOCATION:** The property is located along the north side of Oxford Avenue, west side of 23<sup>rd</sup> Street. The tract has a total lot size of 6.713 acres.

**PROPOSAL:** The applicant is requesting C-3 (general commercial) District in order to construct a self-storage facility. A subdivision plat for a one lot subdivision under the name of Just A Closet Oxford Subdivision is currently under review. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent properties to the subject property are R-1 (single-family residential) District in all directions.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences and vacant land.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Residential which is comparable to R-1 (single-family residential) District.

**DEVELOPMENT TRENDS:** The development trend for residential properties along N. 23rd Street is single family residential use.

**ANALYSIS:** The requested zoning of C-3 does not conform to the Suburban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. The property was zoned R-1 District during annexation in 1995. The property south of the subject property was rezoned to C-1 (office building) District in November, 2013 in order to use the building for office uses. The surrounding properties were zoned to R-1 district during annexation in 1995 and single family residential uses have been constructed. A rezoning request for C-3 District for a property to the north along the east side on N. 23rd Street by Oxford Avenue was disapproved in 2010.

The La Floresta Subdivisions with 292 total lots developed between the years 2013 and 2015 on the east side of N. 23rd Street. The Northgate Crossing Phase 2 Subdivision with 51 lots developed at the southeast corner of N. 23rd Street and Northgate Avenue in the year 2006. A 4-lot subdivision just south of the subject property named Northgate Lane Estates with the lots facing Northgate Avenue was processed in 2007 but was never recorded.

C-3 District allows any retail business personal services, business services, hospitals, hotels, restaurant with 51% food sales and any wholesale trade to a permitted retail operation. C-3 District is generally located along commercial corridors such as principal arterials and at major centers. 23<sup>rd</sup> Street is designated as a principal arterial.

Section 110-49(a) Vegetation Ordinance requires a masonry screen 8 ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends disapproval of the rezoning request to C-3 District since it does not follow the land use designation, nor does it follow the development trend along the area.



**EXHIBIT "B"**  
**TRACT 1 - 6.713 ACRES**  
**OUT OF LOT 7, E.M. CARD SURVEY No.1, &**  
**LOT 14, SECTION 279, TEX-MEX RAILWAY COMPANY SURVEY,**  
**VOL. 8, PG. 1, M.R.H.C.**  
**VOL. 24, PG. 168-171, M.R.H.C.**  
**TO ACCOMPANY FIELD NOTES**

OXFORD SOLAR LLC  
 31.736 ACRE TRACT  
 OUT OF LOTS 12, 13, AND 14, SECTION 279  
 TEX-MEX RAILWAY COMPANY SURVEY  
 VOL. 24, PG. 168-171 M.R.H.C.  
 DOC# 3173574 O.R.H.C.

EXIST. FENCE (TYP.)  
 DOMAIN DEVELOPMENT CORP.  
 REMAINDER OF TRACT 2: A 19.137 ACRE TRACT  
 OUT OF LOT 7, E.M. CARD SURVEY NO.1, &  
 LOT 14, SECTION 279, TEX-MEX RAILWAY CO. SURVEY,  
 VOL. 8 PG.1, M.R.H.C.  
 VOL.24, PG.168-171, M.R.H.C.  
 DOC# 3293889, O.R.H.C.  
 EXIST. FENCE (TYP.)

LA FLORESTA PHASE 2 SUBDIVISION  
 DOC# 272734, M.R.H.C.

15.00' CITY OF MCALLEN  
 UTILITY EASEMENT  
 (DOC#1367002, O.R.H.C.)

**TRACT 1**  
**6.713 ACRES GROSS**  
**0.369 AC IN OXFORD RD. R.O.W.**  
**6.344 ACRES NET**

**P.O.C.**

N.W. CRN  
 OF LOT 7  
 E.M. CARD SURVEY No.1  
 CALCULATED POINT

OXFORD SOLAR LLC  
 5.136 ACRE TRACT  
 OUT OF LOTS 6 AND 7,  
 E.M. CARD SURVEY NO.1  
 VOL. 8 PG.1 M.R.H.C.  
 DOC# 3173574, O.R.H.C.

**P.O.B.**

EXIST. FENCE (TYP.)

APPARENT  
 40.00' R.O.W.

(N81°11'07"W 395.27')  
**N81°27'45"W 393.05'**

(S81°11'07"E 651.29')  
**S81°27'45"E 651.29'**  
 EDDIE R CANO  
 2.61 ACRE TRACT OUT OF LOT 37,  
 LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S  
 PROP ID: 210471

RICHARD C. MCKINNEY  
 3.60 OUT OF 5.72 ACRE TRACT OUT OF LOT 30 & LOT 31,  
 EBONY HEIGHTS CITRUS GROVES UNIT NO.2,  
 VOL.6, PG.44, M.R.H.C.  
 VOL.1591, PG.6, D.R.H.C.

RICHARD C. MCKINNEY  
 2.12 OUT OF 5.72 ACRE TRACT OUT OF LOT 30 & LOT 31,  
 EBONY HEIGHTS CITRUS GROVES UNIT NO.2,  
 VOL.6, PG.44, M.R.H.C.  
 VOL.1591, PG.6, D.R.H.C.

SCALE 1" = 100'  
 BASIS OF BEARING  
 TEXAS STATE PLANE COORDINATES  
 NAD 83  
 TEXAS SOUTH ZONE (4205)  
 WESTERN DATA SYSTEM NETWORK

LEGEND	
○	1/2 INCH CAPPED IRON ROD SET
●	IRON ROD FOUND
△	CALCULATED POINT
(XXXX)	DEED CALL (DOC#3293889, O.R.H.C.)
XXXX	MEASURED

**SURVEYOR'S NOTES:**

- 1) NO ADDITIONAL RESEARCH WAS PERFORMED BY RIO DELTA ENGINEERING FOR ANY ADDITIONAL EASEMENT(S) OR BUILDINGS LINES WHICH MAY OR MAY NOT AFFECT THE SUBJECT TRACT.
- 2) THE PROPERTY SHOWN IS IN ZONE "X" (UNSHADED), AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480334 0325 D, REVISED DATE JUNE 6, 2000
- 3) SURVEY DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT

I, IVAN GARCIA, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE, THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON DURING JUNE 2022, UNDER MY DIRECTION AND SUPERVISION; THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE; THAT THE PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS" AND THERE ARE NO DISCREPANCIES, SHORTAGES IN AREA OR BOUNDARY LINES, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS OR VISIBLE OR APPARENT EASEMENTS, EXCEPT AS SHOWN.



IVAN GARCIA  
 REG. PROFESSIONAL LAND  
 SURVEYOR NO. 6496

6/12/22  
 DATE

Initial: *IG*

**RIO DELTA ENGINEERING**  
 FIRM REGISTRATION No. F-7628  
 SURVEY FIRM NO. 10194027  
 921 S. 10TH AVENUE, EDINBURG TEXAS 78539  
 (TEL) 956-380-5152 (FAX) 956-380-5083

DATE:	JUNE 2022
PROJECT:	SUB 22 037
PAGE:	1 OF 1

**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ 2022-0024**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

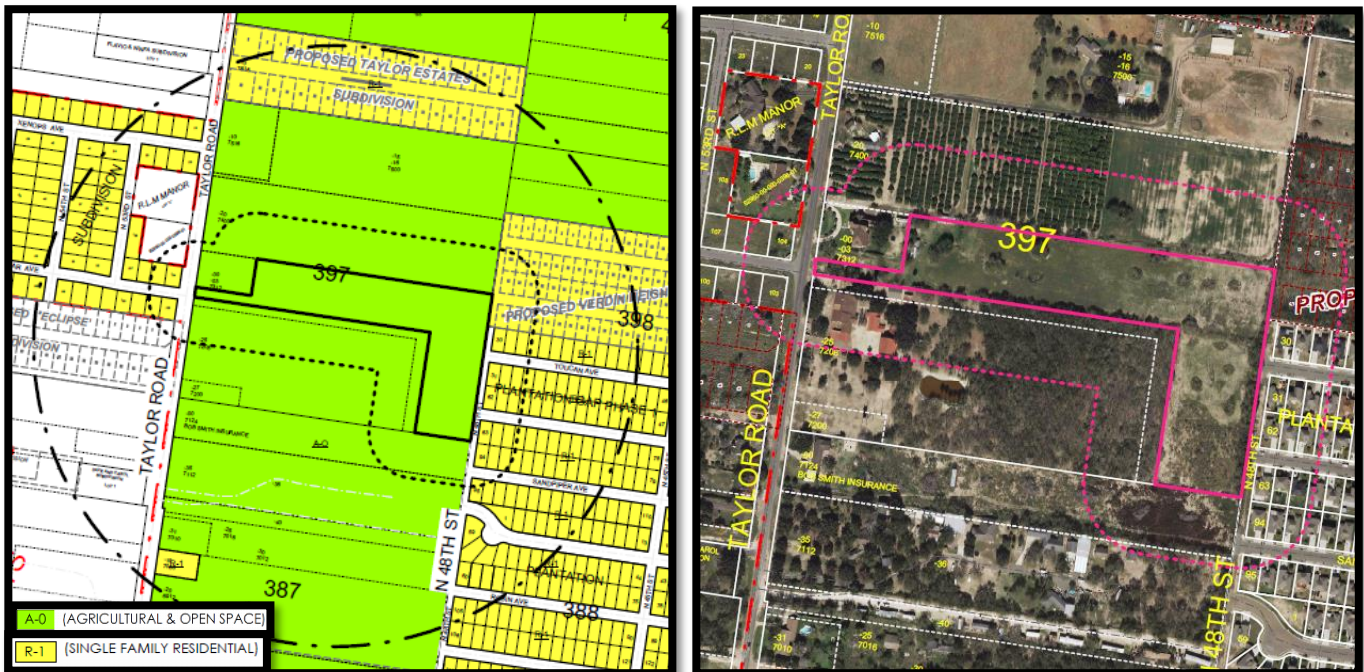
**DATE:** July 25, 2022

**SUBJECT: REZONE FROM A-O (AGRICULTURAL-OPEN SPACE) DISTRICT TO R-2 (DUPLEX-FOURPLEX) DISTRICT: 7.929 ACRES OUT OF LOT 397, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 7301 NORTH 48TH STREET. (REZ2022-0029)**

**LOCATION:** The property is located between North Taylor Road and North 48<sup>th</sup> Street. The tract has a total lot size of 7.929 acres.

**PROPOSAL:** The applicant is requesting R-2 (duplex-fourplex) District in order to construct multi-family residences. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent properties to the subject property are A-O (agricultural-open space) District to the north and south, and R-1 (single-family residential) District to the east and west.



**LAND USE:** The subject property currently is vacant. Surrounding land uses include single-family residences and vacant land.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single-family residential) District.

**DEVELOPMENT TRENDS:** The development trend for this area along North Taylor and North 48<sup>th</sup> Street is single family residential.

**HISTORY:** The tract was annexed into the city and initially zoned A-O (agricultural and open space) District in 1999.

**ANALYSIS:** The requested zoning does not conform to the Auto Urban Single Family land use designation. The rezoning and development trend along the area is that of single-family residences rather than multi-family residences.

The maximum number of dwelling units based on 7.929 acres are approximately 345 one-bedroom units, 276 two-bedroom units or 230 three-bedroom units. Number of allowable units may change upon recordation of the plat.

The Cobblestone Subdivision with 108 total lots is located on the west side of North Taylor Road. The Plantation Gap Subdivision Phase I with 152 total lots is located on the east side of the subject property. The development of those subdivisions surrounding the subject property are that of single-family residences.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit might be required prior to building permit issuance.

Staff has not received any calls or emails in opposition to the rezoning request.

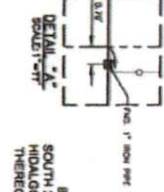
**RECOMMENDATION:** Staff recommends disapproval of the rezoning request to R-2 District as it does not follow the land use designation indicated in the Foresight McAllen Comprehensive Plan, nor does it follow the development and rezoning trend for the area.



**Carrizales  
and  
Urveying, LLC**  
 Texas Registered Surveying Firm  
 1200 South Loop West  
 Suite 500  
 Houston, TX 77049  
 Phone: 713-860-7100  
 Fax: 713-860-7101  
 www.carrizalesurveying.com

I, MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR  
 IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY  
 WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION  
 HEREIN AND THAT THE DATE AND TIME OF THIS SURVEY AND THAT THE NOTES SHOWN  
 HEREIN ARE TRUE AND CORRECT AND THAT THE NOTES SHOWN  
 HEREBY CONFLICT WITH THE SURVEYING OR SURVEYOR'S PLAT  
 RECORDS, EXCEPT AS SHOWN HEREON.

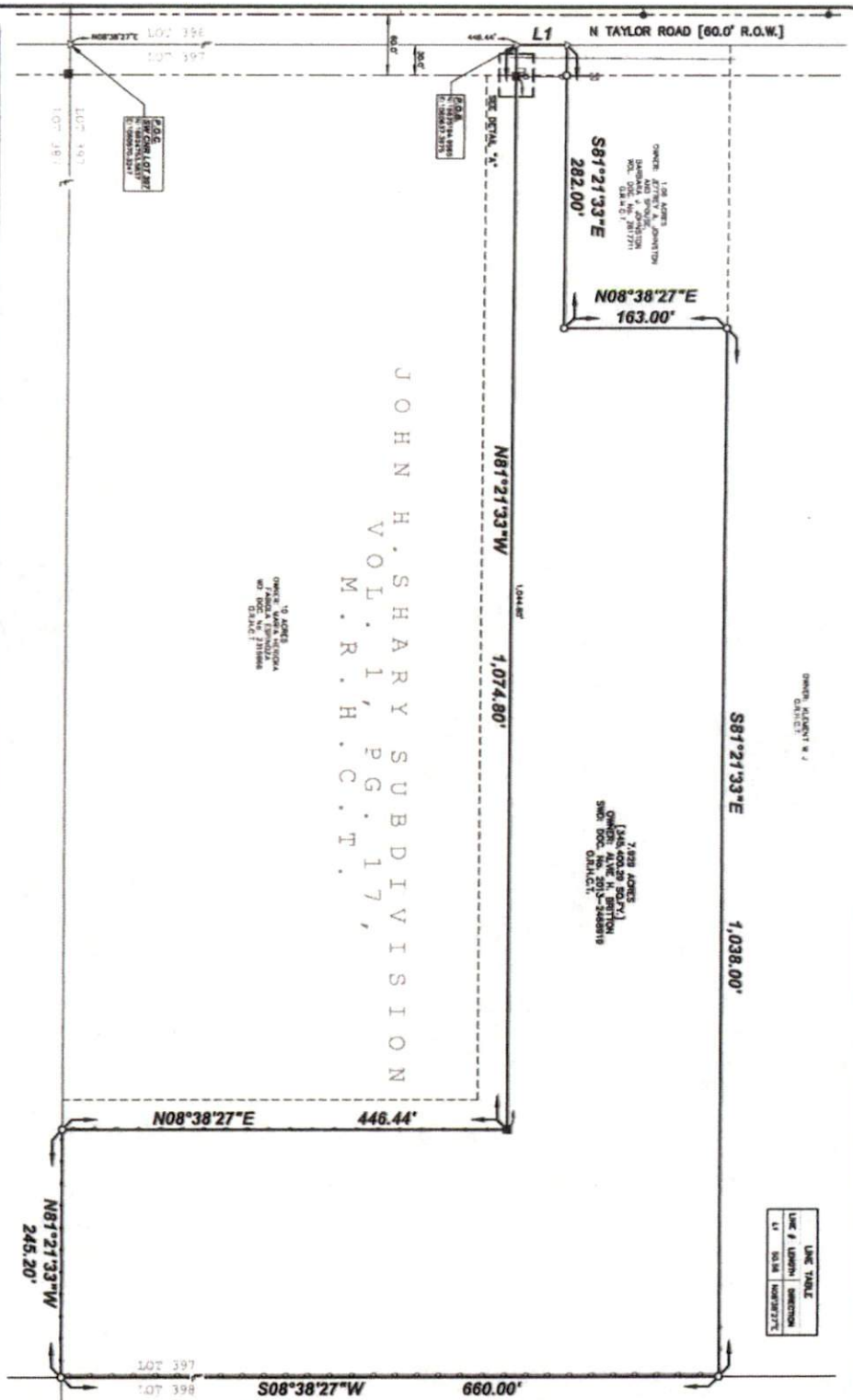
MANUEL CARRIZALES  
 [Signature]  
 DATE 10-9-19



**PLAT SHOWING:**  
 A 7.828 ACRES (245.400 SQ FT) TRACT  
 BEING AN "L" SHAPED TRACT OF LAND OUT THE  
 SOUTH 20.0 ACRES OF LOT 297, JOHN H. SHARY SUBDIVISION,  
 HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT  
 THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS  
 OF HIDALGO COUNTY, TEXAS.

- NOTES**
- 1. SURVEY PROPERTY IS LOCATED AS SHOWN ON THE DEPOSITED  
AS MAPS OF LANDS RECORDED AS OF 1/28/2000 IN THE  
PUBLIC DOMAIN. THE SURVEY PROPERTY IS IDENTIFIED BY THE  
INSTRUMENT OF THE CITY AS SHOWN BY OLD PUBLIC  
DOMAIN. THIS INSTRUMENT COMPANY.
  - 2. FOLLOWING EXCEPTIONS ARE LISTED IN THE SCHEDULE  
OF THIS INSTRUMENT:
  - 3. RIGHT-OF-WAY EASEMENTS SHOWN ON ORIGINAL POWER  
AND LIGHT CO. BY AS, 1998 AND W.P. 11677  
RECORDS IN VOLUME "L" PAGE 226 RECORDS OF  
HIDALGO COUNTY, TEXAS. (SEE NOTE 10-4)
  - 4. EASEMENTS AND COVENANTS AS SHOWN ON THE MAP  
RECORDED IN VOLUME "L" PAGE 17, MAP RECORDS OF  
HIDALGO COUNTY, TEXAS. (SEE NOTE 10-4)
  - 5. EASEMENTS, RIGHTS, SALES AND REGULATIONS IN FAVOR  
OF UNITED BROKERAGE DISTRICT. (SEE NOTE 10-4)
  - 6. EASEMENTS ON GRANT OF EASEMENTS WHICH ARE NOT  
A PART OF THE PUBLIC RECORD. (SEE NOTE 10-4)
  - 7. A UETS AND RIGHTS DECEPTION OF FIRM DATE  
ACCORDING TO THE SURVEY PLAT.
  - 8. SURVEY MADE ONLY WITH ORIGINAL, S&A, AND  
S&M.
  - 9. 2019 MAP 31910

SHEET 02 OF 02



**LINE TABLE**  
 LINE # 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

1.05 ACRES  
 OWNER: ALICE H. JOHNSON  
 MARILYN A. JOHNSON  
 ROLAND H. JOHNSON  
 1967-288819

7.828 ACRES  
 OWNER: ALICE H. JOHNSON  
 MARILYN A. JOHNSON  
 ROLAND H. JOHNSON  
 1967-288819

**LEGEND**  
 ———— RIGHT-OF-WAY LINE  
 - - - - - EASEMENT LINE  
 ———— LOT LINE  
 - - - - - PROPERTY LINE  
 - - - - - CHANGELINE FENCE  
 - - - - - HOE MARK FENCE  
 ———— STEEL PIPE FENCE  
 - - - - - CONCRETE BLOCK FENCE LINE  
 ———— END OF SURVEY MARKING  
 ———— ROAD 1/2" HIGH 1200  
 ———— ROAD 1" HIGH 1200 OR AS NOTED  
 ———— SET 1/2" HIGH 800 W/FRM CAP  
 ———— CALCULATED POINT  
 ● - ROAD  
 ○ - RIGHT OF WAY  
 ———— RIGHT OF WAY  
 - - - - - CORNER  
 - - - - - VOLUNE  
 - - - - - PAGE  
 - - - - - OCCUPANT  
 - - - - - GENERAL WARRANTY DEED  
 - - - - - WARRANTY DEED  
 - - - - - SPECIAL WARRANTY DEED  
 - - - - - WARRANTY DEED W/ENDORSE L&M  
 - - - - - GENERAL WARRANTY DEED  
 - - - - - MAP RECORDS HIDALGO COUNTY TEXAS  
 [ ] - RECORD CALL

**SCALE 1"=100'**  
 BASED ON 1983 NATIONAL GRID  
 COORDINATE SYSTEM  
 SOUTH ZONE 4205



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

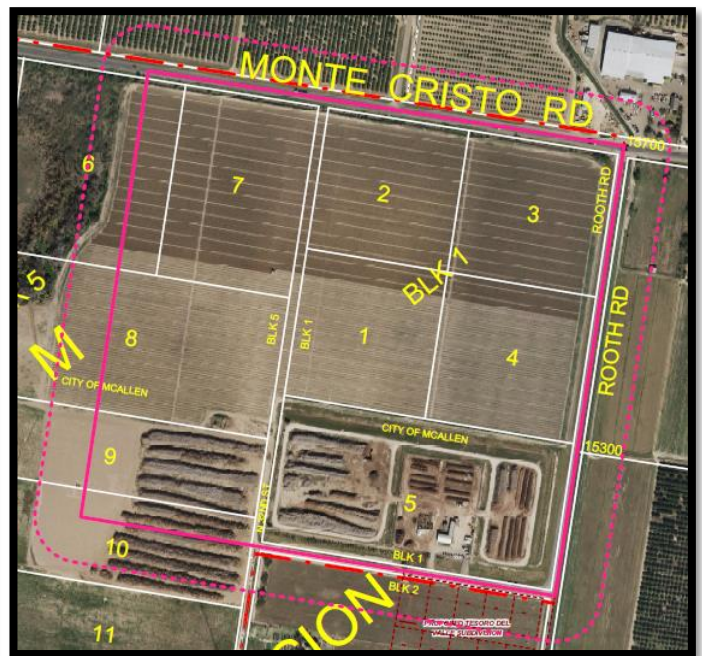
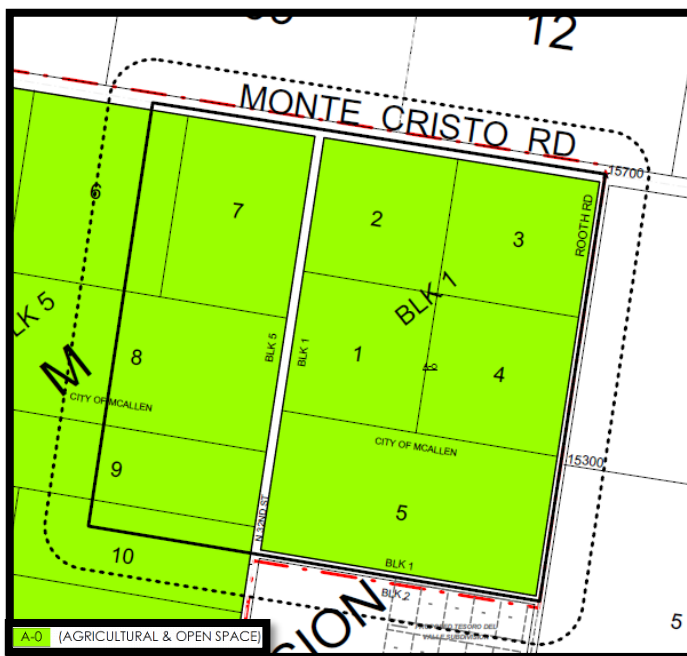
**DATE:** July 25, 2022

**SUBJECT: REZONE FROM A-O (AGRICULTURAL-OPEN SPACE) DISTRICT TO R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 96.258 ACRES BEING ALL OF LOTS 1, 2, 3, 4 AND 5, BLOCK 1 ALL OF LOT 7, BLOCK 5, AND OUT OF LOTS 6, 8, 9, AND 10, BLOCK 5, M AND M SUBDIVISION, HIDALGO COUNTY, TEXAS; 15401 NORTH 29TH STREET. (REZ2022-0030)**

**LOCATION:** The property is located along the south side of Monte Cristo Road and west side of Rooth Road. The tract has a total lot size of 96.258 acres.

**PROPOSAL:** The applicant is requesting R-1 (single-family residential) District in order to construct single-family residences. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent properties to the subject property are A-O (agricultural-open space) District in all directions.



**LAND USE:** The subject property currently is vacant. Surrounding land uses include vacant land.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential which is comparable to R-1 (single-family residential) District.

**DEVELOPMENT TRENDS:** The development trend for this area along Monte Cristo Road and Rooth Road land use is comprised of A-O District.

**ANALYSIS:** The requested zoning does conform to the Estate Residential land use designation. The rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.

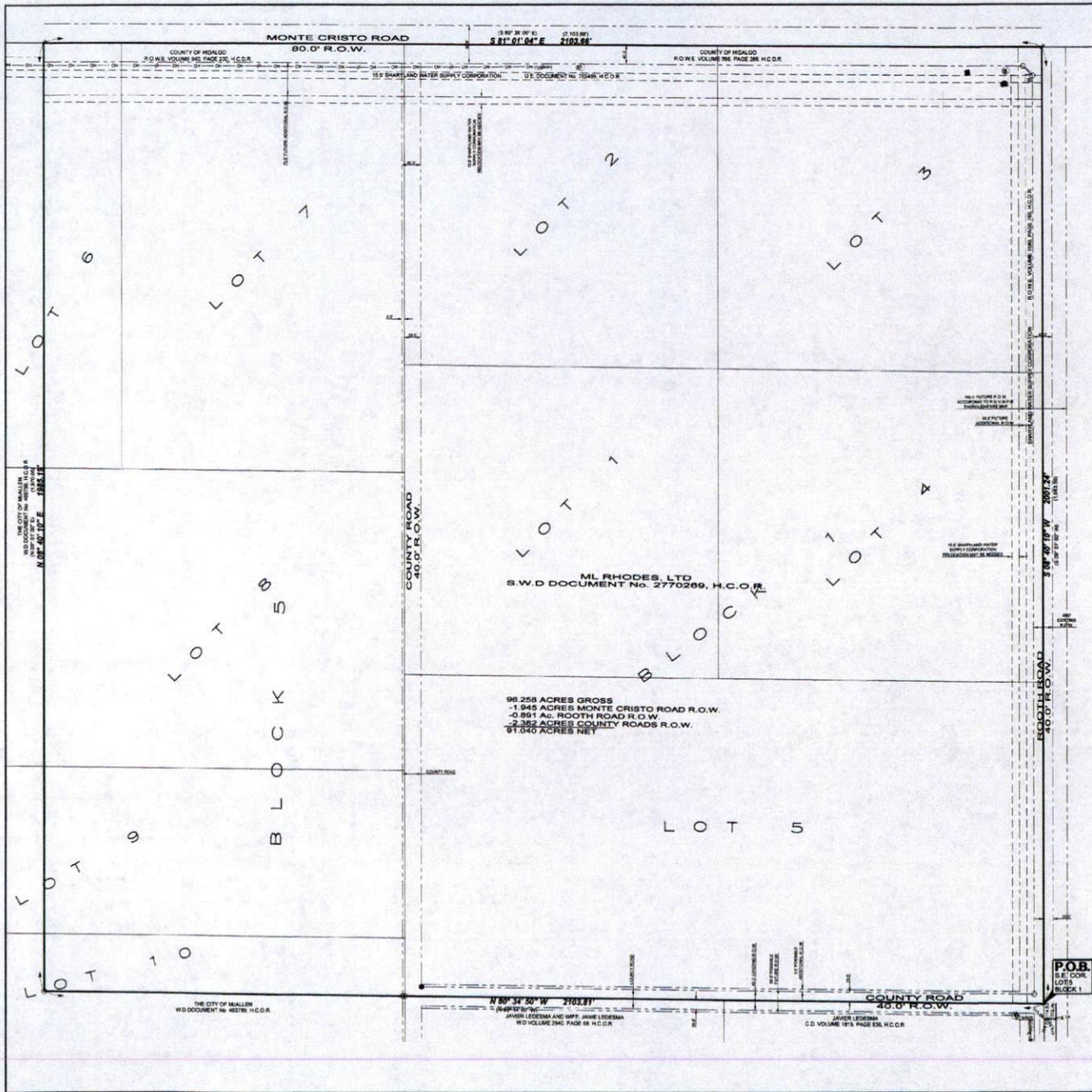
The maximum number of dwelling units based on 96.258 acres are approximately 4,192 one-bedroom, 3,354 two-bedroom, and 2,795 three-bedroom units. Number of allowable units may change upon recordation of the plat.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit might be required prior to building permit issuance.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-1 District as it conforms to the Estate Residential land use designation and the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.





FLOOD ZONE  
DATE OF SURVEY  
SCALE 1" = 40'



- LEGEND**
- FOUND NAIL NEEDED
  - FOUND TIGHT CONCRETE DIRT
  - SET NAIL DEEPER WITH PLASTIC CAP & STAMPED MILDEN'S HUNT
  - ▲ SET NAIL
  - ⊥ POWER POLE
  - ⊥ SURFACE POLE
  - ⊥ GUY WIRE
  - ⊥ TELEPHONE MARKER
  - ⊥ UNDERGROUND CABLE MARKER
  - ⊥ AT&T UNDERGROUND CABLE MARKER
  - ⊥ SIGNAL POST SIGN
  - ⊥ NAIL BOX
  - ⊥ WATER METER
  - ⊥ WATER VALVE MARKER
  - ⊥ FLOOD VALVE
  - ⊥ WATER VALVE
  - ⊥ 1/2" HANDLE
  - ⊥ GAS MARKER
  - ⊥ ——— CONCRETE POWER LINE
- R.O.W. - RIGHT OF WAY  
H.C.O.R. - HIDALGO COUNTY MAP RECORDS  
H.C.D.R. - HIDALGO COUNTY DEED RECORDS  
H.C.P.R. - HIDALGO COUNTY OFFICIAL RECORDS  
S.E. COR. - SOUTHEAST CORNER  
P.O.B. - POINT OF BEGINNING  
W.D. - WARRANTY DEED  
C.D. - CONVEYANCE DEED  
S.W.D. - SPECIAL WARRANTY DEED  
I.D. - INSTRUMENT DEED CALLS  
U.L. - UTILITY UTILITIES  
R.O.W. - RIGHT OF WAY EASEMENT

**PLAT SHOWING**  
**96.258 ACRES BEING ALL OF LOTS 1, 2, 3, 4**  
**AND 5, BLOCK 1 ALL OF LOT 7, BLOCK 5,**  
**AND OUT OF LOTS 6, 8, 9 AND 10, BLOCK 5,**  
**M AND M SUBDIVISION**  
**VOLUME 8, PAGE 28, H.C.M.R.**  
**HIDALGO COUNTY, TEXAS**



ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 06/08/2022 UNDER MY DIRECTION AND SUPERVISION.

ROBERTO N. TAMEZ, RPLS No. 6339 DATE: 06/08/2022

JOB No:	22096	ADDED THOROUGHFARE INFORMATION	05/17/2022	J.G.
DRAWING DATE	05/10/2022	REVISION	DATE	BY
DRAWN BY	J.G.			
File Name	22096			
1115 W. MANHATTAN - EDINBURG, TX 78841 PH: (936) 381-0261 - FAX: (936) 381-1839 ESTABLISHED 1947 - www.mildenandhunt.com				



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

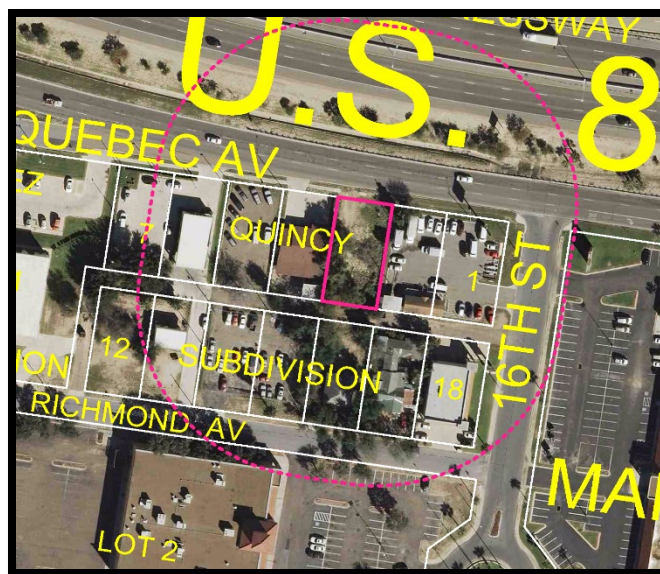
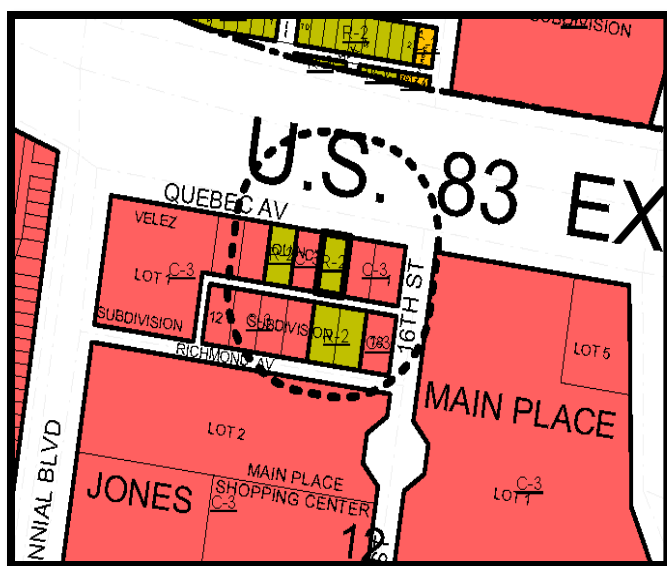
**DATE:** July 21, 2022

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: LOT 3, QUINCY SUBDIVISION, HIDALGO COUNTY, TEXAS; 1609 QUEBEC AVENUE. (REZ2022-0025)**

**LOCATION:** The property is located along the south side of Quebec Avenue. The tract has 60 feet of frontage along Quebec Avenue with a depth of 118.75 feet for a lot size of 7,125 square feet.

**PROPOSAL:** The applicant is requesting C-3 (general business) District in order to construct a parking lot and placement of a food truck. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** Adjacent zoning is C-3 (general business) District to the east, and west and R-2 (duplex-fourplex residential) District to the south.



**LAND USE:** The subject property is currently vacant. Surrounding land uses include Budget Car Rental, De La Vega Autoplex, Taco N' Todo, Cinemark Movies 6.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as auto urban commercial. The proposed rezoning of the subject property conforms to the land use designation as indicated on the Foresight McAllen Comprehensive Plan.

**DEVELOPMENT TRENDS:** The development trend for this area along Quebec Avenue is commercial use.

**ANALYSIS:** The requested zoning conforms to the auto urban commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan.

Compliance with off-street parking, landscaping, and various building and fire codes are required as part of building permit for commercial development.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to C-3 District as it conforms to the development trend in the area and the city of McAllen comprehensive plan designation.



MAP  
OF  
QUINCY SUBDIVISION  
OF THE EAST 557.1 FEET  
OF THE NORTH 5 ACRES  
OF THE WEST 15 ACRES  
OF THE NORTH 30 ACRES  
OF LOT 12, S 1/4 SECTION 7  
HIDALGO CANAL CO'S SUBDIVISION  
OF PORCIONES 64, 65 & 66  
HIDALGO COUNTY, TEXAS

PREPARED BY  
C. L. FABIAN  
LICENSED LAND SURVEYOR  
MC ALLEN, TEXAS

SCALE: 1" = 100'

I, C. L. FABIAN, A LICENSED LAND SURVEYOR, DO HEREBY CERTIFY  
THAT THIS MAP IS A TRUE AND CORRECT REPRESENTATION OF SURVEY  
BY ME ON THE GROUND.

STATE OF TEXAS:  
COUNTY OF HIDALGO:  
I, C. N. CALDWELL, OWNER OF THE PROPERTY HEREON SHOWN, DO  
HEREBY CERTIFY AND CONFIRM THE FOREGOING MAP AND DO HEREBY DEDICATE  
PUBLIC THE STREETS AND ALLEYS SHOWN HEREON.

STATE OF TEXAS:  
COUNTY OF HIDALGO:  
SUBSCRIBED AND SHOWN TO BEFORE ME ON THIS 24<sup>th</sup> DAY OF JANUARY  
(THELMA MITCHELL)

APPROVED JANUARY 23<sup>rd</sup> 1954  
MC ALLEN TOWNSHIP & PLANNING BOARD  
BY: [Signature]  
E. A. GREEN, CHAIRMAN

C. N. Caldwell  
C. N. CALDWELL

[Signature]  
THELMA MITCHELL  
NOTARY PUBLIC  
HIDALGO COUNTY, TEXAS

**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ 2022-0025**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLE.NET



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** July 27, 2022

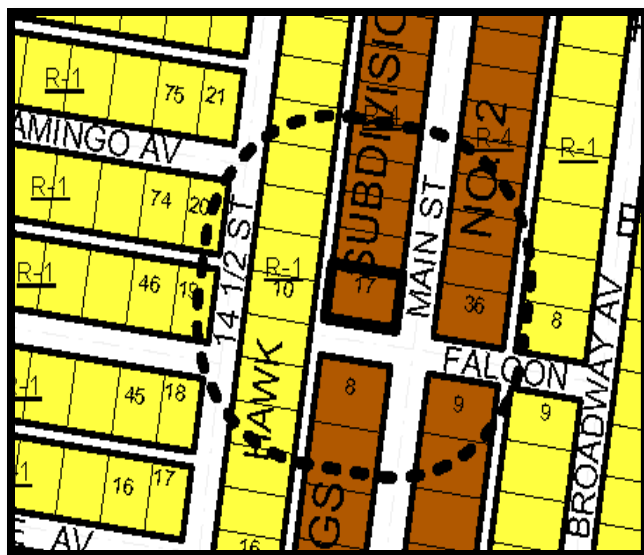
**SUBJECT: REZONE FROM R-4 (MOBILE HOME AND MODULAR HOME) DISTRICT TO R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT: LOT 17, JENNINGS SUBDIVISION UNIT NO. 2, HIDALGO COUNTY, TEXAS; 5801 NORTH MAIN STREET. (REZ2022-0026)**

---

**LOCATION:** The property is located at the northwest corner of north Main Street and Falcon Avenue. The tract has 75 feet of frontage along North Main Street with a depth of 110 feet for a lot size of 8,250 square feet.

**PROPOSAL:** The applicant is requesting R-2 (duplex-fourplex residential) District in order to construct a duplex. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent zoning is R-4 (mobile home and modular home) District to the north, east and south. The adjacent zoning to the west is R-1 (single-family residential) District.



**LAND USE:** The property currently has an existing mobile home that will be removed for the new construction if the rezoning is approved. Surrounding land uses include single-family residences, and mobile homes.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family. The proposed rezoning of the subject property does not conform to the land use designation as indicated on the Foresight McAllen Comprehensive Plan.

**DEVELOPMENT TRENDS:** The development trend for this area along North Main Street is mobile home and single family uses.

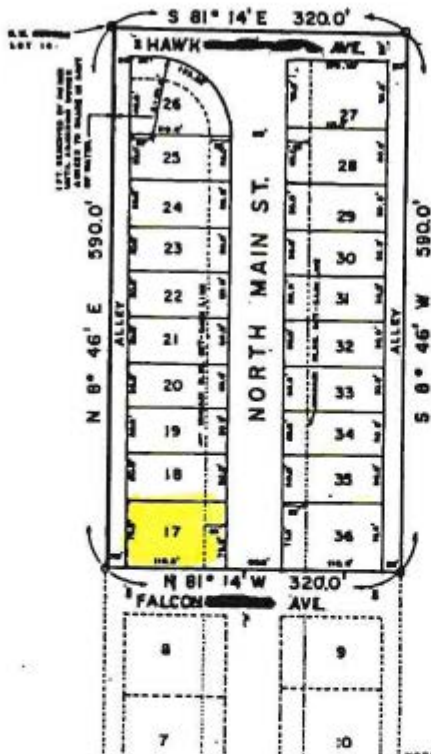
**ANALYSIS:** The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. R-2 (duplex-fourplex residential) District allows development for duplex, triplex, and fourplex uses.

Jennings Subdivision Unit No. 2 is an established Subdivision with mobile home and single family residential uses.

One e-mail was received in support of the rezoning request.

**RECOMMENDATION:** Staff recommends disapproval of the rezoning request to R-2 District as it does not conform to the rezoning and development trends in the area.





HAWK

FALCON

FILED FOR RECORD THIS DATE  
At 9:44 o'clock A.M.

JAN 18 1973

SANTOS SALDANA

*[Signature]*

**NOTE**  
GRADE PLANS ELEVATION SHALL NOT BE LESS THAN 22.0' R.O.C. & C.S. SHALL BE NOT LESS THAN 21' ABOVE FIN. OF HIGHEST ADJACENT SUB. UNLESS OTHERWISE SHOWN OTHERWISE IS THE HIGHER ELEVATION.

**MAP  
OF  
JENNINGS SUBDIVISION  
UNIT N° 2  
MC ALLEN, TEXAS**

BEING A SUBDIVISION OF THE WEST 320.0' FEET OF THE NORTH 590.0' FEET OF LOT 14, SECTION 12, HIDALGO CANAL CO.'S SUBDIVISION OF PORCIONES 64, 65 & 66, HIDALGO COUNTY, TEXAS CONTAINING 4.34 ACRES OF LAND MORE OR LESS.

PREPARED BY:  
**FABIAN NELSON & MEDINA INC.**  
MC ALLEN, TEXAS

SCALE: 1" = 100' DATE: 10-19-72

RECORDING  
COURT  
January 19 73  
County Clerk  
Hidalgo County  
Texas  
*[Signature]*



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2022-0026**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET



**Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

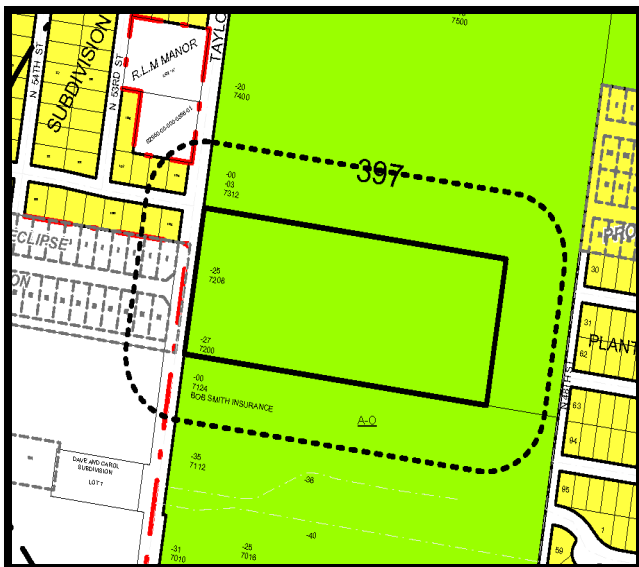
**DATE:** July 27, 2022

**SUBJECT: REZONE FROM A-O (AGRICULTURAL AND OPEN SPACE) DISTRICT TO R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT: 11.015 ACRES OUT OF LOT 397, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 7208 NORTH TAYLOR ROAD. (REZ2022-0027)**

**LOCATION:** The property is located along the east side of North Taylor Road. The tract has 446.44 feet of frontage along North Taylor Road with a depth of 1,074.80 feet for a lot size of 11.015 acres.

**PROPOSAL:** The applicant is requesting R-2 (duplex-fourplex residential) District for fourplex use. A feasibility plan has not been submitted to the Planning Department.

**ADJACENT ZONING:** The adjacent zoning is A-O (agricultural and open space) District to the north, east, and south. The area to the west across North Taylor Road is outside the McAllen city limits.



**LAND USE:** There is a single family residence on the subject property. The surrounding land use is single-family residential.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future

land use for this property as Auto Urban Residential which is comparable to Single Family Residential.

**DEVELOPMENT TRENDS:** The trend for this area along North Taylor Road is single family residential.

**ANALYSIS:** The requested zoning does not conform to the Auto Urban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan.

A buffer will be required as applicable.

An approved site plan and a recorded subdivision plat are required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends disapproval of the rezoning request to R-2 District since the request does not conform to the Auto Urban Residential comprehensive plan designation for the area. The rezoning and development trends are single family residential.



GRAPHIC SCALE IN FEET: 1"=100'  
 100' 50' 0' 50' 100'

BASIS OF BEARINGS:  
 TEXAS STATE PLANE  
 COORDINATE SYSTEM  
 SOUTH ZONE 4205

**LEGEND**

- BOUNDARY LINE
- - - RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - LOT LINE
- - - PROPERTY LINE
- - - ROADWAY CENTERLINE
- FOUND 1/2" IRON PIPE OR AS NOTED
- FOUND 1/2" IRON PIPE WITH CAP OR AS NOTED
- △ CALCULATED POINT
- FIND - FOUND
- R.O.W. - RIGHT OF WAY
- SW - SOUTHWEST
- CHL - CORNER
- VOL. - VOLUME
- PG. - PAGE
- DOC. - DOCUMENT
- GEN. - GENERAL WARRANTY DEED
- WD. - WARRANTY DEED
- SND. - SPECIAL WARRANTY DEED
- WOL. - WARRANTY DEED W/ENDOR'S LSN
- O.R.H.C.T. - OFFICIAL RECORDS HIDALGO COUNTY TEXAS
- M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
- ( ) - RECORD CALL

**PLAT SHOWING:**

A 11.015 ACRE [479,833.65 SQ.FT.] TRACT BEING COMPRISED OF THE FOLLOWING TRACTS OF LAND:

TRACT 1: THE SOUTH 10 ACRES MORE OR LESS OUT OF THE WEST 1,045 FEET OF THE SOUTH ONE-HALF (1/2) OF LOT 397, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY TEXAS.

TRACT 2: A 1.0 ACRE TRACT MORE OR LESS OUT OF THE SOUTH 20.0 ACRES OF LOT 397, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS.

OWNERS: 7.929 AC. AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS.

TRACT 2, 1.0 AC.  
 OWNER: SHEILA JOHANA GAYTAN NAVARRO  
 WD. DOC. No. 3339556

11.015 ACRES  
 [479,833.65 SQ.FT.]

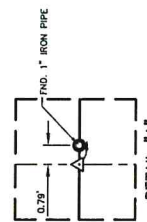
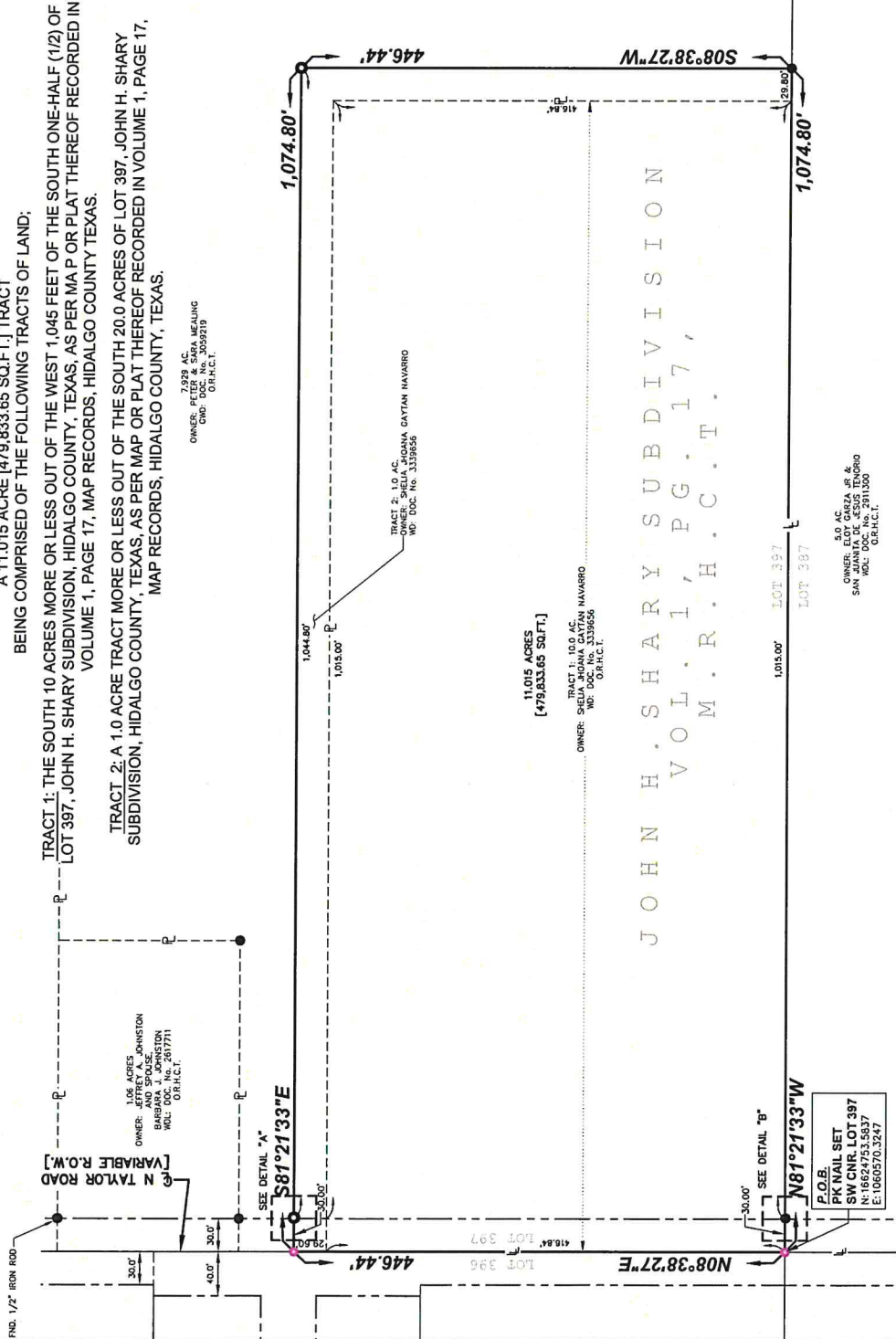
TRACT 1, 10.0 AC.  
 OWNER: SHEILA JOHANA GAYTAN NAVARRO  
 WD. DOC. No. 3339556  
 O.R.H.C.T.

JOHN H. SHARY SUBDIVISION  
 VOL. 1, PG. 17,  
 M.R.H.C.T.

**NOTES**

1. SUBJECT PROPERTY APPEARS TO BE LOCATED IN THE "A" DESCRIBED AS AREAS OF MINIMAL FLOODING, AS PER FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 48034 (A00, C, DATED NOVEMBER 16, 1982. [NO FLOODING INFORMATION IS SHOWN ON THIS MAP. THE FLOODING INFORMATION SHOWN ON THIS MAP IS FOR INFORMATION ONLY AND DOES NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.]
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS OR OTHER INTERESTS IN THE PROPERTY THAT MAY AFFECT THIS PROPERTY.
3. EASEMENTS, RESTRICTIONS AND EXCEPTIONS TO CONVEYANCE AND WARRANTIES ARE LISTED IN THE DEED AND THIS PROPERTY.
4. ALL PRESENTLY RECORDED RESTRICTIONS, RESERVATIONS, COVENANTS, CONDITIONS, OIL AND GAS LEASES, MINERAL SEVERANCE, AND OTHER PROPERTY INTERESTS, OTHER THAN EASEMENTS AND CONVEYANCES, THAT AFFECT THIS PROPERTY ARE SHOWN ON THIS SURVEY.
5. RIGHTS OF ADJOINING OWNERS IN ALL WALLS AND FENCES SITUATED ON A COMMON BOUNDARY.
6. ALL RIGHTS OBLIGATIONS, AND OTHER MATTERS EXISTING FROM AND EXISTING BY REASON OF THE CREATION, ESTABLISHMENT, MAINTENANCE, AND OPERATION OF THE WATER AND IRRIGATION DISTRICT.
7. ALL ADJOINER INFORMATION SHOWN HEREON AS PER YOUNG HAZEL APPRAISAL DISTRICT RECORDS.
8. A METES AND BOUNDS DESCRIPTION OF EVEN DATE ACCOMPANIES THIS SURVEY PLAN.
9. SURVEY VALID ONLY WITH ORIGINAL SEAL AND SIGNATURE.

JOB NO. 22172 SHEET 02 OF 02



MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN THE MONTH OF JUNE, 2022 AND THAT THE NOTES SHOWN HEREON ARE TRUE AND CORRECT.

*Manuel Carrizales*  
 MANUEL CARRIZALES  
 P.L.L.C. #6388

DATE: 6/23/2022

**Carrizales Land Surveying, LLC**  
 Texas Registered Surveying Firm  
 4807 Gondola Avenue, Edinburg, TX 78542  
 Office: 956-507-2167  
 www.cslsland

JUL 06 2022

BY:



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2022-0027**

CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET

**Memo**

**TO:** Planning and Zoning Commission

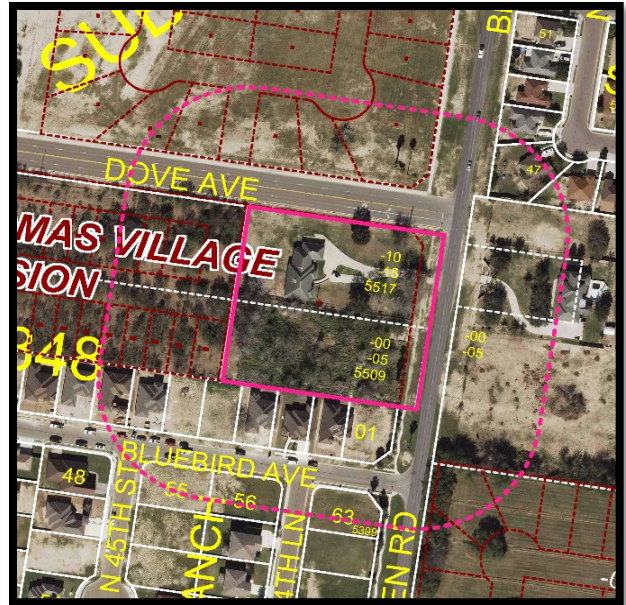
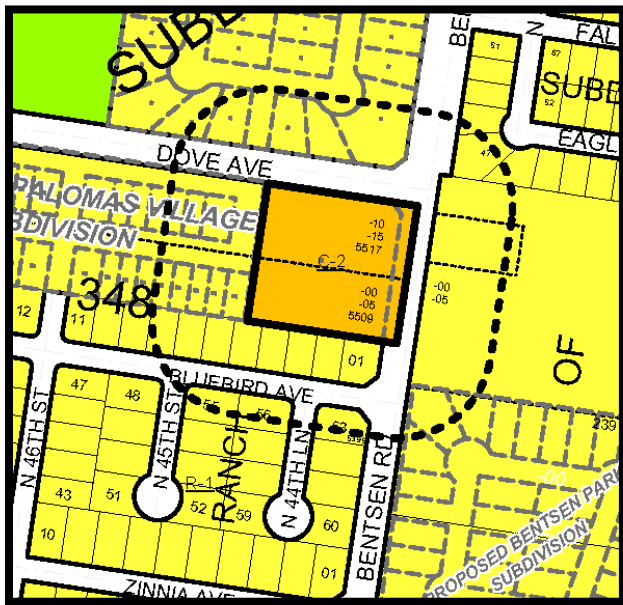
**FROM:** Planning Staff

**DATE:** July 27, 2022

**SUBJECT: REZONE FROM C-2 (NEIGHBORHOOD COMMERCIAL) DISTRICT TO R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 2.34 ACRES OUT OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 5517 NORTH BENTSEN ROAD. (REZ2022-0031)**

**LOCATION:** The property is located at the Southwest corner of Dove Avenue and North Bentsen Road. The tract has 295.72 feet of frontage along Bentsen Road with a depth and frontage along Dove Avenue of 345 feet for a lot size of 2.34 acres.

**PROPOSAL:** The applicant is requesting R-1 (single-family residential) District in order to demolish the current home and make it part of a proposed 45 lot single-family residential subdivision under the name of Dove Meadows Subdivision. The Planning and Zoning Commission approved the proposed Dove Meadows Subdivision in preliminary form on July 26, 2022.



**ADJACENT ZONING:** The adjacent zoning is R-1 (single family residential) District in all directions.



**LAND USE:** There is an existing single family residence on the subject property. Surrounding land use is single family residential.

**COMPREHENSIVE PLAN:** The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family. The proposed rezoning and use of the subject property conforms to the land use designation as indicated on the Foresight McAllen Comprehensive Plan.

**DEVELOPMENT TRENDS:** The development trend for this area along North Bentsen Road is single family residential.

**ANALYSIS:** The requested zoning conforms to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The tract will be part of the proposed 45 lot Dove Meadows Subdivision.

An approved site plan and a recorded subdivision plat are required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-1 District as it conforms to the Auto Urban Residential comprehensive plan designation.

LOT 2  
SHARYLAND ISD JUNIOR HIGH SCHOOL  
(VOL. 48, PG. 122, H.C.M.R.)



BASED ON BEARING AS PER  
TEXAS STATE PLANE COORDINATE SYSTEM  
NAD 83, SOUTH ZONE

SCALE: 1" = 20.00'

N.E. CORNER  
LOT 348

**DOVE AVENUE**  
(70.0' R.O.W.)

S 81°25'13" E 345.00'

N 08°34'47" E 295.24'

2.34 ACRES

5.0' SOUTH TEXAS  
NATURAL GAS CO.  
(VOL. 963, PG. 40, H.C.D.R.)

20.0'  
R.O.W.

5.0' SOUTH TEXAS  
NATURAL GAS CO.  
(VOL. 944, PG. 66, H.C.D.R.)

15.0' UTILITY EASEMENT  
(DOCUMENT No. 1432918, H.C.D.R.)

S 08°34'47" W 295.72'

**N. BENTISEN ROAD**  
(R.O.W. VARIES)

N 81°20'31" W 345.00'

SENDERO RANCH ESTATES  
(VOL. 50, PG. 121, H.C.M.R.)

OF 2.34 ACRES  
OUT OF LOT 3481  
JOHN H. SHARY SUBDIVISION  
HIDALGO, TEXAS  
(VOL. 1, PG. 17, H.C.M.R.)

**LEGEND**

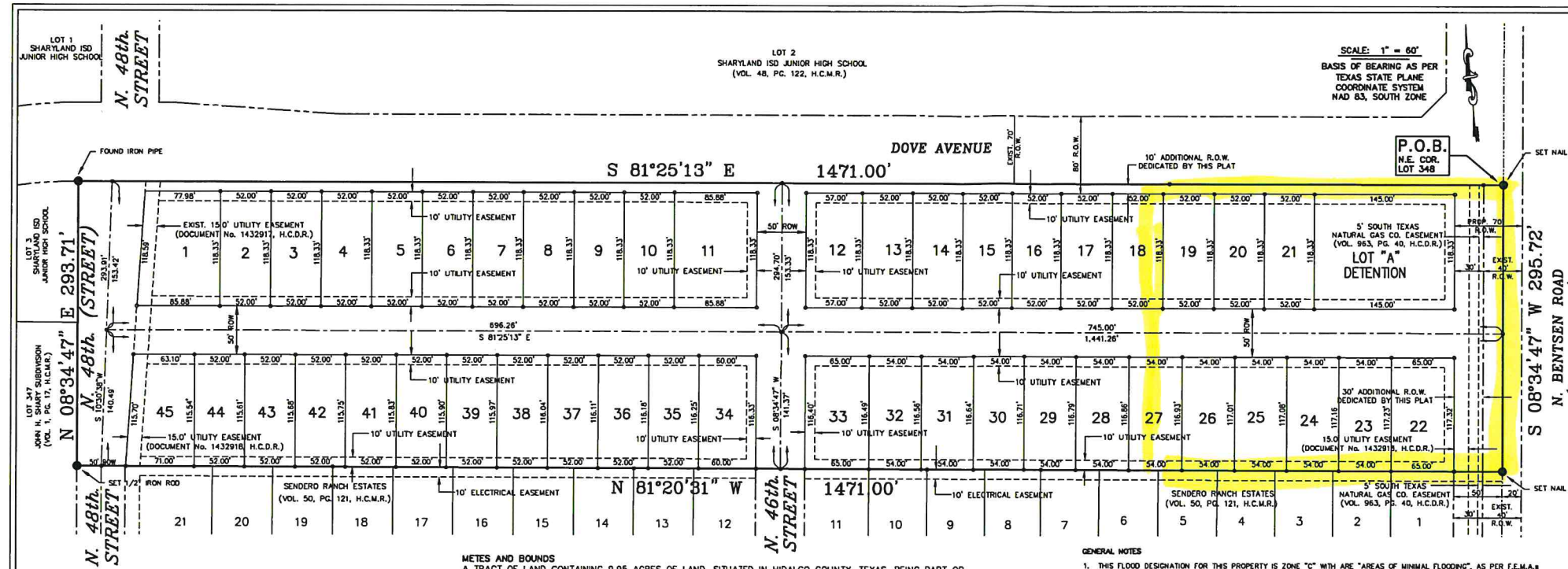
- ▬ = PROPERTY LINE
- ┌ = LOT LINE
- NS = NAIL SET
- ⚡ = POWER POLE
- ⊙ = LIGHT POLE
- ⊗ = WATER VALVE
- ⊠ = WATER METER
- = SANITARY SEWER MANHOLE
- H.C.D.R. = HIDALGO COUNTY DEED RECORDS
- P.O.B. = POINT OF BEGINNING
- ⊕ = STORM SEWER MANHOLE
- ⊠ = ELECTRICAL PEDESTAL
- ← = GUY WIRE
- ⊙ = SIGN
- ▒ = GRATE INLET
- XX- = WIRE FENCE
- EOP = EDGE OF PAVEMENT
- R.O.W. = RIGHT OF WAY
- H.C.M.R. = HIDALGO COUNTY MAP RECORDS

PROJECT INFORMATION	
SURVEYED DATE:	07/06/22
JOB NO.:	220702
DRAWN BY:	G.T.G.
CHECKED BY:	C.V.
REVISIONS:	

**LAND SURVEYORS**

LLC

517 BEAUMONT AVE.  
McALLEN, TEXAS 78501  
Ph. (956) 618-1551  
FAX (956) 618-1547  
www.cvg@cvglandsurvey.com  
TBPELS FIRM No. 10119600



**SUBDIVISION PLAT OF  
DOVE MEADOWS  
SUBDIVISION**

A TRACT OF LAND CONTAINING 9.95 ACRES OF LAND, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 1, PAGE 17, MAP RECORDS.

STATE OF TEXAS  
COUNTY OF HIDALGO  
I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS DOVE MEADOWS SUBDIVISION PLAT, AN ADDITION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

RIVERSIDE DEVELOPMENT SERVICES, LLC. DATE:  
2806 ZINNA AVENUE  
McALLEN, TEXAS 78504  
BY: ANTONIO M. AGUIRRE, JR., MEMBER

STATE OF TEXAS  
COUNTY OF HIDALGO  
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY THE OWNER PERSONALLY APPEARED MR. ANTONIO M. AGUIRRE JR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_\_

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E. DATE  
REGISTERED PROFESSIONAL ENGINEER NO. 74808

STATE OF TEXAS  
COUNTY OF HIDALGO

I, CARLOS VASQUEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

CARLOS VASQUEZ, R.P.L.S. DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4608  
C.V.O. LAND SURVEYORS, LLC  
517 BEAUMONT AVE.  
McALLEN, TEXAS 78501  
TEL. (956) 618-1551 DATE SURVEYED: 03/09/2022  
TBPCLS FIRM NO. 10119600

**METES AND BOUNDS**  
A TRACT OF LAND CONTAINING 9.95 ACRES OF LAND, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 9.95 ACRES BEING ALL THOSE TRACTS OF LAND DEEDED TO OSAMA B. NAHAS, RECORDED IN DOCUMENT NUMBER 1651186 AND DOCUMENT NUMBER 1966667, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND SAID 9.95 ACRES OF LAND ALSO BEING MORE PARTICULARLY AS FOLLOWS:

BEGINNING ON THE NORTHEAST CORNER OF SAID LOT 348, WITHIN BENTZEN ROAD RIGHT-OF-WAY, FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE S 08° 34' 47" W, ALONG THE EAST LINE OF SAID LOT 348 WITHIN SAID BENTZEN ROAD RIGHT-OF-WAY, A DISTANCE E OF 295.72 (296.12) FEET TO THE NORTHEAST CORNER OF SENDERO RANCH ESTATES, MAP REFERENCE: VOLUME 50, PAGE 121, MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N 81° 20' 31" W, ALONG THE NORTH LINE OF SAID SENDERO RANCH ESTATES, AT A DISTANCE OF 20.00 FEET PASS THE WEST RIGHT-OF-WAY LINE OF SAID BENTZEN ROAD AND CONTINUING A TOTAL DISTANCE OF 1471.00 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" SET ON THE NORTHWEST CORNER OF SAID SENDERO RANCH SUBDIVISION AND THE WEST LINE OF SAID LOT 348, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE N 08° 34' 47" E, ALONG THE WEST LINE OF SAID LOT 348, A DISTANCE OF 293.71 (296.12) FEET TO AN IRON PIPE FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF DOVE AVENUE, FOR THE NORTHWEST CORNER HEREOF;

THENCE S 81° 25' 13" E, ALONG THE NORTH LINE OF SAID LOT 348 AND SOUTH RIGHT-OF-WAY LINE OF SAID DOVE AVENUE AT A DISTANCE OF 1126.78 FEET PASS A 1/2" IRON ROD FOUND, AND CONTINUING A TOTAL DISTANCE OF 1471.00 FEET TO THE POINT OF BEGINNING, CONTAINING 9.95 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO

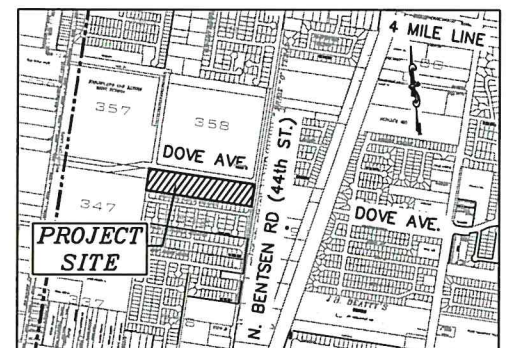
WE, THE UNDERSIGNED, HOLDERS (OR DULY AUTHORIZED OFFICERS OF THE HOLDERS) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS DOVE MEADOWS SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED UNDER THE PLAT AND DO HEREBY THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

SIGNATURE  
BY: ADRIAN VILLARREAL, PRESIDENT  
INTERNATIONAL BANK OF COMMERCE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ADRIAN VILLARREAL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_\_



**LOCATION MAP  
1"=1000'**

LOT #	SQ. FT.	ACRES
1	9,271	0.21
11	9,737	0.22
12	7,266	0.17
22	7,310	0.17
33	7,457	0.17
34	6,865	0.16
45	7,621	0.18

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

DATE OF PREPARATION: MARCH, 2022 DRAWN BY: P.GONZALEZ

**Javier Hinojosa Engineering**  
CONSULTING ENGINEERS  
416 E. DOVE AVENUE McALLEN, TEXAS 78504  
PHONE (956) 668-1588  
javier@javierhinojosaeng.com  
TBPCLS FIRM NUMBER F-1295

**PRINCIPAL CONTACTS:**

NAME	ADDRESS	CITY & ZIP	PHONE #
OWNER: RIVERSIDE DEVELOPMENT SERVICES, LLC.	2806 ZINNA AVENUE	McALLEN, TX 78504	(956) 331-8987
ENGINEER: JAVIER HINOJOSA	416 E. DOVE AVENUE	McALLEN, TX 78504	(956) 668-1588
SURVEYOR: CARLOS VASQUEZ	517 BEAUMONT AVE.	McALLEN, TX 78501	(956) 618-1551

**GENERAL NOTES**

- THIS FLOOD DESIGNATION FOR THIS PROPERTY IS ZONE "C" WITH AREAS OF MINIMAL FLOODING. AS PER F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NO. 4803434 0400 C MAP REVISED: NOVEMBER 18, 1982
- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT MID POINT OF THE LOT.
- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
FRONT: 25 FEET OR GREATER FOR EASEMENTS  
REAR: 10 FEET OR GREATER FOR EASEMENTS  
INTERIOR SIDE: 6 FEET OR GREATER FOR EASEMENTS  
CORNER SIDE: 10 FEET OR GREATER FOR EASEMENTS  
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
- NO STRUCTURES PERMITTED OVER ANY EASEMENTS.
- A TOTAL OF 1,413 ACRES FEET (81,254 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. THIS DETENTION WILL BE PROVIDED WITHIN DETENTION AREA LOT "A".
- BENCHMARK: TOP OF DRAINAGE MANHOLE LOCATED AT THE SOUTH RIGHT OF WAY OF THE INTERSECTION OF DOVE AVENUE AND BENTZEN ROAD ELEVATION = 123.40. REFERENCE (MC-BENTZEN ELEVATION = 123.99) TYPE OF MARK: STAINLESS STEEL, 3/8" BOLT, COVERED WITH AN ALUMINUM CAP LOCATED INSIDE THE McALLEN PUBLIC WORKS, WHICH IS LOCATED ON BENTZEN ROAD AND SOUTH OF 3 MILE LINE.
- A 5 FOOT WIDE MINIMUM SIDEWALK REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS AND ALONG THE WEST SIDE OF N. BENTZEN ROAD AND THE SOUTH SIDE OF DOVE AVENUE.
- SET "X" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" ON ALL LOT CORNERS UNLESS OTHERWISE NOTED. RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES.
- 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY IRRIGATION DISTRICT #1 AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE DISTRICT.
- NO PERMANENT STRUCTURE, (EXAMPLE, FENCES OR DRIVEWAY OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT AREA IS SUBJECT TO REMOVAL.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL. AS PER DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR DOVE MEADOWS SUBDIVISION, RECORDED AS DOCUMENT NO. HIDALGO COUNTY, DEED RECORDS, DEVELOPER/HOMEOWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OF ORDINANCES OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO THE COMMON AREAS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL AND VOID.
- COMMON LOT A, IDENTIFIED AS DETENTION AREA LOT A SHALL BE MAINTAINED BY THE DEVELOPER, WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, DOVE MEADOWS SUBDIVISION HOMEOWNER ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF McALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN COMMON LOT A WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREA LOT A. AFTER COMMON LOT A TRANSFER OF TITLE TO THE DOVE MEADOWS SUBDIVISION HOMEOWNER'S ASSOCIATION, THE SUBDIVISION LOT OWNER RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE DOVE MEADOWS SUBDIVISION HOMEOWNER'S ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-138. AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOT A, THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION, RECORDED IN INSTRUMENT NO. OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



FILE FOR RECORD IN  
HIDALGO COUNTY  
ARTHUR GILJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2022-0031**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET



# City of McAllen

Subarea-00e1

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	Replat of Lot 2 Bann Subdivision		
	Location	Quince Ave & 24 1/2 Street		
	City Address or Block Number	2401 QUINCE AVE		
	Number of Lots	4	Gross Acres	2.156
			Net Acres	2.152
			ETJ	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning	R-3A	Proposed Zoning	
			Rezoning Applied for	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
			Date	
	Existing Land Use	Vacant	Proposed Land Use	Multifamily
		Irrigation District #		
Replat	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Commercial	<input type="checkbox"/>	
		Residential	<input checked="" type="checkbox"/>	
Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Rollback Tax Due	0.10	
Parcel #	121453	Tax Dept. Review		
Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	Other		
Legal Description	Lot 2, Bann Subdivision			
Owner	Name	Gabriel Kamel Nachito Enterprises, LLC	Phone 956-342-1391	
	Address	5608 N 6th St	E-mail gabriel@kamelinvestments.com	
	City	McAllen	State TX Zip 78504	
Developer	Name	Gabriel Kamel	Phone 956-342-1391	
	Address	5608 N 6th St	E-mail gabriel@kamelinvestments.com	
	City	McAllen	State Texas Zip 78504	
	Contact Person	Gabriel Kamel		
Engineer	Name	South Texas Infrastructure Group	Phone 956-424-3335	
	Address	900 S. Stewart Rd Ste 13	E-mail victor@southtexasig.com	
	City	Mission	State Texas Zip 78572	
	Contact Person	Victor Trevino		
Surveyor	Name	ROW Surveying	Phone 956-424-3335	
	Address	900 S. Stewart Rd Ste 13	E-mail jgalvan@rowsurveying.com	
	City	Mission	State Texas Zip 78572	

ENTERED

MAY 27 2022

B155700000000200

Initial: AK

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\***

### PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

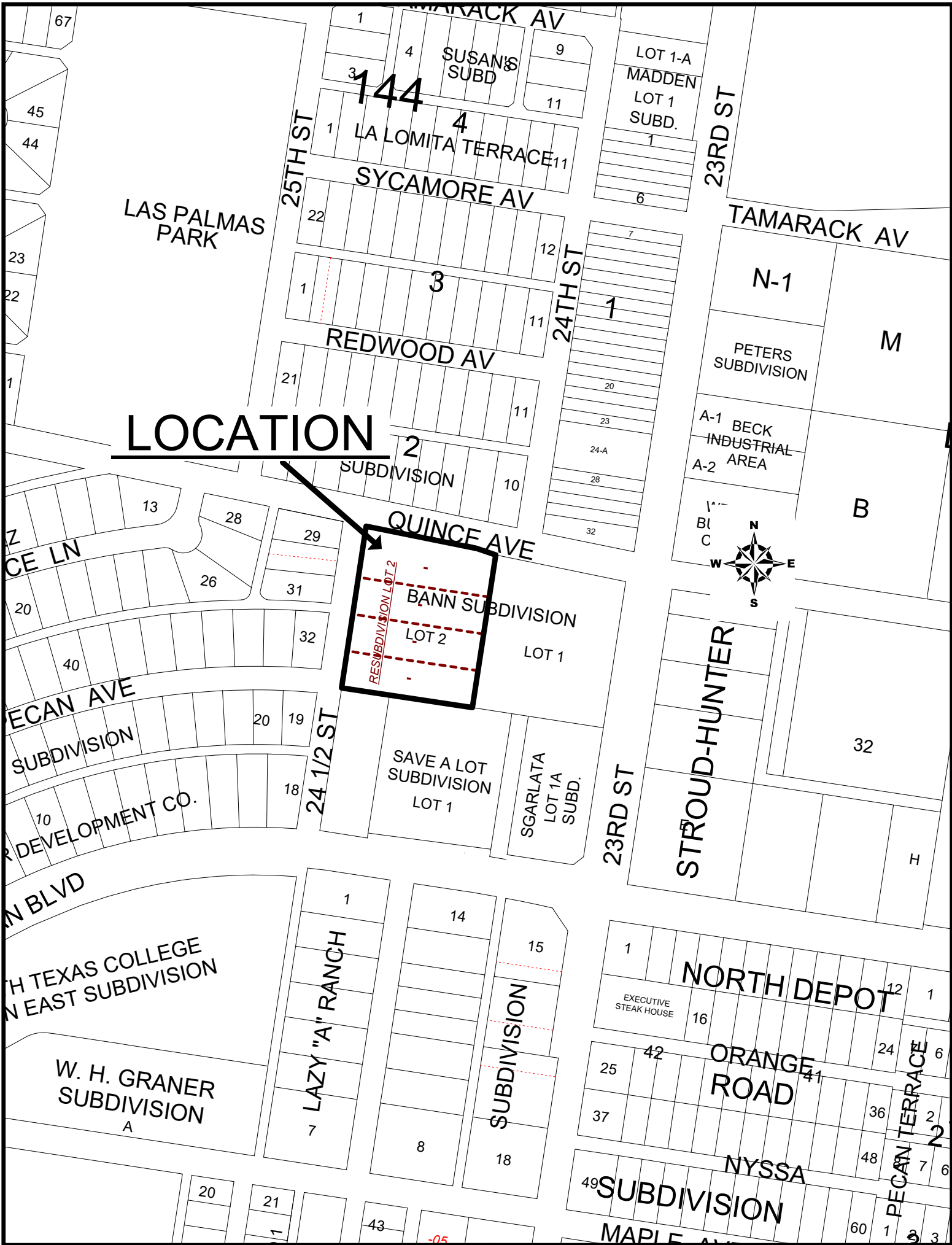
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 5-27-22

Print Name Gabriel Kamel (Manager)

Owner  Authorized Agent

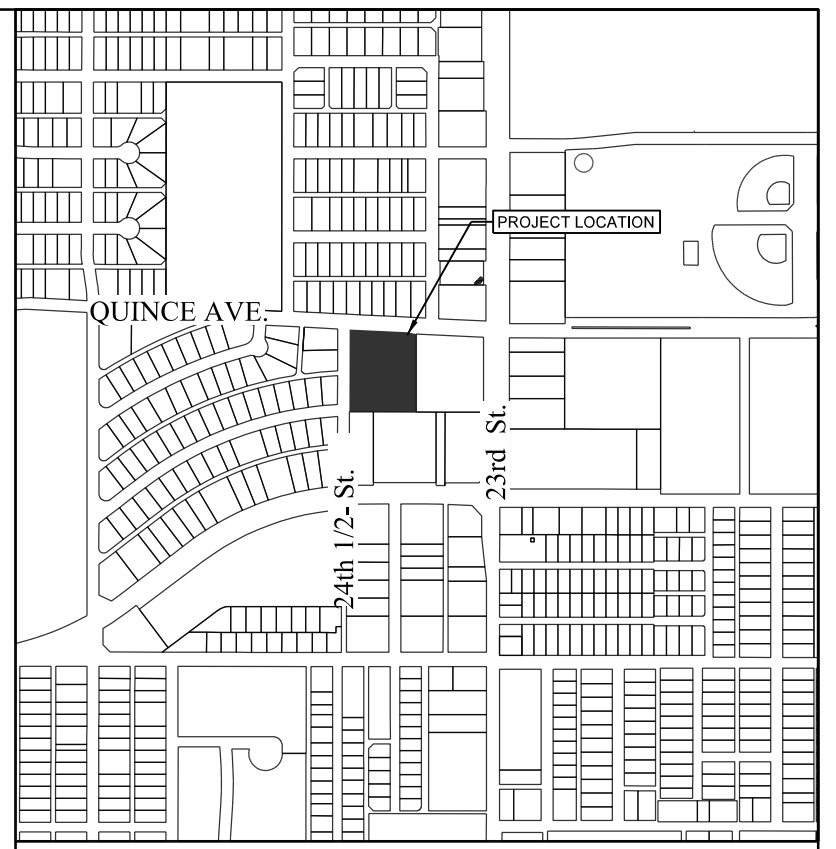
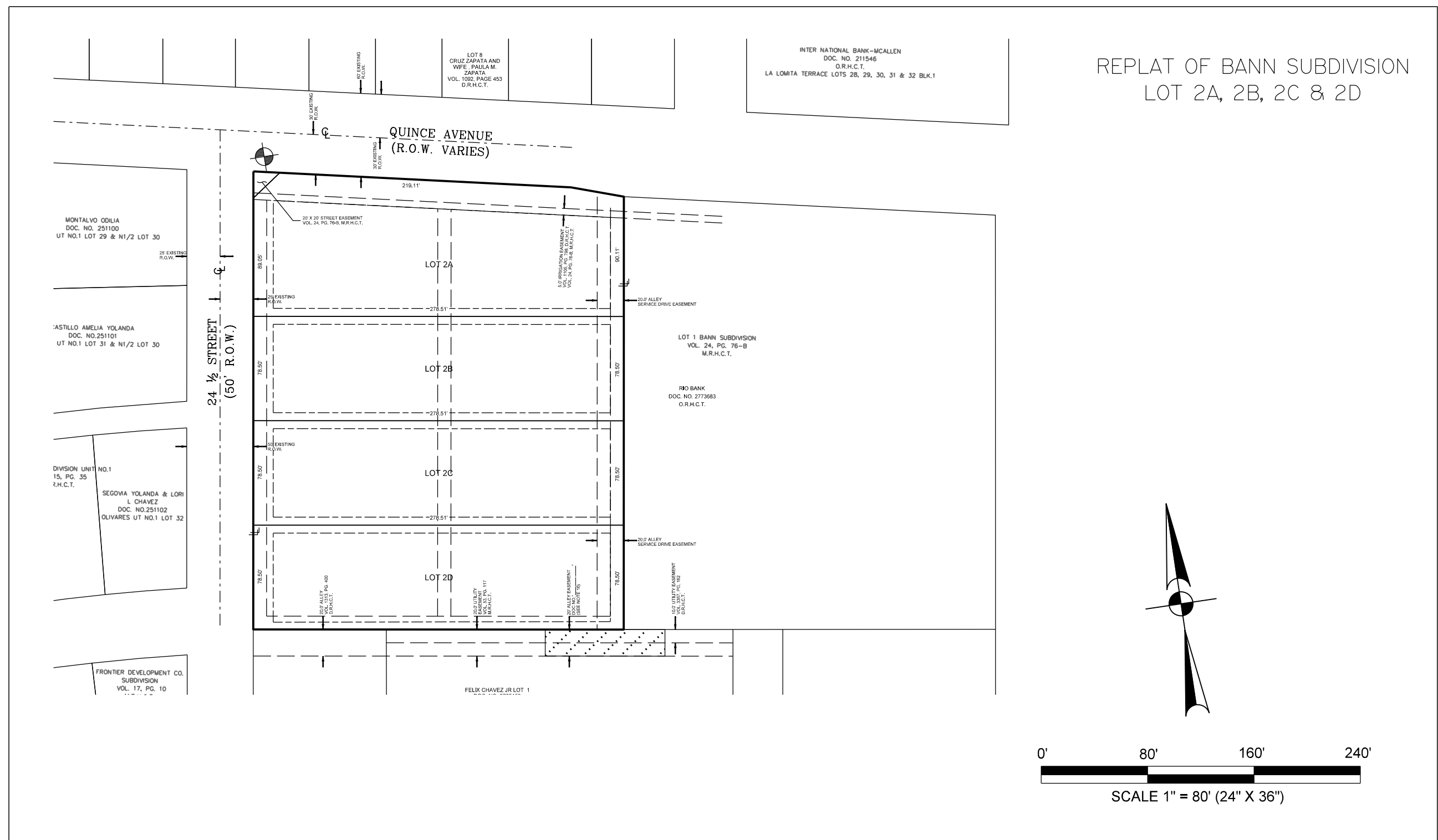
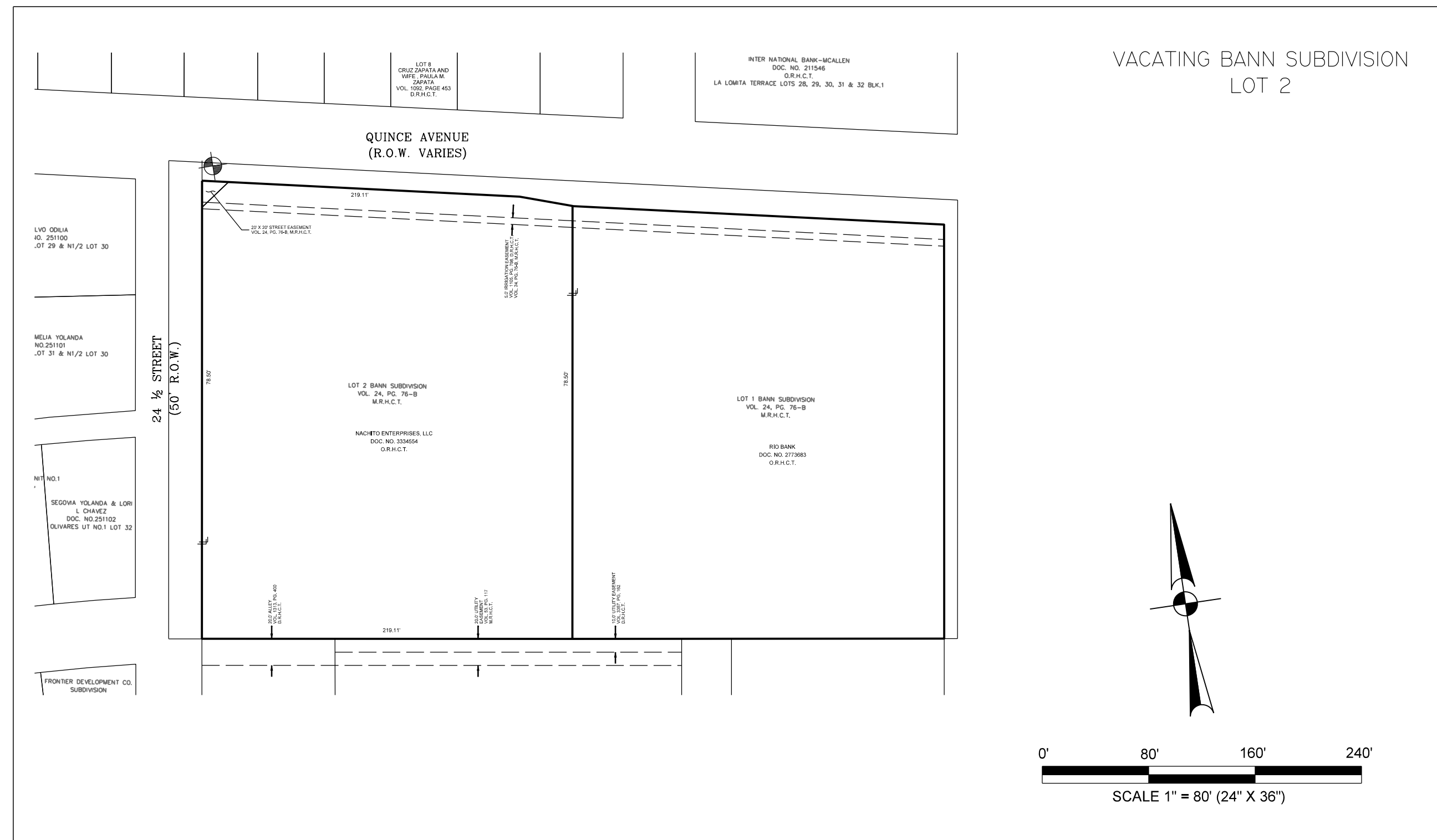
The Planning Department is now accepting DocuSign signatures on application



**LOCATION**

**RESUBDIVISION LOT 2**





LOCATION MAP  
SCALE 1" : 2000'

- LEGEND:**
- SET # 5/8" IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR." ●
  - FOUND IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR.", UNLESS OTHERWISE NOTED ○
  - OFFICIAL RECORDS HIDALGO COUNTY TEXAS ○ R.H.C.T.
  - MAP RECORDS HIDALGO COUNTY TEXAS ○ M.R.H.C.T.
  - DEED RECORDS HIDALGO COUNTY TEXAS ○ D.R.H.C.T.
  - RIGHT-OF-WAY ○ R.O.W.
  - HIDALGO COUNTY DRAINAGE DISTRICT ○ H.C.D.D.

STATE OF TEXAS  
COUNTY OF HIDALGO

I/WE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VIDA SUBDIVISION OF THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I/WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

GABRIEL KAMEL \_\_\_\_\_ DATE \_\_\_\_\_  
5608 N. 5TH ST.  
McALLEN TX 78504

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GABRIEL KAMEL, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC

STATE OF TEXAS  
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVIÑO, A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER 128195, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

VICTOR H. TREVIÑO, P.E.  
LICENSED PROFESSIONAL ENGINEER,  
TEXAS LIC. NO. 128195

STATE OF TEXAS  
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, JUAN E. GALVAN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND ON \_\_\_\_\_ UNDER MY DIRECTION.

JUAN E. GALVAN, R.P.L.S.  
REG. PROFESSIONAL LAND SURVEYOR # 4011

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTIEST: \_\_\_\_\_ PRESIDENT

\_\_\_\_\_  
SECRETARY

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS HERBY CERTIFY THAT VIDA SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_

SHARYLAND WATER SUPPLY CORPORATION

I, SHERILYN DAHLBERG, HEREBY CERTIFY THAT SHARYLAND WATER SUPPLY CORPORATION HAS APPROVED THE POTABLE WATER INFRASTRUCTURE FOR THE VIDA SUBDIVISION LOCATED AT S MILE ROAD, HIDALGO COUNTY, TEXAS, SUBJECT TO THE POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DESIGN ENGINEER AND ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER INFRASTRUCTURE IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EASEMENT.

SHERILYN DAHLBERG  
GENERAL MANAGER  
SHARYLAND WATER SUPPLY CORPORATION

\_\_\_\_\_  
DATE

GENERAL NOTES:

1. FLOOD ZONE STATEMENT:  
ZONE "B"  
AREAS BETWEEN LIMITS 100-YEAR FLOOD AND 500-YEAR FLOOD;  
COMMUNITY PANEL NO. 4853.43 0005 C, REVISED NOVEMBER 2, 1982
2. SETBACK LINES TO BE AS PER CITY OF McALLEN ZONING ORDINANCE (D):  
FRONT: 20 FEET EXCEPT 15 FEET FOR UNENCLOSED CARPORT ONLY, OR GREATER FOR EASEMENTS  
REAR: 10 FEET OR EASEMENT, WHICHEVER IS GREATER  
INTERIOR SIDES: 5 FEET OR EASEMENT, WHICHEVER IS GREATER  
CORNER: 10 FEET OR EASEMENT, WHICHEVER IS GREATER  
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED
3. MINIMUM FINISH FLOOR NOTE:  
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
4. CITY OF McALLEN BENCHMARK: "MC 54" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLECK, LINN OFFICE, PEDRO ON OCTOBER 21, 1999, BEING LOCATED AT THE GARZA PARK ON MILE 4 ROAD, 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT ELEVATION = 1150.0 FEET (NAVD83).
5. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
7. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
8. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
9. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
10. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 13,232 CFT OR 0.30 ACRE-FT OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO.2 FOR STORM SEWER IMPROVEMENTS).
11. 8 FT. OPaque BUTTER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES USES AND ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
12. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON NORTH SHARY ROAD (FM 494) AND AUBURN AVENUE (5 MILE LINE - FM 676) AND 4 FT. MINIMUM WIDE SIDEWALK ALONG BOTH SIDES OF ALL INTERIOR STREETS.
13. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES USES.
14. DETENTION SHALL BE MAINTAINED BY THE DEVELOPER, WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, VIDA HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF McALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN DETENTION BASINS, WHICH SHALL BE USED EXCLUSIVELY AS A RETENTION AREA. AFTER TRANSFER OF TITLE TO THE VIDA HOMEOWNER'S ASSOCIATION, THE SUBDIVISION LOT OWNER PRO-RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE RENAISSANCE HOMEOWNER'S ASSOCIATION, FALLING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS, AS THE SAME MAY BE AMENDED, THE SPECIFIC AND EXCLUSIVE USE OF RETENTION BASINS, BLOCK 1, THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION.
15. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
16. 20' ALLEY TO BE PAVED UNDER BUILDING PERMIT STAGE.

PRINCIPAL CONTACTS:				
	NAME	ADDRESS	CITY & ZIP	PHONE FAX
OWNER:	GABRIEL KAMEL	5608 N. 5TH ST.	McALLEN, TEXAS 78504	(956) 342-1391
ENGINEER:	VICTOR H. TREVIÑO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(956) 424-3335 (956) 424-3132
SURVEYOR:	JUAN E. GALVAN, R.P.L.S.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(956) 424-3335 (956) 424-3132

SOUTH TEXAS INFRASTRUCTURE GROUP  
900 S. STEWART, SUITE 13  
MISSION, TEXAS 78572  
PH: (956) 424-3333  
FAX: (956) 424-3132  
TBPE REG. # 1500







**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/27/2022

<b>SUBDIVISION NAME: REPLAT OF LOT 2 BANN SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Quince Avenue: Dedication as needed for 30 ft.-32.5 ft. from centerline for 60 ft.- 65 ft. total ROW as dedication varies.                      Paving : _Approximately existing 35 ft.- 45 ft._ Curb &amp; gutter _Both Sides____                      *Include document numbers on plat and provide any documents as applicable regarding how existing ROW was dedicated.                      **Show ROW dedication along Quince Avenue, as it varies.                      ****Label ROW dedications, from centerline, existing, total, etc.                      ****Finalize ROW requirements prior to recording.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to recording.                      *****COM Thoroughfare Plan</p>	Required
<p>N. 24th1/2 Street: Proposing to maintain existing 50 ft. total ROW.                      Paving _Approximately existing 30 ft._ Curb &amp; gutter _Both Sides____                      *Include document numbers on plat and provide any documents as applicable regarding how existing ROW was dedicated.                      **Revise street name as shown; N.24th 1/2 Street.                      ***Label ROW dedications, from centerline, existing, total, etc.                      ****Finalize ROW requirements prior to recording.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to recording                      *****COM Thoroughfare Plan</p>	Required
<p>_____ Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial and multi-family properties.                      **Access service drive easement must be private and labeled as such on plat, finalize prior to recording.                      *** Private Access Service Drive Easement must be 24 ft. and in compliance with Fire and Public Works Department requirements.                      ****Proposed turn around (T-Head) must comply with Fire and Public Works Department maneuverability requirements, additional requirements may required as applicable, finalize prior to recording. Provide dimensions on plat of proposed turn around (T-Head).                      *****Private Access Service Drive Easement wording and layout must be finalized prior to recording.                      *****Dedication of Private Access Service Drive Easement outside of plat boundary must be done through separate instrument and labeled as such on plat, prior to recording. Recorded document number must be included on plat prior to recording.                      *****Additional plat notes may required as applicable regarding Private Access Service Drive Easement                      *****Finalize Private Access Service Drive Easement requirements prior to recording.                      *****Subdivision Ordinance: Section 134-106</p>	<p>Required</p>
SETBACKS	
<p>* Front:20 ft. except 15 ft. for unenclosed carport only, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies.                      **Engineer submitted a variance to allow a 15ft. front setback for unenclosed carports only. The variance request allowing for a 15 ft. front setback for unenclosed carports only was approved by the Planning and Zoning Commission at their meeting of July 26,2022.                      ***Note wording must be finalized prior to recording.                      ****Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to recording.                      ***Proposing:10 ft. or easement, whichever is greater                      ****Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to recording                      ***Proposing: 6 ft. or easement, whichever is greater;                      ****Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>* Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to recording.                      ***Proposing 10 ft. or easement whichever is greater;                      ****Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>* Garage: 18 ft. except where a greater setback is required, greater setback applies                      **Revise plat note as shown above, finalize prior to recording.                      ***Proposing 18ft. except where greater setback is required;                      ****Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required along Quince Avenue and N.24th 1/2 Street.</li> <li>**Revise plat note as shown above, finalize prior to recording.</li> <li>***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements.</li> <li>***Subdivision Ordinance: Section 134-120</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</li> <li>**Revise plat note as shown above, finalize prior to recording.</li> <li>***Landscaping Ordinance: Section 110-46</li> </ul>	Required
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>ZONING/CUP</b>	
* Existing :R-3A (Apartment Residential) District Proposed: R-3A (Apartment Residential) District ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **At the City Commission meeting of April 25th,2022, the rezoning request was approved to R-3A District. ***Zoning Ordinance: Article V	Completed
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Park fees apply at a rate of \$700 per dwelling unit. In this case Park fees amount to \$22,400 (\$700 X 32 dwelling units) and payable prior to plat recording. Park fees will be adjusted accordingly if proposed number of lots/dwelling unit changes.	Required
* Pending review by the City Manager's Office.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation waived for 4 multi-family lots.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, Trip Generation waived for 4 multi-family lots.	NA
<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy. **Revise name as follows: Vacating and Replat of Bann Subdivision Lot 2 and Bann, Lots 2A,2B,2C and 2D Subdivision. Please update all necessary documents prior to recording. ***Need to submit a vacate and replat as plat restrictions are being changed. Vacate and replat plat submitted July 07,2022. ****Please verify surrounding legal descriptions to ensure description matches recorded documents.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED,AND MCALLEN PUBLIC UTILITY BOARD APPROVAL.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



**LOCATION**

25TH ST

144

LA LOMITA TERRACE

SYCAMORE AV

23RD ST

TAMARACK AV

LAS PALMAS PARK

REDWOOD AV

24TH ST

PETERS SUBDIVISION

**LOCATION**

SUBDIVISION

QUINCE AVE



QUINCE LN

BANN SUBDIVISION

LOT 2

PECAN AVE

24 1/2 ST

SAVE A LOT SUBDIVISION

23RD ST

STROUD-HUNTER

PECAN BLVD

SOUTH TEXAS COLLEGE  
CAN EAST SUBDIVISION

"LAZY 'A' RANCH

SUBDIVISION

NORTH DEPOT

W. H. GRANER  
SUBDIVISION

ORANGE ROAD

NYSSA

SUBDIVISION

MAPLE AVE

PECAN TERRACE

Memo

TO: Planning and Zoning Commission

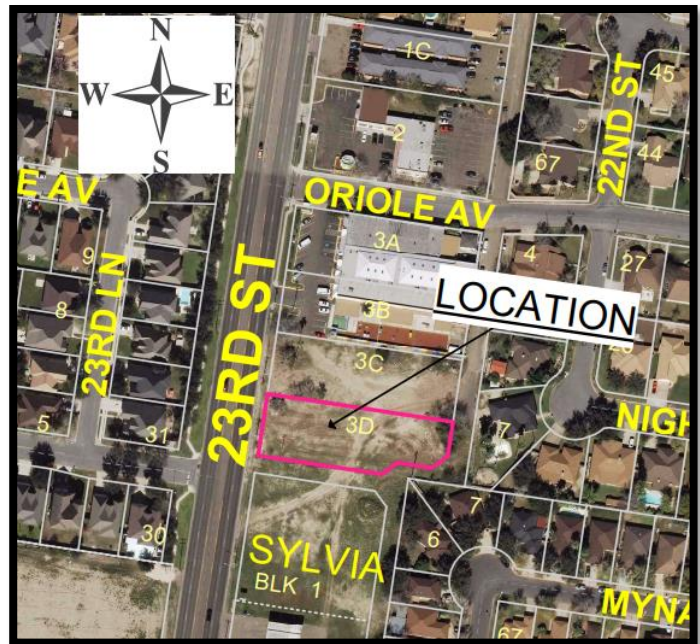
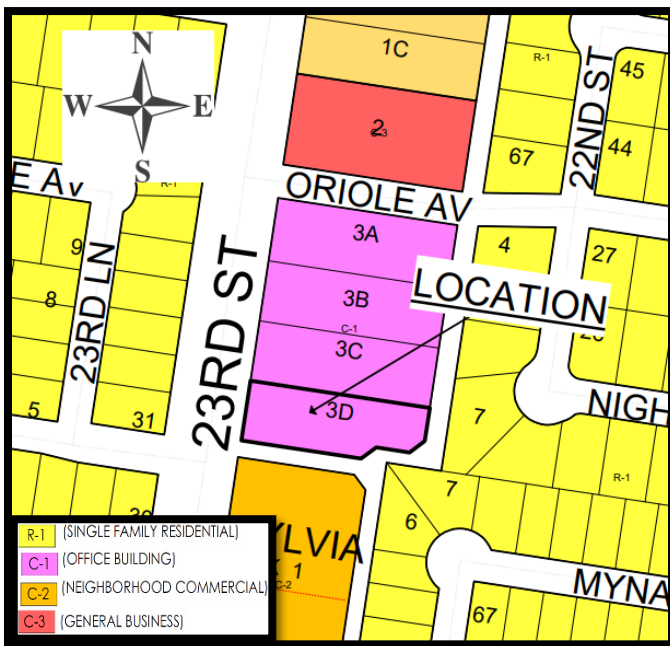
FROM: Planning Staff

DATE: July 27, 2022

SUBJECT: SITE PLAN APPROVAL FOR LOT 3D, REDBUD SUBDIVISION NO. 2, 6600 NORTH 23RD Street. (SPR2022-0016)

LOCATION: The property is located on the east side of North 23rd Street, approximately 3700 feet south of Oriole Avenue. The property is zoned C-1 (office) District to the north, R-1 (single-family residential) District to the east and west, and C-2 (neighborhood commercial) to the south.

PROPOSAL: The applicant is proposing to construct and operate as a law office.



ANALYSIS: Based on the square footage of the proposed law office, 20 parking spaces are required, 22 parking spaces are provided on site. The required accessible parking spaces is 1, 2 accessible parking spaces are provided on site. Access to the site is along the North 23rd Street and an alley. Required landscaping for the lot is 2,250 square feet, 8,064 square feet is provided, with trees required as follows: 11 – 2 1/2" caliper trees, or 6 – 4" caliper trees, or 3 – 6" caliper trees, or 6 palm trees. Minimum 10' wide landscape strip (5' wide with 3' hedge for properties less than 200' deep) required inside the property line along N. 23rd Street. Fifty percent of the landscaping must be visible in front areas, and each parking space must be within 100 feet of a landscaped area with a tree, as required by ordinance. A 5 feet wide sidewalk along North 23rd Street is required as per the Engineering Department. No part of gates for the dumpster enclosure to swing into Right-of-Way. No structures are permitted over easements.

The Building Permit Site Plan must comply with requirements noted on the development Team Review sheet.

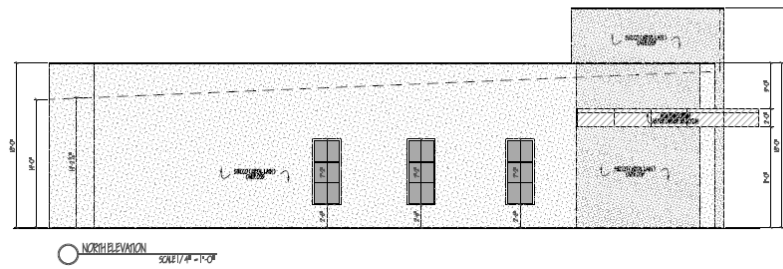
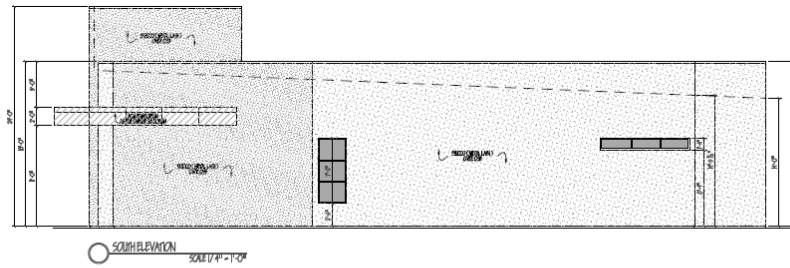
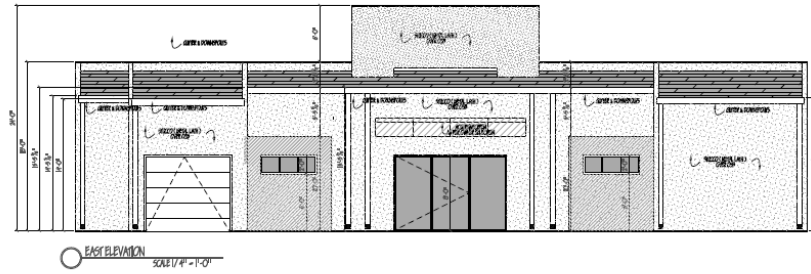
As per Public Works Department, the applicant will need to provide a plan indicating:

1. Dumpster placed at the edge of the subject property meeting alley for ease of collection with side load collection truck (if the subject property is to be used, a dumpster enclosure is not required).

As per Utilities Engineering Department, the applicant will need to provide a utility layout indicating:

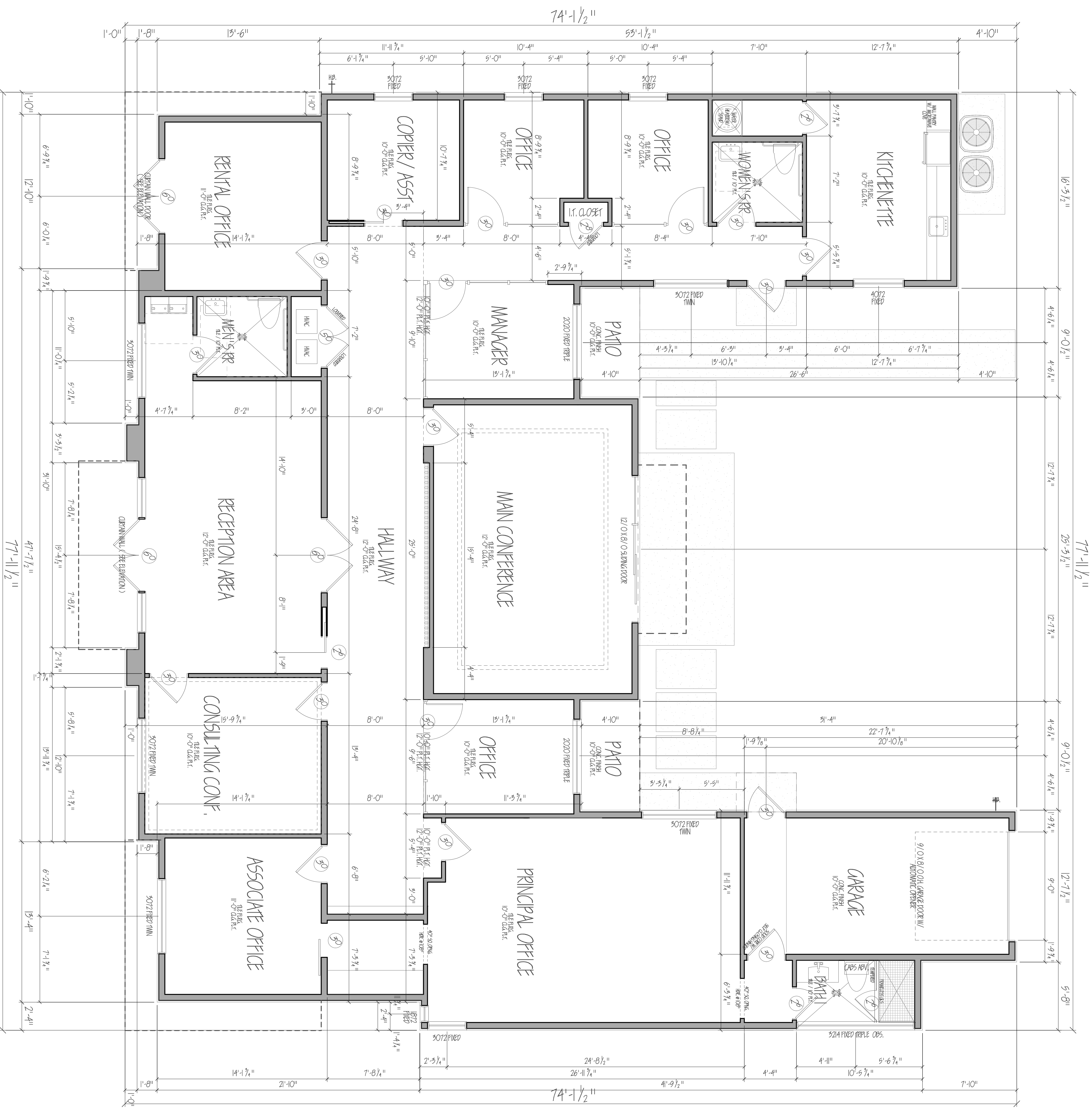
1. A two way clean out will be needed for the sewer service.
2. Updated details needed for water service installed matches up to date detail. It is recommended to have a separate water service for irrigation.

**RECOMMENDATION:** Staff recommends approval of the site plan subject to the conditions noted, paving and Building Permit requirements, requirements set forth by the Development Team, and the subdivision and zoning ordinances.





FLOOR PLAN  
SCALE: 1/4" = 1'-0"



A NEW HOME  
FOR:

**DLG**  
**LAW OFFICE**

LOT 3D  
REBUD SUBD. No. 2  
MCALLEN, TEXAS

**AREAS:**

CONDITIONED: 3,649 SF  
PATIOS: 86 SF  
GARAGE: 276 SF

TOTAL: 4,011 SF

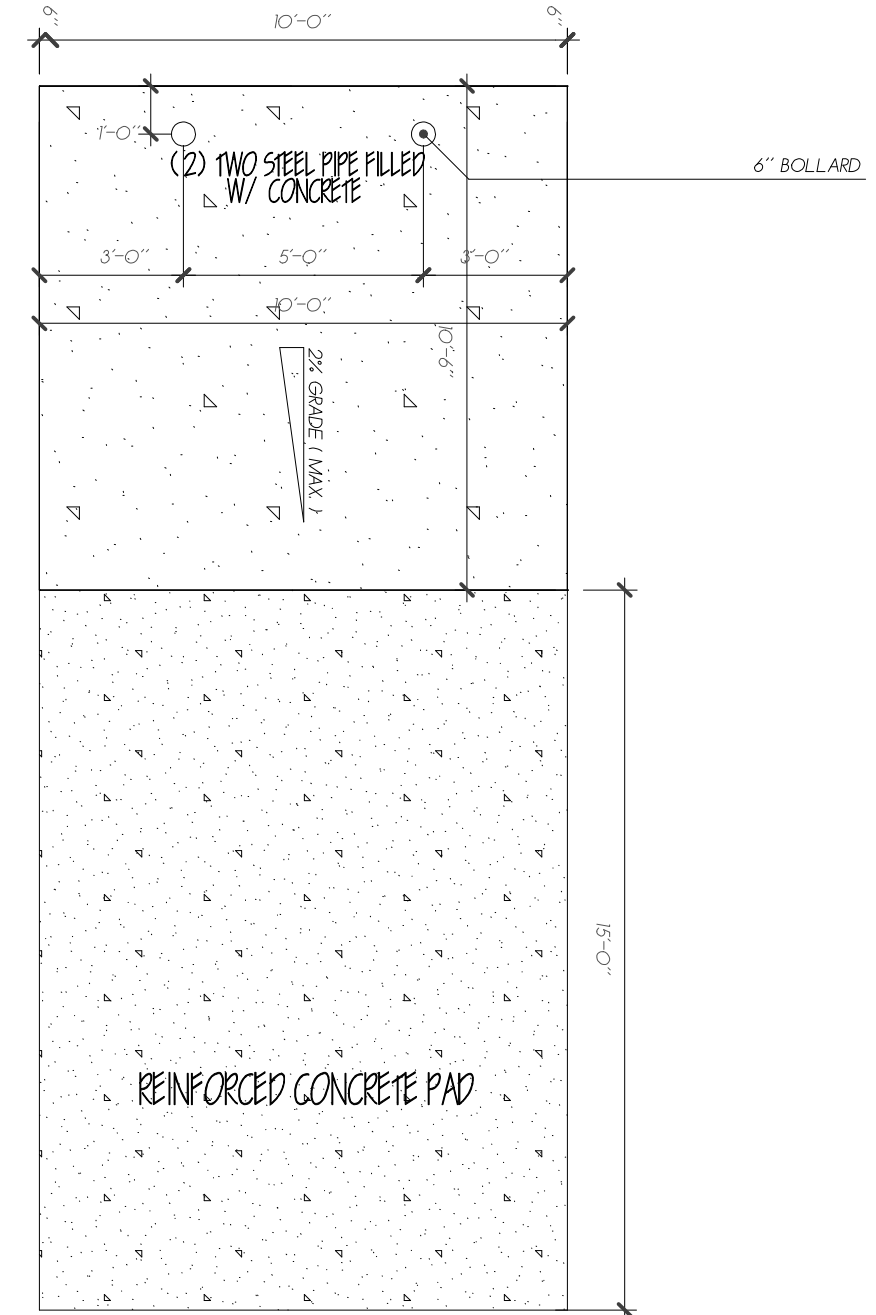
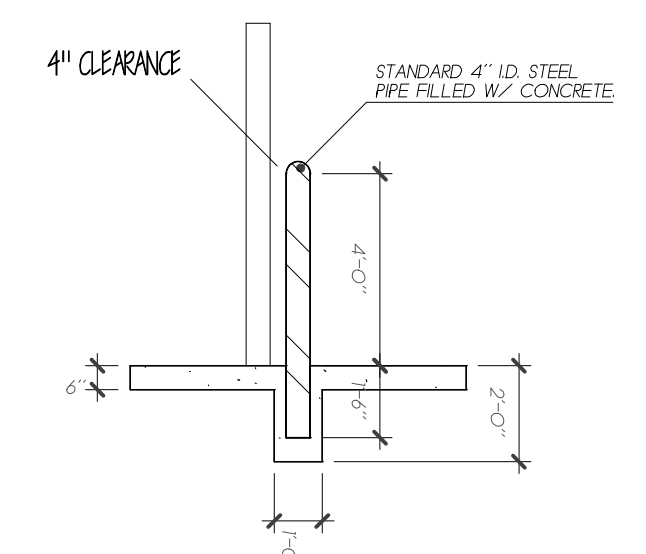
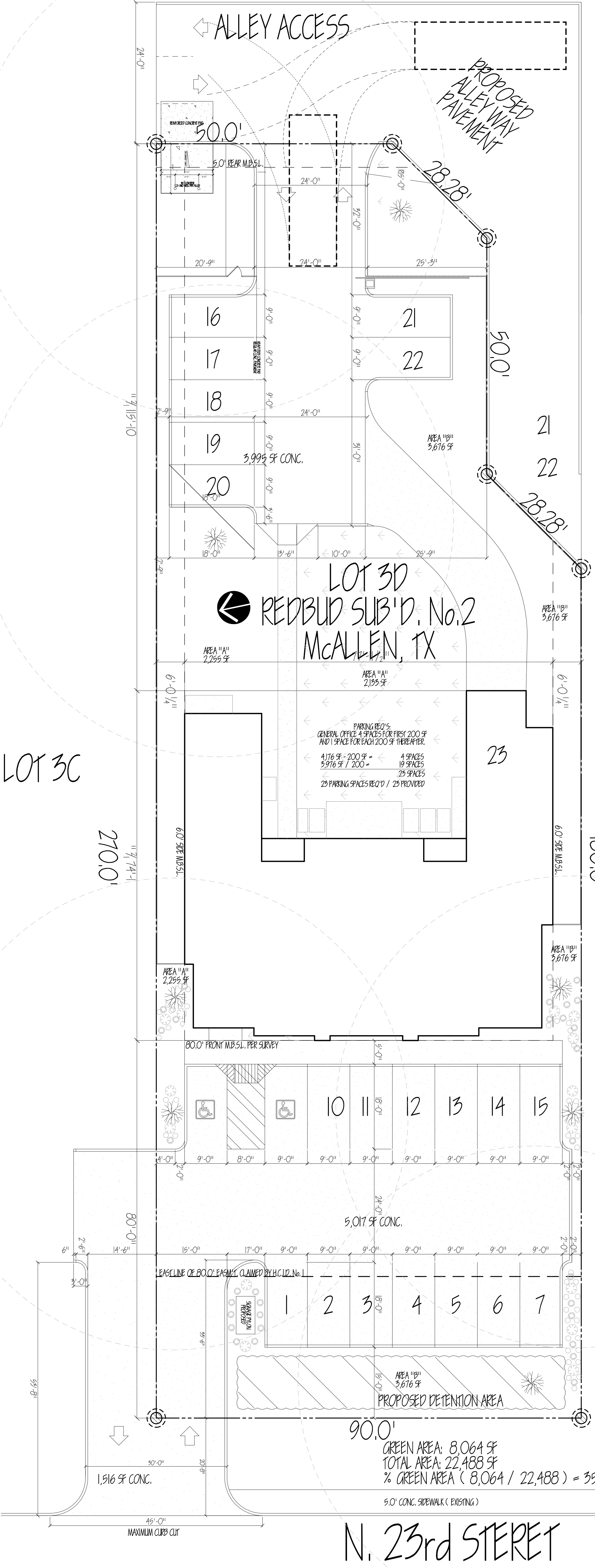
**DISCLAIMER:**

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

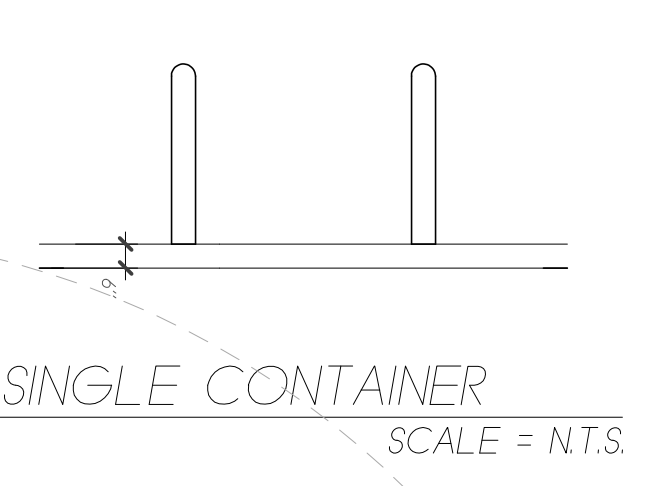
Sheet No.

**A-2.0**  
**FLOORPLAN**

DRAWN BY: DANIEL AGUIRRE  
DATE: MAY 09, 2022



- NOTES:**
1. 6" THICK CONCRETE SLAB ON GRADE; 3500 PSI CONCRETE W/ 6X6 #10 WELDED WIRE MESH OR 1/2" (#4) REBAR.
  2. CONCRETE APRON SHOULD EXTEND OUT AN ADDITIONAL 15" IN FRONT OF DUMPSTER ENCLOSURE ( SEE DETAIL ).
  3. BOLLARD PLACEMENT AND SIZE ( SEE DETAIL ).
  4. TWO GATE DOORS FOR EACH 10' X 10' DUMPSTER OPENING; 10 FT. MINIMUM UNOBSTRUCTED CLEARANCE AREA FROM THE REAR OF ENCLOSURE TO THE FRONT OF THE CONCRETE APRON WHEN ENCLOSURE DOORS ARE FULLY OPENED SHALL BE PROVIDED.
  5. GATE HOOKS TO BE INSTALLED ON EACH GATE DOOR. GATE HOOKS HOLES TO BE POSITIONED AT 90 DEGREE OR GREATER TO SECURE OPENED GATES.
  6. FOR CLARIFICATION OF ENCLOSURE ORIENTATION OR DIAGRAMS, CONTACT THE SOLID WASTE DIVISION AT 956-681-4020.



**NOTE: ALL AREAS WILL HAVE IRRIGATION SYSTEM & LANDSCAPED R.O.W. AREAS TO BE DRIP STYLE IRRIGATION.**

<b>A-4.1</b> <b>SITEPLAN</b>	<b>DISCLAIMER:</b> CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.	<b>AREAS:</b> CONDITIONED: 3,649 SF PATIOS: 86 SF GARAGE: 276 SF <b>TOTAL: 4,011 SF</b>	<b>FOR:</b> <b>A NEW HOME</b> <b>DLG</b> <b>LAW OFFICE</b> LOT 3D REBUD SUB'D. No. 2 McALLEN, TEXAS
	<b>Sheet No.</b>	<b>CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.</b>	
<b>DRAWN BY:</b> DANIEL AGUIRRE	<b>DATE:</b> JULY 26, 2022		



# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

Project Information	Subdivision Name <u>Nemont Estates II</u> Location <u>6 mile line 1000 Ft west of Shary Rd</u> City Address or Block Number <u>7100 Mile 6 Rd</u> <small>on the North side</small> Number of Lots <u>34</u> Gross Acres <u>10A</u> Net Acres <u>9.5</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No Existing Zoning <u>A0</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>United</u> Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential _____ Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due _____ Parcel # _____ Tax Dept. Review _____ Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ Legal Description <u>Mile 6 North road Mission TX the west 10 Acres of lot four hundred fifty two 452 John Shary Subdiv El Paso Hidalgo City TX</u>
Owner	Name <u>Nemont Estates II LP</u> Phone <u>956 281 656</u> Address <u>Violet Av 4100</u> E-mail _____ City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>
Developer	Name <u>Reyter Developments</u> Phone <u>956 281 656</u> Address <u>Violet Av. 4100</u> E-mail _____ City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> Contact Person <u>Raymundo Plata</u>
Engineer	Name <u>Rene Barrera / Big Engineering</u> Phone <u>956 624 4985</u> Address <u>325 West Freddy Gonzales</u> E-mail <u>rene@big-engineering.com</u> City <u>Edinburg TX</u> State <u>TX</u> Zip <u>78539</u> Contact Person <u>Rene Barrera</u>
Surveyor	Name <u>David Salinas</u> Phone <u>956 - 678 8899</u> Address <u>2220 Taffodile Av.</u> E-mail _____ City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>

5859  
60

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\***

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable), or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 29 June 2022

Print Name Raymond P. Platas Merino

Owner  Authorized Agent

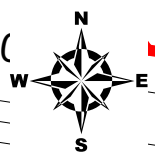
The Planning Department is now accepting DocuSign signatures on application

461

462

ANNA LISA  
LOCATION  
SUBD.

990



LOT

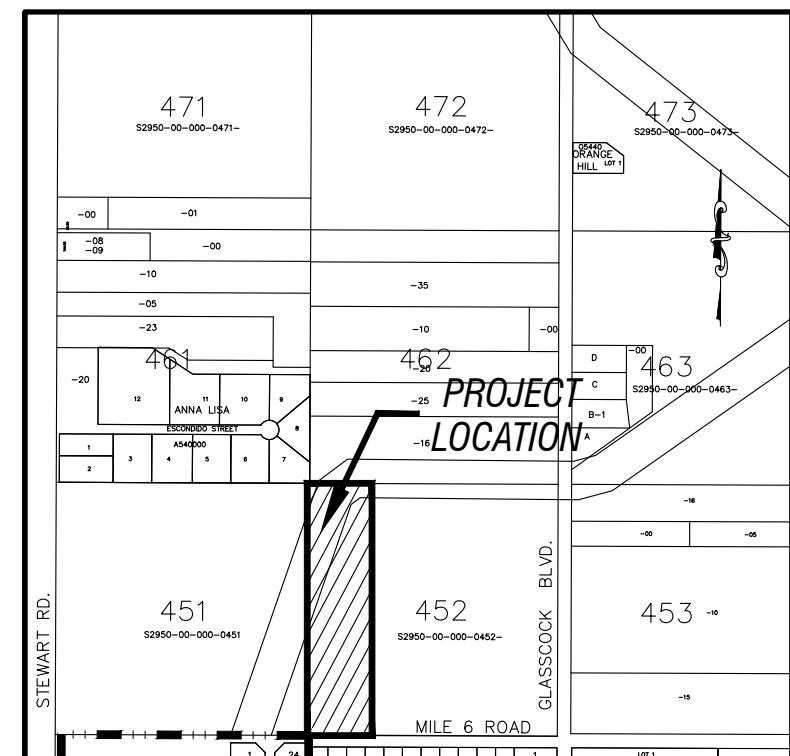
451

452

E 6 (9500)

6 MILE LINE



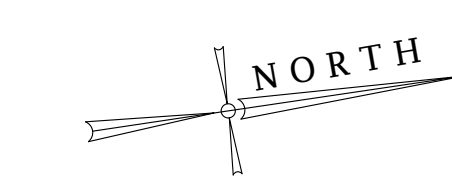


LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY: THE NEMONT II SUBDIVISION IS LOCATED ON THE NORTH SIDE OF MILE 6 NORTH ROAD, APPROXIMATELY 1/4 MILE WEST OF OF GLASSCOCK ROAD WITHIN THE CITY OF MCALLEN E.T.J.

**LOCATION MAP**  
SCALE: 1" = 1000'

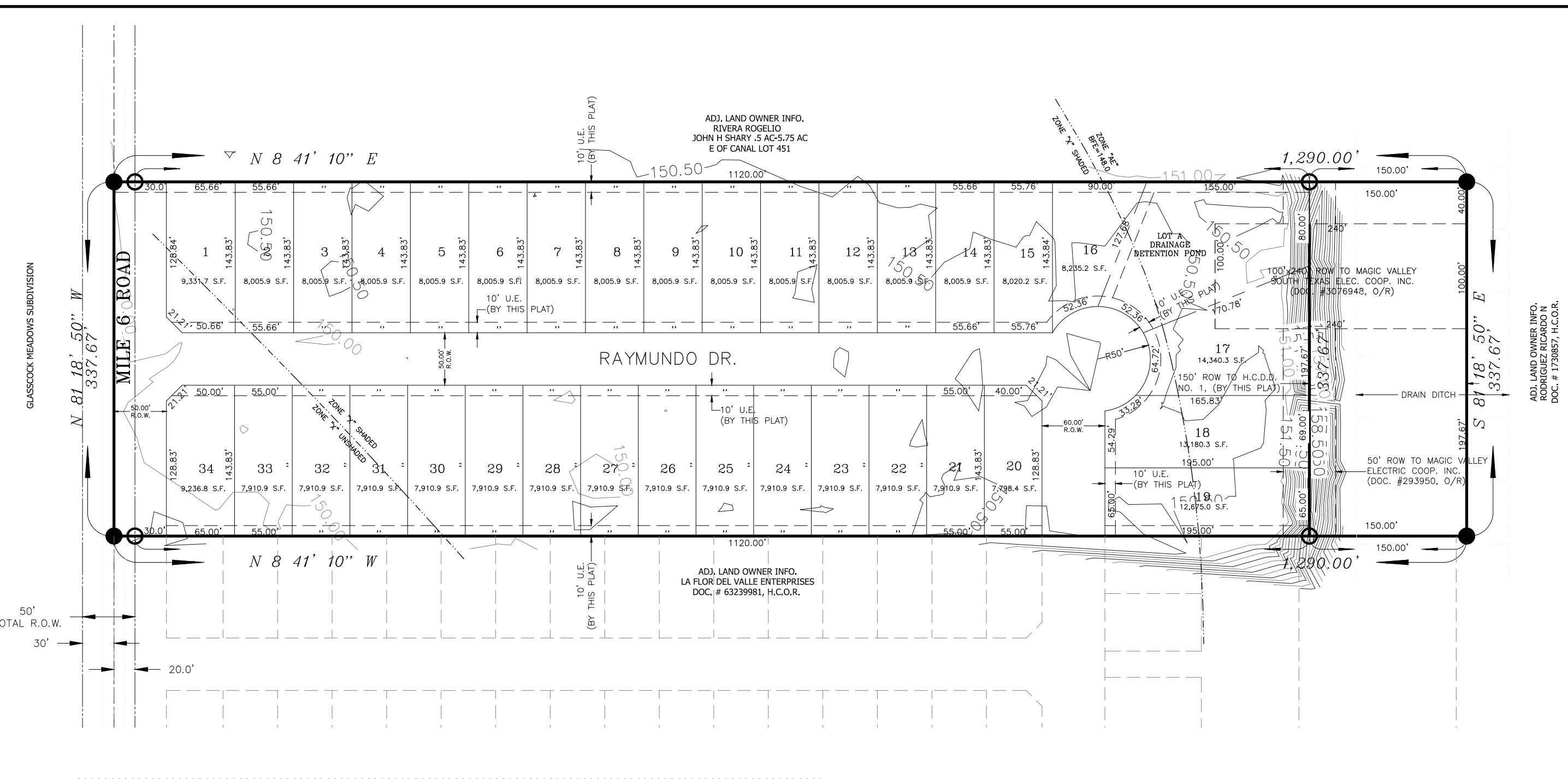
PREPARED BY:  
BARRERA INFRASTRUCTURE GROUP, INC.  
3525 W. FREDDY GONZALEZ AVE., SUITE B2  
EDINBURG, TEXAS 78539  
DATE PREPARED: 2/1/21  
DATE SURVEYED: ---

**PLAT OF**  
**NEMONT ESTATES II**  
**SUBDIVISION**  
A 10.0 ACRE OF LOT FOUR HUNDRED FIFTY-TWO (452), JOHN H. SHARY SUBDIVISION OUT OF PORCIONES 58,59 AND 60, HIDALGO COUNTY, TEXAS AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS.



SCALE: 1"=100'  
BASIS OF BEARING:  
WEST LINE OF RESUBDIVISION OF LOTS 46-11 & 46-12, WEST ADDITION TO SHARYLAND, AS PER MAP RECORDED IN VOL. 15, PAGE 40, M.R.H.C.

**SYMBOL LEGEND**  
--- DENOTES 60-D NAIL  
● DENOTES FOUND 1/2" ROD  
○ DENOTES NO MONUMENT



STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION:

I (WE), NEMONT ESTATES II LP, AS OWNER (S) OF THE 11.44 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED NEMONT II SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT:  
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

NEMONT ESTATES II LP  
BY: NESTOR MONTEMAYOR  
4100 VIOLET AVE  
MCALLEN, TEXAS 78504

STATE OF TEXAS  
COUNTY OF HIDALGO:  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NESTOR MONTEMAYOR THE PERSON(S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE DAY OF 20\_\_

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF TEXAS  
CITY OF MCALLEN  
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
CITY OF MCALLEN  
I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.  
MAYOR \_\_\_\_\_ DATE \_\_\_\_\_  
CITY OF MCALLEN

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE § 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.  
HIDALGO COUNTY DRAINAGE DISTRICT, NO. 1  
RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
UNDER LOCAL GOVERNMENT CODE § 232.028(c)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF NEMONT II WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS' COURT ON \_\_\_\_\_

HIDALGO COUNTY JUDGE \_\_\_\_\_ DATE \_\_\_\_\_

ATTEST: HIDALGO COUNTY CLERK \_\_\_\_\_ DATE \_\_\_\_\_

COUNTY OF HIDALGO  
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF AMIGO ESTATES SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON 20\_\_

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

I, SHERILYN DAHLBERG, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE NEMONT ESTATES II SUBDIVISION LOCATED AT \_\_\_\_\_ IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.  
SHERILYN DAHLBERG \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER  
SHARYLAND WATER SUPPLY CORPORATION

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_  
NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.  
PRESIDENT \_\_\_\_\_ ATTEST: SECRETARY \_\_\_\_\_

**UNITED IRRIGATION DISTRICT NOTES**  
• ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.  
• NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.  
• NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.  
• NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

**GENERAL PLAT NOTES & RESTRICTIONS:**

- FLOOD ZONE STATEMENT:** THE TRACT LIES IN 'ZONE AE'. IS DEFINED AS AREAS ARE FLOOD PROPONE AREAS WHERE BASE FLOOD ELEVATIONS ARE DETERMINED AS PER F.E.M.A. FLOOD INSURANCE RATE MAPS PANEL NO. 480334-02995-0, MAP REVISED JUNE 6, 2000.
- SETBACKS:**  
FRONT: 25.00 FEET OR GREATER FOR EASEMENT  
REAR: 10.00 FEET OR GREATER FOR EASEMENT  
SIDE: 6.00 FEET OR GREATER FOR EASEMENT  
CORNER: 10.00 FEET OR GREATER FOR EASEMENT  
GARAGE: 18.00 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED
- 5.0 FEET MINIMUM WIDE ADA COMPLIANT SIDEWALK IS REQUIRED ALONG MILE 6 RD FRONTAGE DURING SUBDIVISION STAGE. A 4.0 FEET SIDEWALK ADA COMPLIANT IS REQUIRE ON BOTH SIDES IF INTERNAL STREET DURING BUILDING PERMIT STAGE.
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THIS LOT. THIS MUST BE STIPULATED ON THE DEED AND CONTRACT FOR DEED. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- CITY OF MCALLEN BENCHMARK: MC 26 IS LOCATED AT THE NORTH EST CORNER OF BRYAN RD. AND 6 MILE LINE THE MONUMENT IS 76 FT. EAST OF THE CL OF BRYAN RD, 18 FT. NORTH EAST OF A CONCRETE STAND PIPE AND 64 FT. NORTH EAST OF A STOP SING IT IS NORTH OF AN ELEVATED CANAL. ELEV. 158.96 FEET
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 33,296 CUBIC-FEET 0.76 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLO: (SEE SHEET No. 3 FOR STORM SEWER IMPROVEMENTS.)
- NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 10.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- DRAINAGE DETENTION POND SHALL TO BE CONSTRUCTED IN DESIGNATED EASEMENT AREAS AS DESIGNED BY PROJECT PLAT ENGINEER AT DEVELOPMENT APPLICATION PERMIT STAGE PRIOR TO THE COUNTY ISSUING A FINAL LIGHT AND WATER CLEARANCE. NO FINAL LIGHT OR WATER CLEARANCE SHALL BE ISSUED UNTIL THE DRAINAGE DETENTION POND IS CONSTRUCTED BY OWNER AND INSPECTED BY COUNTY.
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES AND ALONG MILE 6 ROAD, ALSO ALONG 1/4 MILE COLLECTOR ROADS REQUIRED.
- 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONE/USES.
- NO CURB CUT AND/OR ACCESS OR LOT FRONTAGE PERMITTED ALONG MILE 6 ROAD AND ALSO ALONG 1/4 MILE COLLECTOR ROADS (LOTS 1 AND 34).

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTER PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE MAP ON THIS SHEET SHOWING THE LOTS, EASEMENTS, AND STREETS OF SUBDIVISION AND ITS METES AND BOUNDS DESCRIPTION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON \_\_\_\_\_

MANUEL CARRIZALES, RPLS \_\_\_\_\_ DATE \_\_\_\_\_  
R.P.L.S. No. 6398  
4807 GONDOLA AVE  
EDINBURG, TEXAS 78542  
FIRM NO.

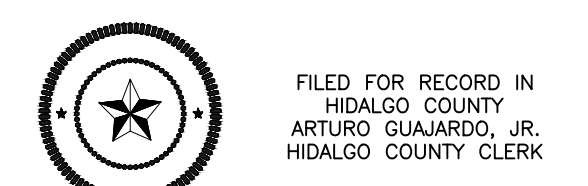
STATE OF TEXAS  
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

RENE BARRERA, P.E.  
LICENSED PROFESSIONAL ENGINEER, TEXAS LIC. NO. 86862



PRINCIPAL CONTACTS:				
NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	NEMONT ESTATES II LP	4100 VIOLET AVE.	MCALLEN, TX. 78504	
ENGINEER:	RENE BARRERA, P.E.	3325 FREDDY GONZALEZ	EDINBURG, TX. 78539	956-687-3355 956-992-8801
SURVEYOR:	MANUEL CARRIZALES	4807 GONDOLA AVE.	EDINBURG, TX. 78542	956-567-2167



ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



**PRELIMINARY**  
THIS DOCUMENT HAS BEEN RELEASED FOR REVIEW ONLY. BY RENE BARRERA, P.E. No. 86862.  
2/1/21

3525 W. Freddy Gonzalez Ave.  
Suite B2  
Edinburg, TX 78539  
956-687-3355, FAX: 956-992-8801  
TEXAS FIRM NO.: 6435



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/28/2022

<b>SUBDIVISION NAME: NEMONT ESTATES PHASE II</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Mile 6 Road: 30 ft. dedication required for 50 ft. from centerline for 100 ft. total ROW                      Paving: 65 ft. Curb &amp; gutter: Both sides                      *Label Centerline for Mile 6 Road.                      ****Adjust ROW line reference where it shows "50 Ft. ROW" since it appears to not be aligned to south property line of Lots 1 &amp; 34.                      *****Label ROW on both sides of centerline and total ROW after accounting for ROW dedication to verify ROW dedication requirements prior to recording.                      **Monies must be escrowed if improvements are not constructed prior to recording.                      ****COM Thoroughfare Plan</p>	Required
<p>Internal Street: 50 ft.                      Paving: 32 ft. proposed Curb &amp; gutter: Both sides                      ****Street name will be established prior to recording.                      ***Clarify if proposed ROW will remain at 50 ft. and 40 ft. of paving width. Sidewalk easements on both sides of the streets might be required prior to final.                      ***Previously proposed cul-de-sac has been revised to a knuckle with a stub out street to the east.                      **Monies must be escrowed if improvements are not built prior to recording.                      *****Subdivision Ordinance: Section 134-105</p>	Required
<p>N/S 1/4 Collector Road along West Property Line: 30-35 ft. dedication for 60-70 ft. total ROW                      Paving: 40-44 ft. Curb &amp; gutter: Both sides                      ***Plat layout must be revised to comply with ROW dedication requirements prior to final.                      ****Collector Road not required since there is an existing canal on the north.                      **Monies must be escrowed if improvements are not built prior to recording.                      *****Subdivision Ordinance: Section 134-105</p>	Applied
<p>E/W 1/4 Collector Road along North Property Line: 60 ft. total ROW                      Paving: 40 ft. Curb &amp; gutter: Both sides                      ****Street name will be established prior to recording.                      ***Monies must be escrowed if improvements are not built prior to recording.                      *****Subdivision Ordinance: Section 134-105</p>	Required
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____                      **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts.                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac.                      **Previously proposed cul-de-sac has been revised to a knuckle with a stub out street to the east. The intention of this street is to connect this street to North Glasscock Road when adjacent properties develop.                      **Subdivision Ordinance: Section 134-105</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
<b>SETBACKS</b>	
* Front: 25 ft. or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Rear: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Interior Sides: 6 ft. or greater for easements **Setbacks will be finalized prior to final plat review once proposed use has been clarified. **Zoning Ordinance: Section 138-356	Applied
* Corner: 10 ft. or greater easements **Please add plat note prior to final as shown above. **Zoning Ordinance: Section 138-356	Applied
* Garage: 18 ft. except where greater setbacks is required; greater setback applies. ***Please revise plat note #2 as shown above prior to recording. **Zoning Ordinance: Section 138-356	Required
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on Mile 6 Road, both sides of internal streets. **Sidewalks are subject to 5 ft. being required by Engineering Dept. prior to recording. ***Internal Street names to be finalized prior to recording. Plat note will be adjusted accordingly once street name has been assigned. ****Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along 6 Mile Road, also along 1/4 Mile Collector Road required. **Final wording of plat note #14 will be finalized prior to prior to recording. ***Landscaping Ordinance: Section 110-46	Required
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along Mile 6 Road. ***Revised plat note #16 as shown above prior to recording. **Must comply with City Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Common Areas, any private streets/drives must be maintained by the lot owners and not the City of McAllen.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>NA</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if subdivision is proposed to be public.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p><b>LOT REQUIREMENTS</b></p>	
<p>* Lots fronting public streets.                  **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area.                  **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p><b>ZONING/CUP</b></p>	
<p>* Existing: ETJ Proposed: Single-Family Residences; R-1                  ***Annexation and Initial zoning requests were approved by City Commission on November 22, 2021.                  ***Zoning Ordinance: Article V</p>	<p>Compliance</p>
<p>* Rezoning Needed Before Final Approval                  ***Annexation and Initial zoning to R-1 District requests were approved by City Commission on November 22, 2021.                  ***Zoning Ordinance: Article V</p>	<p>Complete</p>
<p><b>PARKS</b></p>	
<p>* Land dedication in lieu of fee.                  **Park fees as applicable, or as per agreement upon annexation prior to recording.</p>	<p>Required</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording                  **Park fees as applicable, or as per agreement upon annexation prior to recording.</p>	<p>Required</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC.                  **Park fees as applicable, or as per agreement upon annexation prior to recording.</p>	<p>Required</p>
<p><b>TRAFFIC</b></p>	
<p>* As per Traffic Department, Trip Generation approved and no TIA is required, prior to final plat.</p>	<p>Complete</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>NA</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>COMMENTS</b>	
Comments: Must comply with City's Access Management Policy ****Submit gate details for staff to review prior to recording, if applicable. ****Revise signature blocks to comply with McAllen's Subdivision Ordinance requirements prior to recording. ****Owner's Signature Block references a different subdivision name; please revise subdivision name and wherever is applicable prior to recording. ****Previously proposed cul-de-sac has been revised to a knuckle with a stub out street to the east. The intention of this street is to connect this street to North Glasscock Road when adjacent properties develop. *****Final wording for some plat notes will be finalized once internal street names are assigned prior to recording.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

# LOCATION

ANNALISA  
SUBD.



PROPOSED NEMONT ESTATES  
PHASE 2 SUBDIVISION  
(REVISED)

PROPOSED VERSAILLES ESTATES  
SUBDIVISION  
(REVISED)

PROPOSED VICTORY  
LANDING SUBDIVISION

E 6 (9500)

6 MILE LINE

461

462

451

52

990

LOT



City of McAllen  
 Planning Department  
**APPLICATION FOR  
 SUBDIVISION PLAT REVIEW**

**SUB2021-0006**  
 1300 Houston Avenue  
 McAllen, TX 78501  
 P. O. Box 220  
 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

<b>Project Description</b>	Subdivision Name <u>Newhaus Estates</u> Location <u>South side of newhaus drive approx. 570' west from</u> <u>Gentron Rd McAllen Tx.</u> City Address or Block Number <u>Lots 1, 2 and 3 McAllen</u> Number of lots <u>5</u> Gross acres <u>5.72</u> Net acres <u>5.46</u> Existing Zoning <u>AG</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>2 house</u> Proposed Land Use <u>5 Bsid- house</u> Irrigation District # _____ <b>Residential</b> Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> <b>Commercial</b> Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> <b>ETJ</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u> Legal Description <u>A 5.72 Gross acre tract of land, more or less out of and</u> <u>forming a part of Lots 1, 2 and 3 McAllen first suburban circle shown Hildebo Tx.</u>
<b>Owner</b>	Name <u>Empire Investment</u> Phone _____ <u>by Hector Guerra LLC.</u> Address <u>3600 Granada Court</u> City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u> E-mail _____
<b>Developer</b>	Name _____ Phone <u>9</u> Address <u>Same as above</u> City _____ State _____ Zip _____ Contact Person _____ E-mail _____
<b>Engineer</b>	Name <u>MAS Engineering</u> Phone <u>(956) 537-13-11</u> Address <u>3911 N 10th Street, Suite H</u> City <u>McAllen</u> State <u>Tx</u> Zip <u>78501</u> Contact Person <u>Mario A. Salinas</u> E-mail _____
<b>Surveyor</b>	Name <u>David O. Salinas</u> Phone <u>(956) 682-90-81</u> Address <u>2221 Raffidil Ave</u> City <u>McAllen</u> State <u>Tx</u> Zip <u>78501</u> E-mail _____

**RECEIVED**  
 JAN 25 2021  
 By AM

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 1/2" by 11" Sealed Survey showing existing structures/easements  
or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad DWG file of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

**PLAT TO SHOW:**

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

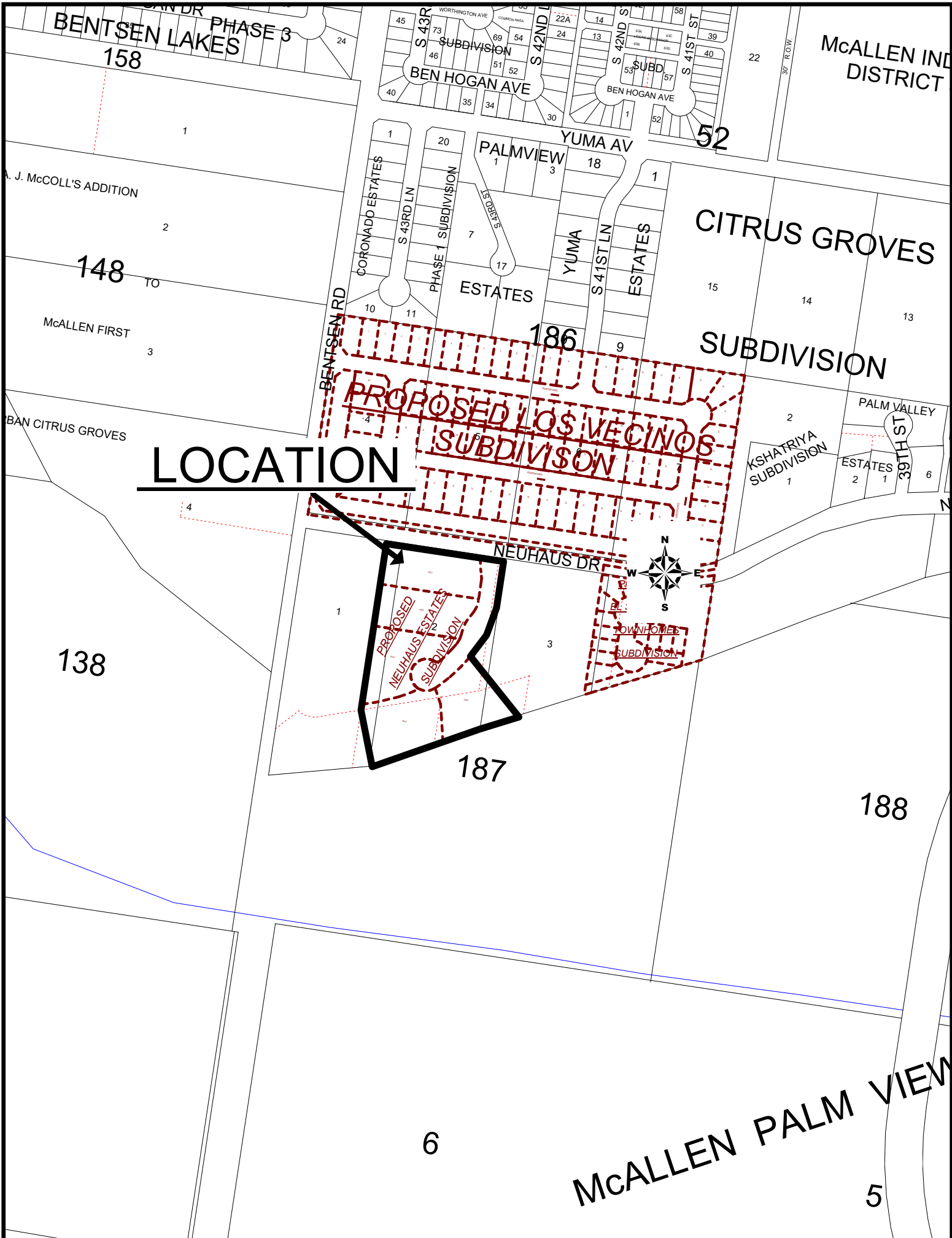
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 1-25-21

Print Name Hector Guerra

Owner

Authorized Agent



BENTSEN LAKES PHASE 3  
158

BEN HOGAN AVE  
S 43RD SUBDIVISION  
S 42ND  
S 41ST ST  
52

McALLEN IND DISTRICT

A. J. McCOLL'S ADDITION

148

McALLEN FIRST

PALMVIEW  
CORONADO ESTATES  
S 43RD LN  
PHASE 1 SUBDIVISION  
YUMA AV  
YUMA  
S 41ST LN  
ESTATES

CITRUS GROVES

SUBDIVISION

PROPOSED LOS VECINOS  
SUBDIVISION

PALM VALLEY  
KSHATRIYA SUBDIVISION  
ESTATES  
39TH ST

**LOCATION**

PROPOSED  
NEUHAUS ESTATES  
SUBDIVISION



138

187

188

6

McALLEN PALM VIEW

5

MAP OF NEUHAUS ESTATES SUBDIVISION McALLEN, TEXAS



BEING A 5.72 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT AND FORMING A PART OF LOTS 1, 2, AND 3, McALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 05, PAGE 20, MAP RECORDS OF HIDALGO COUNTY, TEXAS

NOTES:

- 1.- MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:FRONT: 25 FT. OR GREATER FOR EASEMENTS, REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS, INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS, CORNER: NEUHAUS DRIVE - 10 FT. OR GREATER FOR EASEMENTS, GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES
2.- ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS
3.- THIS PROPERTY FALLS IN ZONE "A" AND "B" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480334 0400 C, REVISED NOV. 16, 1982. FLOOD ZONE "B" IS DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
4.-STORM WATER DETENTION OF 0.34 AC-FT. OR 14,765 C.F. IS REQUIRED FOR THIS SUBDIVISION
5.- AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY'S ENGINEERING DEPT. IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
6.- MINIMUM 4 FT. SIDEWALK REQUIRED ON NEUHAUS DRIVE, AND PER VARIANCE GRANTED BY THE CITY COMMISSION ON OCTOBER 23, 2017 - A MINIMUM 3 FT. WIDE SIDEWALK ON BOTH SIDES OF THE STREET, EXCEPT NO SIDEWALK FROM THE NORTH SIDE OF LOT 5 TO NEUHAUS DRIVE.
7.- BENCHMARK: MC 86 IS LOCATED INSIDE THE GOLF COURSE " PALM VIEW" IT IS APPROXIMATELY 1 MILE SOUTH FROM THE EXP. 83. ELV=96.99 FT.
8.- AN 8 FOOT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
9.- 6.0 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES, AND ALONG NEUHAUS DRIVE.
10.- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NEUHAUS DRIVE
11.- COMMON AREAS, PRIVATE STREETS MUST BE MAINTAINED BY THE DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCESSORS AND/OR ASSIGNEES AND NOT THE CITY OF McALLEN.
12.- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
13.- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR NEUHAUS ESTATES SUBDIVISION, RECORDED AS DOCUMENT NUMBER 2017-00100, THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134 - 168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS, ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
14.- 25 FT. X 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
15.- EXISTING STRUCTURES REMAIN AS NOW EXIST; HOWEVER, ANY ADDITIONS AND/OR NEW CONSTRUCTION MUST COMPLY WITH REQUIRED SETBACKS.

STATE OF TEXAS COUNTY OF HIDALGO

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NEUHAUS ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE NEUHAUS ESTATES HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF NEUHAUS DRIVE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

ALFREDO PEREZ GARZA / ELENA RAMIREZ DATE 2400 SOUTH 43 RD ST. McALLEN, TX. 78503 (956) 862 0633

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALFREDO PEREZ GARZA/ ELENA RAMIREZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE \_\_\_\_DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC

STATE OF TEXAS COUNTY OF HIDALGO

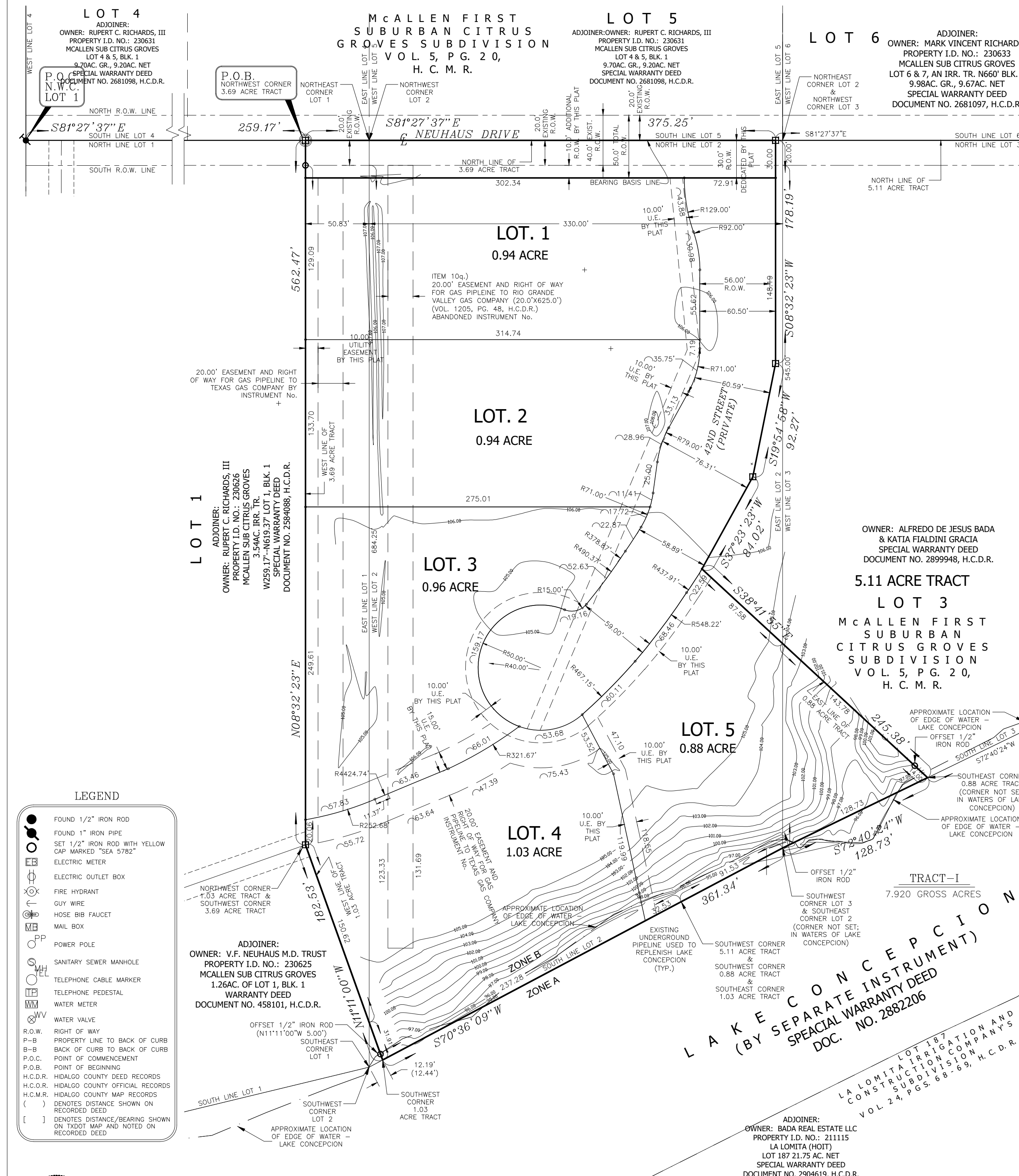
I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NEUHAUS ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE NEUHAUS ESTATES HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF NEUHAUS DRIVE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

BY: ISAAC KIM DATE 4225 NEUHAUS DRIVE McALLEN, TEXAS 78503

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ISSAC KIM, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE \_\_\_\_DAY OF \_\_\_\_\_, 2022.

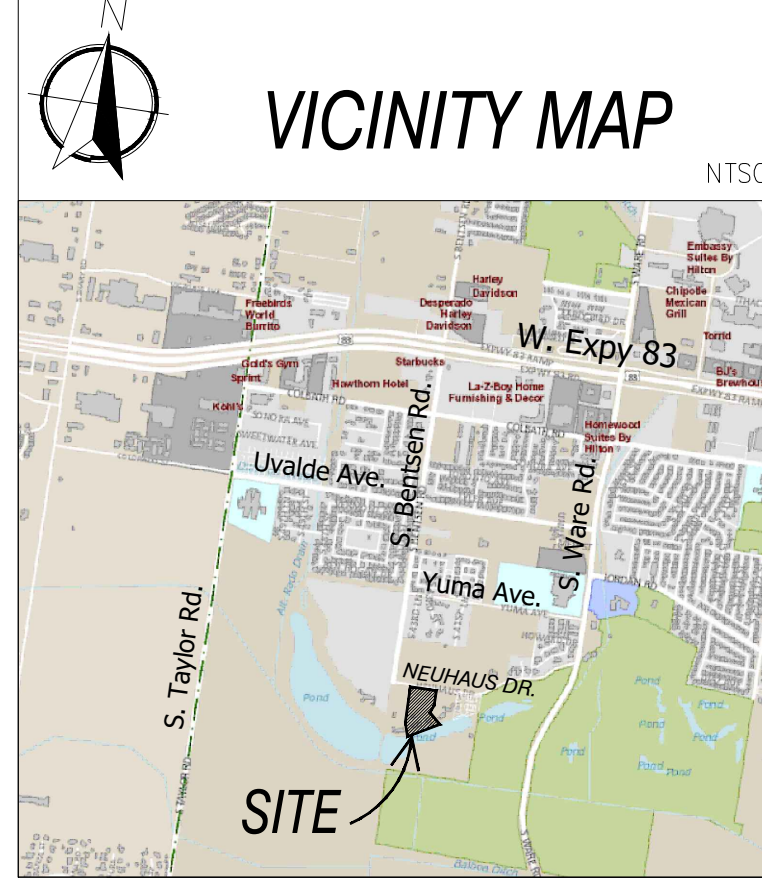
NOTARY PUBLIC



- LEGEND FOUND 1/2" IRON ROD FOUND 1" IRON PIPE SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782" ELECTRIC METER ELECTRIC OUTLET BOX FIRE HYDRANT GUY WIRE HOSE BIB FAUCET MAIL BOX POWER POLE SANITARY SEWER MANHOLE TELEPHONE CABLE MARKER TELEPHONE PEDESTAL WATER METER WATER VALVE RIGHT OF WAY PROPERTY LINE TO BACK OF CURB B-B BACK OF CURB TO BACK OF CURB P.O.B. POINT OF BEGINNING P.O.B. POINT OF BEGINNING H.C.D.R. HIDALGO COUNTY DEED RECORDS H.C.D.R. HIDALGO COUNTY DEED RECORDS H.C.M.R. HIDALGO COUNTY MAP RECORDS ( ) DENOTES DISTANCE SHOWN ON RECORDED DEED ( ) DENOTES DISTANCE BEARING SHOWN ON RECORDED DEED AND NOTED ON RECORDED DEED

FILED FOR RECORD IN HIDALGO COUNTY, TEXAS, BY ARTURO GUJARDO, JR., HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM INSTRUMENT NUMBER \_\_\_\_\_ OF THE MAP RECORDS OF HIDALGO COUNTY, TX BY: \_\_\_\_\_ DEPUTY



METES AND BOUNDS DESCRIPTION BEING A 5.72 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT AND FORMING A PART OF LOTS 1, 2, 3, AND 7, McALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 05, PAGE 20, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 9.83 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT A 60-D MAG NAIL FOUND ON THE NORTHWEST CORNER OF SAID LOT 1 LOCATED IN THE CENTER OF NEUHAUS DRIVE; THENCE, AS FOLLOWS: SOUTH 81 DEGREES 27 MINUTES 37 SECONDS EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 259.17 FEET TO A 60-D MAG NAIL SET FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT; (1)THENCE, SOUTH 81 DEGREES 27 MINUTES 37 SECONDS EAST, CONTINUING COINCIDENT WITH THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 50.83 FEET PASS THE NORTHEAST CORNER OF SAID LOT 1, SAME BEING THE NORTHWEST CORNER OF SAID LOT 2, CONTINUING COINCIDENT WITH THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 380.83 FEET PASS THE NORTHEAST CORNER OF SAID LOT 2, SAME BEING THE NORTHWEST CORNER OF SAID LOT 3, CONTINUING COINCIDENT WITH THE NORTH LINE OF SAID LOT 3, A DISTANCE OF 710.83 FEET PASS THE NORTHEAST CORNER OF SAID LOT 3 AND THE WEST LINE OF SAID LOT 7, AT A DISTANCE OF 764.38 FEET IN ALL TO A 60-D MAG NAIL SET WITHIN SAID LOT 7 AND FURTHER LOCATED ON THE NORTHEAST CORNER OF THAT CERTAIN 5.11 ACRE TRACT AS DESCRIBED BY METES AND BOUNDS IN SPECIAL WARRANTY DEED CONVEYANCE DATED JANUARY 21, 2015, FROM TEXAS REGIONAL BANK, FORMALLY KNOWN AS McALLEN NATIONAL BANK, SURVIVING TRUSTEE OF THE GRACE NEUHAUS RICHARDS IRREVOCABLE TRUST, UNTO GERTRUDE FRANCES RICHARDS WELCH, PER INSTRUMENT FILED FOR RECORD ON FEBRUARY 05, 2015, DOCUMENT NO. 2584098, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT; (2)THENCE, SOUTH 08 DEGREES 32 MINUTES 23 SECONDS WEST, COINCIDENT WITH THE EAST LINE OF SAID 5.11 ACRE TRACT, A DISTANCE OF 20.0 FEET PASS A 1/2 INCH DIAMETER IRON ROD SET ON INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID DRIVE, AT A DISTANCE OF 379.85 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD SET ON THE SOUTHWEST CORNER OF SAID 5.11 ACRE TRACT FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT; (3)THENCE, SOUTH 73 DEGREES 22 MINUTES 49 SECONDS WEST (DEED), COINCIDENT WITH THE SOUTH LINE OF SAID 5.11 ACRE TRACT SAME BEING THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 59.16 FEET (59.17 FEET - DEED) TO A 1/2 INCH DIAMETER IRON ROD SET ON A SOUTHERN CORNER OF SAID 5.11 ACRE TRACT, SAME BEING THE SOUTHWEST CORNER OF SAID LOT 7 AND THE SOUTHWEST CORNER OF SAID LOT 3, FOR A SOUTHERN CORNER OF THIS HEREIN DESCRIBED TRACT; (4)THENCE, SOUTH 72 DEGREES 40 MINUTES 24 SECONDS WEST, CONTINUING COINCIDENT WITH THE SOUTH LINE OF SAID 5.11 ACRE TRACT SAME BEING THE SOUTH LINE OF SAID LOT 3, A DISTANCE OF 366.74 FEET TO A 1/2 INCH DIAMETER IRON ROD SET ON A SOUTHERN CORNER OF SAID 5.11 ACRE TRACT SAME BEING THE SOUTHWEST CORNER OF SAID LOT 3 AND THE SOUTHWEST CORNER OF SAID LOT 2 FOR A SOUTHERN CORNER OF THIS HEREIN DESCRIBED TRACT; (5)THENCE, SOUTH 70 DEGREES 36 MINUTES 09 SECONDS WEST (SOUTH 70 DEGREES 35 MINUTES 27 SECONDS WEST - DEED), COINCIDENT WITH THE SOUTH LINE OF SAID 5.11 ACRE TRACT SAME BEING THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 91.53 FEET PASS THE SOUTHWEST CORNER OF SAID 5.11 ACRE TRACT, SAME CORNER ALSO BEING THE SOUTHWEST CORNER OF THAT CERTAIN 1.03 ACRE TRACT OF LAND AS DESCRIBED BY METES AND BOUNDS IN A SPECIAL WARRANTY DEED CONVEYANCE, FROM GERTRUDE M. NEUHAUS UNTO GRACE NEUHAUS RICHARDS IRREVOCABLE TRUST CREATED BY TRUST AGREEMENT DATED DECEMBER 28, 1989, FILED FOR RECORD IN VOLUME 2955, PAGE 911, DEED RECORDS OF HIDALGO COUNTY, TEXAS, CONTINUING COINCIDENT WITH THE SOUTH LINE OF SAID 1.03 ACRE TRACT SAME BEING THE SOUTH LINE OF SAID LOT 2, AT A DISTANCE OF 361.34 FEET IN ALL TO THE SOUTHWEST CORNER OF SAID 1.03 ACRE TRACT FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT; (6)THENCE, NORTH 11 DEGREES 11 MINUTES 02 SECONDS WEST, COINCIDENT WITH THE WEST LINE OF SAID 1.03 ACRE TRACT, A DISTANCE OF 182.53 FEET (182.49 FEET - DEED) TO A 1/2 INCH DIAMETER IRON ROD SET ON THE NORTHWEST CORNER OF SAID 1.03 ACRE TRACT FOR A WESTERN CORNER OF THIS HEREIN DESCRIBED TRACT; (7)THENCE, NORTH 08 DEGREES 32 MINUTES 23 SECONDS EAST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 1, A DISTANCE OF 542.57 FEET PASS A 1/2 INCH DIAMETER IRON ROD SET ON INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID NEUHAUS DRIVE, AT A DISTANCE OF 562.47 FEET IN ALL TO THE POINT OF BEGINNING, CONTAINING 9.83 ACRES OF LAND, MORE OR LESS, OF WHICH THE NORTH 20.0 FEET (OR 0.35 ACRES, MORE OR LESS) ARE LOCATED WITHIN THE RIGHT-OF-WAY OF SAID NEUHAUS DRIVE, LEAVING 9.38 ACRES OF LAND, MORE OR LESS. BASIS OF BEARING: McALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS COUNTY OF HIDALGO I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NEUHAUS ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE NEUHAUS ESTATES HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF NEUHAUS DRIVE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

ALFREDO DE JESUS BADA DATE 4201 NEUHAUS McALLEN, TEXAS 78503

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALFREDO DE JESUS BADA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE \_\_\_\_DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

JIM DARLING, MAYOR, CITY OF McALLEN DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(C) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS. HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RAUL E. SESIN P.E. DISTRICT MANAGER DATE

STATE OF TEXAS COUNTY OF HIDALGO I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NEUHAUS ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE NEUHAUS ESTATES HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF NEUHAUS DRIVE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

MARIO A. SALINAS DATE LICENSED PROFESSIONAL ENGINEER # 96611 3911 N. 10TH STREET, SUITE H McALLEN, TEXAS 78501

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, RPLS DATE SALINAS ENGINEERING & ASSOCIATES CONSULTING ENGINEERS & SURVEYORS 2221 DAFFODIL AVE. McALLEN, TEXAS 78501 (956) 682-9081

STATE OF TEXAS COUNTY OF HIDALGO

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NEUHAUS ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE NEUHAUS ESTATES HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF NEUHAUS DRIVE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

BY: MARIO A. SALINAS DATE 3911 N 10 ST, SUITE H McALLEN, TEXAS 78501

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARIO A. SALINAS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE \_\_\_\_DAY OF \_\_\_\_\_, 2022.

NOTARY PUBLIC

MAS ENGINEERING LLC. CONSULTING ENGINEERING FIRM NO. F-15499 3911 N. 10TH STREET, SUITE H McALLEN, TEXAS. 78501 PH. (956) 537-1311 E-MAIL: MSALINAS6973@ATT.NET



**City of McAllen**  
SUBDIVISION PLAT REVIEW

Reviewed On: 7/29/2022

<b>SUBDIVISION NAME: NEUHAUS ESTATES SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Neuhaus Drive: 10 ft. ROW dedication required for 30 ft. from centerline for 60 ft. ROW                      Paving: 40 ft. Curb &amp; gutter: Both sides                      *Owner must escrow monies for improvements not constructed prior to plat recording.                      **Variance approved at City Commission meeting of November 22, 2021 to not pay or escrow monies for this Neuhaus Drive paving and drainage requirements.                      ***City of McAllen Thoroughfare Plan</p>	Applied
<p>S. 42nd Street (private): 56-76.31 ft. ROW proposed                      Paving: min. 32 ft. Curb &amp; gutter: both sides                      *Private streets shall comply with and built according to city standards                      **Project engineer, on behalf of the developer requested a variance to allow one-20 ft. entrance and one-14 ft. wide exit lane with a 10 ft. median with existing trees instead of the 32 ft. cross section as required for single family residential development.                      ***City Commission granted a variance to allow a 20 ft. entrance and 17 ft. wide exit with no sidewalks on the east side at their meeting on October 23, 2017.                      ****Revise street name as noted above prior to recording                      *****Improvements must be escrowed if not built prior to recording.                      *****Cul-de-sac must 96 ft. paving diameter face-face                      *****City of McAllen Thoroughfare Plan</p>	Required
<p>Paving _____ Curb &amp; gutter _____</p>	Applied
<p>* 1200 ft. Block Length.                      **Subdivision Ordinance:134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	Compliance
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial properties                      **Subdivision Ordinance: Section 134-106</p>	NA
<b>SETBACKS</b>	
<p>* Front: 25 ft. or greater for easements                      **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: in accordance with the Zoning Ordinance, or greater for easements                      **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Interior Sides: in accordance with the Zoning Ordinance, or greater for easements</p>	Applied
<p>* Corner: Neuhaus Drive - 10 ft. or greater for easements                      **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage: 18 ft. except where greater setback is required; greater setback applies                      **Zoning Ordinance: Section 138-356</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
4 ft. wide minimum sidewalk required along Neuhaus Drive and on west side of S.42nd Street. *Revise Plat note #6 as shown above. **Project engineer, on behalf of the developer requested a 3 ft. wide sidewalk on the east side due to the existing trees and property line. ***City Commission granted a variance to allow a 20 ft. entrance and 17 ft. wide exit with no sidewalks on the east side at their meeting on October 23, 2017.. ***Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Neuhaus Drive **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along Neuhaus Drive. **City's Access Management Policy	Applied
* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.	NA
* Common areas, private streets, must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 ***Subdivision Ordinance: Section 134-168	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies for public subdivisions	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance 138-168 for private subdivisions	Required
<b>LOT REQUIREMENTS</b>	
* Lots fronting public streets or private **Zoning Ordinance: Section 138-1	Compliance
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

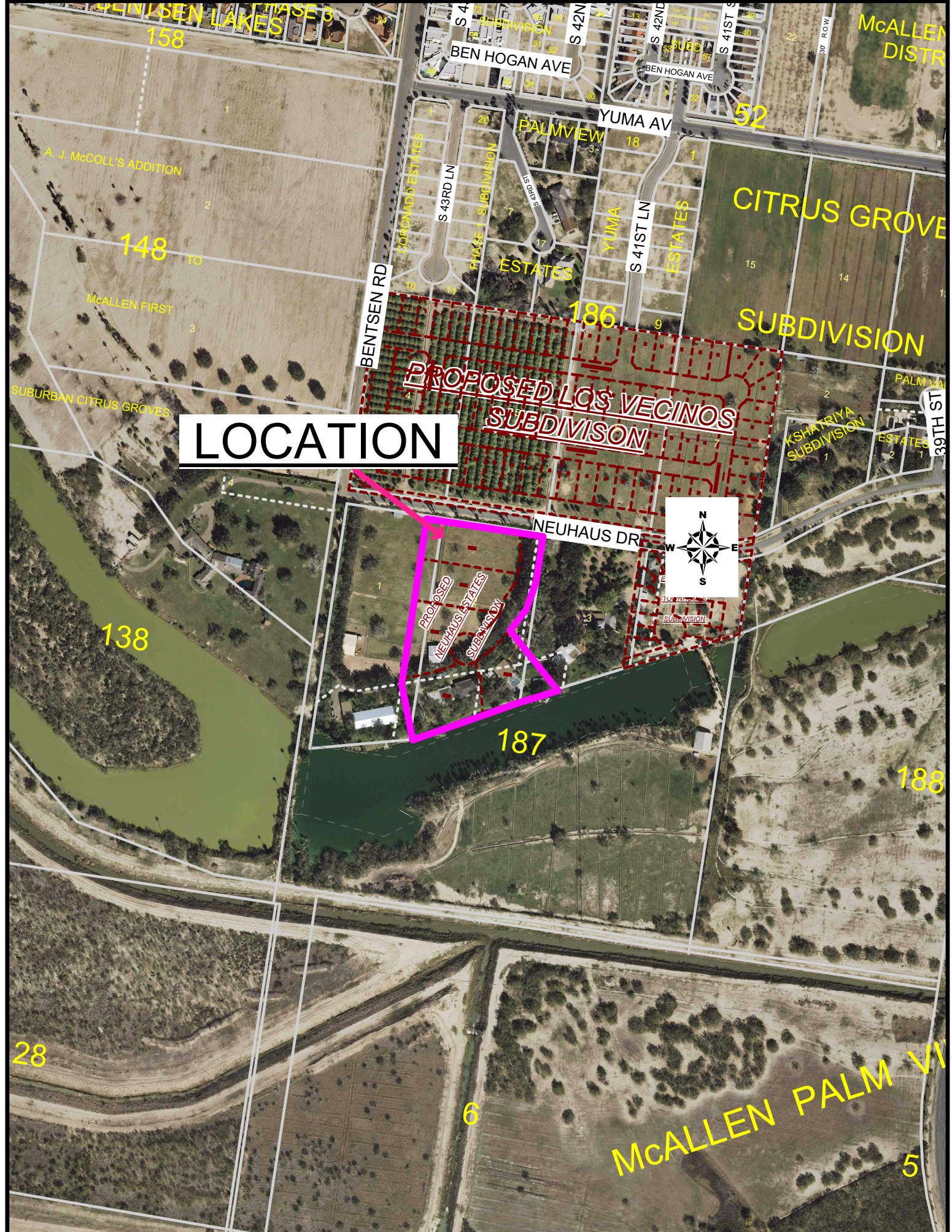
<b>ZONING/CUP</b>	
* Existing: R-1 Proposed: R-1 **Zoning Ordinance: Section 138-176 * Rezoning Needed Before Final Approval	Applied
	NA
<b>PARKS</b>	
* Land dedication in lieu of fee .	NA
* Park Fee of \$700 dwelling unit/lot x 5 = \$3,500 to be paid prior to recording	Required
* Pending review by the City Manager's Office.	NA
<b>TRAFFIC</b>	
* Per Traffic Department Trip Generation has been honored. No TIA is required.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
<b>COMMENTS</b>	
<p>Comments:                      *Must comply with City's Access Management Policy                      **Final approval expired for this subdivision originally submitted in 2017.                      ***Variance request approved at the City Commission meeting of October 23, 2017 allowing a 17 ft. wide exit lane with no sidewalks on the east side.                      ****Money must be escrowed if improvements are not built prior to recording.                      ****Indicate subdivision is private in parenthesis below name on plat prior to recording.                      ****Variance approved at City Commission meeting of November 22, 2021 to not pay or escrow monies for this Neuhaus Drive paving and drainage requirements.                      *****Subdivision plat submitted on May 26, 2022 changed in acreage and lot numbers; therefore, it will need to be presented to P&amp;Z in revised final form.                      *****Must comply with Fire Department access road requirements</p>	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

# LOCATION

**PROPOSED LOS VECINOS SUBDIVISION**

**PROPOSED NEUHAUS ESTATES SUBDIVISION**



## **Memo**

**TO:** Planning and Zoning Commission  
**FROM:** Luis Mora  
**DATE:** July 28, 2022  
**SUBJECT: City Commission Actions on July 25, 2022**

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### **CONDITIONAL USE PERMITS**

1. Request of Frank Trevino for a Conditional Use Permit, for one year, and adoption of an ordinance for an automotive service and repair shop and warehouse at Lots 1-3, Block 50, North McAllen Subdivision, Hidalgo County, Texas; 111 North 11<sup>th</sup> Street
  - Planning and Zoning Commission disapproved with a favorable recommendation
  - City Commission approved as recommended and subject to compliance with required parking
  
2. Request of Jessica Aguilar for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar at the North 20 ft. of Lot 1 & all of Lot 2 excluding the northwest 225 ft. x 240 ft. of Lot 2, Plaza Del Norte Subdivision, Hidalgo County, Texas; 3424 N. 10<sup>th</sup> Street
  - Planning and Zoning Commission disapproved with a favorable recommendation
  - City Commission approved as recommended
  
3. Request of Blanca I. Cantu, for a Conditional Use Permit, for one year, for an event center, at Trevino's Acre Subdivision and the South 60.62 ft., the North 355.78 ft. out of Lot 2, Block 8, A.J. McColl Subdivision, Hidalgo County, Texas; 2000 South Jackson Road
  - Planning and Zoning Commission disapproved with a favorable recommendation
  - City Commission approved as recommended and subject to noted conditions, compliance with parking requirements, and site plan & subdivision requirements

### **Rezoning**

1. Rezone from R-1 (Single Family Residential) District to R-3T (Multifamily Residential Townhouse) District: 1.07 Acres and 0.84 Acres out of Lot 7, Section 8, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 501 & 519 Dallas Avenue
  - Planning and Zoning Commission recommended approval
  - City Commission approved as recommended

2. Rezone from C-1 (Office Building) District to R-3T (Multifamily Residential Townhouse) District: 1.41 Acres out of Lot 7, Section 8, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 601 Dallas Ave.

- Planning and Zoning Commission recommended approval
- City Commission approved as recommended

3. Initial Zoning to R-3A (Multifamily Apartment Residential) District: 19.953 Acre Tract (20.0 Acres recorded) of land, being out of the West half of Lot 13, Section 280, Texas-Mexican Railway Subdivision, Hidalgo County, Texas; 2700 Sprague Road.

- Planning and Zoning Commission recommended approval
- Tabled until the Pre-Annexation Agreement has been signed by the property owner





# PLANNING DEPARTMENT



311 N 15th Street McAllen, TX 78501  
 Phone: 956-681-1250 Fax: 956-681-1279

## 2022 CALENDAR

### Meetings:

- City Commission
  - ▲ Public Utility Board
  - Planning & Zoning Board
  - Zoning Board of Adjustment
- HPC - Historic Preservation Council

### Deadlines:

- D- Zoning/CUP Application
  - N - Public Notification
- \* **Holiday** - Office is closed

### JANUARY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5	6	7	8
	A-1/18 & 1/19		N-1/18 & 1/19 D-2/1 & 2/2			
9	10	11	12	13	14	15
16	17	18	19	20	21	22
	A-2/1 & 2/2		N-2/1 & 2/2 D-2/16 & 2/17			
23	24	25	26	27	28	29
			HPC			
30	31					
	A-2/16 & 2/17					

### FEBRUARY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
			N- 2/16 & 2/17 D- 3/28 & 3/3			
6	7	8	9	10	11	12
13	14	15	16	17	18	19
	A-3/2 & 3/3		N-3/2 & 3/3 D-3/16 & 3/17			
20	21	22	23	24	25	26
				HPC		
27	28	29	30	31		
	A-3/16 & 3/17					

### MARCH 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
			N-3/16 & 3/17 D - 4/5 & 4/6			
6	7	8	9	10	11	12
13	14	15	16	17	18	19
			D-4/19 & 4/20			
20	21	22	23	24	25	26
	A-4/5 & 4/6		N-4/5 & 4/6			
27	28	29	30	31		
			HPC			

### APRIL 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6	7	8	9
	A-4/19 & 4/20		N-4/19 & 4/20 D-5/3 & 5/4			
10	11	12	13	14	15	16
					HOLIDAY	
17	18	19	20	21	22	23
	A- 5/3 & 5/4		N- 5/3 & 5/4 D-5/17 & 5/18			
24	25	26	27	28	29	30
			HPC			

### MAY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4	5	6	7
	A- 5/17 & 5/18		D: 6/1 & 6/7 N-5/17 & 5/18			
8	9	10	11	12	13	14
15	16	17	18	19	20	21
	A-6/1 ZBA		N-6/1 ZBA D-6/15 & 6/21			
22	23	24	25	26	27	28
	A-6/7 PZ		HPC		A-6/15 ZBA	
29	30	31				
	HOLIDAY					

### JUNE 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
			N-6/15 ZBA D-7/6 & 7/7			
5	6	7	8	9	10	11
	A-6/21 P&Z		N-6/21 P&Z			
12	13	14	15	16	17	18
			D-7/19 & 7/20			
19	20	21	22	23	24	25
	A-7/6 & 7/7		N-7/6 & 7/7			
26	27	28	29	30		
			HPC			

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

## 2022 CALENDAR

**Meetings:**

-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council

**Deadlines:**

- D- Zoning/CUP Application
- N - Public Notification
- \* **Holiday** - Office is closed

**JULY 2022**

**AUGUST 2022**

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
					A-7/19 & 7/20	
3	4 <b>HOLIDAY</b>	5	6 N-7/19 & 7/20 D-8/2 & 8/3	7	8	9
10	11 ●	12 ▲	13	14	15	16
17	18 A-8/2 & 8/3	19 ■	20 N-8/2 & 8/3 D-8/16 & 8/17	21	22	23
24	25 ●	26 ▲	27 <b>HPC</b>	28	29	30
31						

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2 ■	3 N- 8/16 & 8/17 D-9/7 & 9/8	4	5	6
7	8 A- 8/16 & 8/17 ●	9 ▲	10	11	12	13
14	15	16 ■	17 D-9/20 & 9/21	18	19	20
21	22 ●	23 ▲	24 N-9/7 & 9/8	25 <b>HPC</b>	26	27
28	29	30	31			

**SEPTEMBER 2022**

**OCTOBER 2022**

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
					A-10/20 & 10/21	
4	5 <b>HOLIDAY</b>	6	7 N-9/20 & 9/21 D-10/4 & 10/5	8	9	10
11	12 ●	13 ▲	14	15	16	17
18	19 A-10/4 & 10/5	20 ■	21 D-10/18 & 10/19 N-10/4 & 10/5	22	23	24
25	26 ●	27 ▲	28 <b>HPC</b>	29	30	

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4 ■	5 N-10/18 & 10/19 D-11/1 & 11/2	6	7	8
9	10 A-10/18 & 10/19 ●	11 ▲	12	13	14	15
16	17 A- 11/1 & 11/2	18 ■	19 N- 11/1 & 11/2 D-11/16 & 11/17	20	21	22
23	24 ●	25 ▲	26 <b>HPC</b>	27	28	29
30	31 A-11/16 & 11/17					

**NOVEMBER 2022**

**DECEMBER 2022**

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1 ■	2 N-11/16 & 11/17 D-12/6 & 12/7	3	4	5
6	7	8	9	10	11	12
13	14 ●	15 ▲	16 D-12/20 & 12/21	17	18	19
20	21 A-12/6&12/7	22	23 N-12/6 & 12/7	24 <b>HOLIDAY</b>	25	26
27	28 ●	29 ▲	30			

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5	6 ■	7 <b>HPC</b> D-1/3 & 1/4 N- 12/20& 12/21	8	9	10
11	12 A-12/20 & 12/21 ●	13 ▲	14	15	16	17
18	19 A- 1/3 & 1/4	20 ■	21 D-1/17 & 1/18 N- 1/3 & 1/4	22	23 <b>HOLIDAY</b>	24
25	26 <b>HOLIDAY</b>	27	28	29	30	31





# PLANNING DEPARTMENT

## 2022 Calendar

### SUBDIVISION AND UTILITY REVIEW CALENDAR



<b>SUBDIVISION/UTILITY MEETING</b>	<b>CITY MEETING</b>	<b>DEADLINE AT 5:00P.M.</b>
<p> <b>Subdivision Review Meeting - 8:30 a.m.</b> Review with staff, developers and engineers</p> <p> <b>Staff Project Review - 8:30 a.m.</b> Review of plats, utilities and drainage and site plans</p>	<p> City Commission</p> <p> Planning and Zoning</p> <p> Public Utility Board</p>	<p> <b>Changes to subdivision/site plans</b> Required to be placed on following review meeting</p> <p> <b>Deadline for New Plats</b> New Plats with all supporting information and fees</p>

<b>JANUARY 2022</b>	<b>FEBRUARY 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1				1	2	3	4	5
2	3	4	5	6	7	8	6	7	8	9	10	11	12
9	10	11	12	13	14	15	13	14	15	16	17	18	19
16	17	18	19	20	21	22	20	21	22	23	24	25	26
23	24	25	26	27	28	29	27	28	29				
30	31				31								

<b>MARCH 2022</b>	<b>APRIL 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5						1	2
6	7	8	9	10	11	12	3	4	5	6	7	8	9
13	14	15	16	17	18	19	10	11	12	13	14	15	16
20	21	22	23	24	25	26	17	18	19	20	21	22	23
27	28	29	30	31			24	25	26	27	28	29	30
												31	

<b>MAY 2022</b>	<b>JUNE 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
									1	2		3	4
1	2	3	4	5	6	7	5	6	7	8	9	10	11
8	9	10	11	12	13	14	12	13	14	15	16	17	18
15	16	17	18	19	20	21	19	20	21	22	23	24	25
22	23	24	25	26	27	28	26	27	28	29	30		
29	30	31			31								

\*Deadlines & meeting dates are subject to change based on staff's availability. Contact the Planning Dept. (956) 681-1250 if you have any questions.



# PLANNING DEPARTMENT

## 2022 Calendar

### SUBDIVISION AND UTILITY REVIEW CALENDAR



<b>SUBDIVISION/UTILITY MEETING</b>	<b>CITY MEETING</b>	<b>DEADLINE AT 5:00P.M.</b>
<b>Subdivision Review Meeting - 8:30 a.m.</b> Review with staff, developers and engineers	City Commission  Planning and Zoning	<b>Changes to subdivision/site plans</b> Required to be placed on following review meeting
<b>Staff Project Review - 8:30 a.m.</b> Review of plats, utilities and drainage and site plans	Public Utility Board	<b>Deadline for New Plats</b> New Plats with all supporting information and fees

<b>JULY 2022</b>	<b>AUGUST 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2		1	2	3	4	5	6
					D-7/19				2			*	
3	4	5			*	8	7	8	9			*	13
	<b>HOLIDAY</b>				*	16						*	20
10					*	23	14	15	16			*	21
17					*	30	17	18				*	28
24					*	31	21	22				*	29
31							28	29	30				

<b>SEPTEMBER 2022</b>	<b>OCTOBER 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3						1	2
		4			*				4			*	
4	5	6			*	11	2	3				*	9
	<b>HOLIDAY</b>					18						*	16
11						25	9	10	11				17
18					*	30	16	17				*	24
25							23	24				*	31
		27					30	31	25				

<b>NOVEMBER 2022</b>	<b>DECEMBER 2022</b>
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
					4	5						2	3
		1			*				6				
7						14	4	5				*	11
					*	21						*	18
14						28	11	12	13				19
21					*	30	18	19				*	26
28				<b>HOLIDAY</b>			25	26	20			*	27
		30					28	29				*	30
								<b>HOLIDAY</b>	27			*	31

\*Deadlines & meeting dates are subject to change based on staff's availability. Contact the Planning Dept. (956) 681-1250 if you have any questions.