

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING

TUESDAY, AUGUST 4, 2020 - 3:30 PM

MCALLEN CITY HALL, 1300 HOUSTON AVENUE

CITY COMMISSION CHAMBERS, 3RD FLOOR

Web: <https://zoom.us/join> or phone: (346) 248-7799

Meeting ID: [672-423-1883](https://zoom.us/join)

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

1) MINUTES:

- a) Minutes for Regular Meeting held on July 7, 2020

2) PUBLIC HEARING

a) REZONING:

- 1. Rezone from R-1 (single-family residential) District to R-3T (multifamily residential townhouse) District: 1.23-acre tract of land out of Lot 1, Section 11, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 201 Dove Avenue. **(REZ2020-0016)**

b) CONDITIONAL USE PERMITS:

- 1. Request of Joaquin E. Zamudio, for a Conditional Use Permit, for one year, for a Home Occupation (hair salon), at Lot 15 and the North 12½ ft. of Lot 16, Block 3, Louise Addition, Hidalgo County, Texas; 313 North 8th Street. **(CUP2020-0070)**
- 2. Request of Miguel A. Rivera on behalf of Casa de Oracion Rey de Reyes, for a Conditional Use Permit, for one year, for an Institutional Use (church), at Lots 1-8 and Lots 9-16, Block 6, Bonnie- View Subdivision, Hidalgo County, Texas; 2100 Fir Avenue. **(CUP2020-0064)**
- 3. Request of Benjamin Hill, for a Conditional Use Permit, for one year, for a Home Occupation (stringed instrument repair), at the South ½ of the West 89 ft. of Lot 11 and the West 89 ft. of Lot 12, Block 17, North McAllen Addition, Hidalgo County, Texas; 502 North 11th Street. **(CUP2020-0062)**
- 4. Request of Miguel A. Vargas Jr. for a Conditional Use Permit, for one year, for a bar and lounge at Lots 1 and 2, Mejia Subdivision Unit No. I, Hidalgo County, Texas, 2000 Nolana Avenue. **(CUP2020-0065)**
- 5. Request of Guillermo A. Tijerina Jr. for a Conditional Use Permit, for one year, for an automotive service and repair shop, Lots 5 through 8, South 23rd Business Park, Hidalgo County, Texas, 4910 South 23rd Street. **(CUP2020-0019)**

6. Request of Dwight H. Jander, on behalf of South Texas Electric Cooperative, Inc., for a Conditional Use Permit, for life of the use, for Railroad Facilities or Utilities Holding a Franchise (electric substation) at 12.23 acres of land out of Lot 482, John H. Shary Subdivision, Hidalgo County, Texas; 6801 Mile 7 Road. **(CUP2020-0072)**
7. Request of Jared W. Doxey, on behalf of the Church of Jesus Christ of Latter-Day Saints for a Conditional Use Permit, for Life of the Use, for an Institutional Use (Church) at a 10.615-Acre tract of land out of lot 16, section 13, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 7301 North 2nd Street. **(CUP2020-0057) (Tabled: 06/16/2020) (Remained: 07/07/2020) WITHDRAWN**
8. Request of Melissa West on behalf of Villas Jardin Homeowners Association, for a Conditional Use Permit, for life of the use, for a Planned Unit Development (residential use) at Lot 34, Amended Map of Villas Jardin Subdivision, Hidalgo County, Texas; 301 Byron Nelson Drive. **(CUP2020-0071)**

3) CONSENT:

- a) Primrose Terrace, Unit 11 Lot 12A thru 12D Subdivision; 5001 North Main Street- Linda Emmons Gale **(Revised Final) (SUB2017-0040) BDE - WITHDRAWN**
- b) NACCU Subdivision; 9100 North 10th Street - Alberto, Adrian and Antonio III Salinas **(Revised Final) (SUB2017-0087) SEC**

4) SUBDIVISIONS:

- a) Lots 1A, 1B, 1C & 1D Morales Subdivision; 7301 Mile 7 Road - Diana Morales & Madalyn E. Morales - **(Preliminary) (SUB2020-0046) M&H**
- b) Campo de Suenos; 8600 North Ware Road - Riverside Development Services, LLC. **(Revised Preliminary) (SUB2020-0080) M&H**
- c) Shary Manor Subdivision; 7000 North Shary Road - Shary 80 Phase I, LLC **(Revised Preliminary) (SUB2020-0025) JHE**
- d) Villatorre Estates at Almon Subdivision; 3308 Yellowhammer Avenue - Riverside Development Services, LLC. **(Preliminary) (SUB2020-0044) JHE**
- e) Esmeralda Heights Subdivision; 201 North 8th Street - Sergio Todaro **(Preliminary) (SUB2020-0045) SEA**
- f) North Via Cantera Subdivision; 7321 Mile 7 1/2 Road- Falcon International Bank **(Revised Preliminary) (SUB2018-0052) SEA**
- g) Olvera Subdivision; 4509 Buddy Owens Boulevard- Jose Tellez Olvera **(Revised Preliminary) (SUB2020-0022) (Tabled: 06/02/2020) (Remained Tabled: 06/16/2020) (Remained Tabled: 07/07/2020) SEA**

5) INFORMATION ONLY:

- a) City Commission Actions: July 13, 2020
- b) City Commission Actions: July 27, 2020

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

**NOTICE OF REGULAR MEETING TO BE HELD BY
THE MCALLEN PLANNING & ZONING COMMISSION**

DATE: Tuesday, August 4, 2020

TIME: 3:30 PM

PLACE: McAllen City Hall
1300 Houston Avenue
Commissioners' Room – 3rd Floor
McAllen, Texas 78501

SUBJECT MATTERS: SEE FOREGOING AGENDA

C E R T I F I C A T I O N

I, the undersigned authority, do hereby certify that the above agenda for the Meeting of the McAllen Planning & Zoning Commission is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the municipal building, a place convenient and readily accessible to the general public at all times, and said notice was posted on the 31st day of July, 2020 at 3:00 p.m. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.

Dated this the 31st day of July, 2020

Jessica Cavazos, Administrative Supervisor

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting & Public Hearing on Tuesday, July 7, 2020 at 3:30 p.m. in the McAllen City Hall City Commission Room at 1300 Houston Avenue, McAllen, Texas.

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|-----------------------|---------------------------------|---|
| Present: | Daniel Santos | Vice-Chairperson |
| | Michael Hovar | Member |
| | Rogelio Cervantes | Member |
| | Gabriel Kamel | Member |
| | Michael Fallek | Member |
| | Jose Saldana | Member |
| Absent: | Pepe Cabeza de Vaca | Chairperson |
| Staff Present: | Evaristo Garcia | Assistant City Attorney |
| | Michelle Rivera | Assistant City Manager |
| | Edgar Garcia | Director |
| | Luis Mora | Deputy Director |
| | Berenice Gonzalez | Planner III |
| | Jose De La Garza Jr. | Planner III |
| | Lilliana Garza | Planner II |
| | Hebert Camacho | Planner I |
| | Juan Martinez | Development Coordinator |
| | Bilkis Olazaran Martinez | Engineering Department (Virtual) |
| | Martina Mejia | Traffic Department |
| | Jose Ortega | Planning Technician II |
| | Claudia Mariscal | Administrative Secretary |

CALL TO ORDER- Daniel Santos, Vice Chairperson

Meeting held via Teleconference and Video Conference.

PLEDGE OF ALLEGIANCE

INVOCATION- Mr. Rogelio Cervantes

1) MINUTES:

- a)** Minutes for Regular Meeting held on June 16, 2020.

The minutes for the regular meeting held on June 16, 2020 were approved as submitted. The motion to approve was made by Mr. Michael Fallek. Mr. Jose Saldana seconded the motion, which carried unanimously with five members present and voting.

2) SITE PLAN:

- a)** Revised Site Plan approval for Lot 3-A, Plaza Del Norte Phase I-A Subdivision, 7501 North 10th Street. (SPR2020-0015)

Ms. Garza stated that the property is located on the west side of North 10th Street, approximately ¼ mile north of Trenton Road. The property is zoned C-3 (general business) District and the

adjacent zoning is C-3 in all directions. Surrounding land uses include Red Lobster, Bar-B-Cutie restaurant, Sam's Club, and Bank of America.

The property is part of Plaza Del Norte Phase I-A Subdivision, which was recorded on December 11, 2009. A note on the plat indicates that a site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.

The applicant is proposing to add a drive-thru on the south side of the existing building for a future restaurant. Based on 4,689 sq. ft. of restaurant use (47 parking spaces are required); based on 3,600 sq. ft. of retail use (12 parking spaces are required), and based on 3,700 sq. ft. of office use (22 parking spaces are required) for a combined total of 78 parking spaces required; 78 parking spaces are provided. Traffic department and Fire department are requiring for 6 of the original parking spaces on the southwest corner to be removed for a proper maneuvering of the fire truck. If any adjustments need to be made to the fire lane, the Fire department will advise at the time of inspection. A Pavement Marking is required by the Traffic department for the curb-cut between menu board and building to leave access clear between the menu board and building. The required landscaping for the site is 6,852 sq. ft. with trees required as follows: 20 - 2 ½" caliper trees, or 10 - 4" caliper trees, or 5 - 6" caliper trees, or 40 palm trees. The applicant is proposing to relocate three of the existing trees. A tree removal application has been submitted. A minimum 10 ft. wide landscaped strip is located inside the property line along 10th Street. Fifty percent of landscape must be visible in front areas, and each parking space must be within 50 ft. of a landscape area with tree, as required by ordinance. All setbacks will be in compliance with the plat note requirements and the zoning ordinance.

Staff recommends approval of the site plan subject to the conditions noted, Traffic Department and Fire Department requirements, paving and building permit requirements, and the subdivision and zoning ordinances.

Mr. Gabriel Kamel joined the meeting.

Being no discussion, Mr. Jose Saldana moved to approve with conditions noted. Mr. Michael Hovar seconded the motion, which was approved with six members present and voting.

3) CONSENT:

- a) B.B.E. Ranch Subdivision; 909 East Whalen- Cynthia Molina (Revised Final) (SUB2019-0058) SEA**

E. Whalen Road: Revised plat shows 40 ft. existing ROW with no additional dedication proposed. Paving: min. 32 ft. Curb & gutter: both sides. Previous approval had a 10 ft. dedication for 50 ft. ROW 800 ft. Block Length Front: E. Whalen Road: 45 ft. or greater for easements. If the plat is revised to include other street, setbacks will be revised to establish requirements. Rear: In accordance with the Zoning Ordinance or greater for easements. If the plat is revised to include other streets, requirements will be established accordingly. Sides: In accordance with the Zoning Ordinance, or greater for easements. Garage: 18 ft. except where greater setback is required, greater setback applies. All setbacks are subject to increase for easements or approved site plan. Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. If the plat is revised to include other streets, requirements will be established accordingly. 4 ft. wide minimum sidewalk required on E.

Whalen Road. Sidewalks subject to increase to 5 ft. wide as may be required by Engineering, prior to recording. Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. If the plat is revised to include other streets, requirements will be established accordingly. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. If the plat is revised to include other streets, requirements will be established accordingly. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along: Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway Lots fronting public streets: Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. If the plat is revised to include other streets, requirements will be established accordingly. Minimum lot width and lot area: Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. Lot must meet minimum size requirements as required by McAllen Public Utility. If the plat is revised to include other streets, requirements will be established accordingly. If the plat is revised to include other streets, requirements will be established accordingly. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, Trip Generation waived for 1 single family residence. Must comply with City's Access Management Policy. Need to address street requirements, including any RMA road that affects this property. Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway. Lot must meet minimum size requirements as required by McAllen Public Utility. P&Z approved the plat in preliminary form at the meeting of November 6, 2018. P&Z approved the subdivision in revised preliminary form, with conditions, at the meeting of April 16, 2019. P&Z approved the subdivision in final form, with conditions, at the meeting of August 20, 2019. If the plat is revised to include other streets, requirements will be established accordingly. Subdivision was approved in final form at the P&Z meeting held January 21, 2020 under B.B.E. Ranchette. Engineer indicated via email on June 16, 2020 the owner wanted to change the subdivision name to B.B.E. Ranch instead of B.B.E. Ranchette.

Staff recommends approval of the subdivision in revised final form subject to the conditions noted.

Being no discussion, Mr. Gabriel Kamel **moved** to approve with conditions noted. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

4) SUBDIVISIONS:

- a) The Villas on Freddy Phase II Subdivision; 1500 Freddy Gonzalez Road- The Villas on Freddy, LLC (Final) (SUB2020-0039) M&H

Ms. Gonzalez stated that the property is located on Freddy Gonzalez Road - 20 ft. ROW dedication, for 50 ft. from center line for 100 ft. ROW Paving:65 ft. Curb & gutter: both sides. Must escrow monies if improvements are not constructed prior to recording N. 17th Street (Private), Xavier Ave. (Private), Zurich Ave. (Private) and N. 13th St. (Private): 30 ft. ROW Paving 30 ft. Curb & gutter both sides Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City

Commission on May 13, 2019. Fire Lanes and HOA enforcement of no parking on the streets per Fire Department requirements. Bicentennial Boulevard - Proposed 25 ft. additional ROW for 150.50-150.87 ft. total ROW Paving: By the state Curb & gutter: Both sides 800 ft. Block Length Variance request to the 800 ft. block length requirement approved by City Commission at the May 13, 2019 meeting. Front: LOTS 96-100 SHALL BE 23 FEET (FRONTING WEST) LOTS 101-120 SHALL BE 23 FEET (FRONTING SOUTH) LOTS 121-138 SHALL BE 10 FEET (FRONTING SOUTH) LOTS 139-162 SHALL BE 10 FEET (FRONTING EAST) LOTS 163-192 SHALL BE 23 FEET (FRONTING EAST) Rear: LOTS 96-100 SHALL BE 10 FEET (EAST) LOTS 101-120 SHALL BE 10 FEET (EAST) LOTS 121-138 SHALL BE 23 FEET (GARAGE NORTH) LOTS 139-162 SHALL BE 23 FEET (GARAGE WEST) LOTS 163-192 SHALL BE 10 FEET (WEST) Interior Sides: LOTS 96-100 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE LOTS 101-120 SHALL BE 3 FEET EAST SIDE AND 7 FEET WEST SIDE LOTS 121-138 SHALL BE 3 FEET WEST SIDE AND 7 FEET EAST SIDE LOTS 139-162 SHALL BE 7 FEET SOUTH SIDE AND 3 FEET NORTH SIDE LOTS 163-192 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE Side Corner: 5 FEET, OR GREATER FOR EASEMENTS. Garage: 23 ft. except where greater setback is required, greater setbacks applies. Garage setback proposed so vehicles do not overlap over the sidewalks. Based on meetings engineer/developer and staff, garage setbacks provided to increase to assure vehicles do not overhang over the sidewalks, prior to recording. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Freddy Gonzalez Rd., Bicentennial Blvd. and both sides of all interior streets; however, Engineer submitted a Walking Trails plan for the interior street, which provides for sidewalks along the front of each unit. Sidewalks are located along some streets, while others are within common areas. Variance request for sidewalk requirement approved by City Commission on May 13, 2019 as per Walking Trails Plan for the interior streets, etc. Perimeter sidewalks must be built or money escrowed if not built at this time. * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Freddy Gonzalez Rd. and Bicentennial Blvd. Revise street name Freddy Gonzalez Rd. instead of Dr. now shown. 8 ft. masonry wall required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Freddy Gonzalez Rd. and/or Bicentennial Blvd. Revise Note #10 on plat to reflect Freddy Gonzalez Rd. Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Lots fronting public streets. Minimum lot width and lot area - All lots must be minimum 20 ft. wide and corner lot must be minimum 24 ft. wide in R-3T district. Land dedication in lieu of fee. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Pending review by the Parkland Dedication Advisory Board and CC. Land dedication in lieu of fee. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department Trip generation has been approved. Must comply

with City's Access Management Policy. Engineers to clarify required ROW for Bicentennial Blvd. and along the north side. Gate detail must be submitted and approved, prior to recording.

Staff recommends approval of the subdivision in final form, subject to conditions noted.

Being no discussion, Mr. Michael Fallek moved to approve based on the conditions noted. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

**b) The Tree Apartments Subdivision; 1001 South Taylor Road- Majima, LLC (Final)
(SUB2020-0040) TE**

Ms. Gonzalez stated that the property was located on S. Taylor Road: 10 ft. dedicated for 40 ft. from centerline for an 80 ft. ROW Paving: 52 ft. - 65 ft. Curb & gutter: both sides Owner must escrow monies for improvements not built prior to plat recording. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Southwest drive is proposed to be used for City Services* Front: S. Taylor Road - 40 ft. or greater for easements or approved site plan Revise plat as noted above Rear: In accordance with the Zoning Ordinance, or greater for easements Sides: Lot 1: North side: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. South side: 0 ft. or greater for easements or approved site plan, and in compliance with Building and Fire Codes. Lot 2: North side: 0 ft. for garages or greater for easements or approved site plan. South side: 0 ft. or greater for easements or approved site plan, and in compliance with Building and Fire Codes. Revise plat as noted above, prior to final. Project engineer, on behalf of the developer is requesting a 0 ft. side yard setback along the north property line for the enclosed garages. However, the site plan shows a 10 ft. utility easement on the north boundary; project engineer to clarify with McAllen Public Utility and revise accordingly. Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017. Engineer submitted a letter on June 2, 2020 requesting the following variances: Lot 1: 0 ft. setback along the south side for garages, instead of the required 6 ft. On June 16, 2020, P&Z Board approved the 2-Lot subdivision with 0 ft. setbacks on the south side of Lot 1 and north side of Lot 2 for garages, and 0 ft. setback on the south side of Lot 2 as shown on the site plan, subject to compliance with Building and Fire Code. Site plan shows a 13'-6" separation between buildings on both lots. Garage: 18 ft. except where greater setback is required; greater setback applies Revise Note #3 to include garage setbacks as noted above. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on S. Taylor Road. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Site plan must be approved by the Planning and other Development Departments prior to building permit issuance. Common Areas, private service drives must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets Minimum lot width and lot area. Park Fee of \$700 per dwelling unit will be required to be paid as per City Commission approval/requirements as agreed on January 13, 2020, January 27, 2020 and February 10, 2020. Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued Considered on December 18, 2019 by the Parkland Dedication Advisory Board and City Commission on January 13, 2020, January 27, 2020, and February 10, 2020. Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued. Trip Generation to determine if TIA is required,

prior to final plat. Per Traffic Department engineer submitted a TIA in lieu of a Trip Generation. Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department TIA has been approved. Preliminary plat approved by the Planning and Zoning Commission on September 5, 2017. Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017. City Commission granted the variance to not require S. 49th Street (collector road) at their meeting on September 25, 2017. Per Traffic, the plat must comply with the City's Access Management Policy. Project engineer to coordinate the alignment of driveways with existing drives on the west side of S. Taylor Road. Driveways/Access for S. Taylor Road must be at a spacing of 425 ft. and 200 ft. spacing on future S. 49th Street. Subdivision layout has been revised as 2-lot subdivision instead of the 1-lot originally submitted. On June 16, 2020, P&Z Board approved the 2-Lot subdivision with 0 ft. setbacks on the south side of Lot 1 and north side of Lot 2 for garages, and 0 ft. setback on the south side of Lot 2 as shown on the site plan, subject to compliance with Building and Fire Code. Site plan shows a 13'-6" separation between buildings on both lots

Staff recommends approval in final form, subject to conditions noted.

Being no discussion, Mr. Jose Saldana moved to approve based on the conditions. Mr. Gabriel Kamel seconded the motion, which was approved with six members present and voting.

c) Santoy Subdivision; 3321 U.S. Highway 83- Juan Santoy (Preliminary) (SUB2020-0041) SEC

Ms. Gonzalez stated that this property is located on U.S. Highway 83 (Loop 374): Proposing additional 7.5 ft. (subject to increase to 10 ft. for 95 ft. ROW) for 67.5 ft. from centerline for a total of 92.5 ft. ROW. Paving: By the state Curb & gutter: By the state Need to revise street name as noted above. Show centerline and ROW on both sides and total ROW after accounting for ROW dedication. 800 ft. Block Length 600 ft. Maximum Cul-de-Sac ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties Plat shows 15 ft. alley on the rear side of the property. Need to revise prior to final as needed to comply with requirements for City services. Front: 50 ft. or greater for approved site plan or easement Rear: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. Revise plat and label rear setback accordingly Sides: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. Revise plat to identify side setbacks accordingly. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required on West Business Highway 83 Revise Note #5 on plat to reflect West Business Highway 83 as street name Perimeter sidewalks must be built or money escrowed if not built at this time. * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and other Development Departments prior to building permit issuance. Common Areas, Private Streets, services drives, etc. must be maintained by the lot owners and not the City of McAllen Note required on plat regarding maintenance of service drives to be done by owner and not City of McAllen Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets Minimum lot width and lot area* Existing: C-3 & R-4 Proposed: C-3 Rezoning needs to be completed prior to final approval. Rezoning Needed Before Final Approval* Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, need to submit a Trip Generation to determine if a TIA will be required. Traffic Impact Analysis (TIA) required prior to final

plat. Must comply with City's Access Management Policy Provide site plan for review Property will need to be rezoned before final approval Show centerline along West Business Highway 83 and show total ROW after accounting for dedication Service drive required for commercial properties, revise plat as needed prior to final. Show legal description for triangular property located adjacent to southwest corner of subdivision, clarify/revise as needed.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, and utilities, and drainage approvals.

Being no discussion, Mr. Michael Fallek moved to approve subject to the conditions noted. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

d) Flores Estates Subdivision; 5121 State Highway 107- Juan and Antonia Flores (Preliminary) (SUB2020-0042) Altex

Ms. Gonzalez stated that this property is located on S.H. 107: Existing 86 ft. from centerline for 172 ft. total ROW. Paving: By the state Curb & gutter: by the state Need to show centerline along S.H. 107 Need to show ROW on both sides of centerline to determine dedication prior to final Remove pavement details from plat N. Taylor Road: 20 ft. ROW dedication for 50 ft. from centerline for 100 ft. total ROW Paving: 65 ft. Curb & gutter: Both sides Revise street name on plat to N. Taylor Rd. Need to show centerline along Taylor Rd. and label ROW on both sides of centerline to determine dedication requirements, prior to final Remove pavement details from plat Front: S.H. 107: 75 ft. Taylor Rd.: 75 ft. Rear: 15 ft. or greater for easements Sides: 15 ft. or greater for easements Garage: 18 ft., except where greater setback is required, greater setback applies. Include note on plat regarding garage setback All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Taylor Rd. and 5 ft. wide minimum sidewalk required along S.H. 107. Revise Note #11 as shown above. 5 ft. wide minimum sidewalk required on S.H. 107, per Engineering Department. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses Revise plat to include note as shown above. 8 ft. masonry wall required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Revise plat to include note as shown above. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Common Areas, Private Streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Lots fronting public streets Minimum lot width and lot area Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. Based on plat submitted June 18, 2020 2 residential lots are proposed. Park fees will apply at a rate of \$700 x 2 lots = \$1,400 due prior to recording Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, need to submit a Trip Generation to determine if a TIA will be required prior to final. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy Submit site plan for review location of dumpsters for City services Rezoning needed prior to final approval Show centerline along S.H. 107 and Taylor Rd. Also, show ROW on both sides of centerline and show total ROW after accounting for additional dedication Label easement shown along north side of Lot 2

Staff recommends approval of the subdivision in preliminary form, subject to conditions noted, utility

and drainage approvals.

After no discussion, Mr. Jose Saldana **moved** to approve in preliminary form based on the conditions noted. Mr. Rogelio Cervantes seconded the motion, which was approved with six members present and voting.

e) La Contessa Subdivision; 609 South Bentsen Road- Gabriel Sosa and Blanca L. Garza (Preliminary) (SUB2020-0043) SEA

Mr. De La Garza stated that this property is located on South Bentsen Road: 50 ft. from centerline for 100 ft. ROW Paving: 65 ft. Curb & gutter: Both sides Galveston Avenue: Existing 28.45 ft. from centerline for 56.89 ft ROW Paving: Approximately 36 ft. existing Curb & gutter: Both sides Front (Galveston Avenue): 25 ft. or greater for easements. Please revise plat note as shown above. Rear: 10 ft. or greater for easements. Sides: 6 ft. or greater for easements or in accordance with the Zoning Ordinance. Please revise plat note as shown above. Corner (South Bentsen Road): 10 ft. or greater for easements. Please revise plat note as shown above. Garage: 18 ft. or except where greater setback is required; greater setback applies. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on South Bentsen Road and Galveston Avenue. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along South Bentsen Road. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. Applied No curb cut, access, or lot frontage permitted along South Bentsen Road. Please add plat note as shown above. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies for a public subdivision. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording Park Fee of \$700 per dwelling unit to be paid prior to recording. As per plat submitted on June 22, 2020, 4 lots are proposed. (4 x \$700= \$2,800). Amount to be paid might vary depending on the amount of lots/dwelling units proposed. As per Traffic Department, must submit a Trip Generation to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Pending review by the Parkland Dedication Advisory Board and CC. Must comply with City's Access Management Policy. As per Traffic and Fire Dept., please submit site plan for review prior to final as may be required.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, utilities, and drainage approvals

Being discussion, Mr. Gabriel Kamel **moved** to approve in preliminary form subject to conditions noted, utility and drainage approvals. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

f) Olvera Subdivision; 4509 Buddy Owens Boulevard – Jose Tellez Olvera (Revised Preliminary) (Tabled: 06/02/2020) (06/16/2020) (SUB2020-0033) SEA

Mr. De La Garza advised the board that the applicant requested the item to remain tabled. No actions needed.

5) PUBLIC HEARING

b) CONDITIONAL USE PERMITS:

1. Request of Jared W. Doxey, on behalf of The Church of Jesus Christ of Latter-Day Saints for a Conditional Use Permit, for the life of the use, for an Institutional Use (church) at a 10.615-acre tract of land out of Lot 16, Section 13, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 7301 North 2nd Street. (CUP2020-0057) (Tabled: 06/16/20)

Director Edgar Garcia advised the board that the applicant requested the item to remain tabled. No Actions required.

7) INFORMATION ONLY

a) City Commission Actions: June 22, 2020

Mr. Edgar Garcia stated that at the City Commission Meeting on June 22, 2020 the rezoning at Tres Lagos C-3 to R-3A had been approved as recommended. The rezoning on Ware Road south of The Vineyards Subdivision remained tabled. All Conditional Use Permits were approved except the AEP case was tabled because the company wanted to conduct a neighborhood meeting. Last, the dog kennel at 6820 North Taylor was overturned and approved for six months.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Gabriel Kamel adjourned the meeting at 3:59 p.m., and Mr. Jose Saldana seconded the motion, which carried unanimously with five members present and voting.

Vice Chairperson, Daniel Santos

ATTEST: _____
Claudia Mariscal, Secretary

Planning Department

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

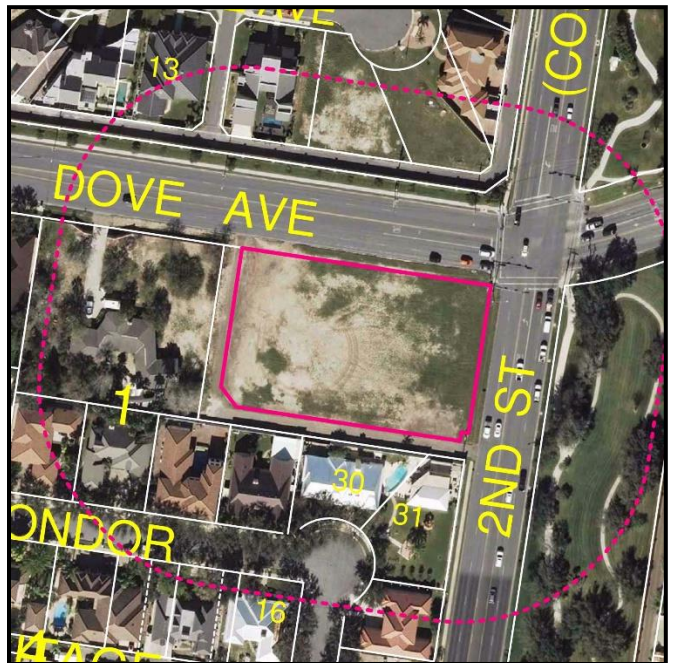
DATE: July 30, 2020

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT: 1.23 ACRE TRACT OF LAND OUT OF LOT 1, SECTION 11, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 201 DOVE AVENUE. (REZ2020-0016)

LOCATION: The property is located at the southwest corner of Dove Avenue and North 2nd Street. The tract has 184.58 ft. of frontage along 2nd Street and 277 ft. of frontage along Dove Avenue for a lot size of 1.23 acres.

PROPOSAL: The applicant is requesting to rezone the property to R-3T (multifamily residential townhouse) District in order to construct townhomes. A feasibility plan showing twenty-five townhomes has been submitted.

ADJACENT ZONING: The adjacent zoning is R-1 (single-family residential) District to the north, west, and south and A-O (agricultural and open space) District to the east.



LAND USE: The property is currently vacant. Surrounding land uses are single-family residential and the McAllen Hike and Bike trail.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Commercial, which is comparable to C-1 (office building) District to C-3L (light commercial) District.

DEVELOPMENT TRENDS: The development trend for this area along Dove Avenue is single-family residential and townhomes.

HISTORY: The property was zoned R-1 (single-family residential) District during comprehensive zoning in May 1979. There have been other rezoning requests on the property since then. An application for R-3C (multifamily residential condominium) District was approved in 1983 subject to platting (Heritage Square Subdivision) within 6 months that subsequently expired. A rezoning request for C-3 (general business) District on the subject property for a proposed gasoline service station was disapproved in 1995. Another rezoning request for C-3 (general business) District on the subject property was disapproved in 1999. A request for C-1 (office building) District was disapproved in 2005. A rezoning request for R-3C (multifamily residential condominium) District to build a seven-story condominium development on the subject property was disapproved in 2009 due to the neighbors' concern of traffic and height.

ANALYSIS: The requested zoning is less intense than Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan for this property.

The maximum density in R-3T (multifamily residential townhouse) District is 20 units per acre. Therefore, the maximum number of units for the subject property is approximately 25 townhouses.

Staff has received two calls in opposition to the rezoning request. The concerns given by the callers were increased traffic congestion and the height of the proposed townhomes.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

The request provides opportunity for residential development of the vacant lot.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouse) District.



CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



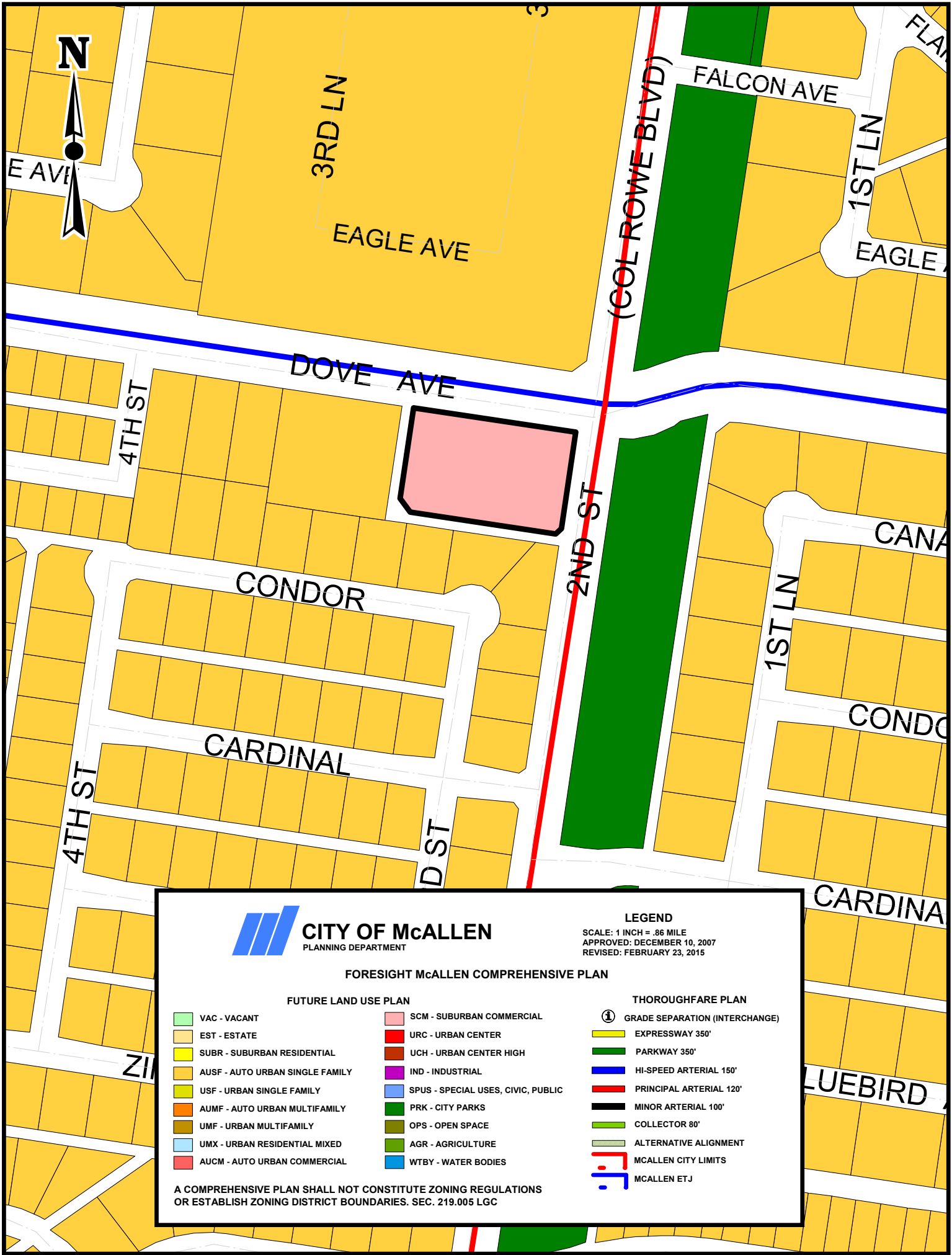
SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.



CITY OF McALLEN
PLANNING DEPARTMENT

FORESIGHT McALLEN COMPREHENSIVE PLAN

FUTURE LAND USE PLAN

| | |
|---------------------------------|------------------------------------|
| VAC - VACANT | SCM - SUBURBAN COMMERCIAL |
| EST - ESTATE | URC - URBAN CENTER |
| SUBR - SUBURBAN RESIDENTIAL | UCH - URBAN CENTER HIGH |
| AUSF - AUTO URBAN SINGLE FAMILY | IND - INDUSTRIAL |
| USF - URBAN SINGLE FAMILY | SPUS - SPECIAL USES, CIVIC, PUBLIC |
| AUMF - AUTO URBAN MULTIFAMILY | PRK - CITY PARKS |
| UMF - URBAN MULTIFAMILY | OPS - OPEN SPACE |
| UMX - URBAN RESIDENTIAL MIXED | AGR - AGRICULTURE |
| AUCM - AUTO URBAN COMMERCIAL | WTBY - WATER BODIES |

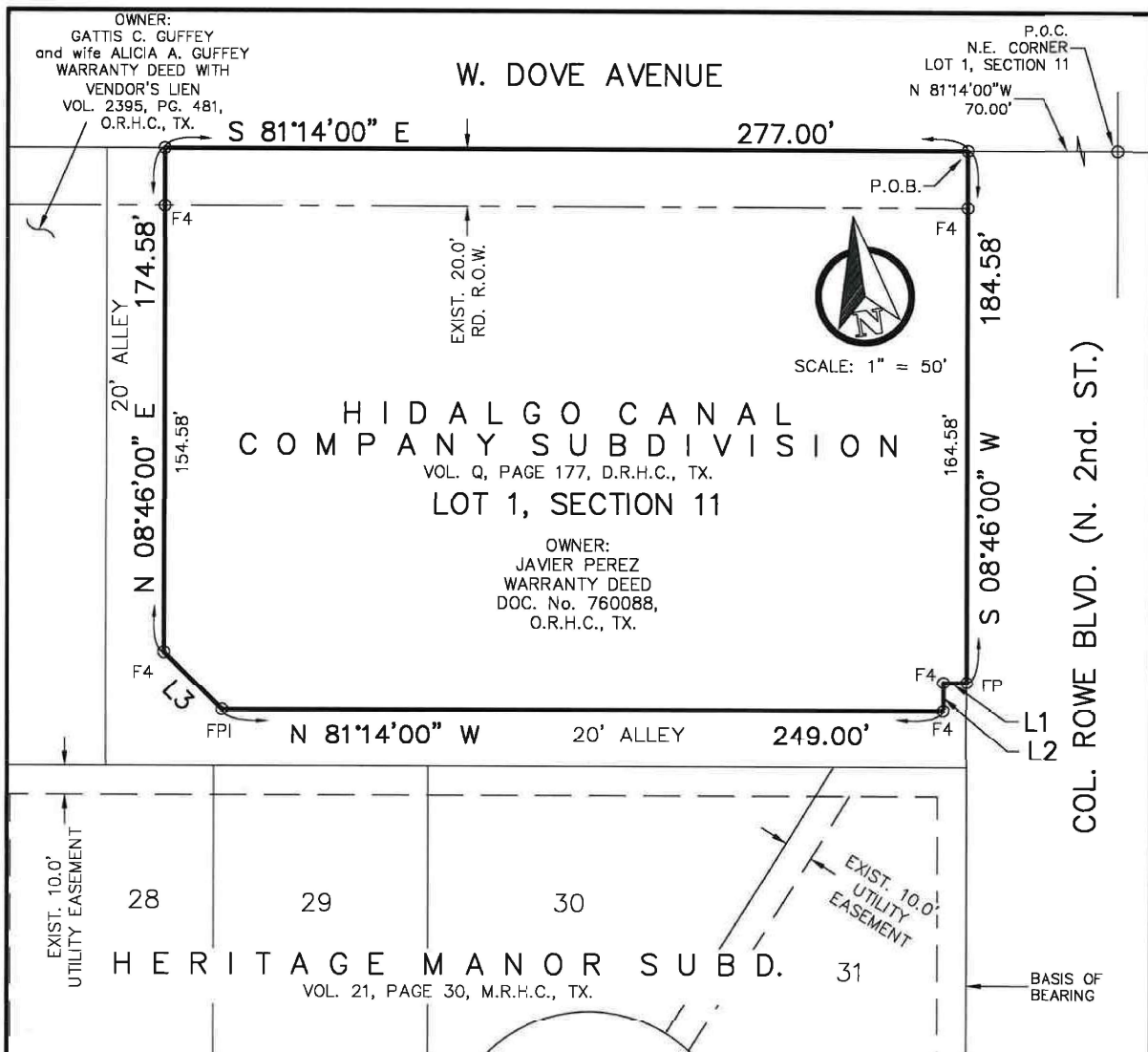
LEGEND

SCALE: 1 INCH = .86 MILE
APPROVED: DECEMBER 10, 2007
REVISED: FEBRUARY 23, 2015

THOROUGHFARE PLAN

| |
|--------------------------------|
| GRADE SEPARATION (INTERCHANGE) |
| EXPRESSWAY 350' |
| PARKWAY 350' |
| HI-SPEED ARTERIAL 150' |
| PRINCIPAL ARTERIAL 120' |
| MINOR ARTERIAL 100' |
| COLLECTOR 80' |
| ALTERNATIVE ALIGNMENT |
| McALLEN CITY LIMITS |
| McALLEN ETJ |

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC



| LINE DATA | | |
|-----------|---------------|----------|
| LINE No. | BEARING | DISTANCE |
| L1 | N 81°14'00" W | 8.00' |
| L2 | S 08°46'00" W | 10.00' |
| L3 | N 36°14'00" W | 28.28' |

FP- FOUND 1/2" IRON PIPE
FP1-FOUND 1" IRON PIPE
F4- FOUND No. 4 REBAR
SM- SET MAGNETIC NAIL



**SURVEY PLAT
OF
1.231 ACRE TRACT OF LAND OUT OF
LOT 1, SECTION 11,
HIDALGO CANAL COMPANY SUBDIVISION,
HIDALGO COUNTY, TEXAS,
AS PER MAP RECORDED IN
VOLUME Q, PAGE 177, D.R.H.C, TEXAS.**

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE RESEARCH

| | | | |
|--|---|----------------------------------|---------------------------|
| G.F. No. N/A | | Com.-Panel No.: 480343 0005 C | |
| FLOOD ZONE | <input type="checkbox"/> A <input type="checkbox"/> AO <input type="checkbox"/> C <input type="checkbox"/> X <input type="checkbox"/> AH <input checked="" type="checkbox"/> B <input type="checkbox"/> D <input type="checkbox"/> OTHER | MAP REVISED: NOVEMBER 2, 1982 | |
| Description: (B) Areas between limits of the 100-yr & 500-yr flood; or certain areas subject to 100-yr flooding with average depths less than (1) foot or where the contributing drainage area is less than 1 square mile; or areas protected by levees from the base flood. | | | |
| Client: JAVIER PEREZ | Mailing Address: 305 N. SHARY RD. | City: MISSION | State: TX Zip Code: 78572 |

PABLO SOTO, JR. - R.P.L.S. No. 4541

Date: 6/24/19

I, Pablo Soto, Jr., hereby certify that this Survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A Condition II Survey. Any certification expressed or implied herein is invalid without the original signature and seal of Pablo Soto, Jr. alteration of this document, except by a Licensed Land Surveyor, is illegal.

I, Pablo Soto, Jr., hereby state that this Survey was performed on the ground under my supervision and that this Survey correctly represents the facts found at the time of the survey.



Professional Engineers & Land Surveyors

130 E. PARK AVENUE • PHARR, TEXAS 78577
(TEL) 956 782-2557 • (FAX) 956 782-2558
ENGINEERING FIRM No.: 486 • SURVEYING FIRM No.: 101650-00

| | | |
|--------------------|---------|----------------|
| Job No.: SUR19.042 | FB: 570 | Drawn By: RG |
| Date: 06/24/2019 | PG: 76 | Checked By: PS |

DOVE ST.

| | | |
|----------|------|---------|
| PROPERTY | LINE | 277.00' |
|----------|------|---------|

R.O.W.

NEW STREET

| | | |
|----------|------|---------|
| PROPERTY | LINE | 174.58' |
|----------|------|---------|

20'-0" EXISTING ALLEY

A close-up photograph of a survey marker, which is a green plastic cap on a metal rod, placed on a concrete curb. The curb is marked with a white line. To the left of the curb, the text "PROPERTY 28.28'" is visible on a concrete surface. To the right, the word "LINE" is partially visible.

S T R E E T

PROPERTY LINE 249'.00'

20'-0" EXISTING ALLEY

10'-0" EASTMENT

PROPERTY LINE 182.58'

2nd. STREET

2nd.











NOTICE
REZONING
FOR
THIS PROPERTY
MEETING 4/18

Memo

TO: Planning and Zoning Commission

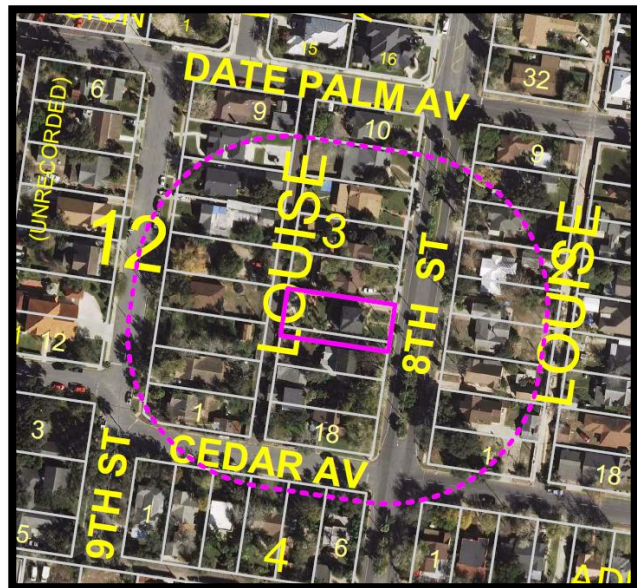
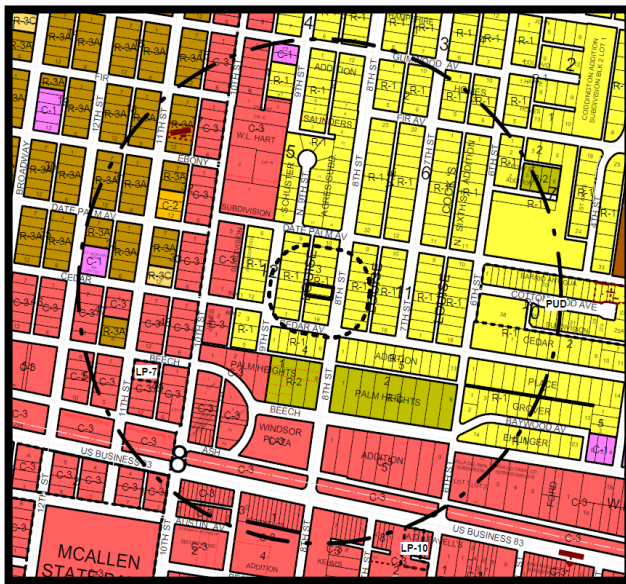
FROM: Planning Staff

DATE: July 21, 2020

SUBJECT: REQUEST OF JOAQUIN E. ZAMUDIO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A HOME OCCUPATION (HAIR SALON), AT LOT 15 AND THE NORTH 12 ½ FT. OF LOT 16, BLOCK 3, LOUISE ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 313 NORTH 8TH STREET. (CUP2020-0070)

BRIEF DESCRIPTION:

The property is located on the west side of North 8th Street, approximately 125 ft. north of Cedar Avenue and is zoned R-1 (single family residential) District. The adjacent zoning is R-1 district in all directions. Surrounding land uses include single-family residences. A home occupation is permitted in the R-1 district with a Conditional Use Permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a hair salon from approximately 417 sq. ft. of the existing 2044 sq. ft. residence. The proposed hours of operation are daily within the hours of 8:00 a.m. to 4:00 p.m. The applicant stated that he will have two employees, an unrelated employee and himself. The applicant is requesting to work from home by appointment due to the Covid-19 pandemic.

The staff verified the ownership of the property. According to the Hidalgo County Appraisal

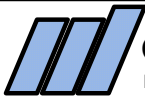
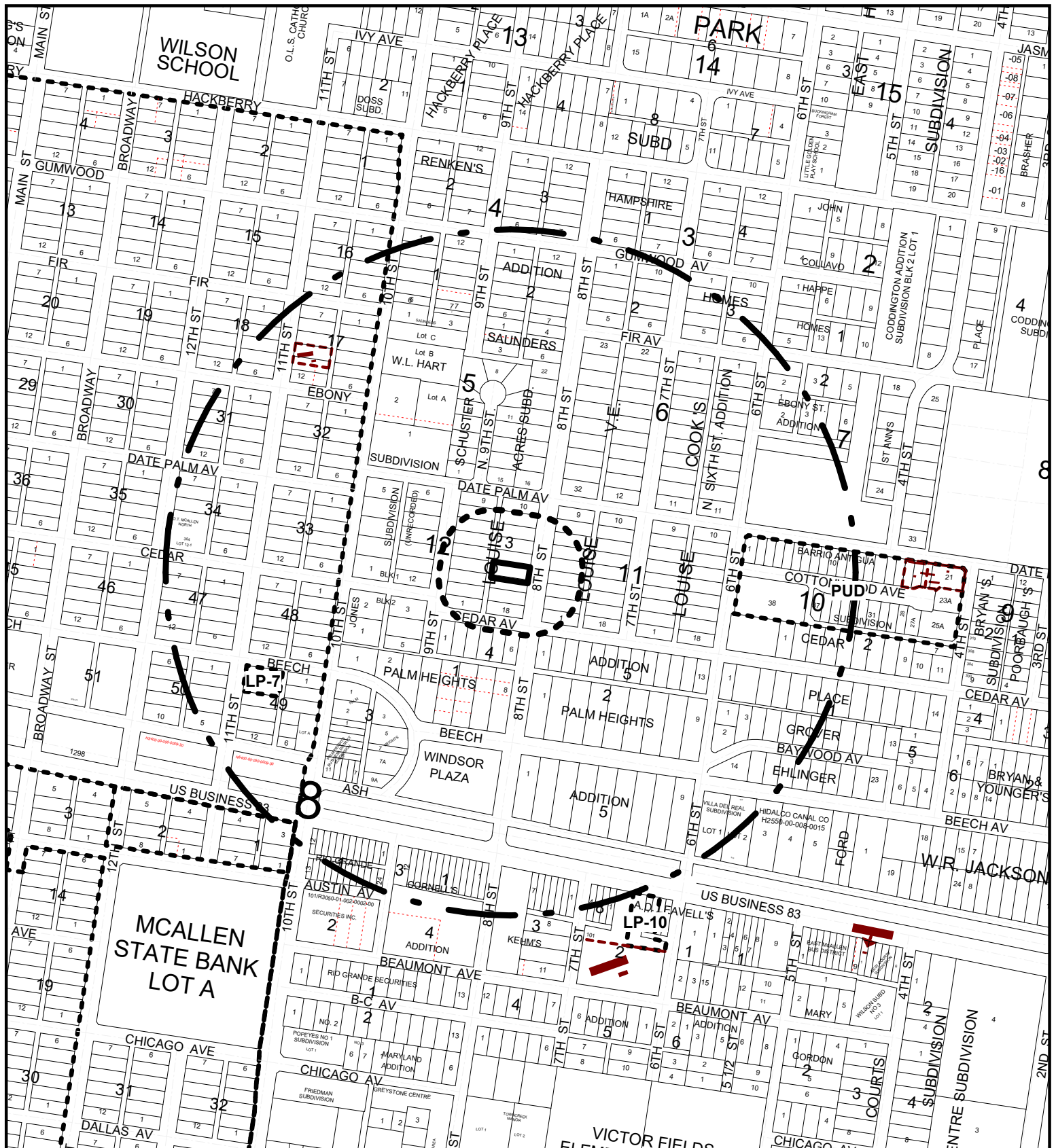
District, the applicant and Mrs. Rebecca Hayley are the owners of the property, and live on the subject property.

Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The occupation may not be operational until the issuance of the certificate. The Fire Department has inspected the building, and a re-inspection is pending. The business must comply with requirements set forth in Section 138-118(1) of the Zoning Ordinance and the specific requirements are as follows:

- 1) The home occupation must be clearly secondary to the residential use;
- 2) No signs are permitted. No sign is proposed or installed;
- 3) There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling;
- 4) There shall be no more than one additional unrelated employee other than immediate members of the family residing on the premises. There will be one unrelated employee that will live elsewhere;
- 5) There shall be no outside storage of materials or products. The applicant does not propose any outside storage;
- 6) The permitted use shall not create frequent or heavy traffic, not greater than ten percent (10%) of the average load per hour as determined by the city traffic engineer. The applicant stated that customers would visit by appointment only within the hours of 8 a.m. and 4 p.m.;
- 7) No retail sales (items can be delivered). The applicant did not propose any retail sales from home;
- 8) No additions to the residence or accessory building specifically to accommodate the business. The applicant proposes no additions or accessory building to accommodate the business;
- 9) The business must take place in the primary residential structure on the property rather than in a detached garage or separate accessory building. The occupation is proposed to take place in the primary residential structure; and
- 10) The activity must take place at the location of which the permit was issued.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with the requirements in Section 138-118(1) of the Zoning Ordinance and Fire Department requirements.



CITY OF McALLEN PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

AREA MAP



SUBJECT PROPERTY

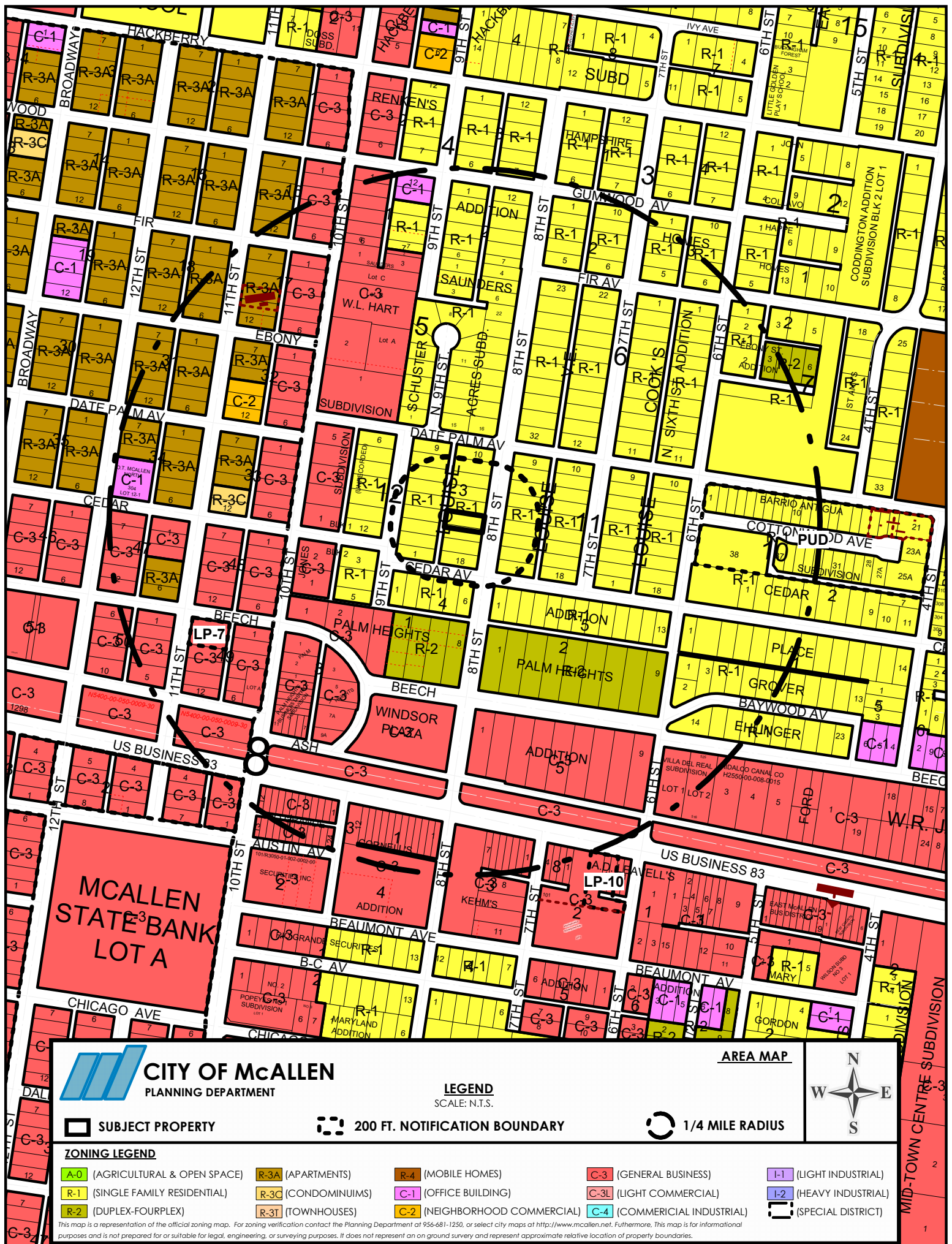
200 FT. NOTIFICATION BOUNDARY

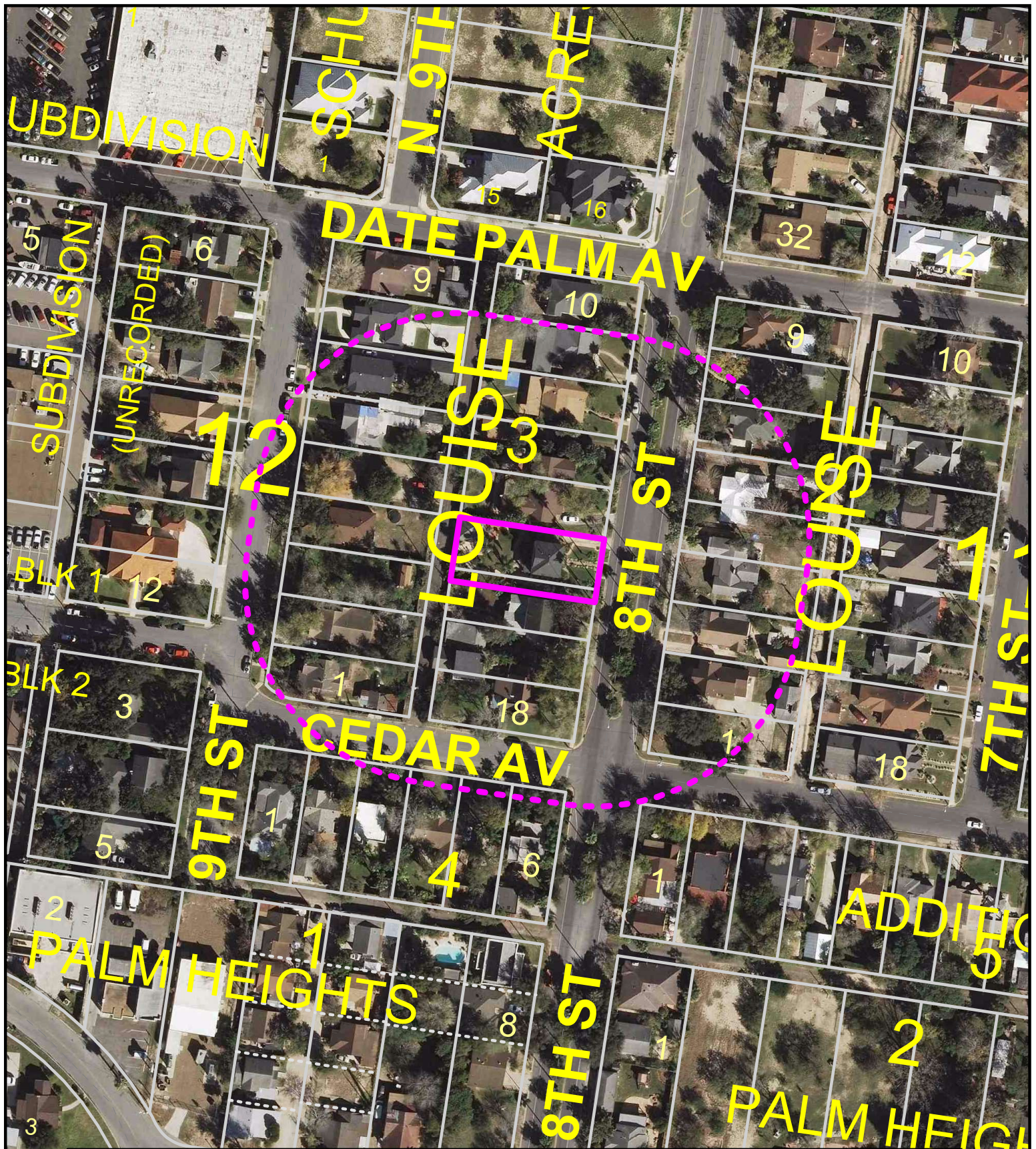
1/4 MILE RADIUS

ZONING LEGEND

| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | (SPECIAL DISTRICT) |

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CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



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RESIDENCE ENTRANCE

PATIO



Exit

Solid
Door
1/2
BATH
ROOM

7'2"

5'1"

17'

KITCHEN

STAIRS

SOLID
DOOR

30'
ENTRANCE

PORCH

12'

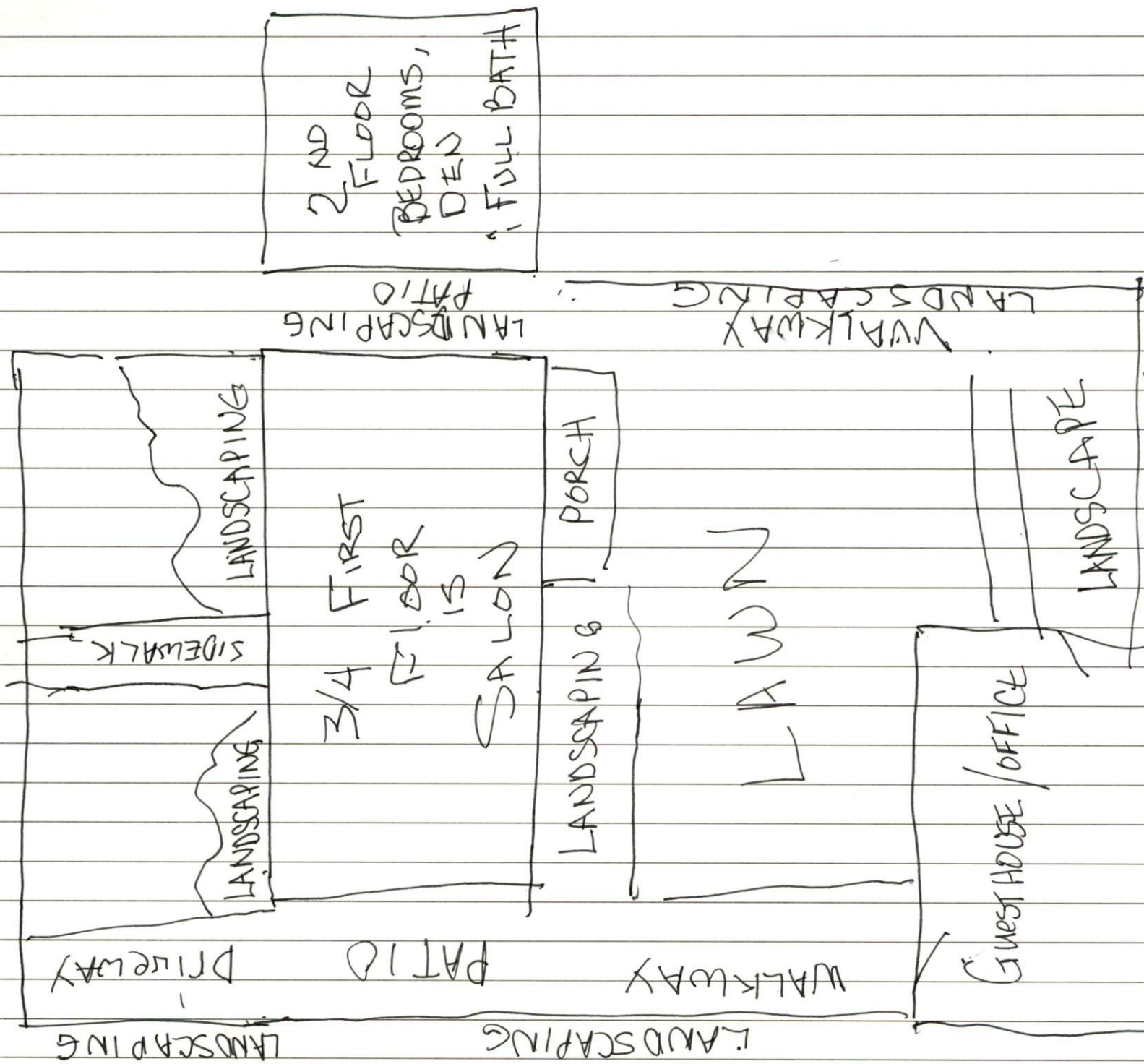
SALON

SALON

25'

PATIO





Joaquin E. Zamudio
313 North 8th Street
McAllen, TX 78501

June 15, 2020

City of McAllen
PO Box 220
McAllen, TX 78505-0220

Re: Home Occupation Conditional Use Permit Application

Dear Sir/Madam;

I am requesting a Home Occupation Conditional Use Permit to operate a Private Hair Salon, by Appointment Only.

I have been a hair stylist for more than twenty-five years, having worked in some of the best salons in McAllen and Sharyland, including Capelos, Studio, Details, Dillards, Renee's of Sharyland and Dubai, where I have developed a loyal following of clients.

Approximately twenty-two years ago, I had a Conditional Use Permit at this same address, during Mayor Brand's tenure, where I had a salon for a short time when my children were very young.

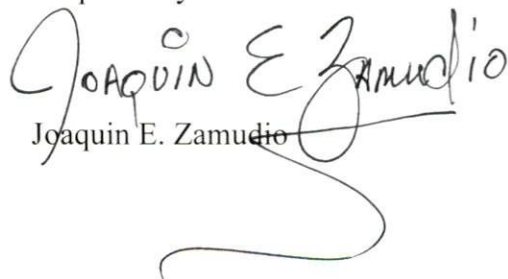
Because of the pandemic circumstances and the newly-resulting business climate, I feel it is necessary to offer my clients an environment to have their hair services performed on an individual basis, where each of my client's health and safety are paramount.

Enclosed are the following documents:

- 1) Home Occupation Conditional Use Permit Application
- 2) Basic Floor Plan
- 3) Letters of Reference:
 - a) Melodye and Jack Scoggins
 - b) Yvonne Kautsch
 - c) Tim and Nora Smith
 - d) Pam Voss
 - e) Colleen Hook

Please advise if anything further is needed.

Respectfully-


Joaquin E. Zamudio



April 25, 2020

To: City of McAllen

From: Jack & Melodye Scoggins

Re: Joaquin Zamudio

We wish to express our strong support for Joaquin Zamudio and his desire to open a hair salon. Joaquin is an excellent hair stylist and is very passionate about what he does. He is a principled person dedicated to his customers and to his work.

We are certain that his hair salon will be first class whether it be located at his residence or wherever.

Joaquin has worked in the business for over 30 years—many of which were as an employee of others. He certainly deserves to have his own salon now. His residence would be a great location.

Sincerely,

Jack Scoggins
Melodye Scoggins



April 27, 2020

City of McAllen
McAllen, Texas 78501

RE: Request for Conditional Use Permit on behalf of Joaquin Zamudio

To Whom It May Concern:

This letter is in support of Joaquin Zamudio, who is submitting an application for a conditional use permit allowing him to open a hair salon in his home.

I am a retired education specialist who has lived in Hidalgo County well over fifty years. For the past twenty years, I have been one of Mr. Zamudio's most devoted clients during which time, I have grown to know him quite well. There are many ways I can define Mr. Zamudio, all of which makes him one of the most unique and impressive individuals I have ever known.

But, what I believe to be of importance to the City in this endeavor, is to highlight the attributes that qualify him to receive this specific permit.

- **Mr. Zamudio does everything "by the book"**
- He exudes pride and professionalism in every way
- His work ethic is exemplary and sometimes just blows my mind
- I continue to be impressed by his knowledge and support of US Law
- He is always first to support any efforts toward fund raising for local charities
- Joaquin Zamudio is synonymous with the word "trust"
- His (always) positive attitude, talent, and commitment has built a very devoted following
- I did the math (admittedly, not my best subject), and during the past twenty years, I have spent more or less 360 hours one on one with Mr. Zamudio, and during that time, I have never once heard him say an unkind word about anyone...I think that speaks volumes about his character.

Opening a salon in his home has been a long time dream of Mr. Zamudio and his wife, Rebecca. It is my hope that the City of McAllen will award his request for this permit. If you wish to discuss this in more detail, please feel free to contact me.

Respectfully,
Yvonne M. Kautsch
705 W. US Hwy. 83
Alamo, Texas 79816
(956) 778-5945



April 27, 2020

To the City of McAllen

I am writing this letter in support of Mr. Joaquin Zamudio's request for a conditional use permit for his home. My wife and I have been a clients of Joaquin's for nearly two decades and we believe he will operate his home business in a manner consistent with all rules and regulations set forth by the city for such a business.

Joaquin is the consummate professional as a hair stylist and businessman. His client list is a virtual who's who in our community. Joaquin simply does things the right way. The workspace is always immaculate, his attention to detail is remarkable. He truly has a passion for what he does. He is also passionate about nature. From the flowers and plants in his yard to birds which sometimes land on his shoulder, Joaquin is an outstanding steward of the things which with he has been blessed.

In this unprecedented time in our community and around the world, it is encouraging to see someone willing to step out and start a new small business. Joaquin is the perfect person, with the perfect location, at the perfect time. I give him my full support.

Respectfully,

A handwritten signature in black ink, appearing to read "Tim Smith". The signature is stylized with a large, sweeping "T" and "S".

Tim (and Nora) Smith



April 24, 2020

City of McAllen

To whom this may concern:

I am writing this letter on the behalf of my friend, and hair stylist, Joaquin Zamudio, to express my support of his new business venture. I have known Joaquin for over 15 years and have trusted his expertise with every woman's (and maybe man's, too) greatest vanity, hair.

He has always shown me the greatest respect while serving my needs. His character and professionalism have shown me time after time, how grateful we are to have him in our community. My work at CAMP University has caused me to ask businesses for donations. For the last 3 years Joaquin has graciously given generous hair styling packages to our gala auction. Each year it causes him to have an opportunity to please a new prospective client. It has generated more business for the City of McAllen, and showed that he wants to support our community.

I realize Mr. Zamudio is one of many who are trying to open up something new or different in light of our present predicaments. He has gone from working hard at 50 plus hours a week in a salon in McAllen, to finding a way he can continue to work. I think he is talented and willing to work hard to make a viable honest business in our city. He is willing to go through the hard work required to do it the right way. I know he will provide a safe and secure location that will be careful to follow all of the new and necessary precautions. He will be generating money in the city of McAllen by his talents, and many will benefit.

I recommend highly that you welcome this man as a salon owner in McAllen. Many people will continue to use his services to support our needs to look our best. He will be an asset to our already wonderful city. I am hopeful you would assist him to get "in business" as soon as possible. Although I have asked him twice, he has refused to cut my hair during this pandemic, and I am sure he has many customers who will be ready to see him as well.

If I can be of any further help with information regarding Joaquin Zamudio, I will be happy to help.

Kind regards,



Pam Voss

956-867-2764



Dear City of McAllen,

I am writing a letter of recommendation on behalf of Joaquin Zamudio who is hoping to create a salon studio at home. I've been a client of his for over ten years.

In addition to his salon skills, I admire him for his professionalism. He takes great pride in his business and is one who greatly respects city policies and procedures.

I believe a majority of his clients have this kind of long tenure relationship, which says so much about his character.

If I can provide any further information, please let me know.

Thank you,

Colleen Hook





NOTICE
HOME
OCCUPATION
THIS PROPERTY
IS FOR SALE
CALL 202-261-8878

Memo

TO: Planning and Zoning Commission

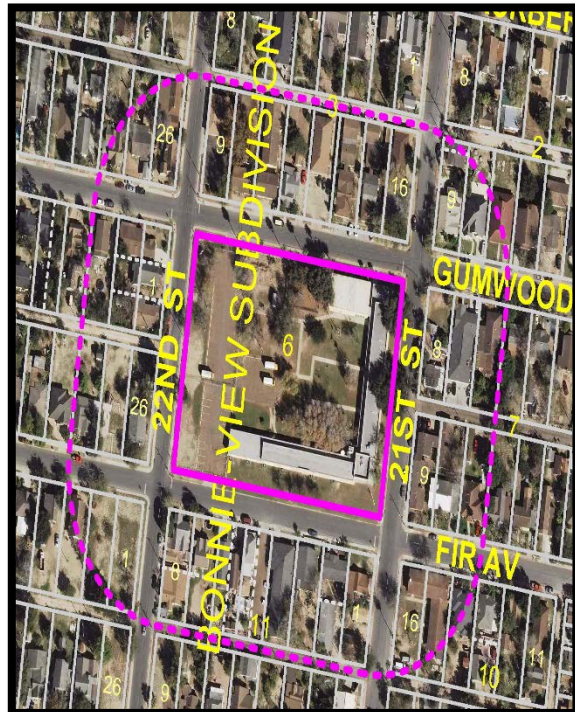
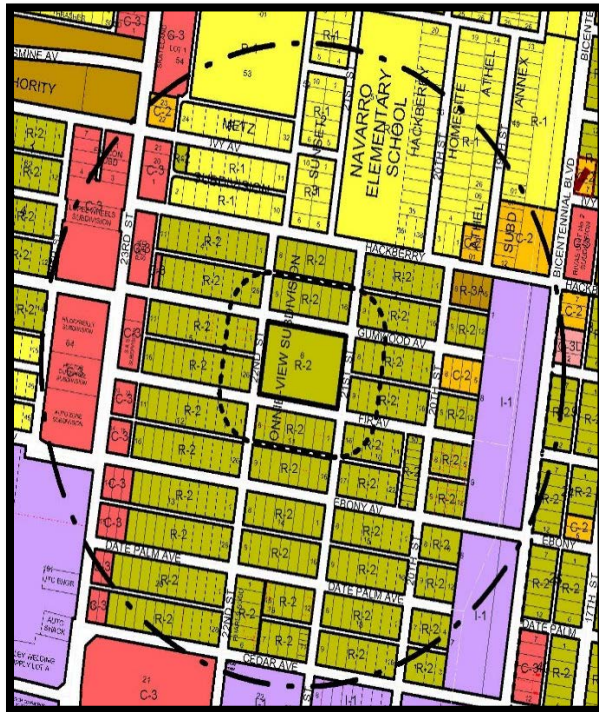
FROM: Planning Staff

DATE: July 15, 2020

SUBJECT: REQUEST OF MIGUEL A. RIVERA, ON BEHALF OF CASA DE ORACION REY DE REYES, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (CHURCH) AT LOTS 1-8 AND LOTS 9-16, BLOCK 6, BONNIE-VIEW SUBDIVISION, HIDALGO COUNTY, TEXAS; 2100 FIR AVENUE.(CUP2020-0064)

BRIEF DESCRIPTION:

The property is located at the between North 21st Street and Fir Avenue. It is zoned R-2 (duplex-fourplex residential) District. The adjacent zoning is R-2 District in all directions. Surrounding land uses include single-family residences, duplex, multifamily apartments, Iglesia Presbiteriana Betania, Navarro Elementary and vacant land. An institutional use is permitted in an R-2 District zone with a conditional use permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a church from existing buildings that previously served as offices for the Hidalgo County Head Start Program.

The first building is approximately 3,212 sq. ft. and consists of the altar, two restrooms, a sound booth, mechanical room, media room and the main sanctuary. The main sanctuary has 27 rows of chairs for a proposed seating capacity of 238. It is scheduled to operate on Wednesdays from 7:00 PM - 9:00 PM, Sundays from 10:00 AM- 12:30 PM and on Thursday for Youth Service from 7:00 PM- 9:00 PM.

The second building is approximately 16,145 sq. ft. in size. It consists of 3 classrooms, 6 offices, 4 restrooms, a lobby, 7 rooms that are going to be initially vacant and used as needed, 6 storage rooms, a library, a janitorial room, mail room, mechanical room and a waiting area. Hours of operation are the same as the main building.

Based on the number of seats in the main sanctuary, 60 parking spaces are required, of which 3 parking spaces must be accessible with an 8 ft. aisle. There is an existing parking lot with 64 parking spaces; an updated site plan showing the proposed accessible spaces is needed. A site inspection revealed that the parking lot needs maintenance. The parking lot needs to be properly paved, striped, and cleared out of grass, and show the assigned accessible spaces.

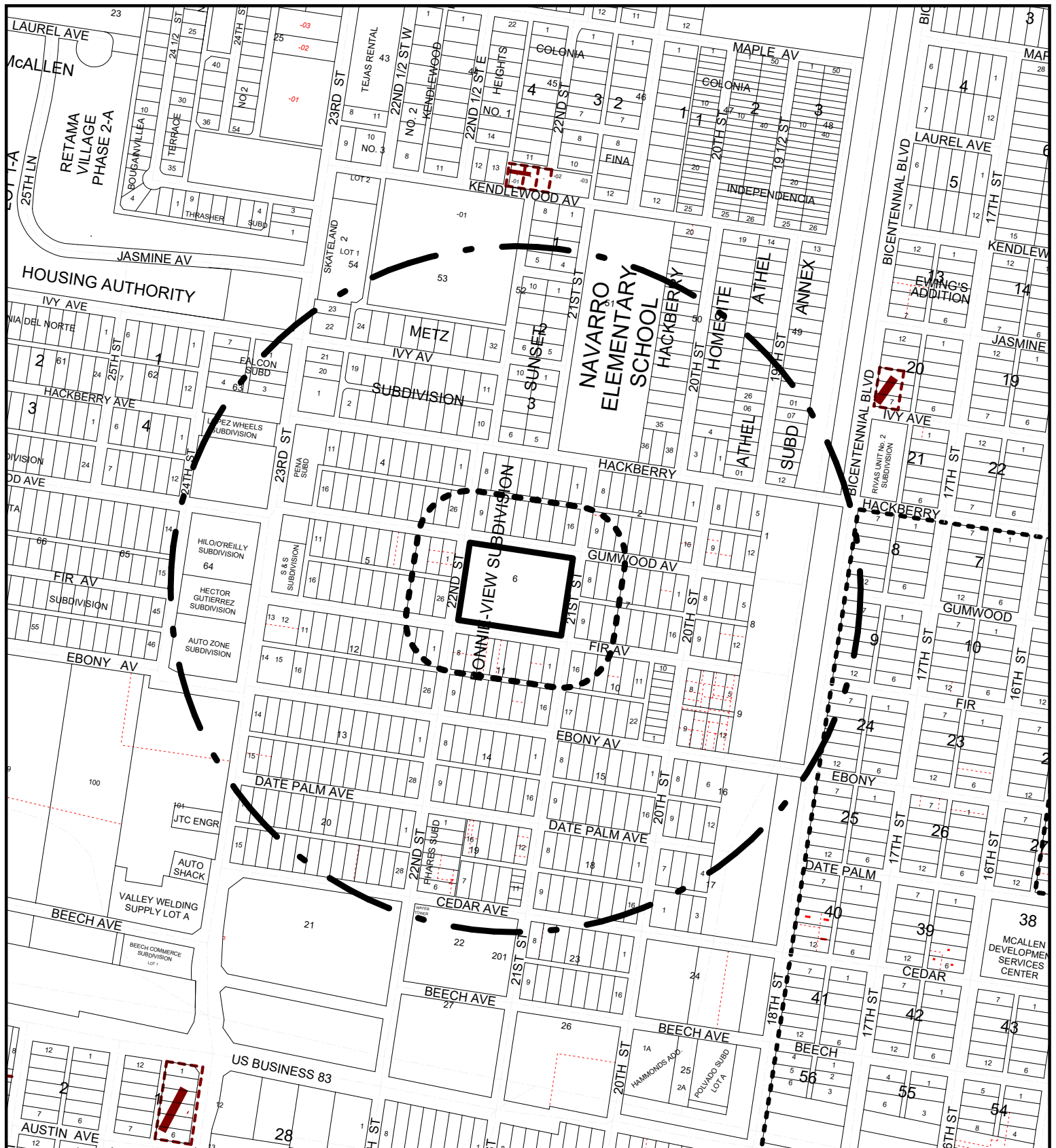
The Fire Department has conducted the necessary inspection, no violations were found. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts North 21st, 22nd Street, Gumwood and Fir Avenue
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas. Based on the seating area of 238 seats in the main sanctuary, 60 parking spaces are required; 64 parking spaces are provided. The parking must be clear of potholes and be properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and

- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence. A Chain link fence is provided on the west and north side of the property.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 and Section 138-400 of the Zoning Ordinance, and Building Permits and Fire Department requirements.



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

AREA MAP



SUBJECT PROPERTY

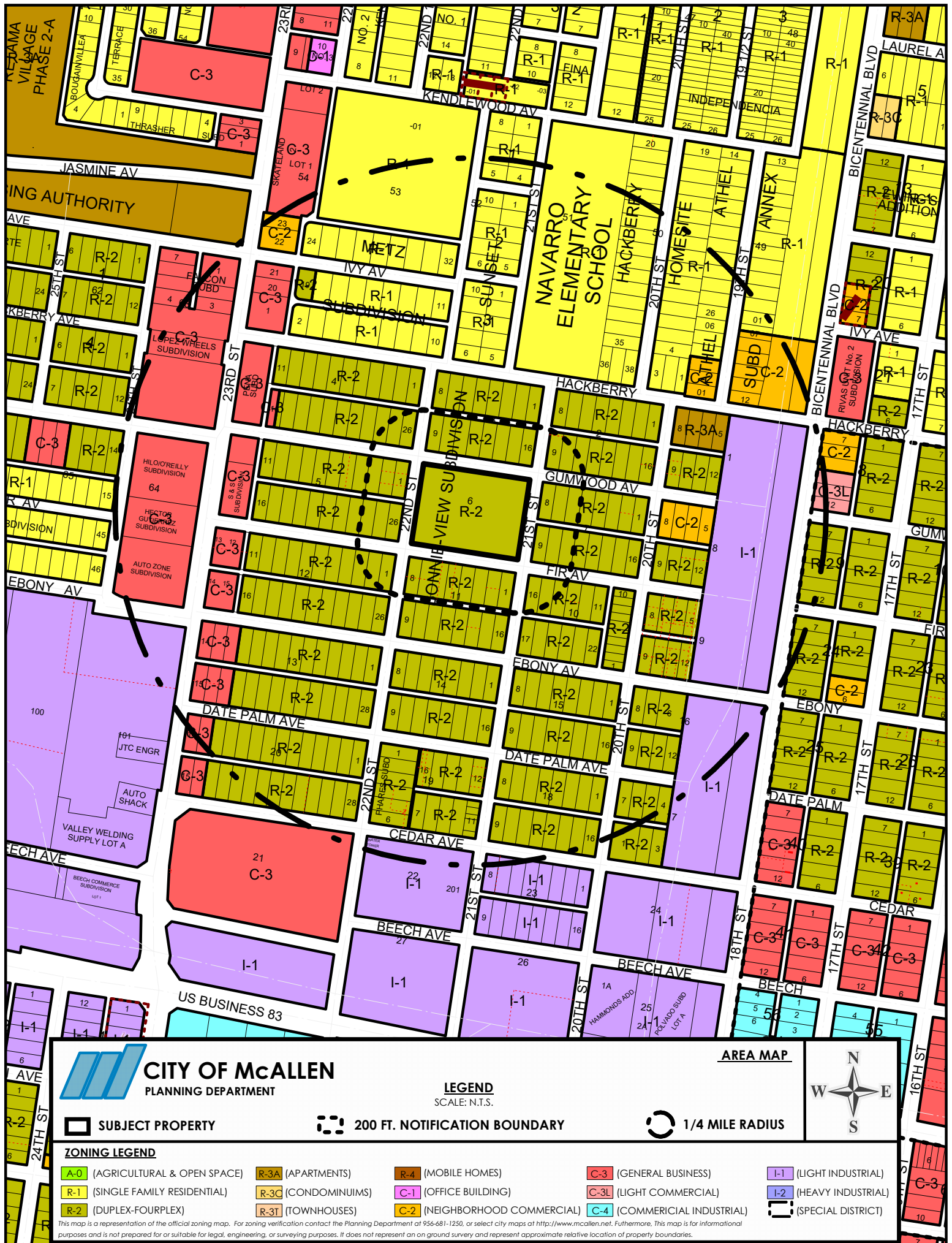
200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

ZONING LEGEND

| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | (SPECIAL DISTRICT) |

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



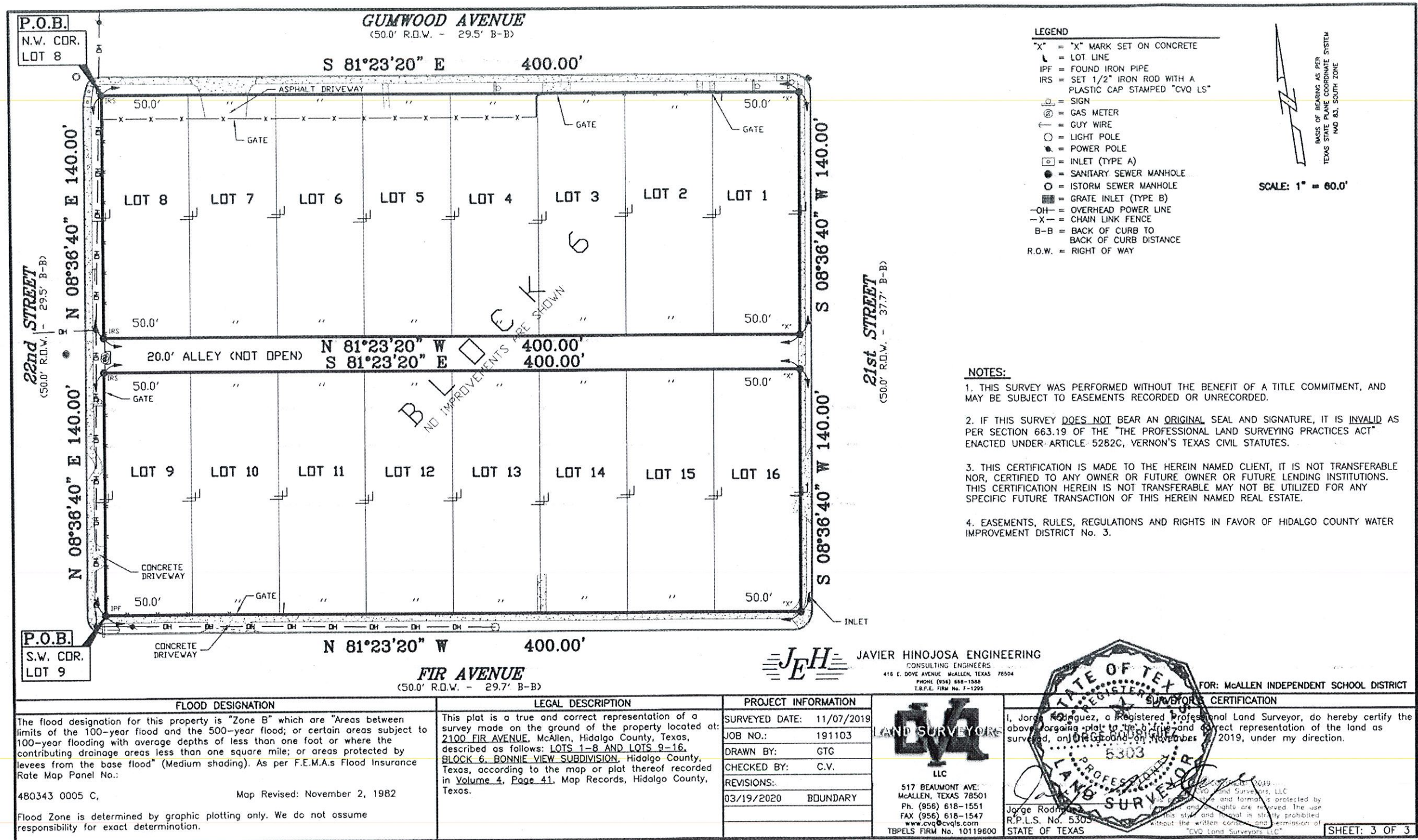
SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



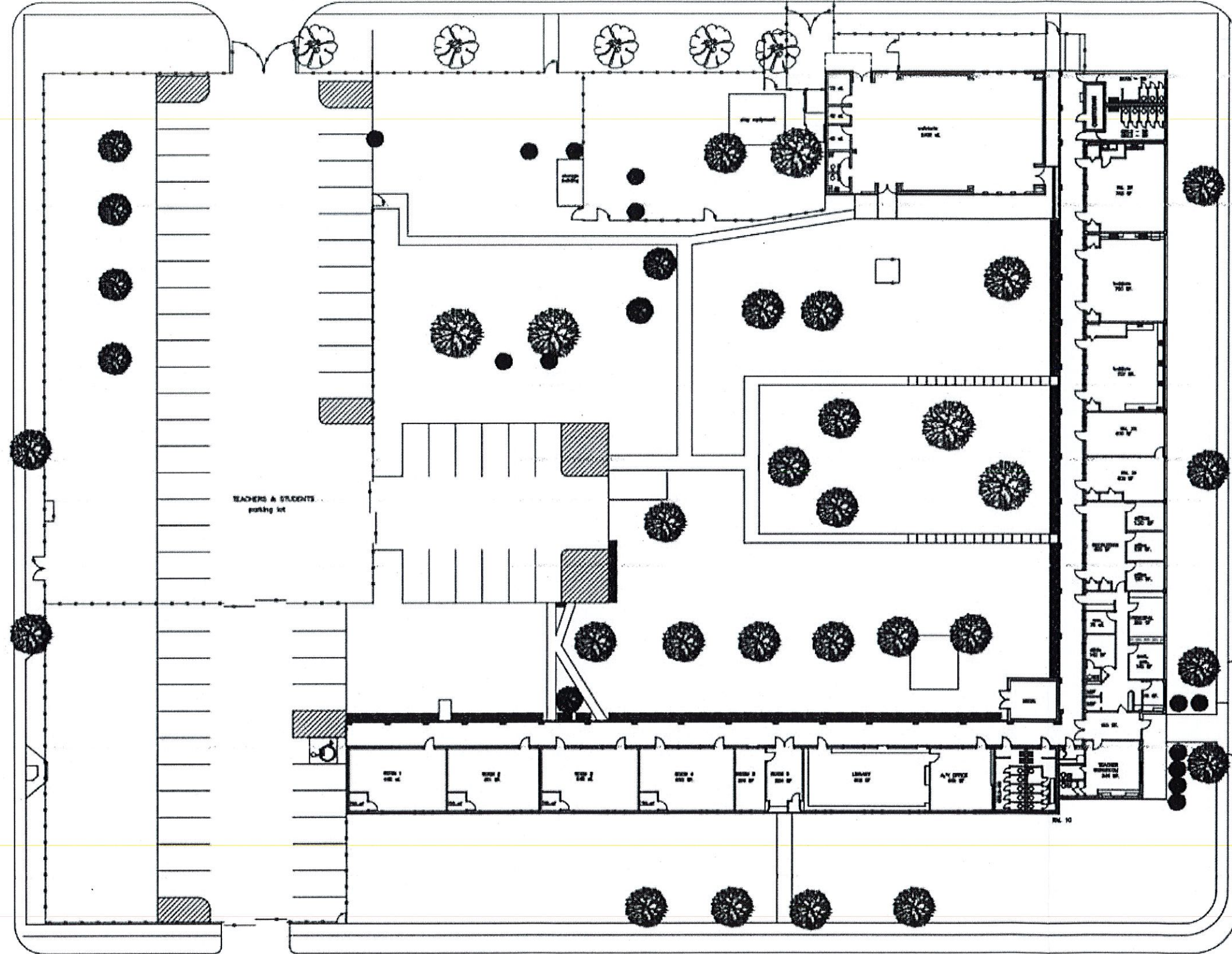
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RECEIVED
JUN 16 2020
BY: [Signature]

GUMWOOD STREET

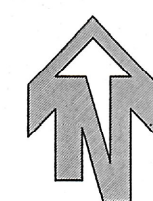
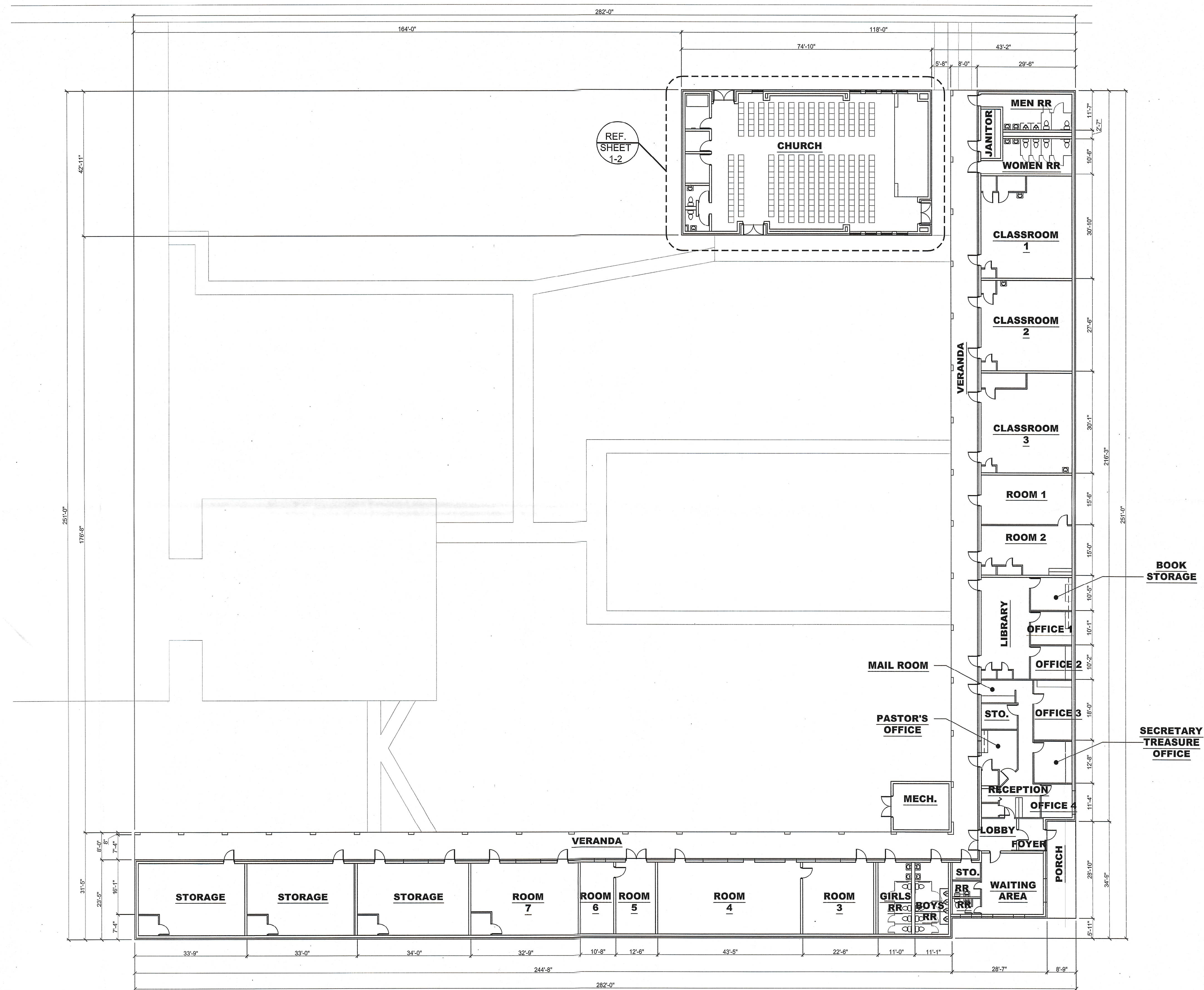
22 ND. STREET



21 ST. STREET

FIR STREET

RECEIVED
JUN 16 2020
BY: *Beil:00m*



OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"

OVERALL FLOOR PLAN

CASA DE ORACION REY DE REYES

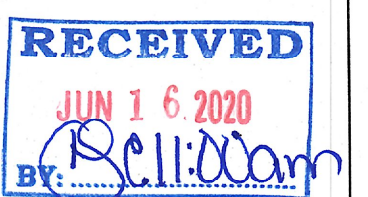
2100 FIR ST., CITY OF McALLEN, TEXAS

MAY 20, 2020

PROJECT # 12620

SHEET

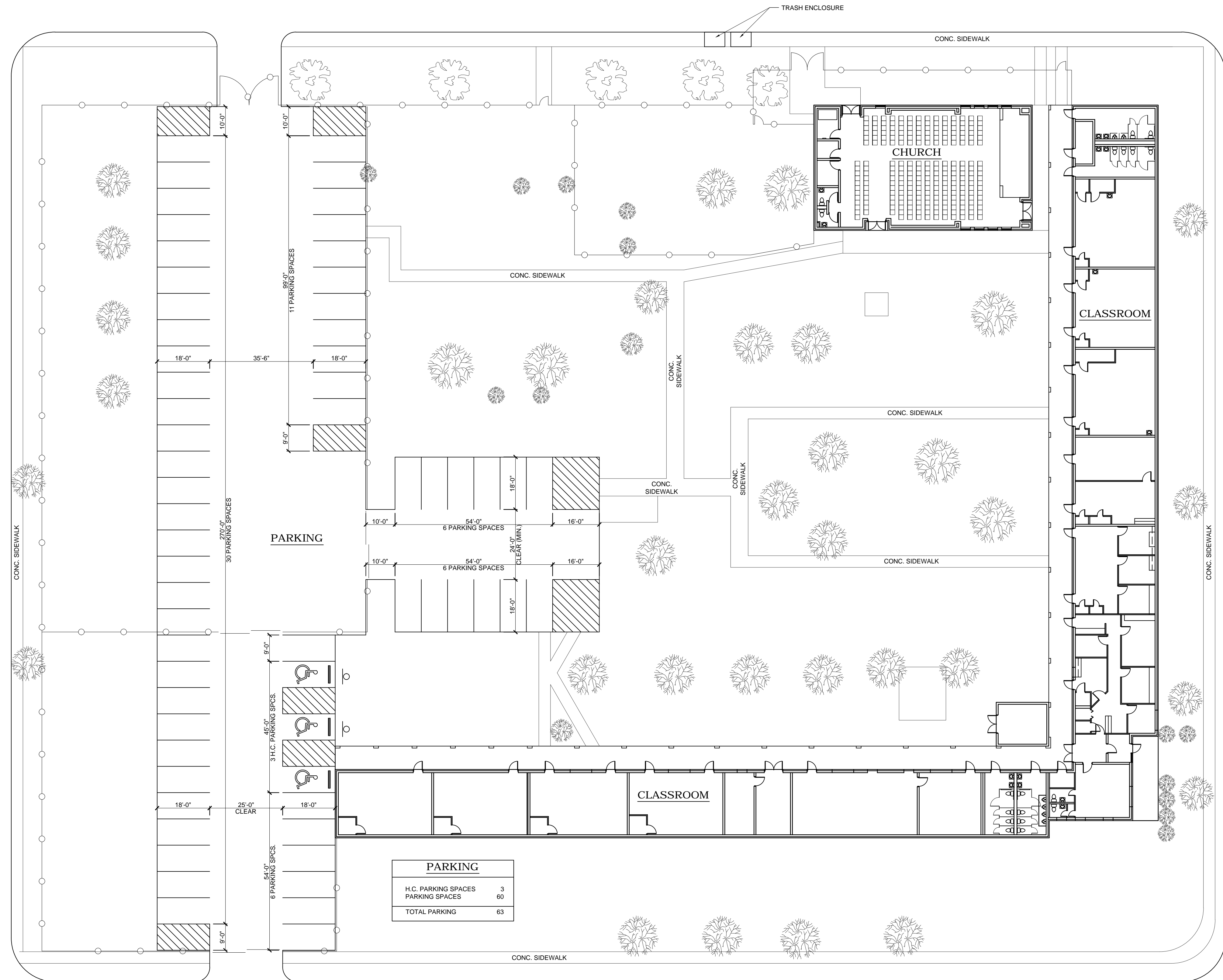
1-1





NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2020-0064

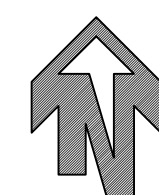
GUMWOOD STREET



22ND STREET

21ST STREET

FIR STREET



SITE PLAN
SCALE: 1" = 20'

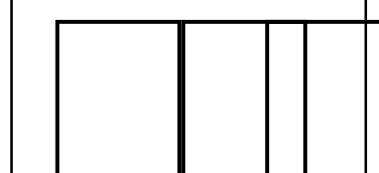
SITE PLAN

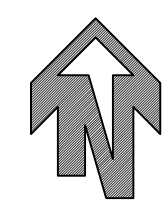
CASA DE ORACION REY DE REYES

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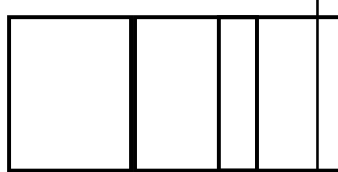


SCALE: 1/16" = 1'-0"

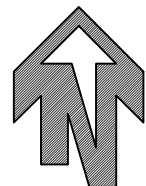
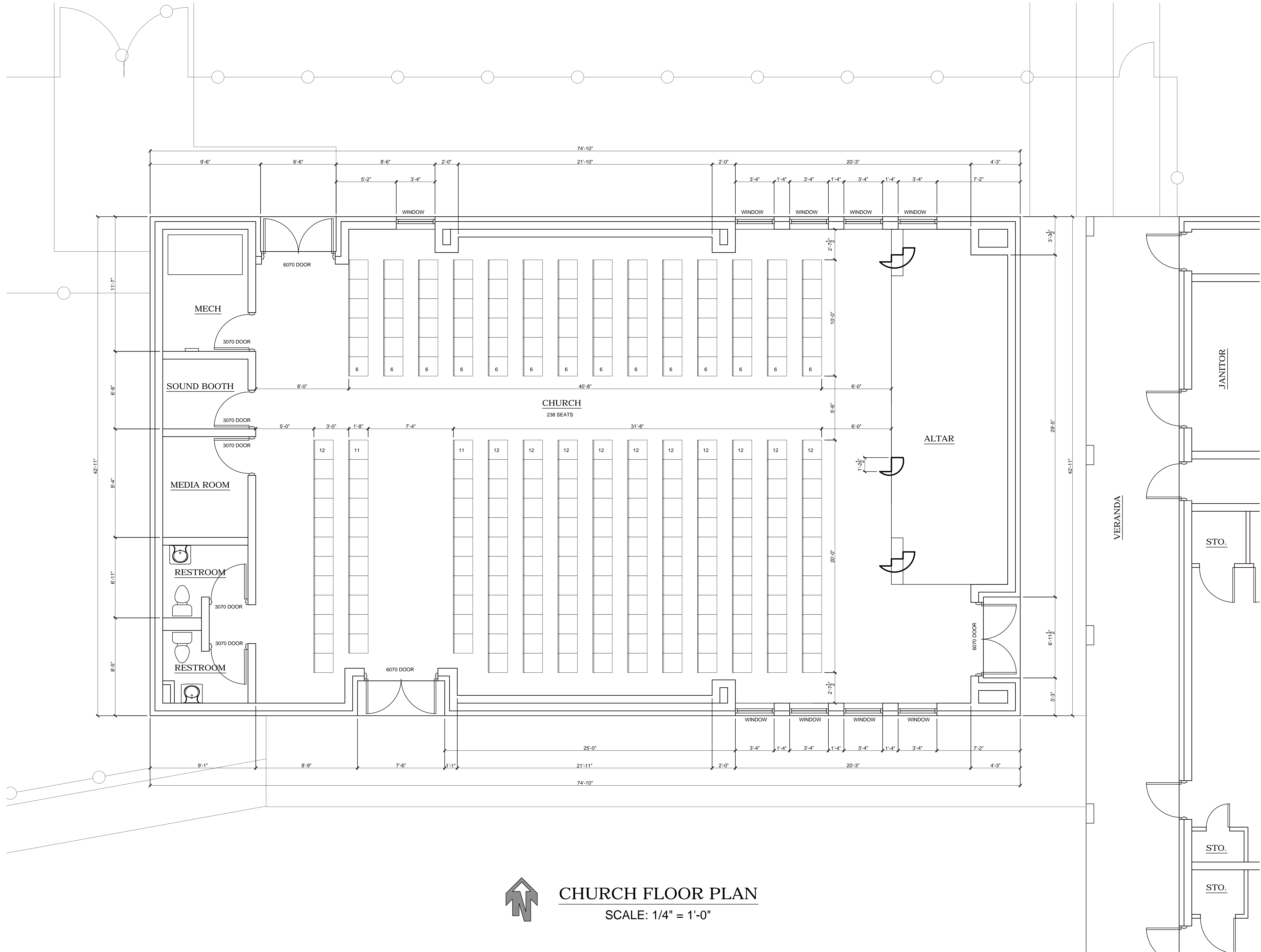
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ROE

S □ E E □



CONTACT



CHURCH FLOOR PLAN

SCALE: 1/4" = 1'-0"

CHURCH FLOOR PLAN
CASA DE ORACION REY DE REYES

IR S O M ALLEN E AS
RO E UL

S E E



Memo

TO: Planning and Zoning Commission

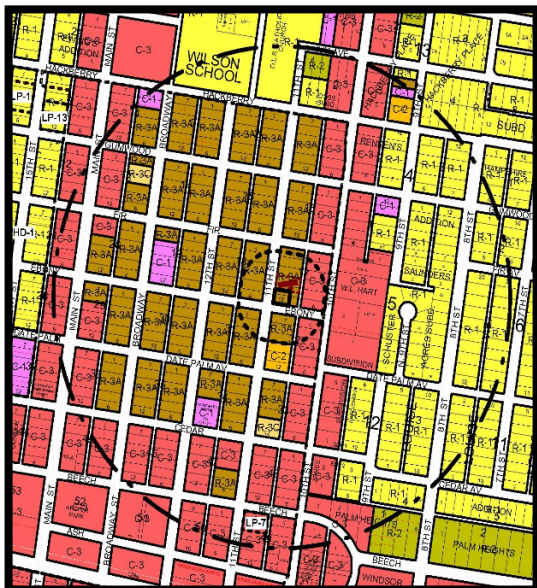
FROM: Planning Staff

DATE: July 14, 2020

SUBJECT: REQUEST OF BENJAMIN HILL, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A HOME OCCUPATION (STRINGED INSTRUMENT REPAIR) AT THE SOUTH ½ OF THE WEST 89 FT. OF LOT 11 AND WEST 89 FT. OF LOT 12, BLOCK 17, NORTH MCALLEN ADDITION, HIDALGO COUNTY, TEXAS; 502 NORTH 11TH STREET. (CUP2020-0062)

BRIEF DESCRIPTION:

The property is located at the northeast corner of North 11th Street and Ebony Avenue and is zoned R-3A (multifamily apartment) District. The adjacent zoning is R-3A District to the north, west and south, and C-3 (general business) District to the east. Surrounding land uses include multifamily apartments, single-family residences, Title Max Loans, National Lube Express, Road Runner Motors, Top Hat tuxedo rentals, Mama Mia's, Our Lady of Sorrows Catholic Church and vacant land. A home occupation is permitted in the R-3A District with a Conditional Use Permit and in compliance with requirements



HISTORY:

In 2002, there was a rezoning request from R-3A to C-1 (office building) District that was recommended for disapproval by the Planning and Zoning Commission. Prior to the City Commission meeting, the request was withdrawn. The initial Conditional Use Permit was approved

for one year, for a law office in 2002, subject to the City Commission granting a variance regarding items #1, 2 and 4 by the Planning and Zoning Commission. Subsequently, the City Commission approved the conditional use permit with conditions. The permit was renewed annually until 2010. In 2011, a new applicant applied for a permit for an Instrument repair shop. The request for a Conditional Use Permit was approved with conditions by the City Commission. The permit was renewed annually until 2013, when the applicant applied and included a request a 2' x 3' sign advertising the business. A new owner is applying, hence the request of a Conditional Use Permit.

REQUEST/ANALYSIS:

The applicant is proposing to operate a home office for string instrument repair shop from an approximately 2,173 sq. ft. two-story residence. Business would only take place on some areas of the first floor. Applicant stated that the hours of operation vary, however, the business would not be open to the public, and it is by appointment only. No retail sales and signage are proposed, however, a there is a 2' x 1' existing wall sign.

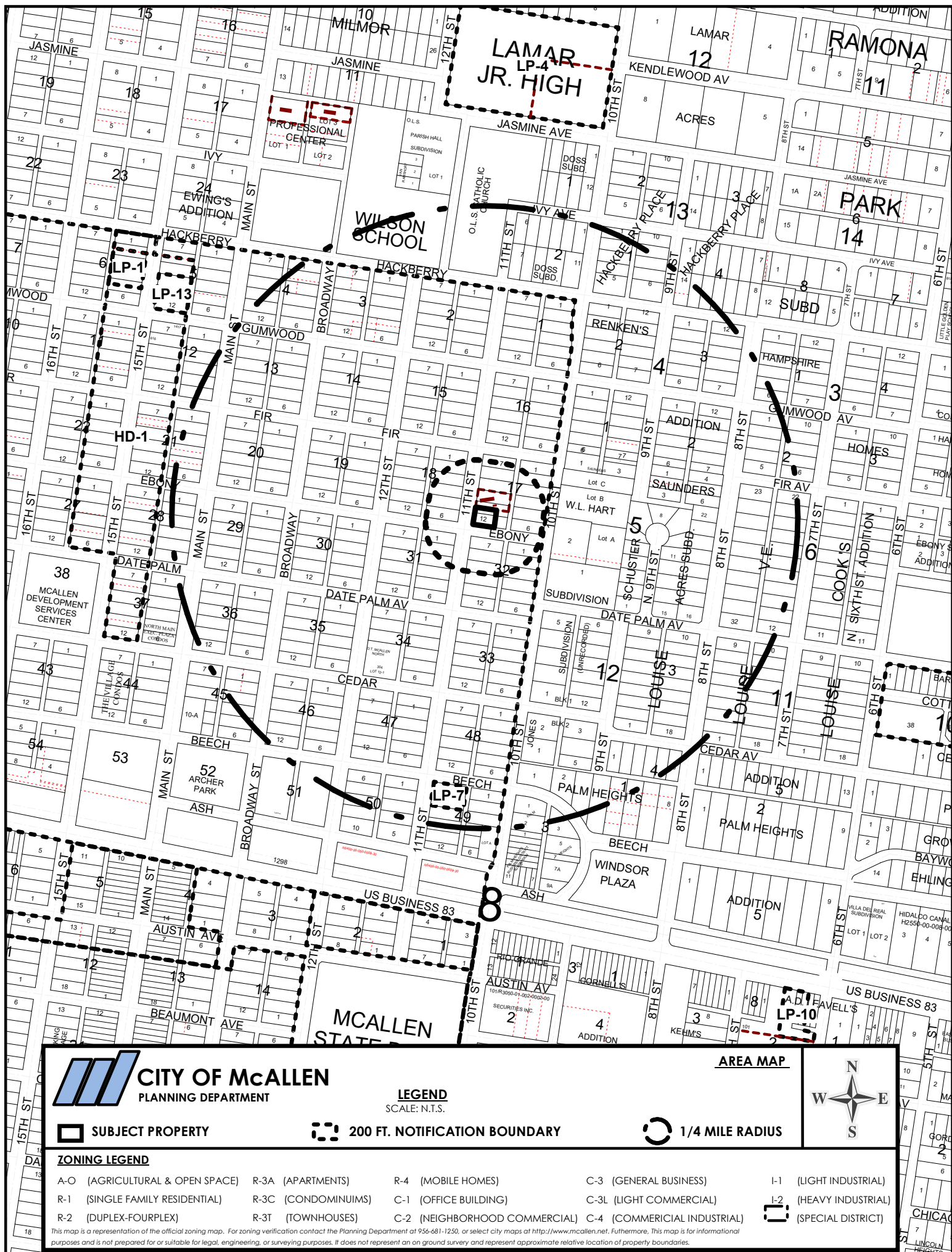
The Fire Department has inspected the residence, and found the property to be in compliance. The home occupation use may not operate until requirements are compliant and the process for a request for a conditional use permit has been completed and approval is granted. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The home occupation must also comply with requirements set forth in Section 138-118 (a) (1) of the Zoning Ordinance and other specific requirements as follows:

- 1) The home occupation shall be clearly secondary to the residential use. The applicant lives at the residence.
- 2) Signs shall not be permitted except a nameplate bearing the person's name or occupation; and attached against the wall of the main building; and not exceeding 2 square feet located within R-2 to R-4 districts. There is an existing 2' x 1' wall sign at the entrance.
- 3) No exterior display or alterations indicating that the building is being used for any purpose other than residential shall be permitted.
- 4) No more than 1 additional unrelated employee other than immediate family members residing on the premises shall be permitted. Occasionally 1 additional employee will help
- 5) No outside storage of materials or products shall be permitted. There would be no outside storage.
- 6) Traffic generated by the proposed use shall not exceed 10% of the average load per hour per street.
- 7) No retail sales shall be permitted. (items can be delivered). There would be no retail sales as per applicant.
- 8) No additions to the residence or accessory building specifically to accommodate the use shall be permitted.

- 9) The proposed use shall take place in the primary residential structure rather than a detached garage or accessory building.
- 10) The proposed use shall take place at the location specified on the permit.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to Section 138-118 (a) (1) of the Zoning Ordinance, Fire Department requirements and the removal of the unused wooden sign.



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

AREA MAP



SUBJECT PROPERTY

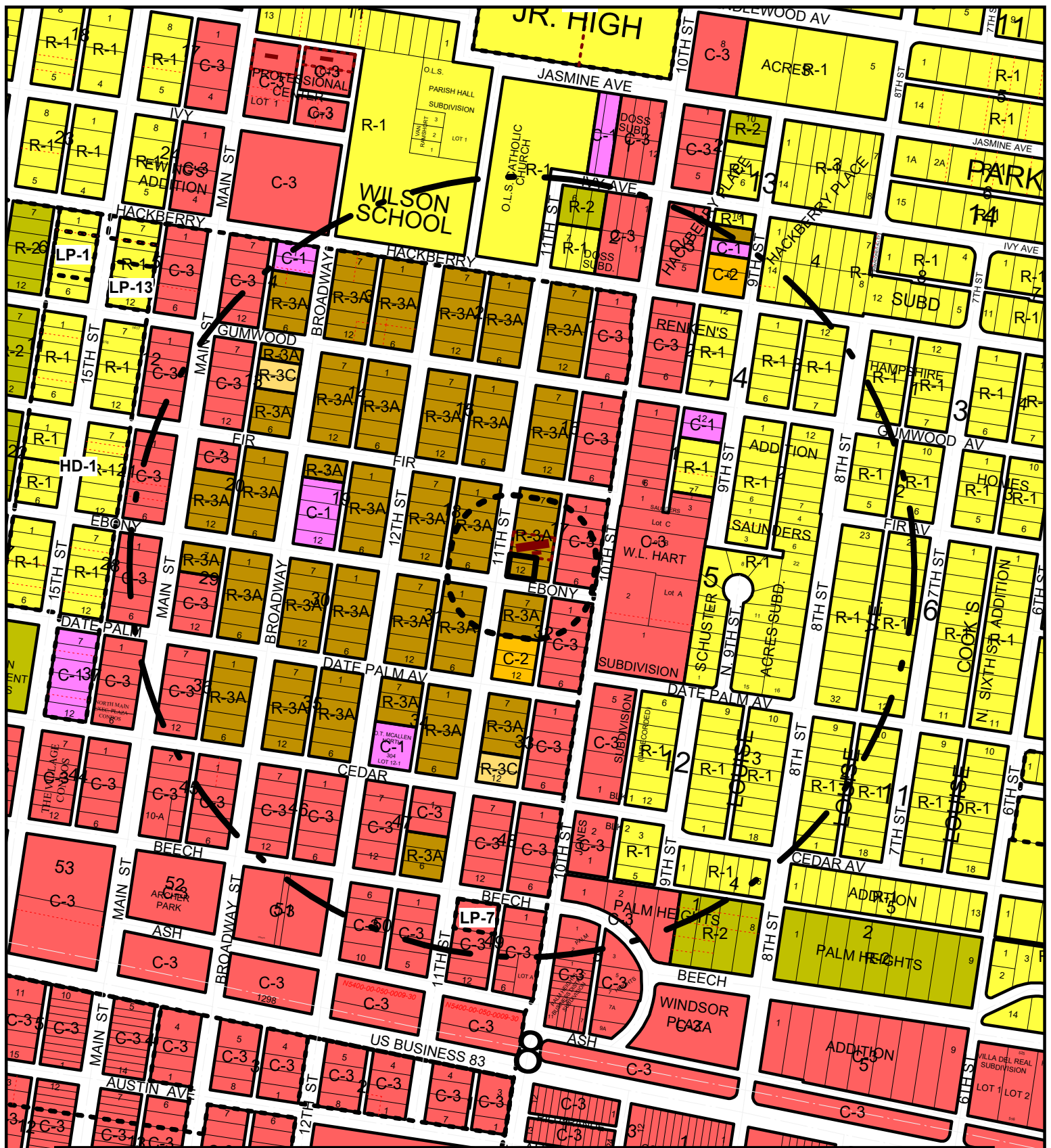
200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

ZONING LEGEND

| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | (SPECIAL DISTRICT) |

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CITY OF McALLEN PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

ZONING LEGEND

A-0 (AGRICULTURAL & OPEN SPACE)

R-3A (APARTMENTS)

R-4 (MOBILE HOMES)

C-3 (GENERAL BUSINESS)

I-1 (LIGHT INDUSTRIAL)

R-1 (SINGLE FAMILY RESIDENTIAL)

R-3C (CONDOMINIUMS)

C-1 (OFFICE BUILDING)

C-3L (LIGHT COMMERCIAL)

I-2 (HEAVY INDUSTRIAL)

R-2 (DUPLEX-FOURPLEX)

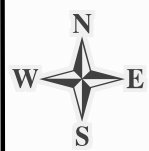
R-3T (TOWNHOUSES)

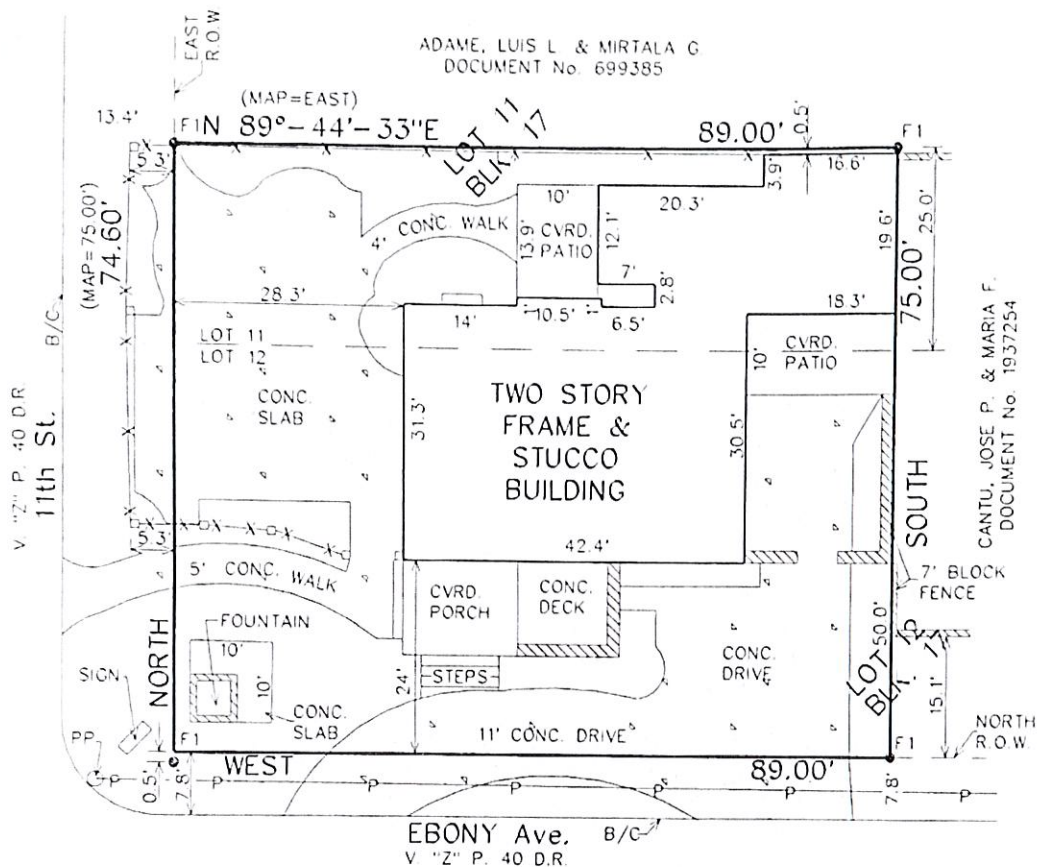
C-2 (NEIGHBORHOOD COMMERCIAL)

C-4 (COMMERCIAL INDUSTRIAL)

(SPECIAL DISTRICT)

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BUYER'S NAME: _____

FLOOD ZONE: By GRAPHICAL PLOTTING Community Panel No. 480343 0005 C
Map Revised: November 2, 1982

- ☐ Zone "A" - This is to certify that this property is in a flood prone area.
- ☒ Zone "B" - This is to certify that this property is not in a flood prone area. However limits between the 100 year and 500 year flood are subject to flooding with average depths less than one foot.
- ☐ Zone "C" - This is to certify that this property is not in a flood prone area.

I certify that this plat represents the facts found on the ground at the time of survey and that there are no visible discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or overlapping of improvements except as shown on this plat. © copyright 2009 PENA ENGINEERING this survey was provided in multiple originals solely for the borrower named hereon. In conjunction with the original transaction which shall take place within 6 months after the survey was provided. No license has been created or implied to copy this survey. Survey valid only if print has original seal and signature.

ADDRESS: 502 N. 11th St. McAllen, TX 78501

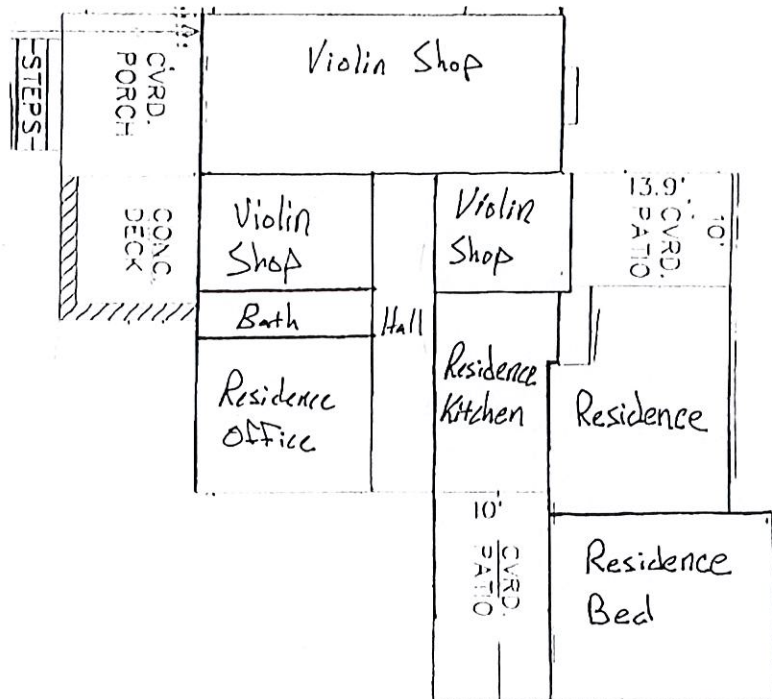
LEGAL DESCRIPTION: The South 1/2 of the West 89 feet of Lot 11 and the West 89 feet of Lot 12, Block 17, NORTH McALLEN TOWNSITE, Hidalgo County, Texas,

ACCORDING TO THE MAP RECORDED IN VOLUME "Z" PAGE 40
OF THE DEED RECORDS OF HIDALGO COUNTY, TEXAS.

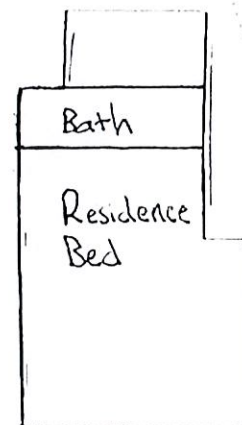
10-7-09
DATE

Pablo Pena III
REGISTERED PROFESSIONAL LAND SURVEYOR No. 5242



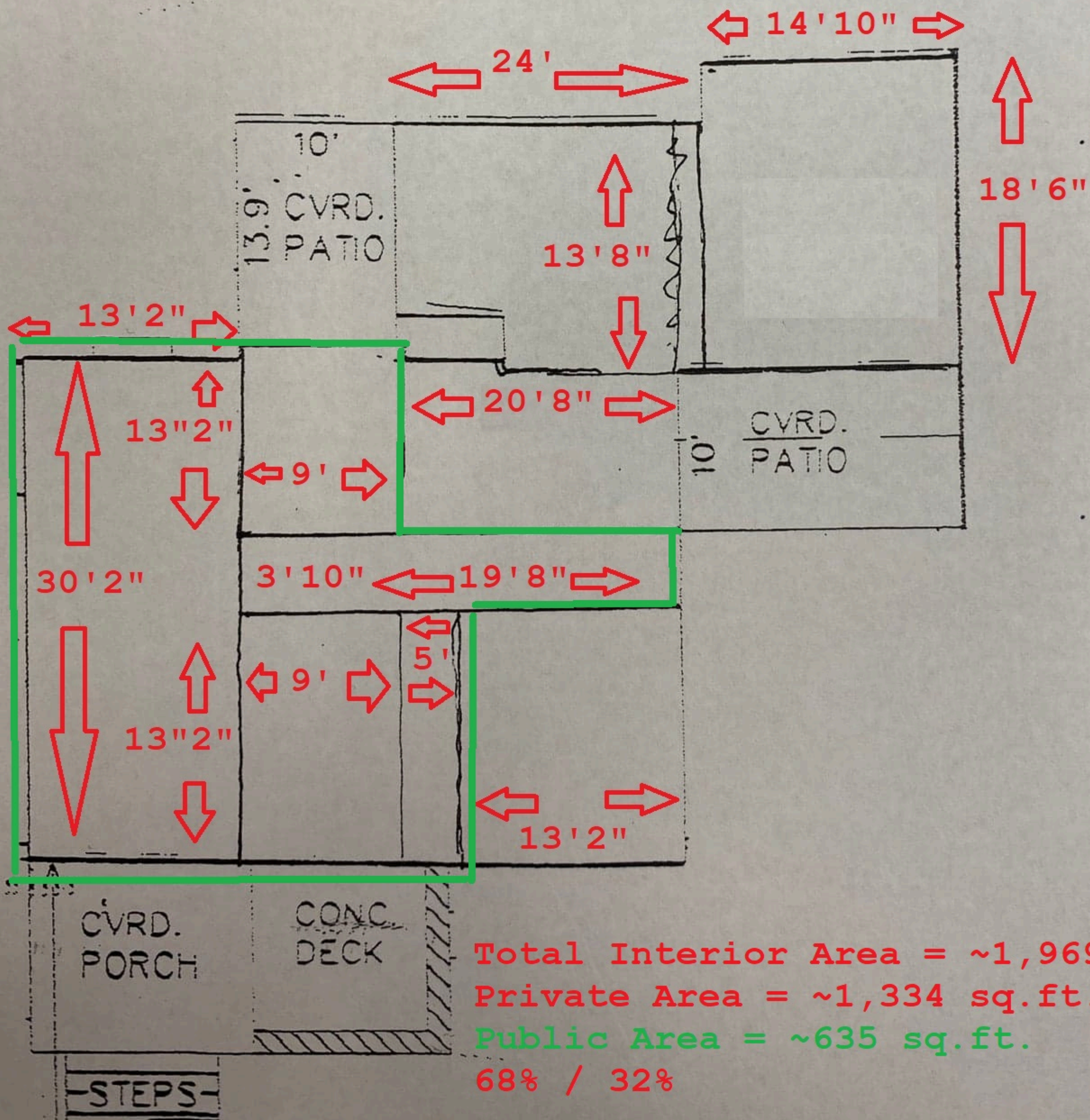
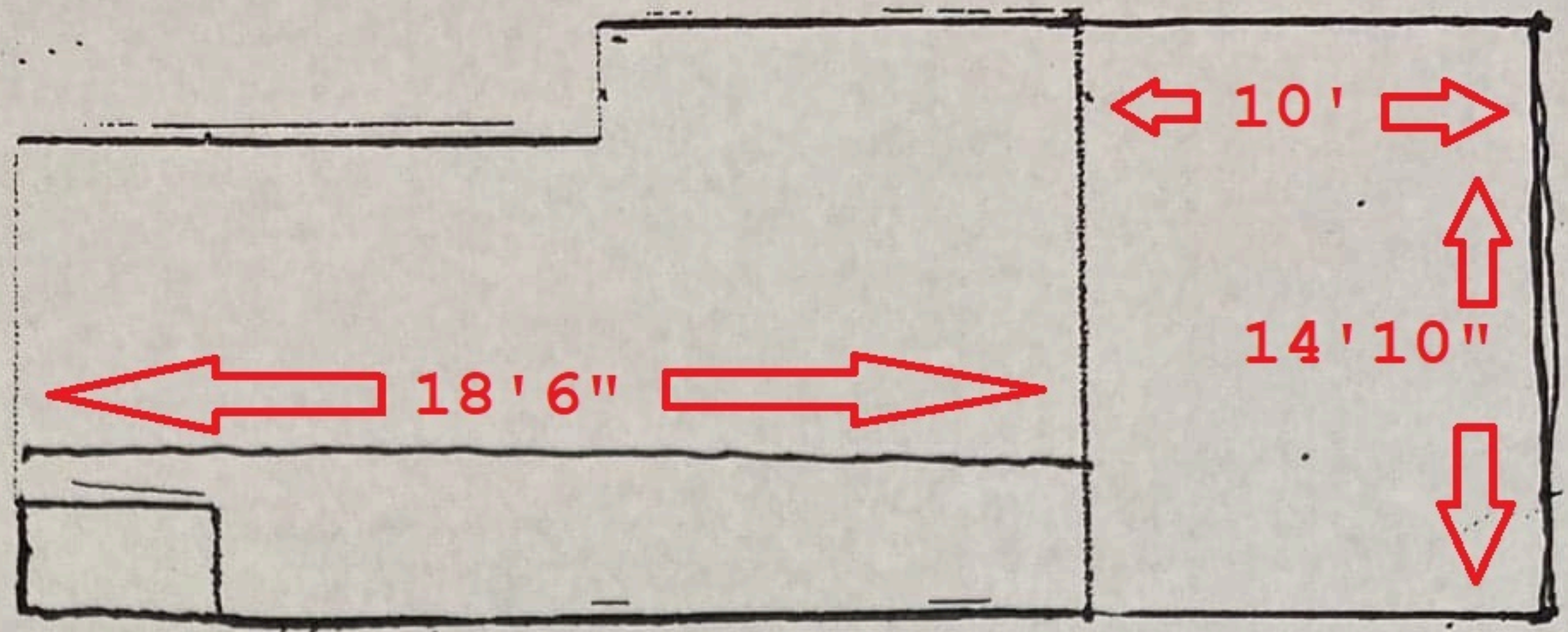


1st Floor



2nd Floor







502

NOTICE
HOME
OCCUPATION
FOR
THIS PROPERTY
CUP2020-0062

502

★ 502



502 N. 11TH ST.

Antonio  Strad
VIOLIN

502

Planning Department

Memo

TO: Planning and Zoning Commission

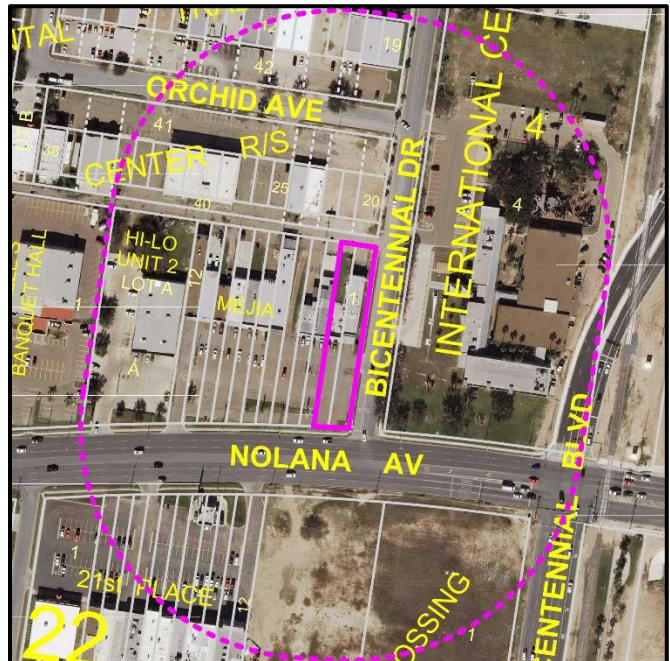
FROM: Planning Staff

DATE: July 17, 2020

SUBJECT: REQUEST OF MIGUEL A. VARGAS JR. FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AND LOUNGE AT LOTS 1 AND 2, MEJIA SUBDIVISION UNIT NO. I, HIDALGO COUNTY, TEXAS, 2000 NOLANA AVENUE. (CUP2020-0065)

BRIEF DESCRIPTION:

The property is located at the northwest corner of Nolana Avenue and Bicentennial Drive and is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include restaurants, commercial businesses, retail stores, bars, offices, the International Museum of Arts & Science (IMAS), beauty salons, medical offices, auto services, a church, single and multifamily residences, and vacant land. A bar and lounge is allowed in a C-3 zone with a Conditional Use Permit and in compliance with the requirements.



HISTORY:

The first Conditional Use Permit for a bar at this location was approved by the City Commission on September 29, 2009, with a variance to the 600 ft. distance requirement. The permit has been

renewed annually by different tenants with variances to the distance requirement by the City Commission until March 2018. The last permit expired on March 12, 2019. An application to renew the Conditional Use Permit wasn't submitted since then. This request was submitted by a different applicant.

REQUEST/ANALYSIS:

The applicant is proposing to operate a bar (Calandrias Bar & Lounge) with an outdoor patio area. The hours of operation will be Thursday to Sunday, from 9:00 p.m. to 2:00 a.m.

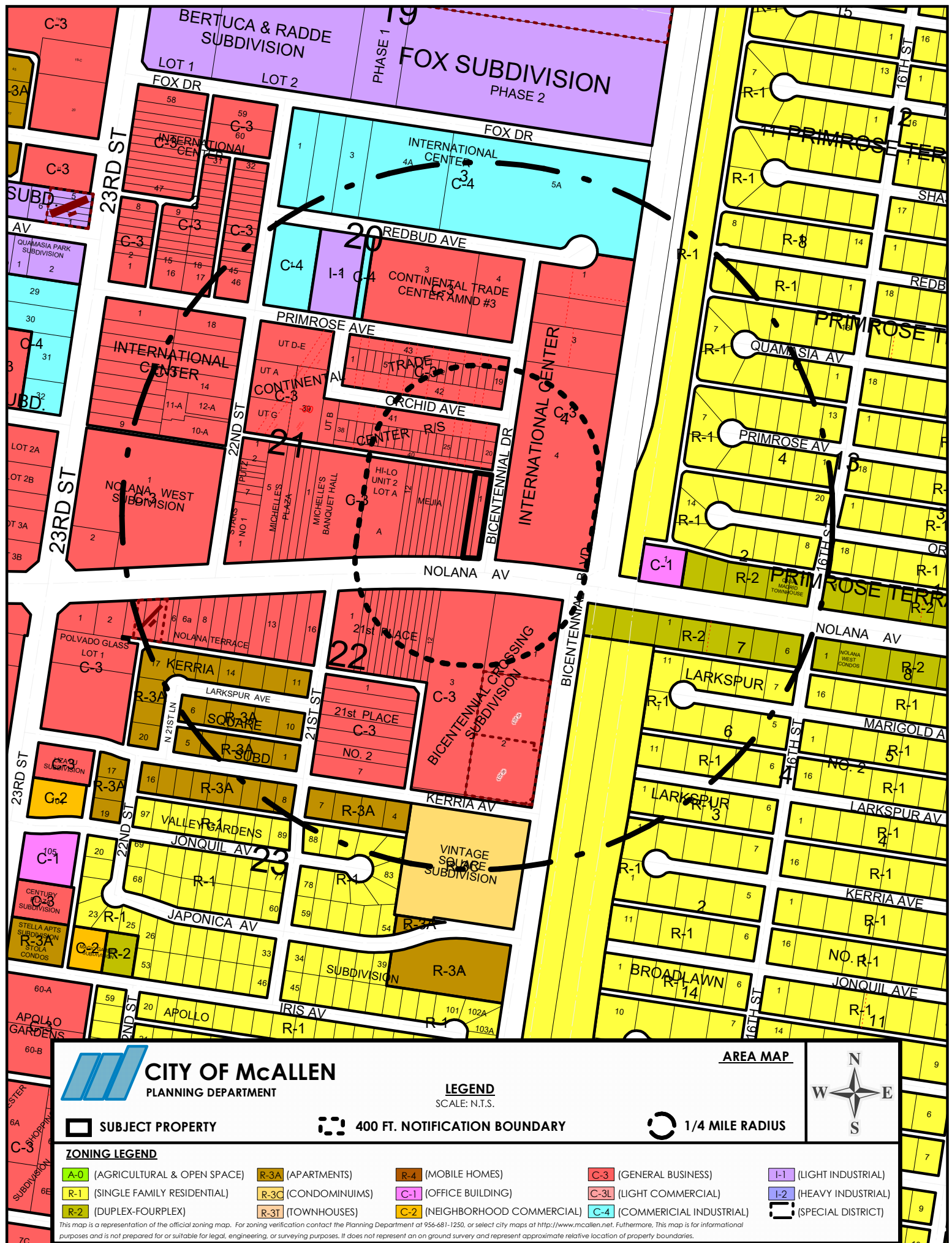
A police activity report indicating service calls from June 2019 to the present is attached. The Fire and Health Departments have inspected the establishment, which complies with the safety codes and regulations. Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to the permit's conditions. The establishment must comply with the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

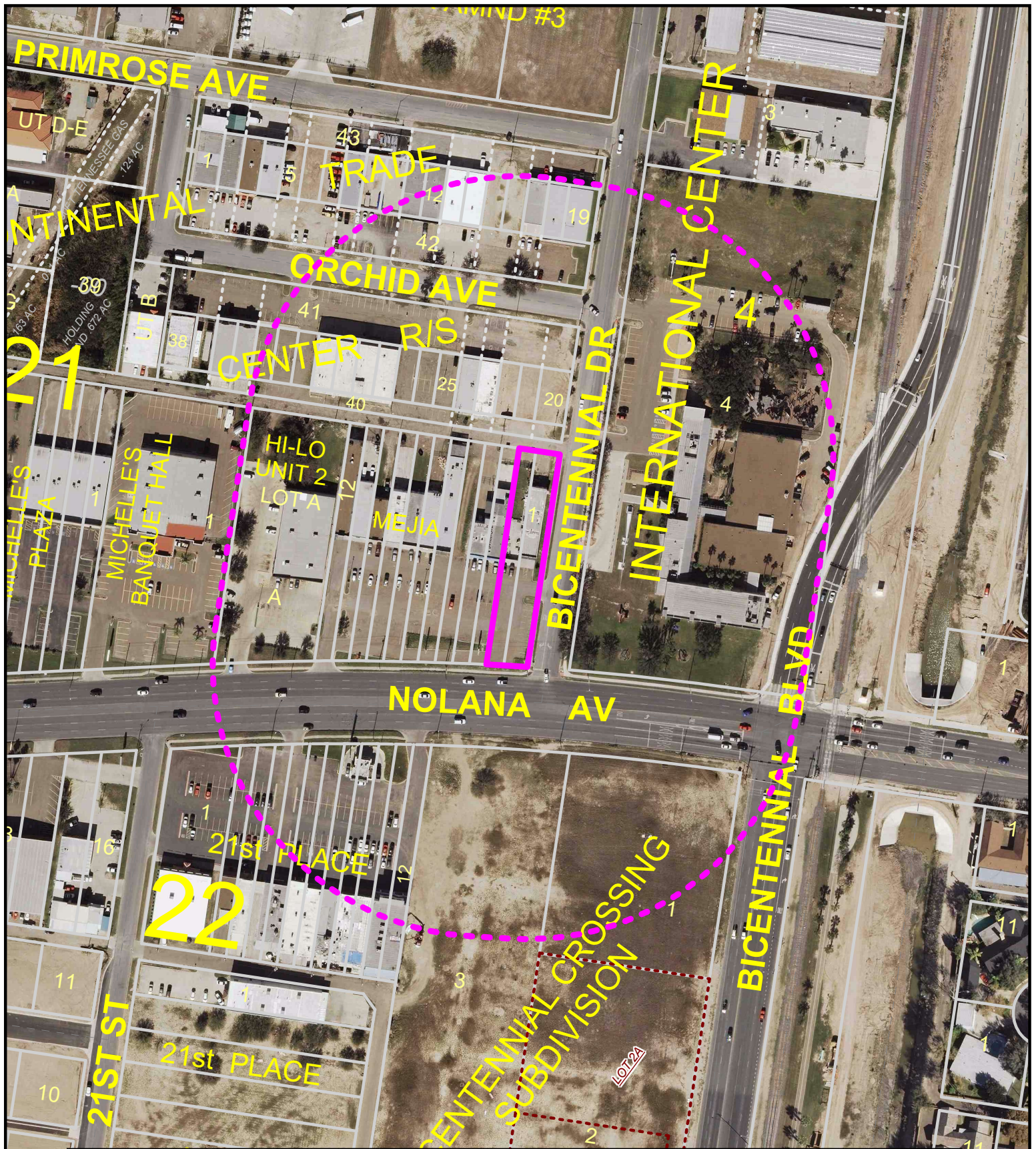
- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least 400 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 ft. of the International Museum of Arts & Science (IMAS) and Nations for Christ Church Inc.;
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential-sized streets. The establishment has direct access to Nolana Avenue and Bicentennial Drive and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Currently, there is a multi-tenant commercial plaza on the property. The plaza is a mixture of Commercial businesses, fast food restaurants, and bars. Based on the current uses, including the bar, 115 parking spaces are required; 125 spaces are provided on-site. There is a 5-year parking agreement on file valid from October 5, 2016, to October 5, 2021, that provides 40 extra parking spaces. However, upon the inspection, staff noticed potholes in the parking lot that need to be repaired, and faded stripes need to be repainted;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance after taking into account the recommendations of the Fire Marshal, Building Official, and Planning Director. The maximum capacities for the building interior and the outdoor area are 96 and 228 persons, respectively.

RECOMMENDATION:

Staff recommends disapproval of the request based on non-compliance with requirement #1 (distance) of Section 138-118(4) and Section 138-400 (off-street parking standards) of the Zoning Ordinance.





CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



SUBJECT PROPERTY



400' NOTIFICATION BOUNDARY

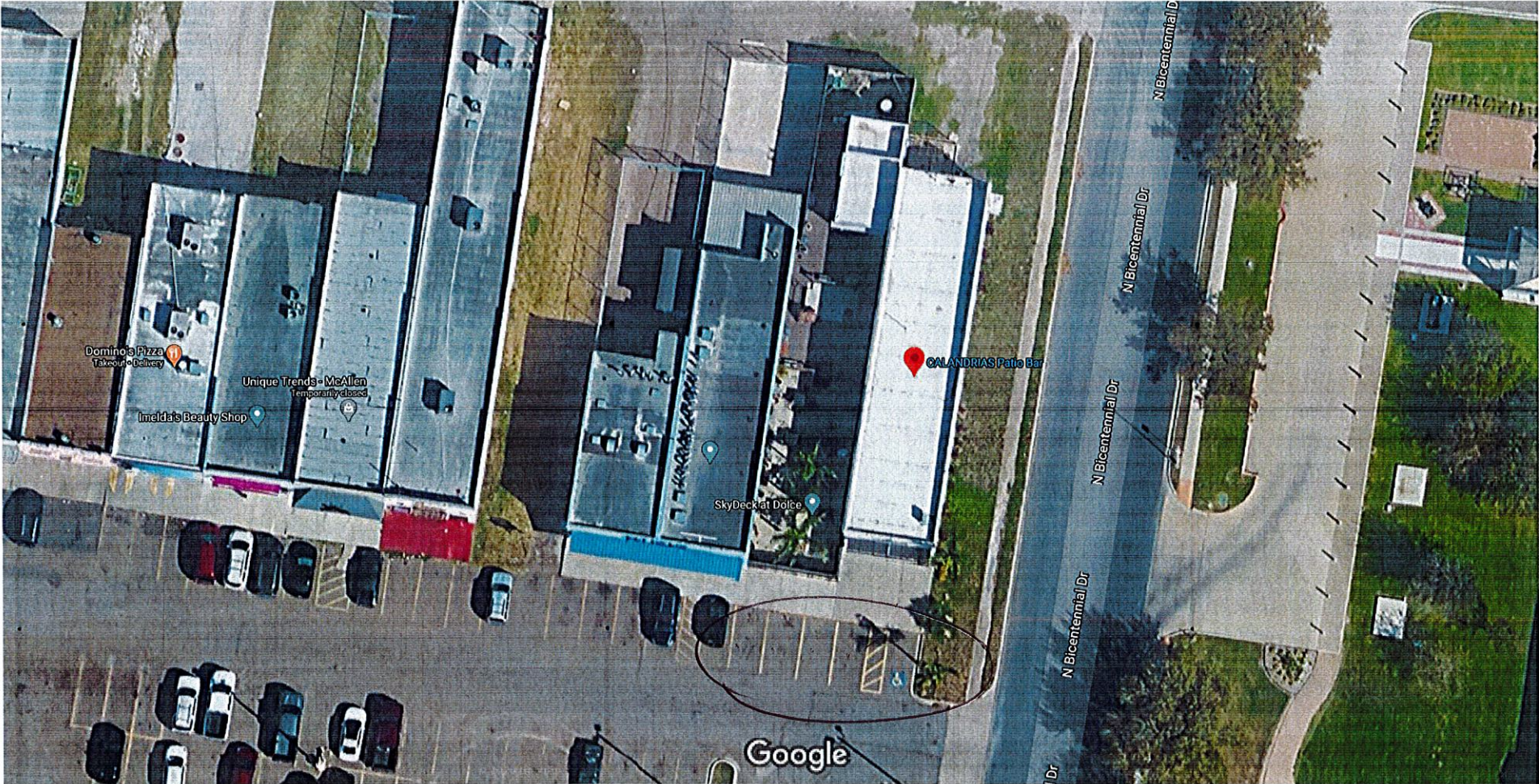


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LAF



CALANDRIAS Patio Bar
2000 WEST NOLANA MCALLEN TEXAS

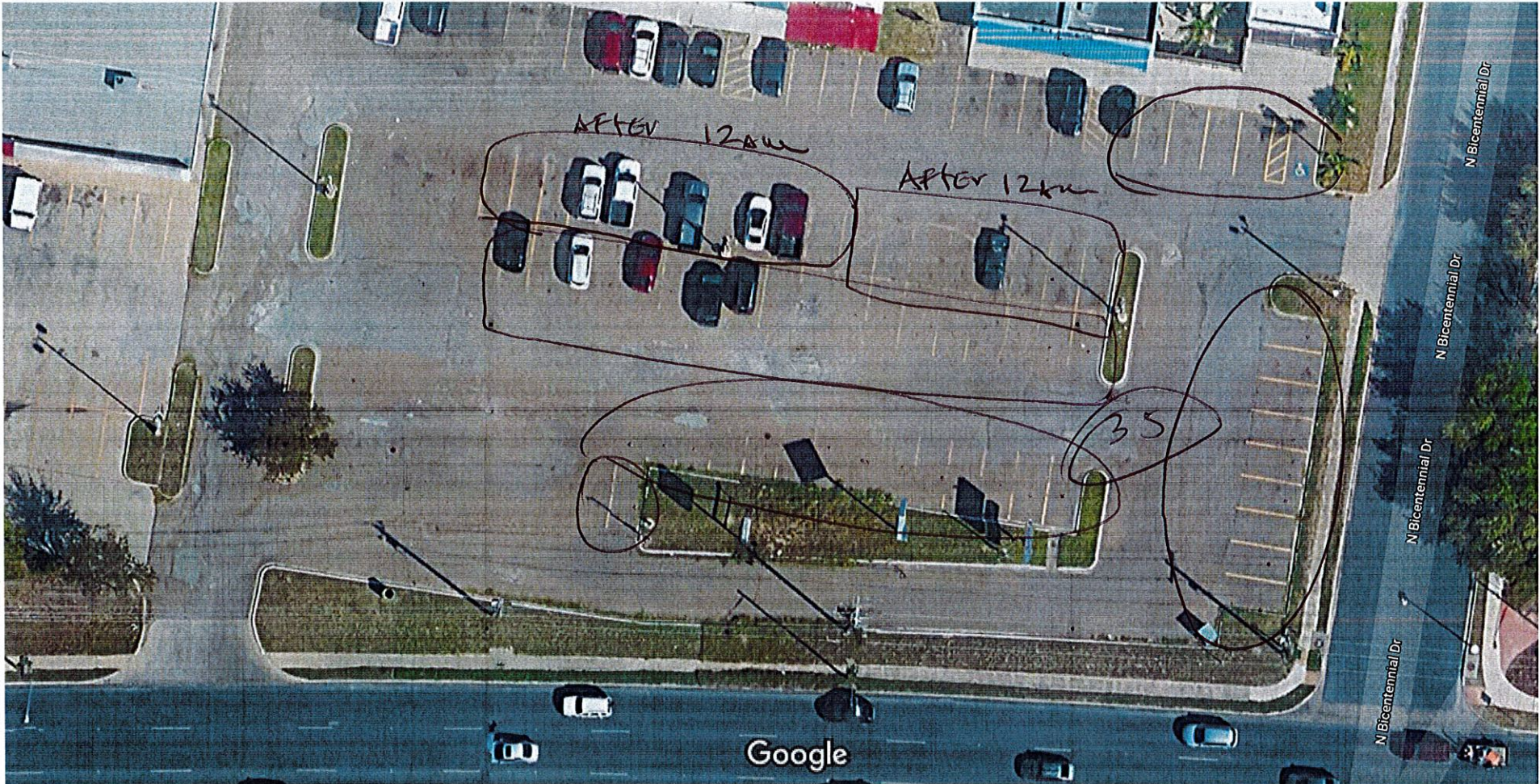


Map data ©2020 , Map data ©2020 20 ft

RECEIVED
JUN 17 2020
BY: *Sc 4-36pm*



CALANDRIAS Patio Bar
2000 WEST NOLANA MCALLEN TEXAS 78504



Map data ©2020 , Map data ©2020 20 ft





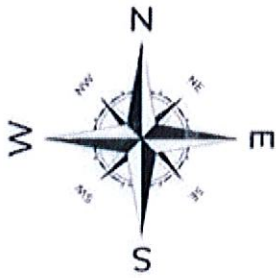
CALANDRIAS Patio Bar

2000 WEST NOLANA MCALLEN TEXAS 78504

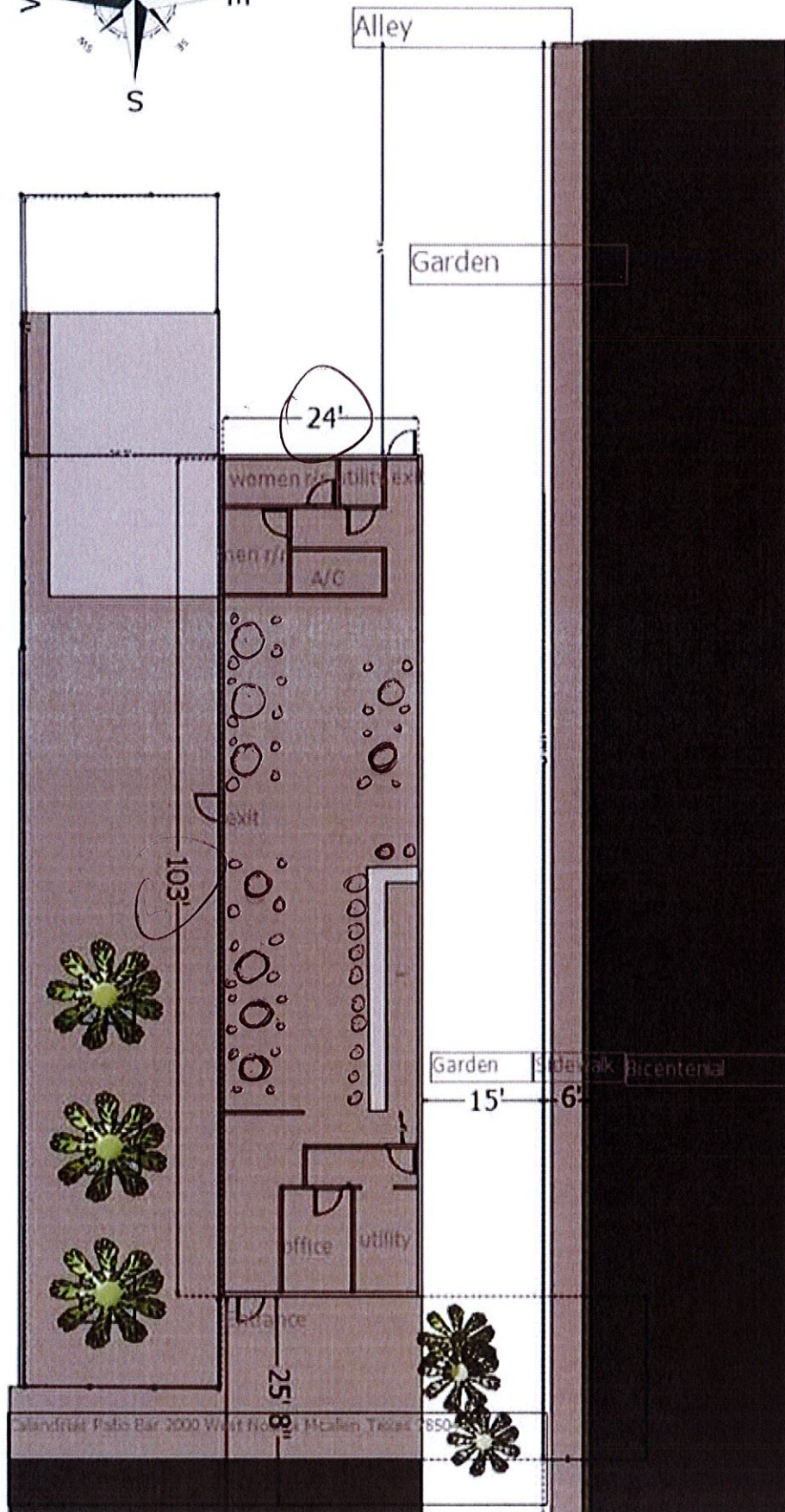


Map data ©2020, Map data ©2020 20 ft

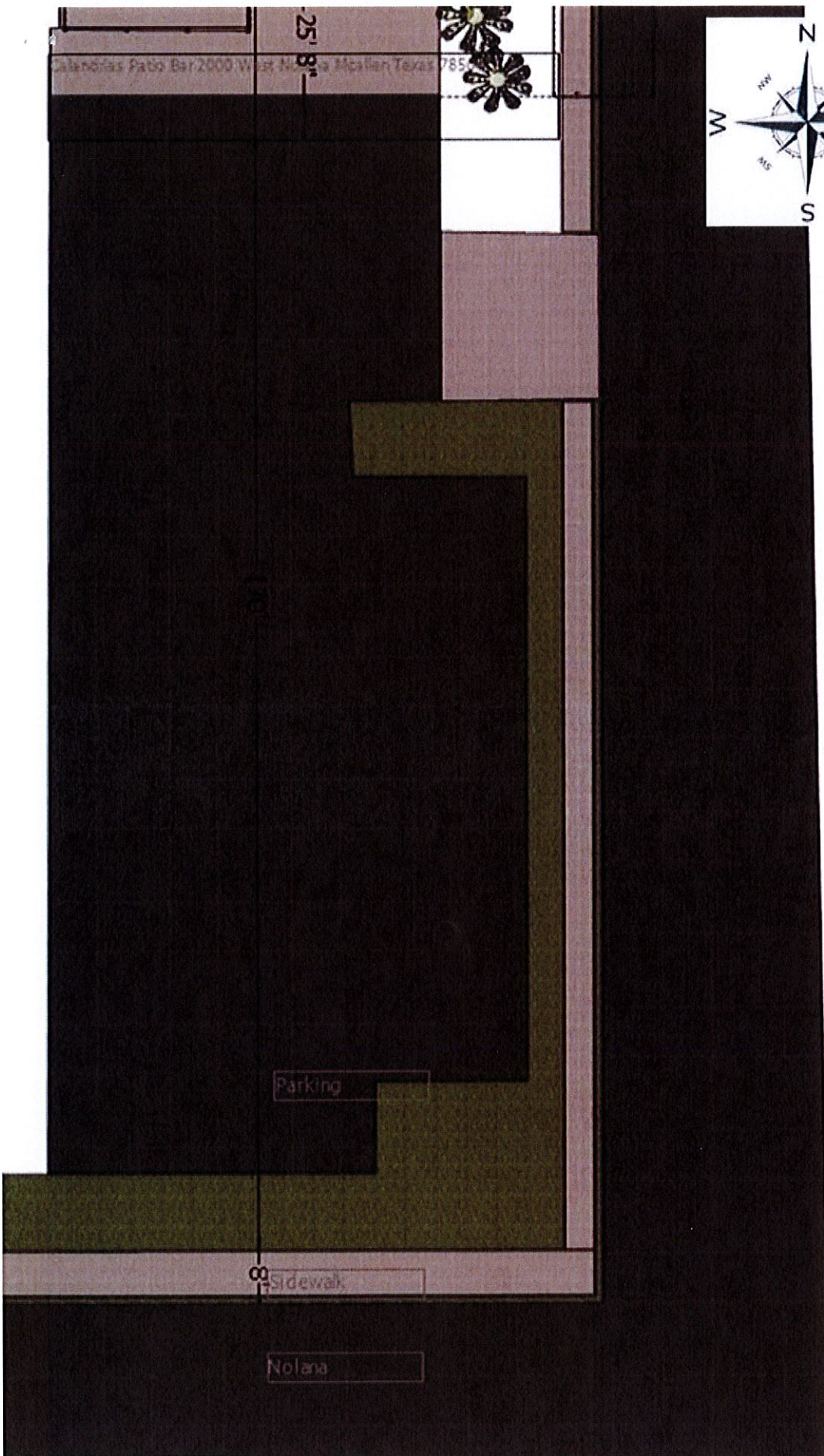




48 seats



RECEIVED
JUN 17 2020
BY: *PC43upm*



RECEIVED
 JUN 17 2020
 BY: *Sc43pm*

[The following are provisions the City Attorney generally requires to be incorporated into any parking agreement.]

USE AGREEMENT FOR PARKING SPACES

Number of Leased Parking Spaces: 40

This Use Agreement for Parking Spaces ("Agreement") is entered into this 5th day of October, 2016 between I MAS, the owner of property located at Julia Solana President ("Lessor") and Cisco and Damada, LLC, the [NOTE: State "owner" OR "operator"] of the business operating under the name of return for ("Lessee"), which is leasing the parking spaces, and which business is located at 1900 Nolana Ave.

40 In consideration of the covenants herein contained, Lessor agrees to allow Lessee to use parking spaces in the City of McAllen, Texas (hereinafter, "Facilities") described as:

40 parking spaces located at 1900 Nolana Ave (Indus) (see as Attachment 1, a diagram depicting the leased parking spaces)

The Facilities are located within 50 feet from Lessee's business and are leased for a term commencing on the 5th day of October, 2016 and ending at 11:59 PM on the 5th day of October, 2021 [NOTE: AT LEAST A 5 YEAR TERM].

Lessor hereby represents that it holds legal title to the Facilities.

The parties hereto agree:

Signage

Lessee shall provide and Lessor shall allow clearly visible signage, complaint with City of McAllen Ordinance requirements, both on Lessee's premises and the Facilities, which notify customers of the availability and location of off-premises parking spaces.

Termination or Modification

IN THE EVENT THIS AGREEMENT IS TERMINATED, AMENDED OR MODIFIED BEFORE THE END OF ITS 5-YEAR TERM, LESSEE SHALL NOTIFY THE CITY OF MCALLEN'S PLANNING DIRECTOR IN WRITING.



Google Maps



Previous Agreement)

International Museum of Art & Science

1900 W Nolana Ave, McAllen, TX 78504

956-682-1564

Parking Agreement

IMAS located at 1900 Nolana Ave has entered into an agreement for extra parking spaces with the management of Element Entertainment, LLC located at 2000 W. Nolana Ave. The agreement is that Element Entertainment will have access to forty 40 of spaces from our area for a period of a five (5) year term. The effective date is April 2014 thru April 2019. Lesser and Lessee shall notify the Planning Director, City of McAllen in writing in the event this agreement is terminated or modified in any way prior to its five (5) year term. A sign will be provided at Element Entertainment advising patrons of the availability of parking spaces.

IMAS operating hours are as follows:

Monday: Closed

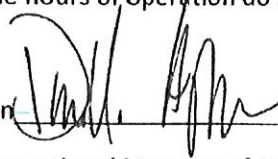
Tues-Wed-Fri-Sat: 9am - 5pm

Thur: 9am - 8pm

Sun: 1pm - 5pm

The hours of operation do not interfere with our business or Element Entertainment.

Sign

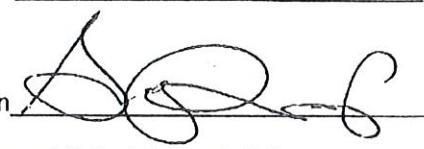
 3.24.14

International Museum of Art & Science

Print Name Danella Hughes

Title Interim Executive Director

Sign



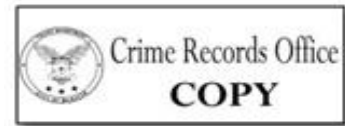
Element Entertainment, LLC

Print Name Gerardo Padilla

Title General Manager

MAR 24 2014

Cg 4:20 pm



Incident Analysis Report

From Date: 6/1/2019
To Date: 7/17/2020
Location: 2000 NOLANA AVE, MCALLEN

| Call Date/Time | Incident Number | Incident Type | Location |
|------------------|-----------------|---------------------------|--------------------------|
| 6/29/2020 20:19 | 2020-00043976 | Domestic Disturbance | 2000 NOLANA AVE, MCALLEN |
| 5/7/2020 12:41 | 2020-00030355 | MINOR ACC | 2000 NOLANA AVE, MCALLEN |
| 1/8/2020 17:49 | 2020-00001854 | Accident w/Injuries | 2000 NOLANA AVE, MCALLEN |
| 11/28/2019 17:41 | 2019-00085748 | Reckless Driving | 2000 NOLANA AVE, MCALLEN |
| 11/9/2019 21:47 | 2019-00080961 | Noise Complaint | 2000 NOLANA AVE, MCALLEN |
| 11/3/2019 4:03 | 2019-00079272 | Noise Complaint | 2000 NOLANA AVE, MCALLEN |
| 10/27/2019 4:04 | 2019-00077336 | Noise Complaint | 2000 NOLANA AVE, MCALLEN |
| 10/5/2019 0:14 | 2019-00071667 | Traffic Stop | 2000 NOLANA AVE, MCALLEN |
| 8/3/2019 5:05 | 2019-00055107 | Police Services | 2000 NOLANA AVE, MCALLEN |
| 8/3/2019 4:53 | 2019-00055106 | Suspicious Person/Vehicle | 2000 NOLANA AVE, MCALLEN |
| Total Matches: | 10 | | |



Coin Laundry

NOTICE
BAR
FOR
THIS PROPERTY
CUP2020-0885

WASH YOUR
COATINGS & EPOXY

NOTICE

Memo

TO: Planning and Zoning Commission

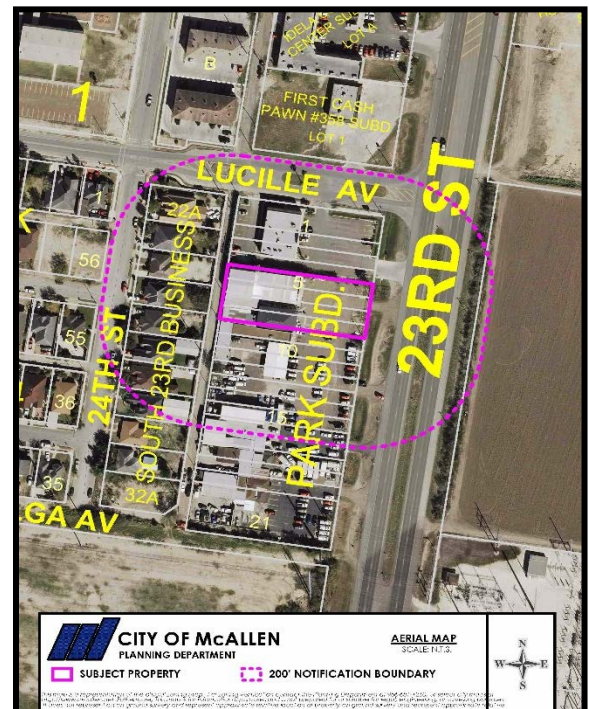
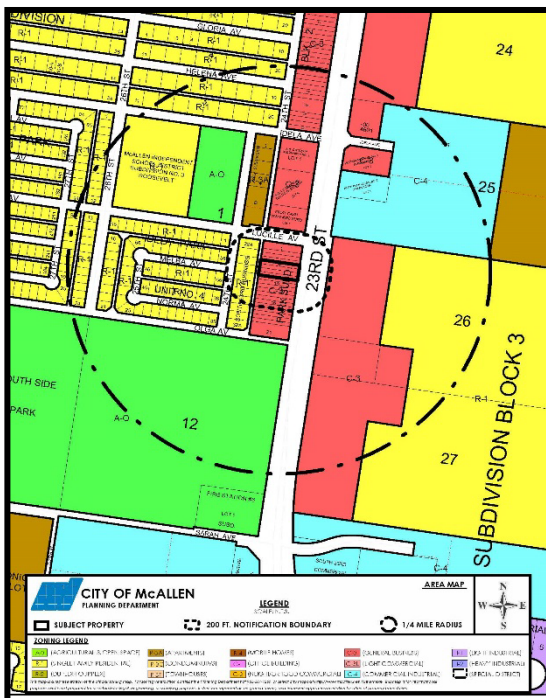
FROM: Planning Staff

DATE: July 16, 2020

SUBJECT: REQUEST OF GUILLERMO A. TIJERINA JR. FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN AUTOMOTIVE SERVICE AND REPAIR SHOP, LOTS 5 THROUGH 8, SOUTH 23RD BUSINESS PARK, HIDALGO COUNTY, TEXAS, 4910 SOUTH 23RD STREET. (CUP2020-0019).

BRIEF DESCRIPTION:

The property is located at the west side of South 23rd Street, approximately 140 ft. south of Lucille Avenue and is zoned C-3 (general business) District. Surrounding adjacent properties were zoned C-3 District to the north, east, and south, R-1 (single family residential) District to the west. Surrounding land uses include automotive sales, Alejandro's Bakery, vacant land, and single-family residences. An automotive service and repair business are allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY:

There was a Conditional Use permit for an Automotive Service and Repair Shop that was approved in 2019. The Conditional Use Permit was approved by the City Commission on March 25, 2019 with a variance to distance to a residential use.

REQUEST/ANALYSIS:

The building consists of a two-story building with approximately 7,500 sq. ft.

The applicant is proposing to utilize the single story building on the property for an automotive service & repair (mechanical shop). The hours of operation are Monday thru Friday from 9:00AM to 7:00PM, and Saturdays from 9:00AM to 2:00PM. Based on the square footage of the two existing buildings, 22 parking spaces are required for both businesses to operate simultaneously; and 16 parking spaces are provided on site.

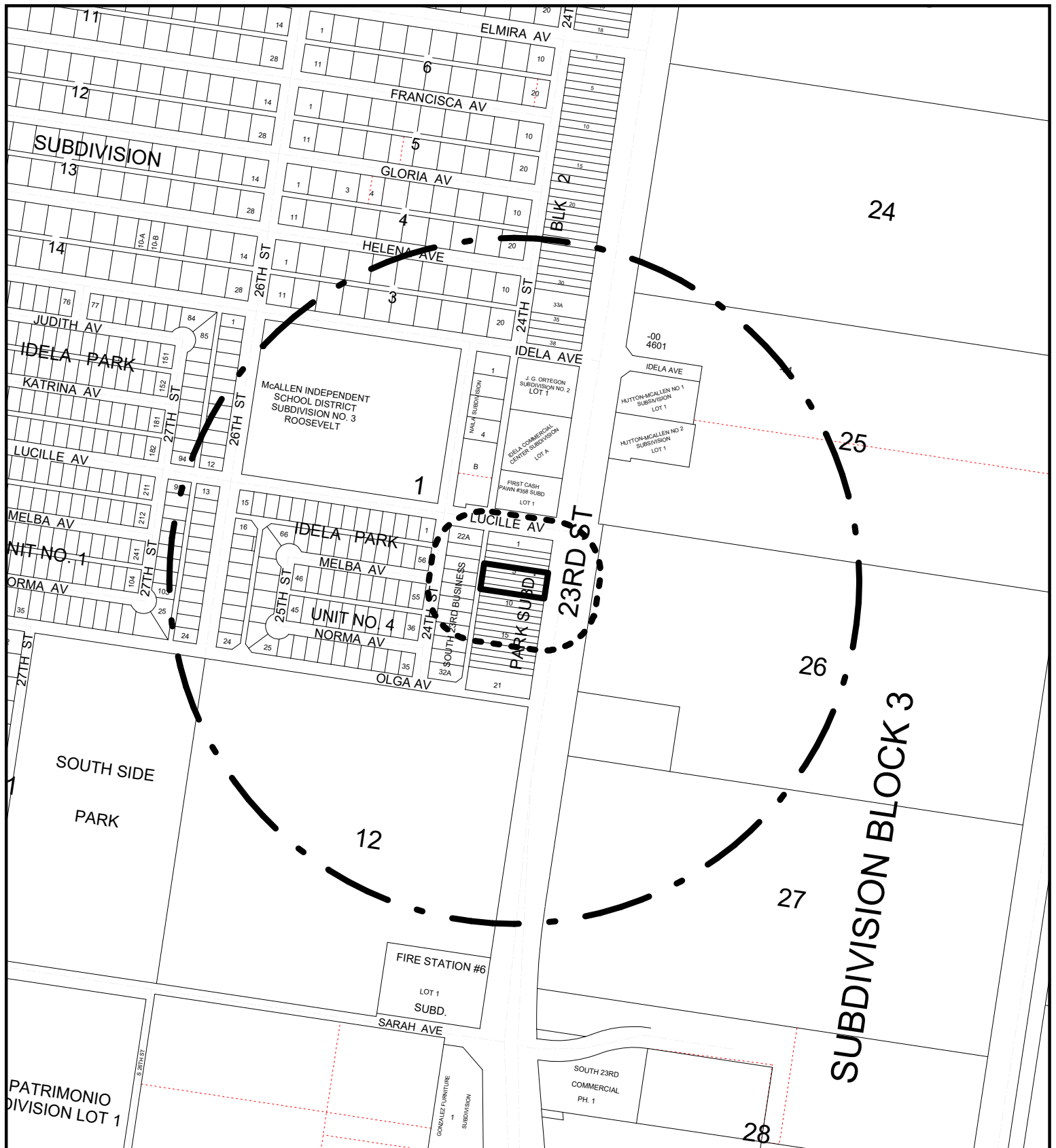
The Fire Department has been in contact with the applicant, however; a follow-up inspection is pending. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 12,250 sq. ft;
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing all the work to take place inside the existing building;
- 3) Outside storage of materials is prohibited. The applicant indicated that there would be no outside storage including vehicles;
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The building is located approximately 90 ft. from the nearest single family residence to the west;
- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required. There is an existing 6 ft. opaque fence rear side of the property;
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

RECOMMENDATION:

Staff recommends disapproval of the request based on non-compliance with requirement #4 (near a residence) and parking requirements.

The applicant has requested to table the variance request.



CITY OF McALLEN
PLANNING DEPARTMENT

AREA MAP




 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

ZONING LEGEND

| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|--|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) |  (SPECIAL DISTRICT) |

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND

SCALE: N.T.S.



SUBJECT PROPERTY



200 FT. NOTIFICATION BOUNDARY



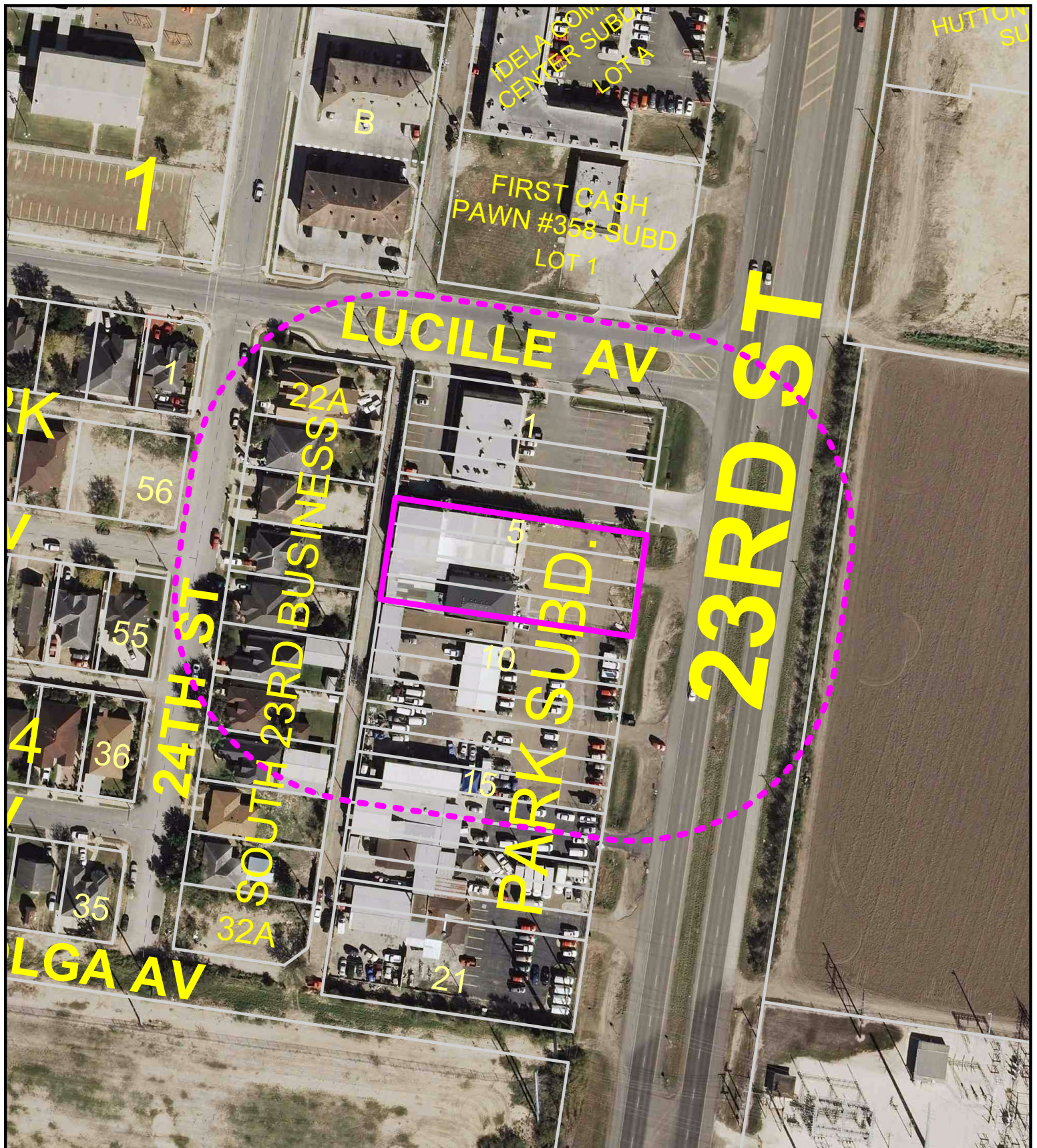
1/4 MILE RADIUS



ZONING LEGEND

| | | | | |
|--|----------------------------|--------------------------------------|------------------------------------|-------------------------------|
| A-0 (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | S (SPECIAL DISTRICT) |

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CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



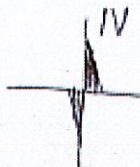
SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



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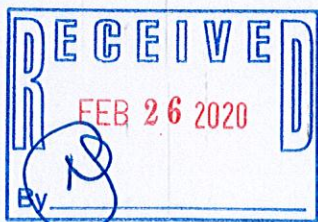
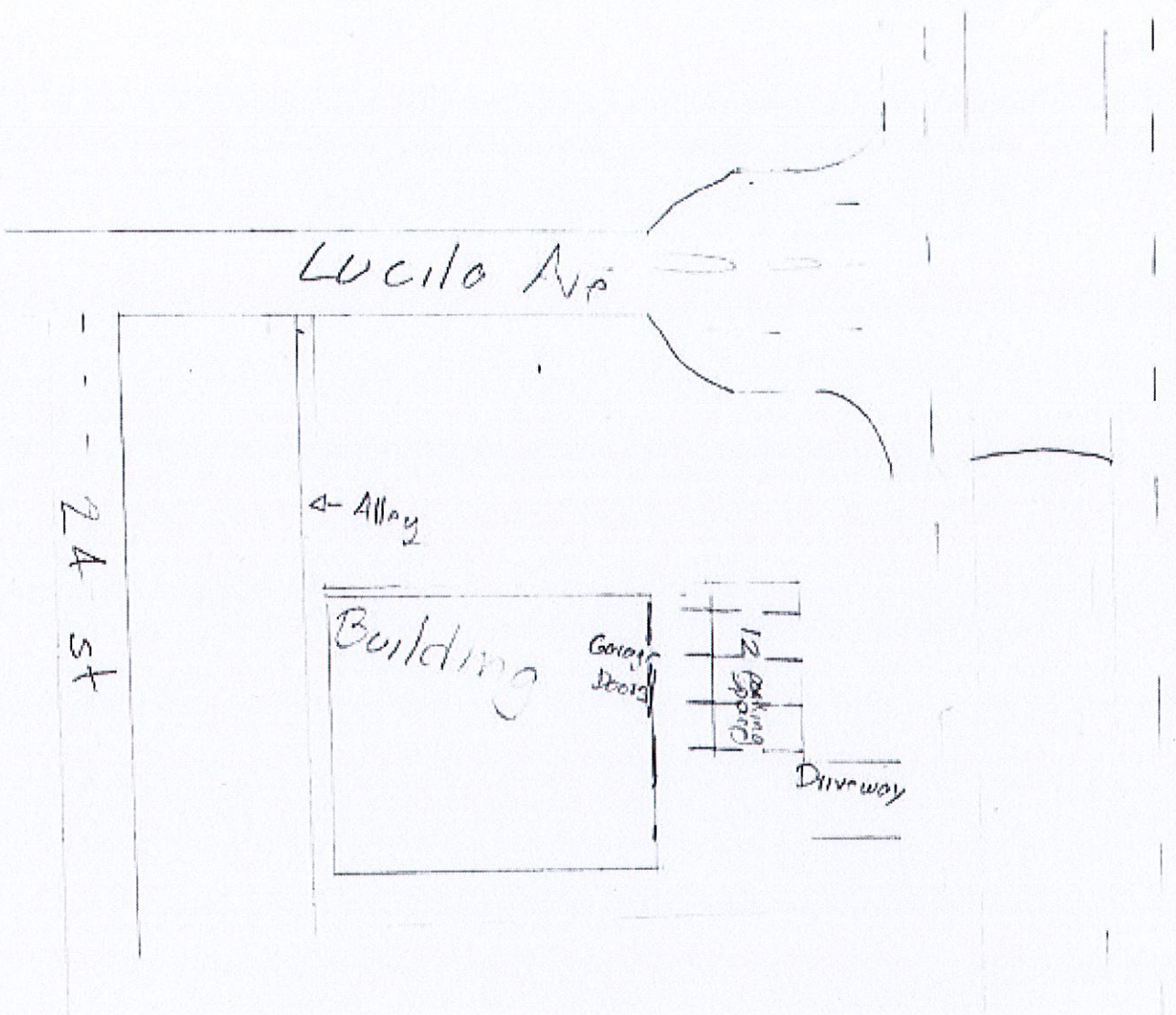


Site Map

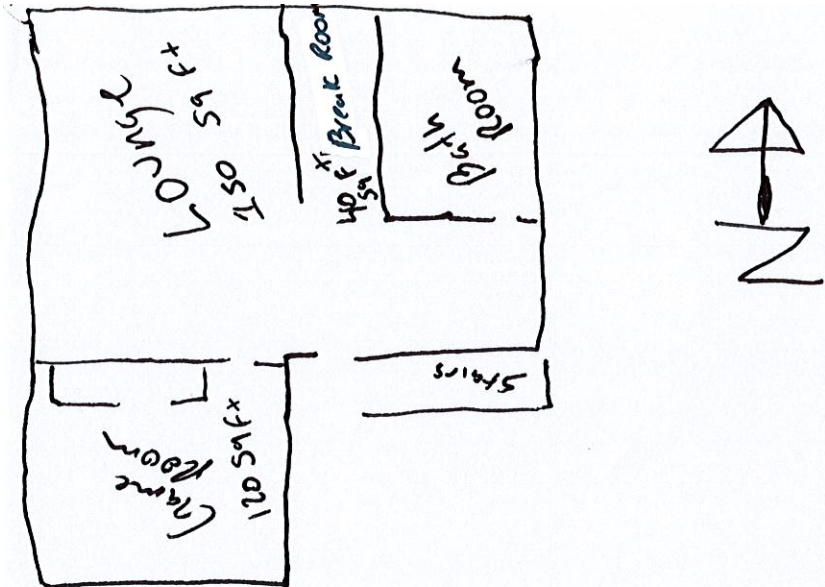
0202-22-2

LT

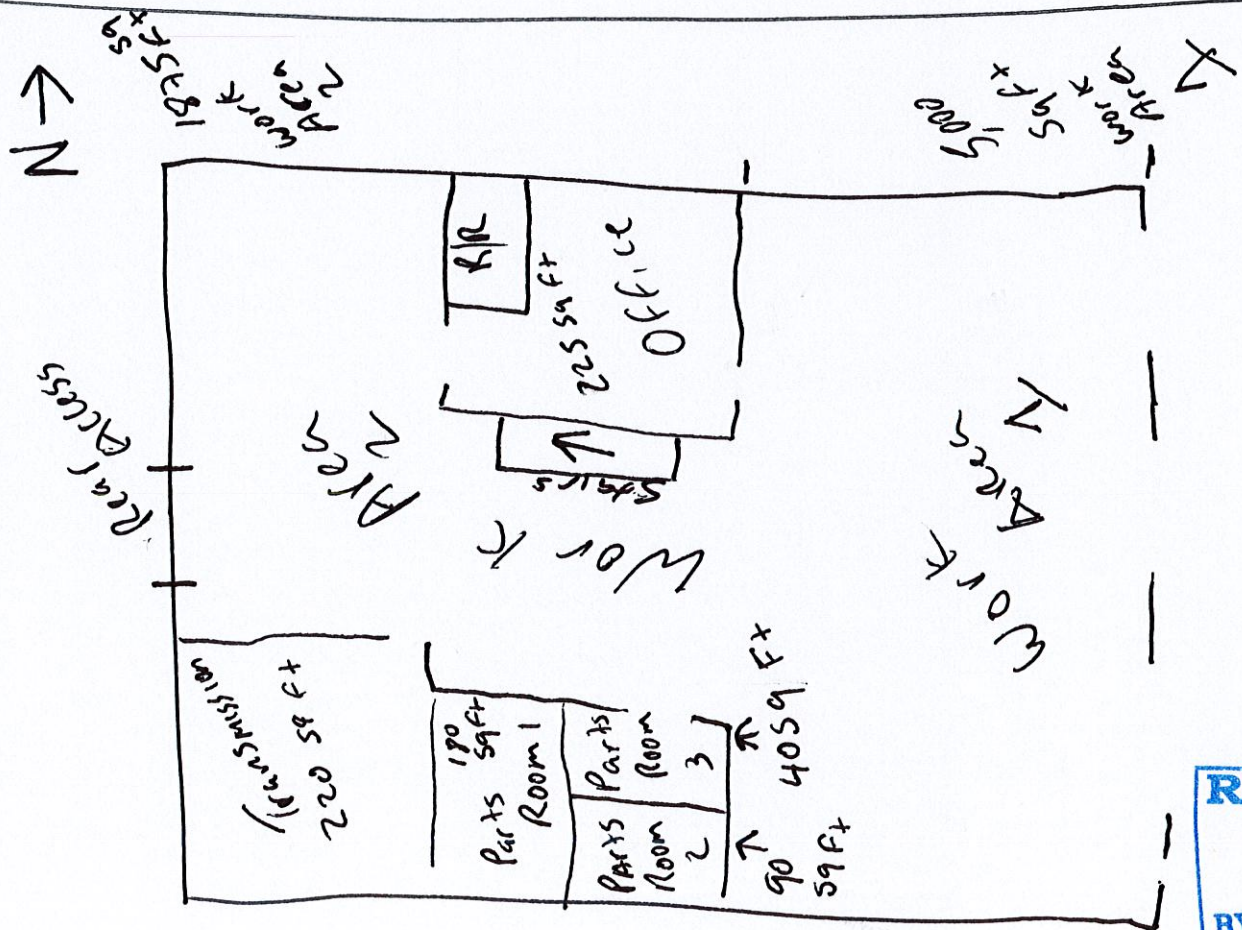
23rd St



2nd floor



1st floor



RECEIVED
JUL 16 2020
BY: CW



NOTICE
AUTO REPAIR
FOR
THIS PROPERTY
CUP2020-0019

MEMO
TUNING & PERFORMANCE

ALEJANDRO
BAKERY & PIZZ...ORY

Memo

TO: Planning and Zoning Commission

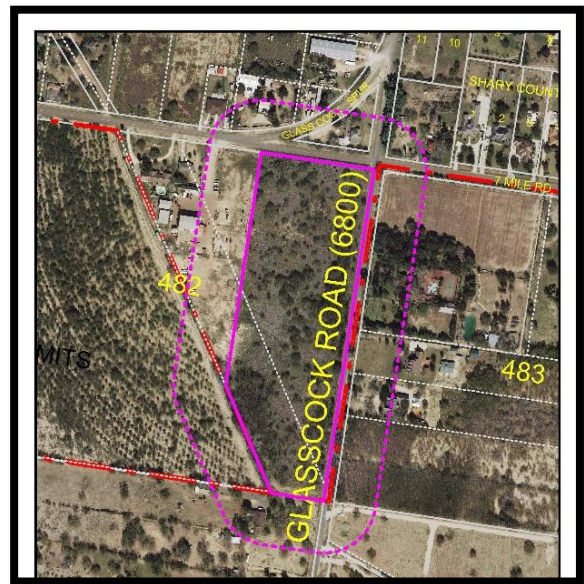
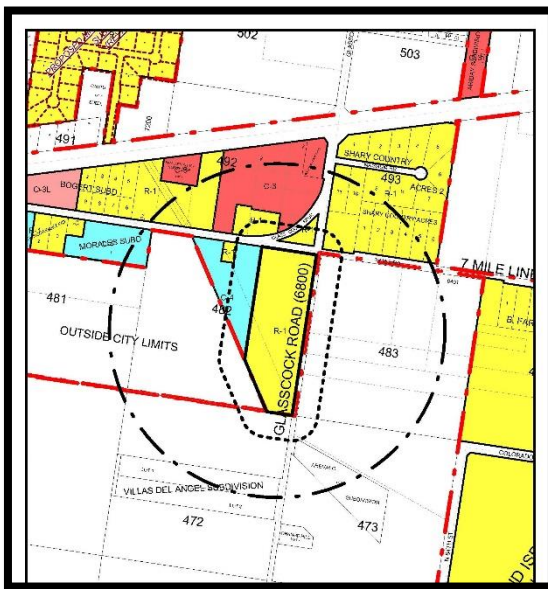
FROM: Planning Staff

DATE: July 31, 2020

SUBJECT: REQUEST OF DWIGHT H. JANDER, ON BEHALF OF SOUTH TEXAS ELECTRIC COOPERATIVE, INC., FOR A CONDITIONAL USE PERMIT (ELECTRICAL SUBSTATION), AT 12.23 ACRES TRACT OF LAND OUT OF LOT 482, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 6801 MILE 7 RD. (CUP2020-0072)

BRIEF DESCRIPTION:

The property is located on the southwest corner of Mile 7 Road and Glasscock Road. The tract has 450 feet of frontage along Mile 7 Road and a depth of 1,319. The adjacent zoning is R-1 (single-family residential) District and C-3 (general business) District to the north, C-4 (commercial-industrial) District to the west, and properties to the south and east are outside city limits within McAllen's Extra Territorial Jurisdiction.



REQUEST/ANALYSIS:

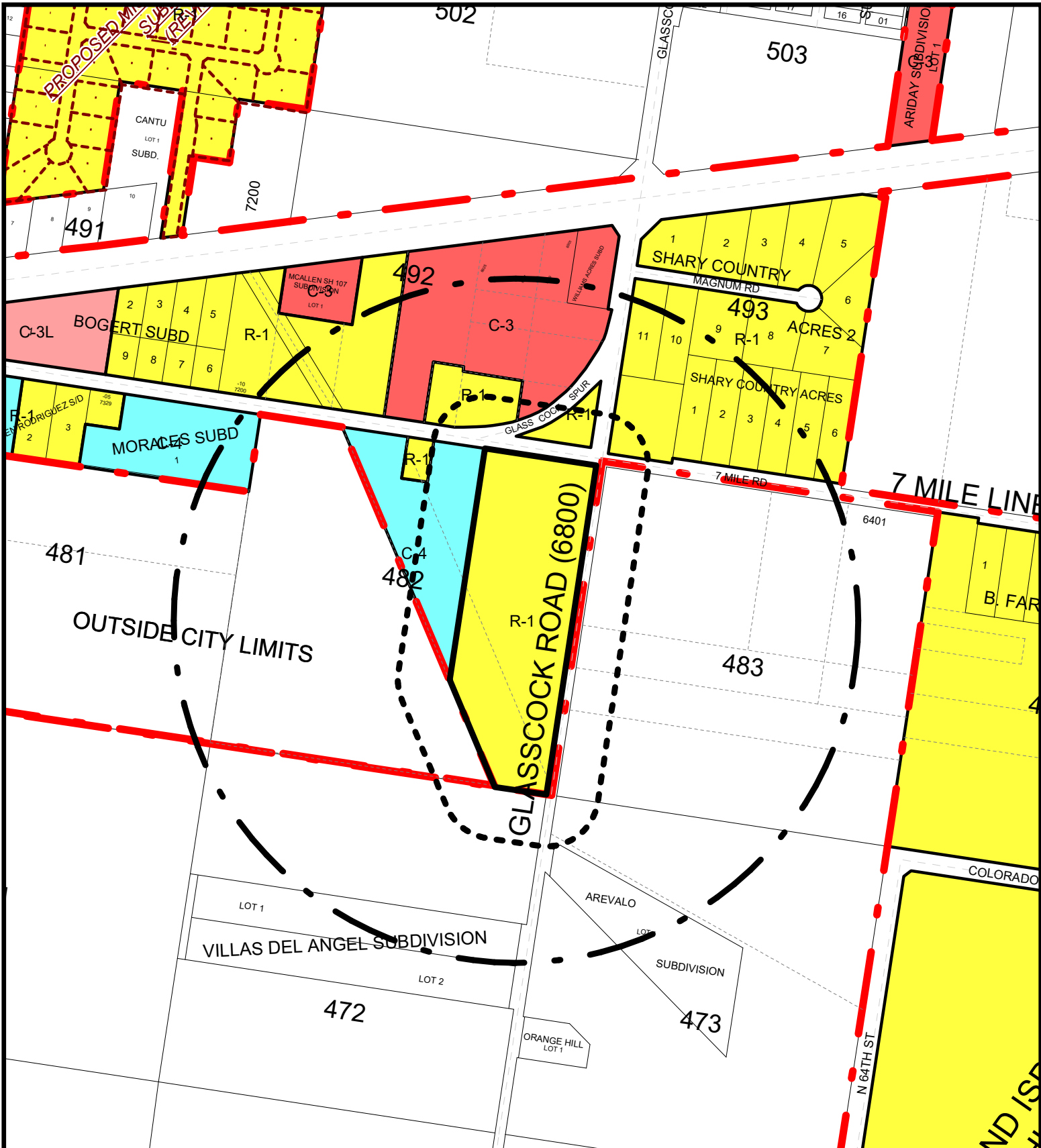
The applicant, South Texas Electric Cooperative, Inc. (STEC), is proposing to construct an electrical substation. The property will be subdivided should the Conditional Use Permit be approved by the City Commission for life of the use. The electric substation is proposed to be located on the north side of the property with access from the east side. A recorded subdivision plat is required prior to building permit issuance. The proposed development will subject to a buffer, landscaping, sidewalks, setbacks as established during the platting process and the fencing must comply with corner clip requirements.

1. The proposed electric substation shall meet all the minimum standards established in applicable city ordinances; and will not be detrimental to the health welfare and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring properties.
2. No form of pollution shall emanate beyond the immediate property line of the permitted use.
3. Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.
4. New railroad facilities and structures for private utilities, other than the usual poles, wires and underground utilities; shall require a permit.

No phone calls or emails have been received in opposition of the Conditional Use Permit request.

RECOMMENDATION:

Staff recommends approval of the Conditional Use Permit (CUP). The CUP should comply with sections 138-178 (7), conditions noted, paving and building permit requirements, and the subdivision and zoning ordinances.



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

AREA MAP

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS



ZONING LEGEND

A-0 (AGRICULTURAL & OPEN SPACE)
R-1 (SINGLE FAMILY RESIDENTIAL)
R-2 (DUPLEX-FOURPLEX)

R-3A (APARTMENTS)
R-3C (CONDOMINIUMS)
R-3T (TOWNHOUSES)

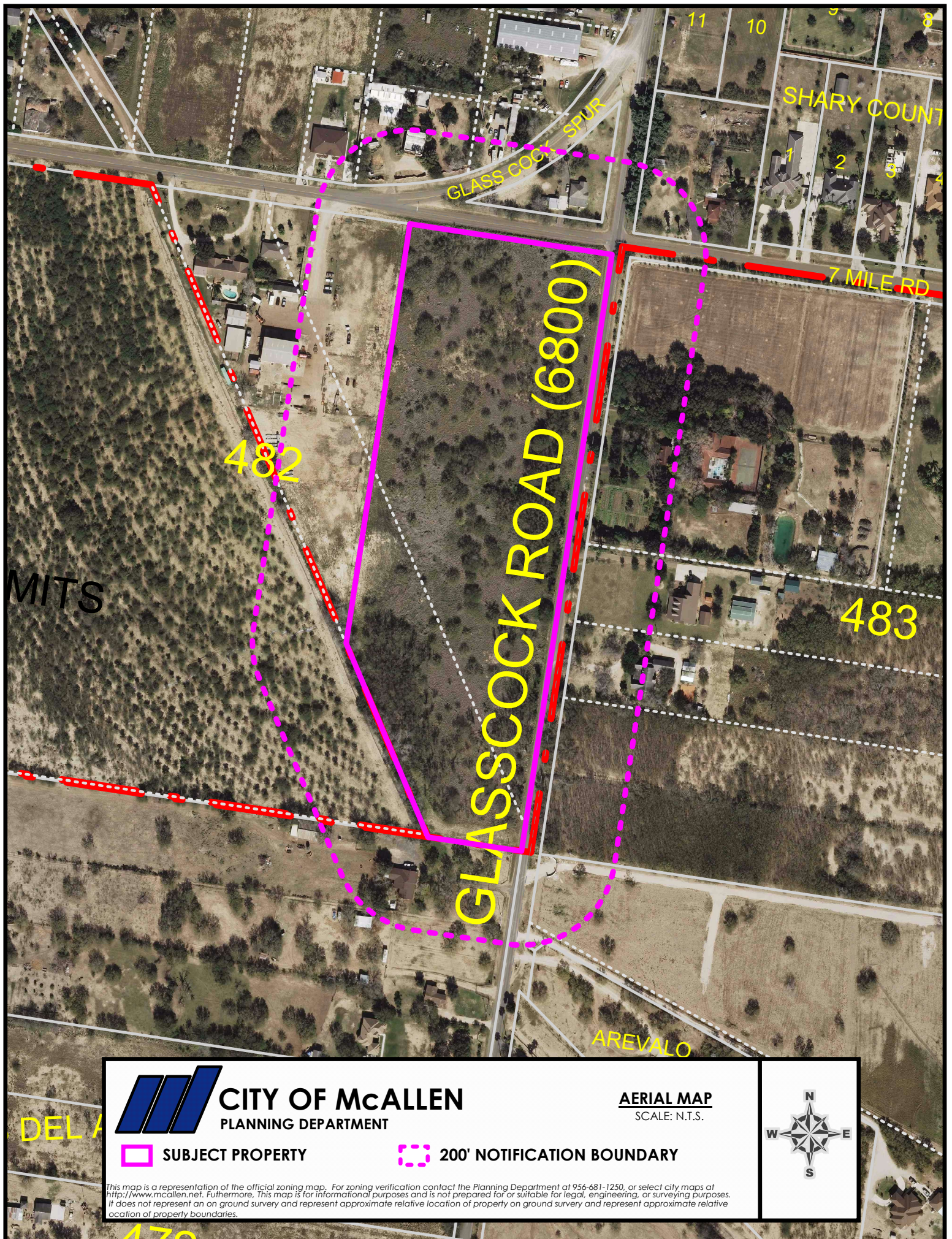
R-4 (MOBILE HOMES)
C-1 (OFFICE BUILDING)
C-2 (NEIGHBORHOOD COMMERCIAL)

C-3 (GENERAL BUSINESS)
C-3L (LIGHT COMMERCIAL)
C-4 (COMMERCIAL INDUSTRIAL)

I-1 (LIGHT INDUSTRIAL)
I-2 (HEAVY INDUSTRIAL)
S (SPECIAL DISTRICT)

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MARYLAND IS
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CITY OF McALLEN
PLANNING DEPARTMENT

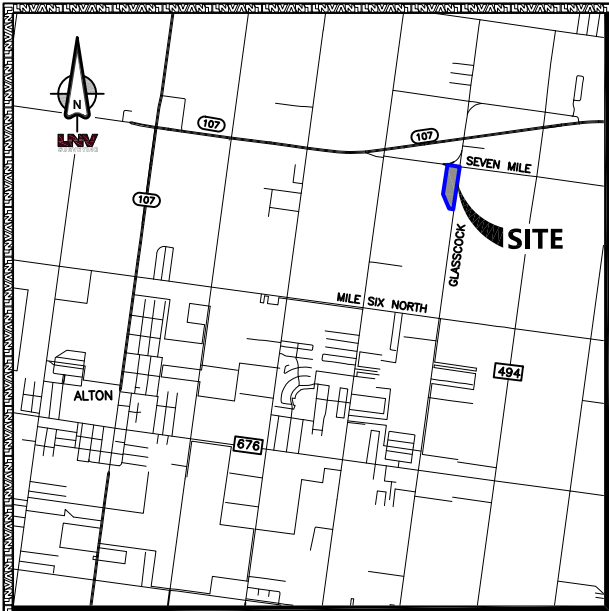
AERIAL MAP
SCALE: N.T.S.

 **SUBJECT PROPERTY**

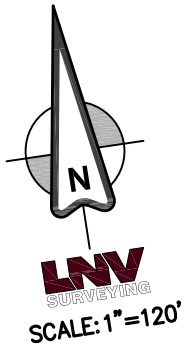
 **200' NOTIFICATION BOUNDARY**



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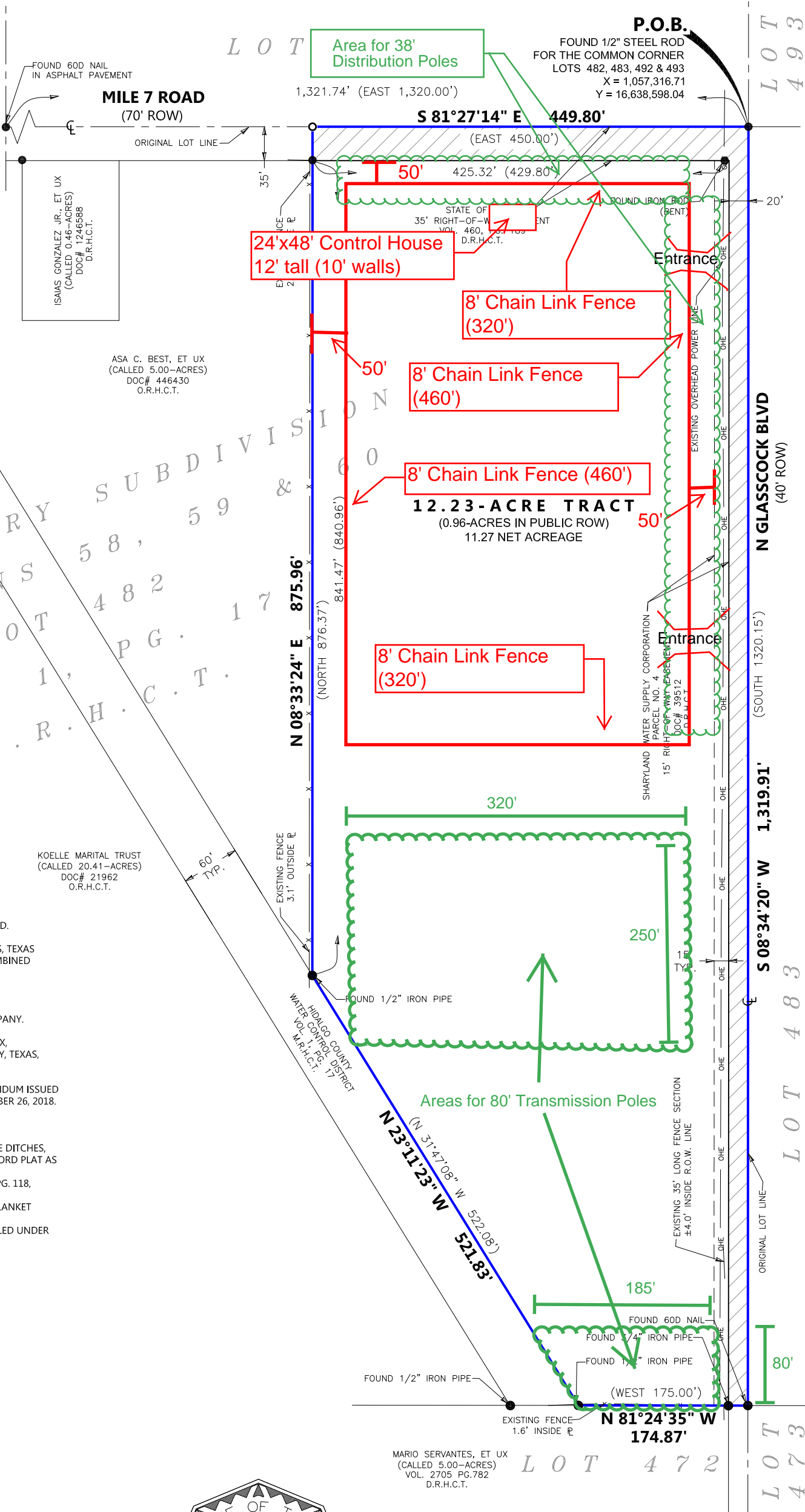
LOCATION MAP N.T.S.



- LEGEND:**
- UTILITY EASEMENT ———— X ———— X ————
FENCE LINE ———— X ———— X ————
OVERHEAD POWER LINE ———— OHE ———— OHE ————

- MONUMENTATION:**
- SET PK NAIL IN ASPHALT PAVEMENT
● FOUND 1/2" STEEL ROD, UNLESS NOTED OTHERWISE.

NET AREA 11.27 ACRES

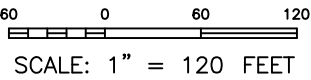


NOTES:

- ACCOMPANYING METES AND BOUNDS DESCRIPTION HAS BEEN PREPARED.
- BASIS OF BEARING OF THIS SURVEY IS GRID NORTH AS OBSERVED BY GPS, TEXAS COORDINATE SYSTEM OF 1983 (NAD83), SOUTH ZONE 4205, WITH A COMBINED SCALE FACTOR OF 0.999965586.
- PARENTHESIS INDICATE CALLED BEARING AND/OR DISTANCE.
- ALL TITLE RESEARCH HAS BEEN PERFORMED BY VALLEY LAND TITLE COMPANY.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE X, ACCORDING TO THE FLOOD INSURANCE RATE MAP OF HIDALGO COUNTY, TEXAS, PANEL NO. 480334 0295 D, EFFECTIVE DATE: JUNE 6, 2000.
- THIS SURVEY HAS BEEN PREPARED TO ACCOMPANY THE TITLE MEMORANDUM ISSUED BY VALLEY LAND TITLE COMPANY, GF #159004, EFFECTIVE DATE: SEPTEMBER 26, 2018. ALL APPLICABLE, PLOTTABLE SCHEDULE B ITEMS ARE SHOWN HEREON.
- ALL NON-PLOTTABLE SCHEDULE B ITEMS ARE AS FOLLOWS:
 - EASEMENT FOR ROADWAYS, CANAL RIGHTS OF WAY AND DRAINAGE DITCHES, VOL. 596, PG. 103, D.R.H.C.T. (SAME INFORMATION SHOWN ON RECORD PLAT AS RECORDED IN VOL. 1, PG. 17, M.R.H.C.T.)
 - SHARYLAND WATER SUPPLY CORPORATION EASEMENT, VOL. 1602, PG. 118, D.R.H.C.T. (SAME AS DOC. #39512, D.R.H.C.T. SHOWN HEREIN)
 - TASCA EXPLORATION COMPANY LEASE, DOC. #725475, O.R.H.C.T. (BLANKET EASEMENT)
 - SMITH PRODUCTION, INC. LEASE, DOC. #1305006, O.R.H.C.T. ALSO FILED UNDER DOC. #2005-1482349, O.R.H.C.T. (BLANKET EASEMENT)

REFERENCES:

- M.R.H.C.T. MAP RECORDS, HIDALGO COUNTY, TEXAS
D.R.H.C.T. DEED RECORDS, HIDALGO COUNTY, TEXAS
O.R.H.C.T. OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS
P.O.B. POINT OF BEGINNING



SOUTH TEXAS ELECTRIC COOPERATIVE



801 NAVIGATION, SUITE 300
CORPUS CHRISTI, TX 78408
PH. (361) 883-1984
FAX (361) 883-1986
WWW.LNVINC.COM

130188.320.2
SOUTH TEXAS ELECTRIC
COOPERATIVE

ACCT. NO. _____
PAGE 1 OF 1

12.23 ACRES (532,480 SQ.FT.)

I HEREBY CERTIFY THAT:

THIS SURVEY WAS PREPARED BASED
ON A SURVEY MADE ON THE GROUND
UNDER MY DIRECT SUPERVISION.

THIS 5TH DAY OF DECEMBER, 2018
A.D.

SALVADOR A. SALAS
REGISTERED PROFESSIONAL LAND SURVEYOR
LICENSE NO. 6612



BOUNDARY SURVEY

SHOWING THE BOUNDARY OF A 12.23-ACRE TRACT OF LAND DESCRIBED IN A DEED TO MICHAEL A. HERNANDEZ AS RECORDED IN DOCUMENT NO. 509565, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, BEING OUT OF A CALLED 16.56-ACRE TRACT DESCRIBED IN A DEED TO VINCE BORIN, ET UX AS RECORDED IN DOCUMENT NO. 38309, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, SAME BEING THE EAST PORTION OF LOT 482 OF THE JOHN H. SHARY SUBDIVISION, A MAP OF WHICH IS RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND BEING OUT OF THE NICOLAS BOCANEGRA SURVEY "PORCION NO. 58", ABSTRACT 27, IN HIDALGO COUNTY, TEXAS.



NOTICE
ELECTRIC
SUBSTATION
THIS PROPERTY
CUP2025-0072

Memo

TO: Planning and Zoning Commission

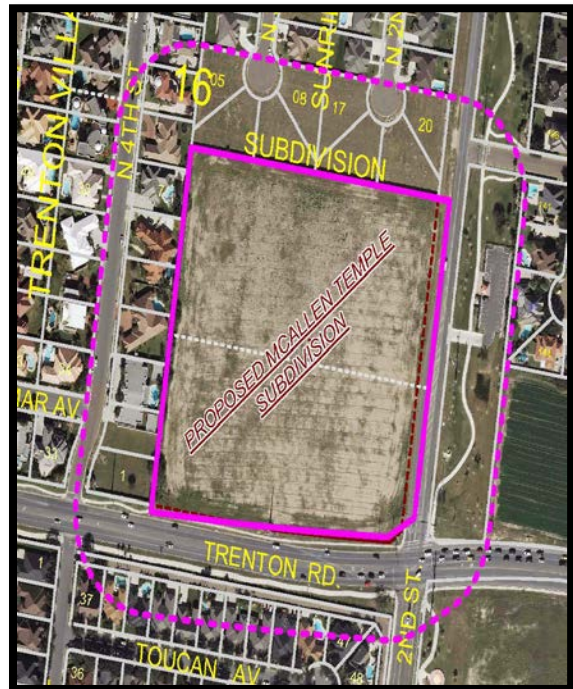
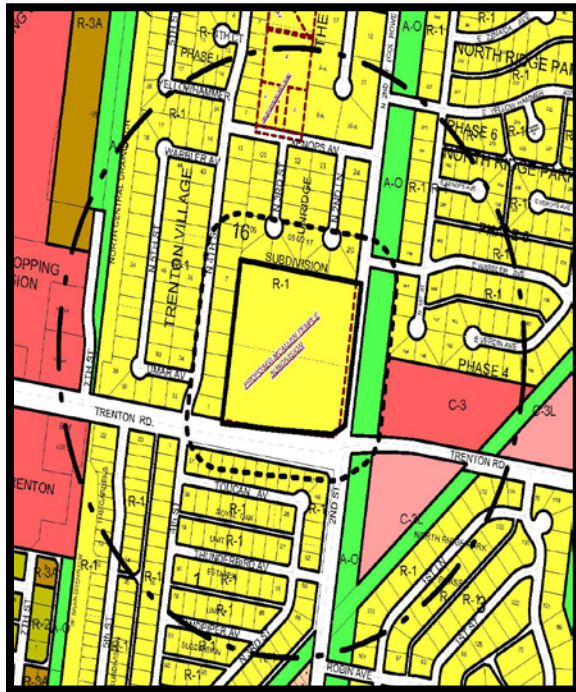
FROM: Planning Staff

DATE: July 29, 2020

SUBJECT: REQUEST OF JARED W. DOXEY, ON BEHALF OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, FOR AN INSTITUTIONAL USE (CHURCH) AT A 10.615-ACRE TRACT OF LAND OUT OF LOT 16, SECTION 13, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 7301 NORTH 2ND STREET.(CUP2020-0057)

BRIEF DESCRIPTION:

The property is located at the northwest corner of North 2nd Street and Trenton Road. It is zoned R-1 (single family) District. The adjacent zoning is R-1 in all directions, and A-O (agricultural-open space), C-3(general business) to the east and C-3L (light commercial) District to the southeast. Surrounding land uses include single-family residences and vacant land. An institutional use is permitted in an R-1 zone with conditional use permit and in compliance with requirements.



HISTORY:

A subdivision submitted under the name McAllen Temple was approved in its preliminary form by the Planning and Zoning Commission meeting of March 3, 2020.

REQUEST/ANALYSIS:

The applicant is proposing to construct two buildings for a church and church related uses on the 10.615-acre vacant land.

The first building (meeting house) approximately 19,263 sq. ft., consists of 15 rooms, 9 offices, both women and men restrooms, as well as women and men dressing rooms, a basketball court and a chapel. The chapel has 40 pews, for a seating area capacity of approximately 150 people. Its primary use is for religious worship. It's scheduled to operate from Tuesday through Saturday from 5:00AM to 10:00 PM.

The second building approximately 29,732 sq. ft. consists of 5 instructional rooms, 4 offices, both women and men restrooms, a lobby and multiple dressing rooms. The temple is scheduled to be used mainly on Sundays from 7:00AM to 4:00PM and for smaller activities on Tuesday, Wednesday and Thursday nights from 6:00PM to 10:00PM.

Based on the number of seats in the main sanctuary, 52 parking spaces are required for the church building, of which 4 parking spaces must be van accessible with an 8 ft. aisle. Two hundred and forty parking spaces are proposed; 16 van accessible parking spaces are proposed. Additional parking may be required for the second building.

A landscape plan has yet not been submitted.

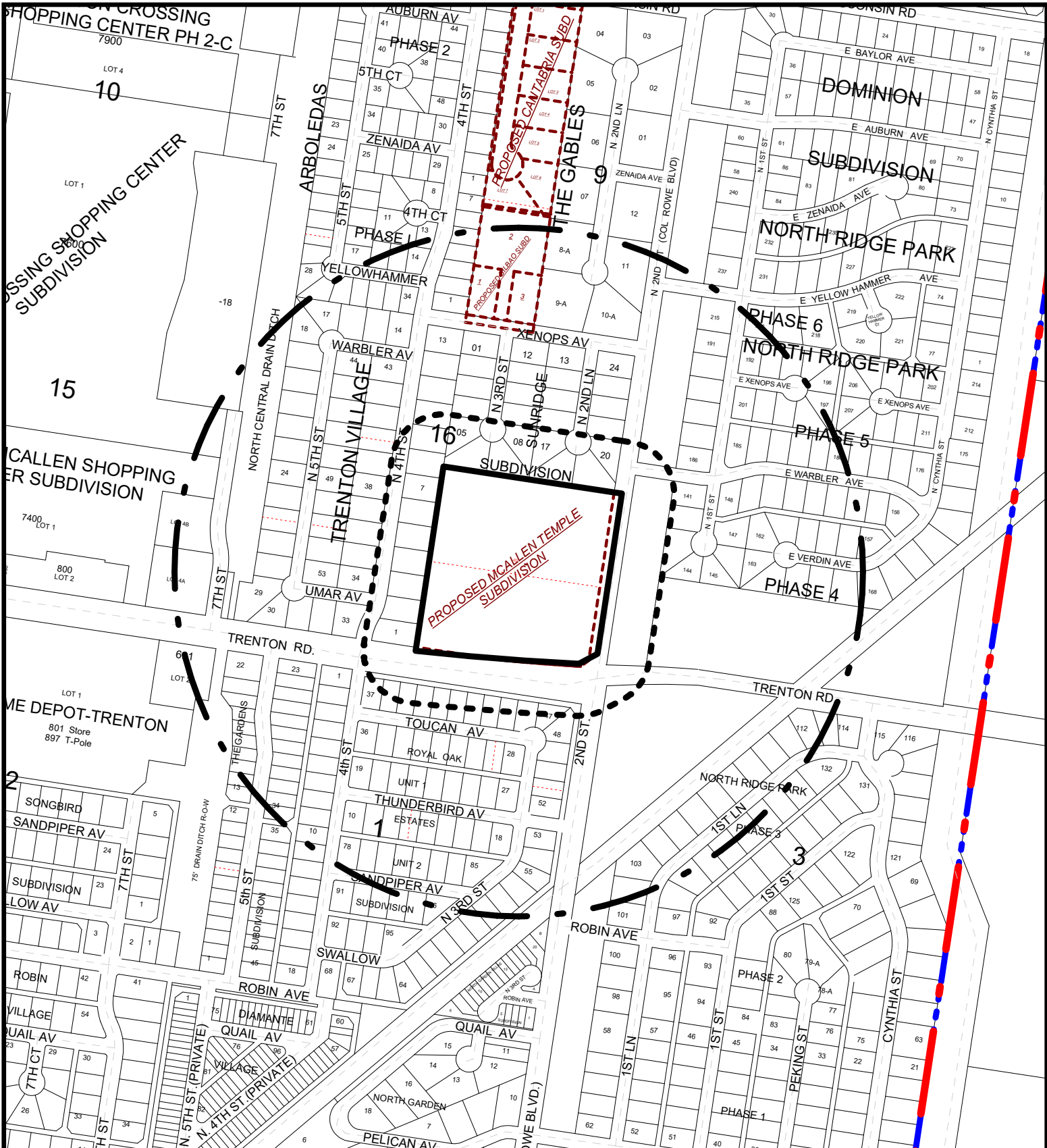
The Fire Department has not conducted the necessary inspections since the property is vacant. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:


- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts Trenton Road and North 2nd Street.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 150 seats in the main sanctuary, offices and instructional rooms, 52 parking spaces are required; 240 parking spaces are proposed. The parking must be clear of potholes and properly striped per city requirements. Additional parking may be required for the second building.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;

- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence. A 6 ft. opaque fence will need to be provided along the north and west property line.

RECOMMENDATION:


Authorized agent has requested to withdrawn the application.







CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.


 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

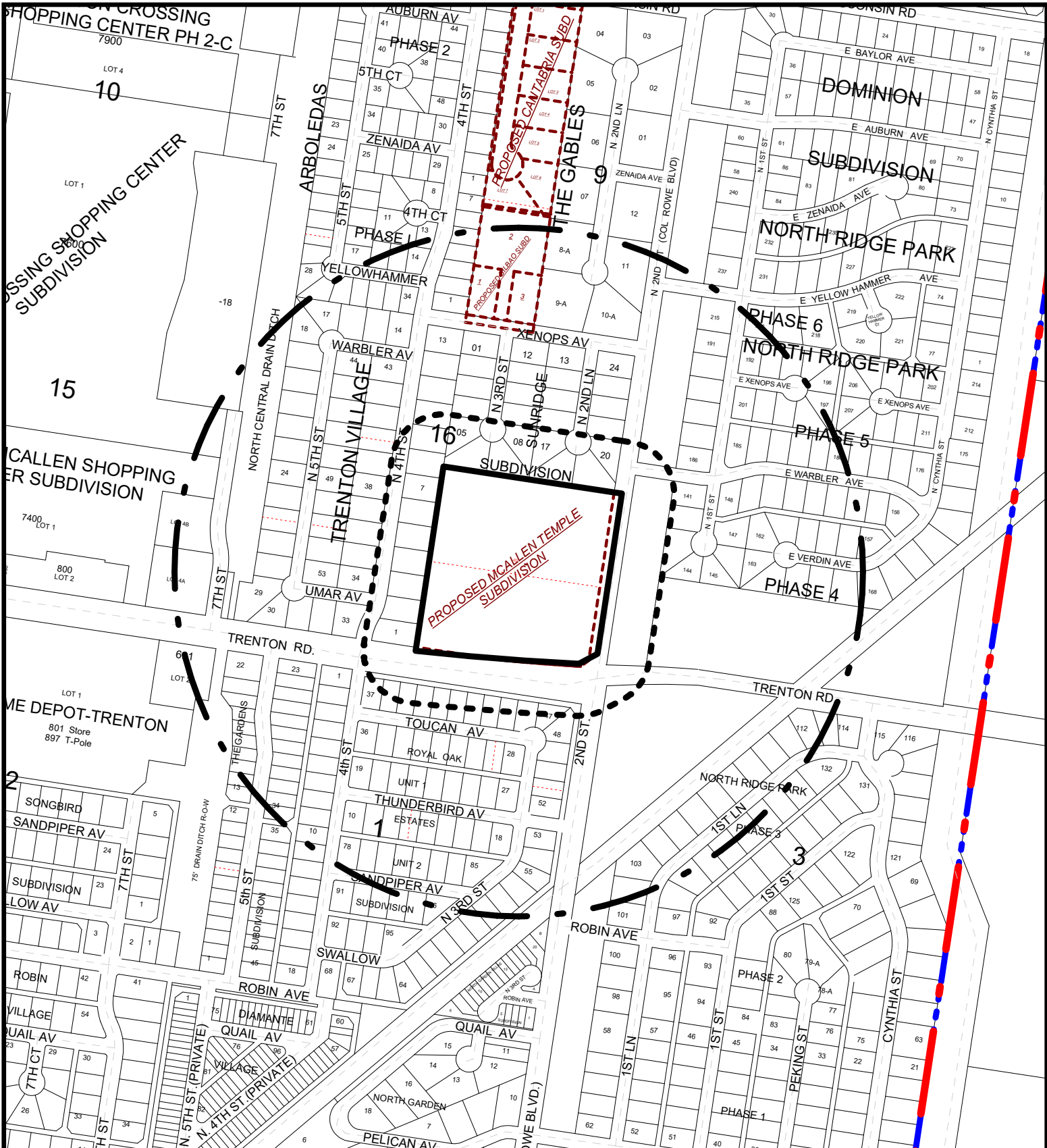
ZONING LEGEND


| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | (SPECIAL DISTRICT) |



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STEELE &







CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.


 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

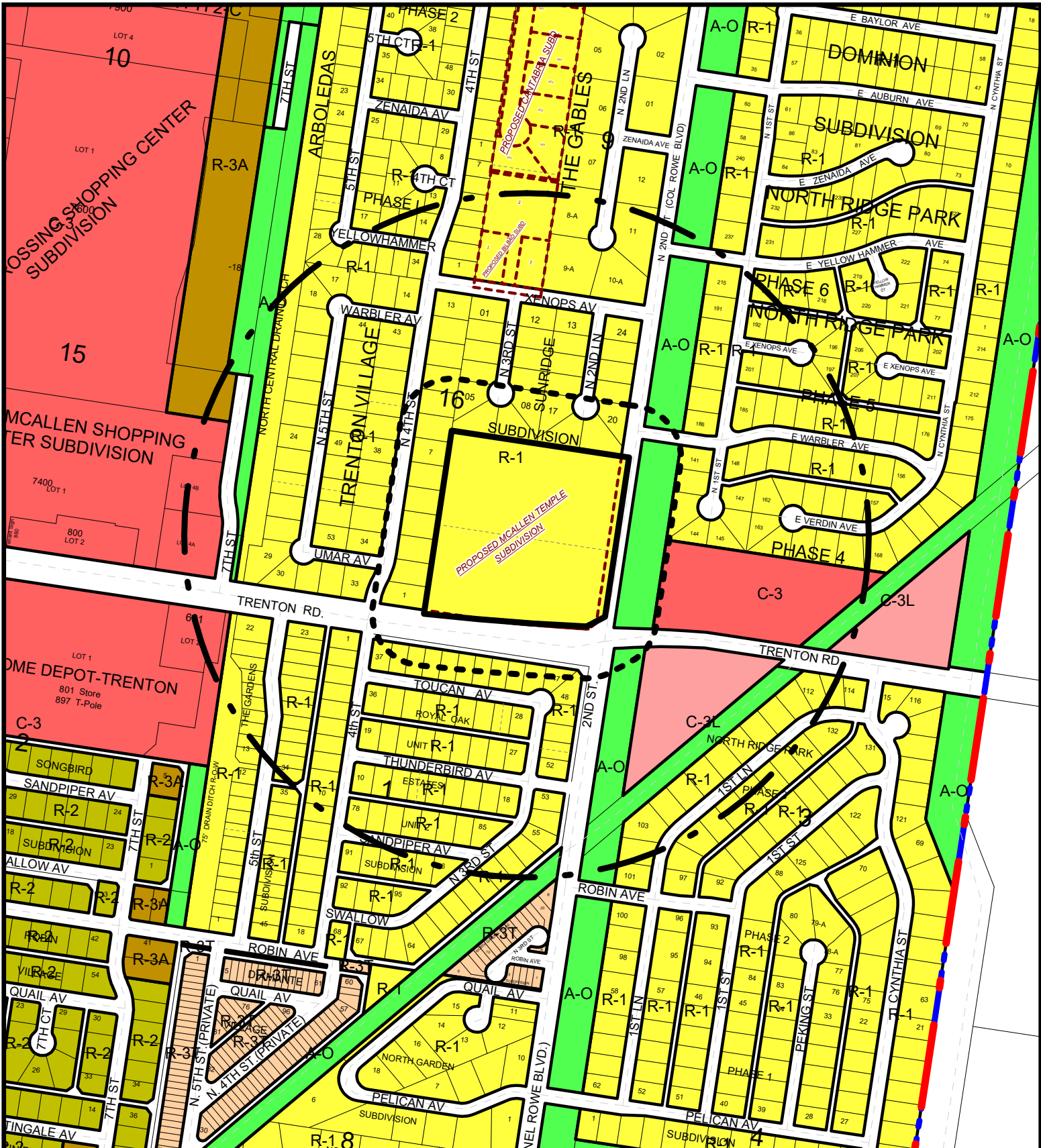
ZONING LEGEND

| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-O (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
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STEELE &



CITY OF McALLEN PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

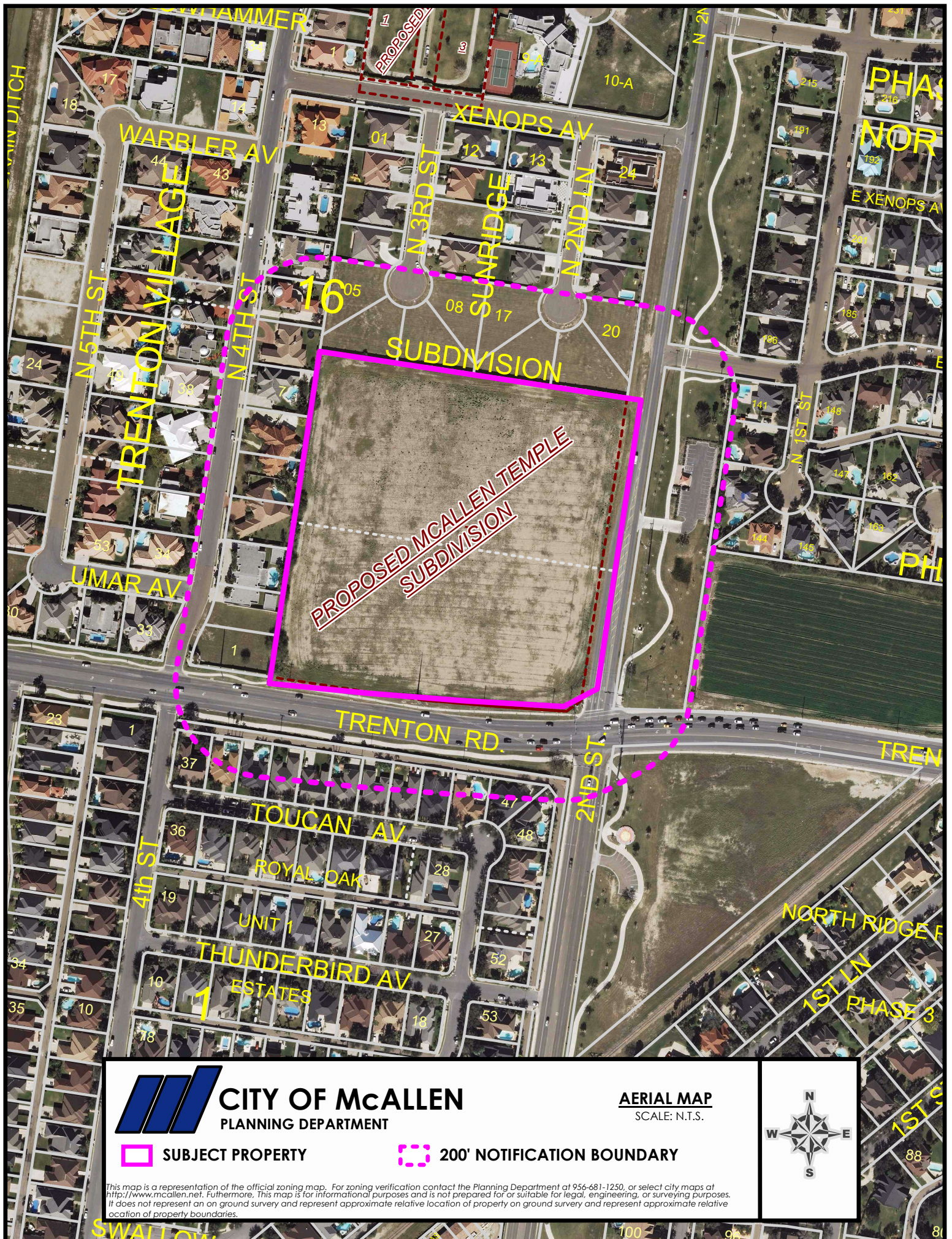


ZONING LEGEND

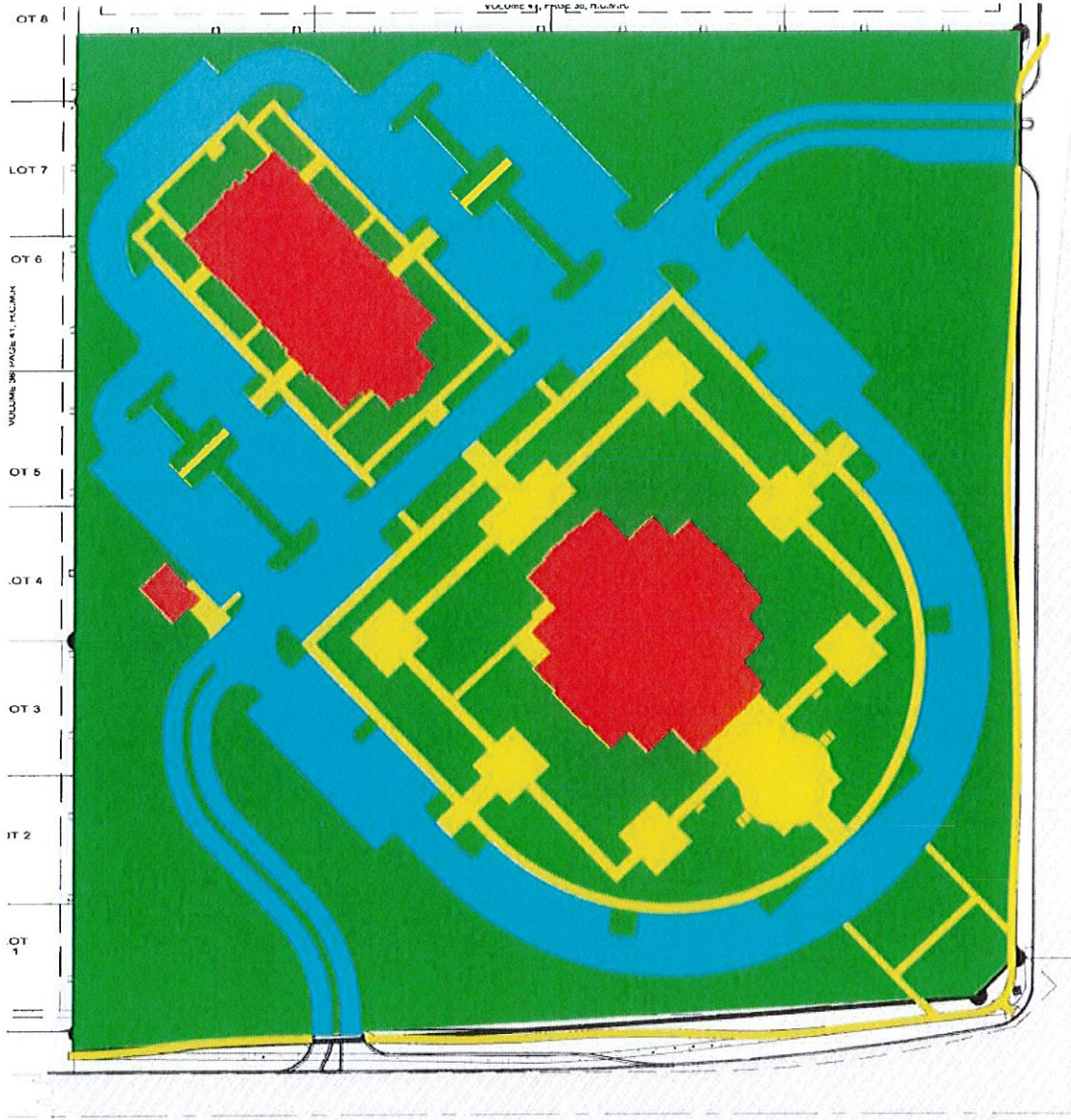
| | | | | |
|---------------------------------|---------------------|-------------------------------|-----------------------------|------------------------|
| A-0 (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS) | R-4 (MOBILE HOMES) | C-3 (GENERAL BUSINESS) | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-1 (OFFICE BUILDING) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLIX-FOURPLEX) | R-3T (TOWNHOUSES) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-4 (COMMERCIAL INDUSTRIAL) | S (SPECIAL DISTRICT) |

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STEELE



PROPOSED SITE



SCALE: NOT TO SCALE

Legend:

- Pervious:
- Roofs:
- Drives:
- Walks:

Proposed Weighted C Calculation

| Land Use: | "c" value: | Square Footage | Acreage | partial "c" |
|---------------------------------|------------|----------------|---------|-------------|
| Heavy soil, flat, 2% - Pervious | 0.2 | 238,343 | 5.472 | 1.094 |
| Roofs: | 0.95 | 38,122 | 0.875 | 0.831 |
| Drives: | 0.95 | 133,801 | 3.072 | 2.918 |
| Walks: | 0.95 | 50,097 | 1.150 | 1.093 |
| Total: | | 460362.51 | 10.568 | 5.936 |
| Weighted "c": | | | 0.562 | |

RECEIVED

MAY 20 2020

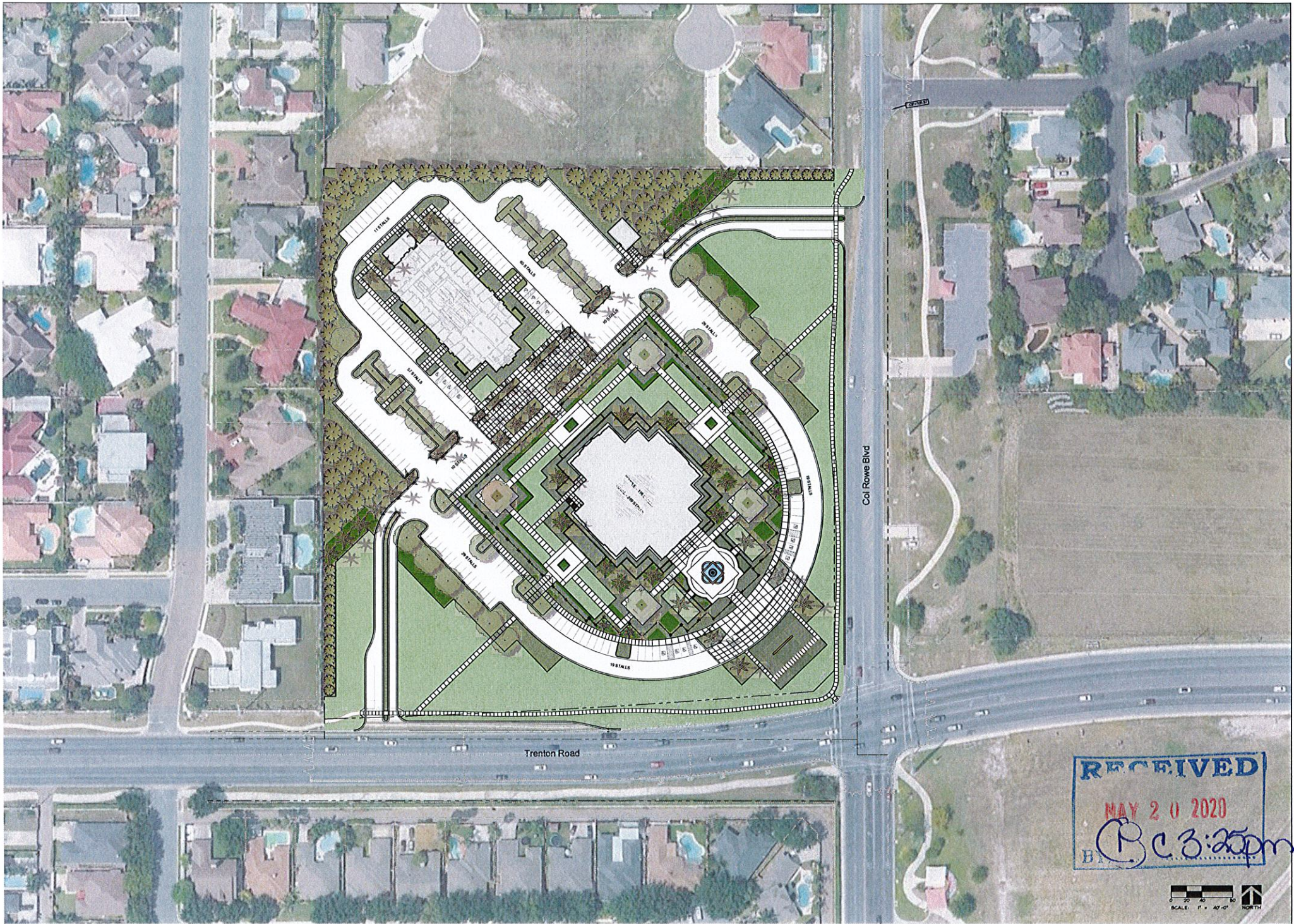
BY: *Be 3:25pm*



TBPLS No. 10096900

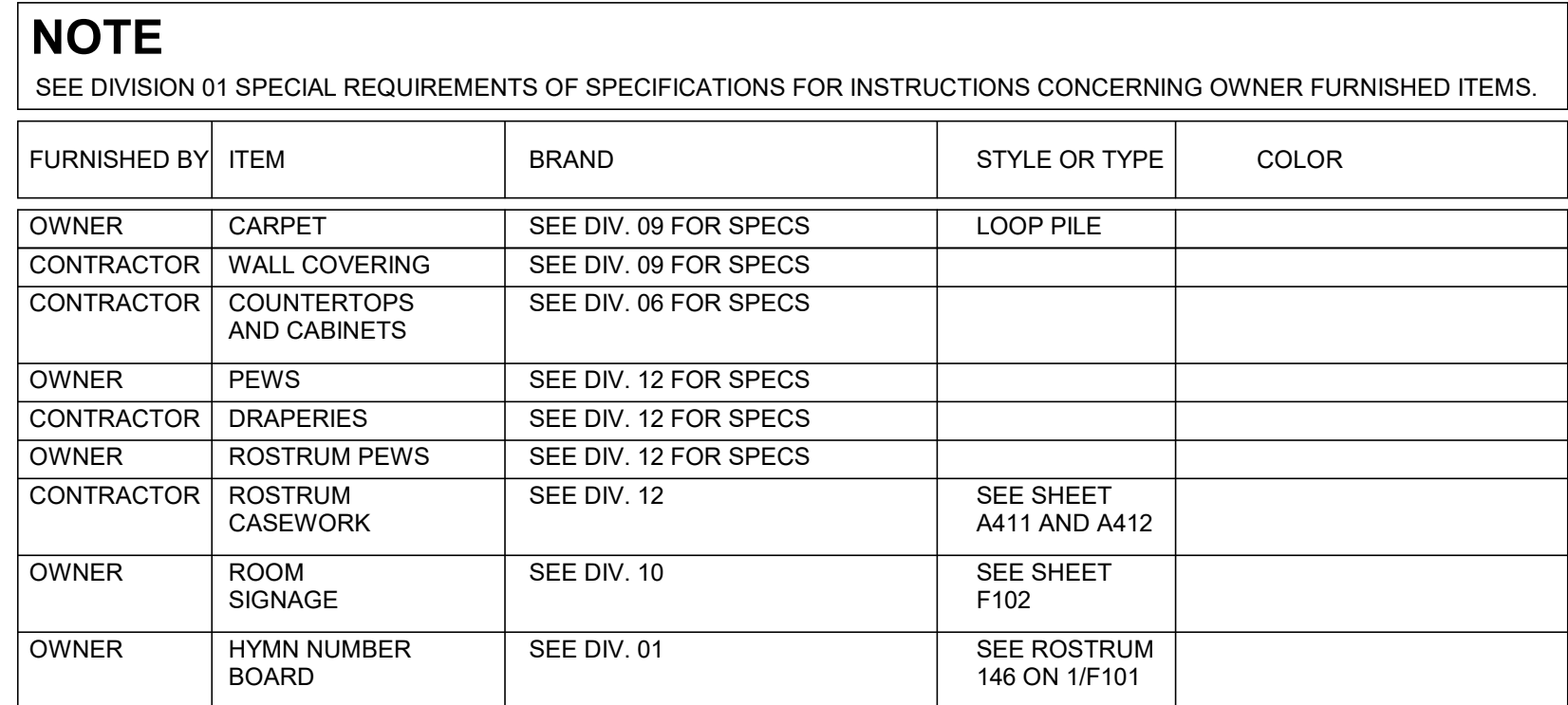
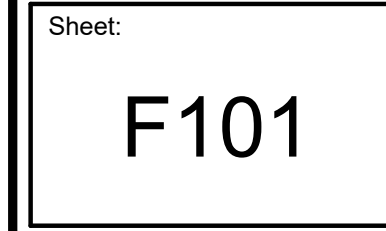
MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



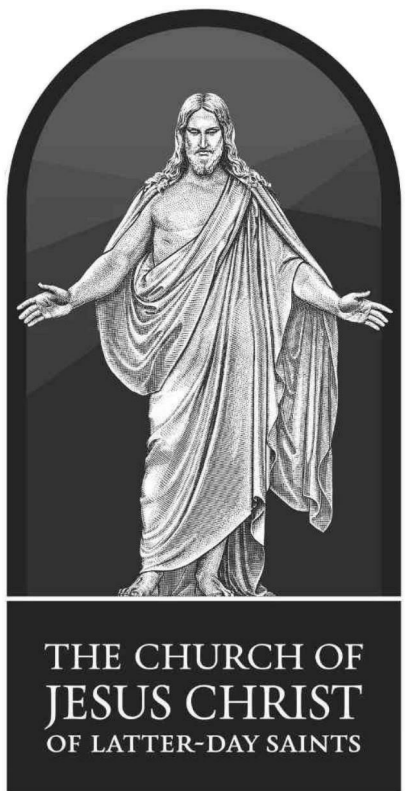
RECEIVED
MAY 20 2020
B. C. 3:20pm

0 20 40 60
SCALE: 1" = 40'-0"
NORTH



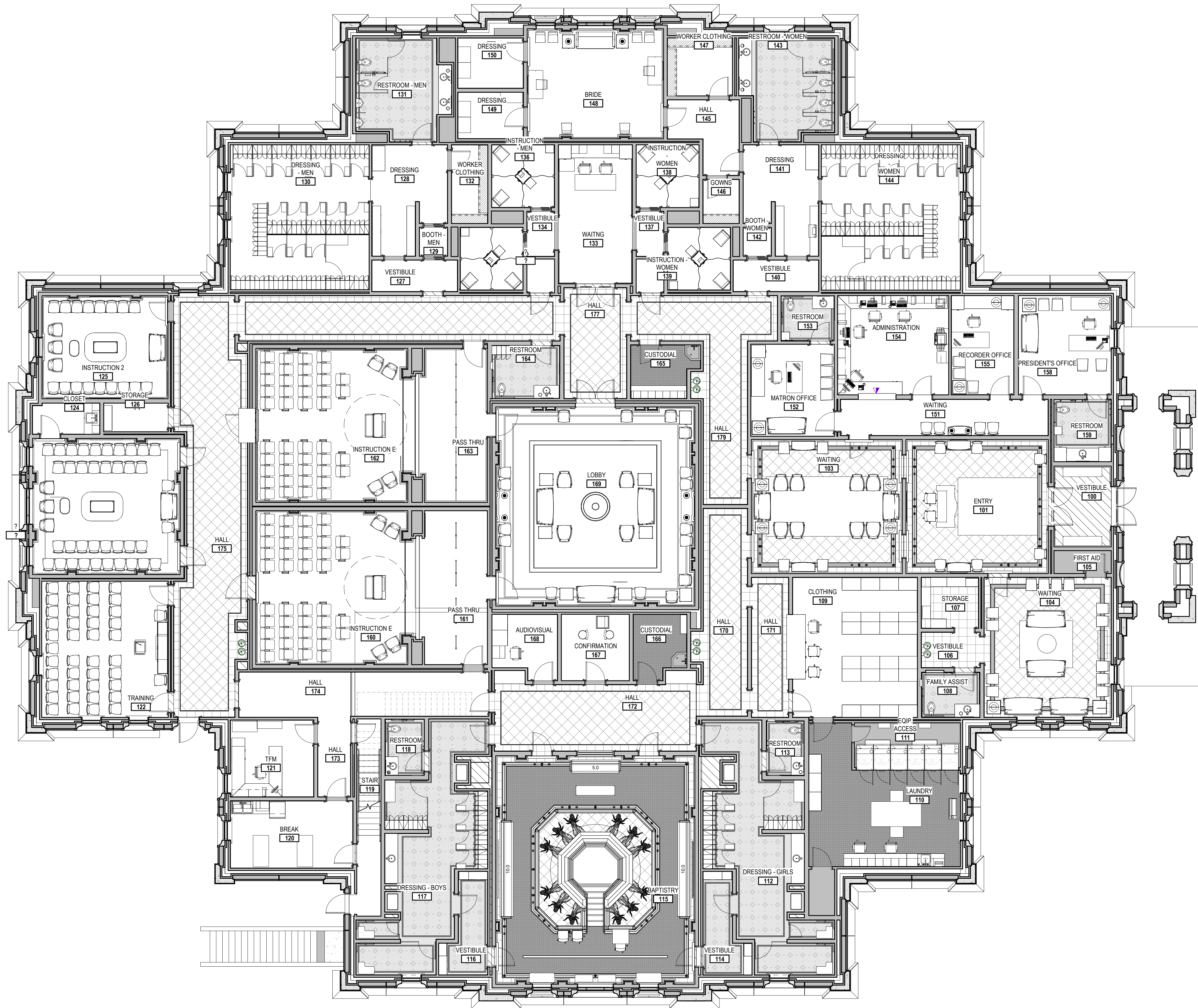
GENERAL FURNITURE NOTES

1. ALL FURNITURE SUPPLIED BY OWNER. LOCATION SHOWN FOR REFERENCE ONLY

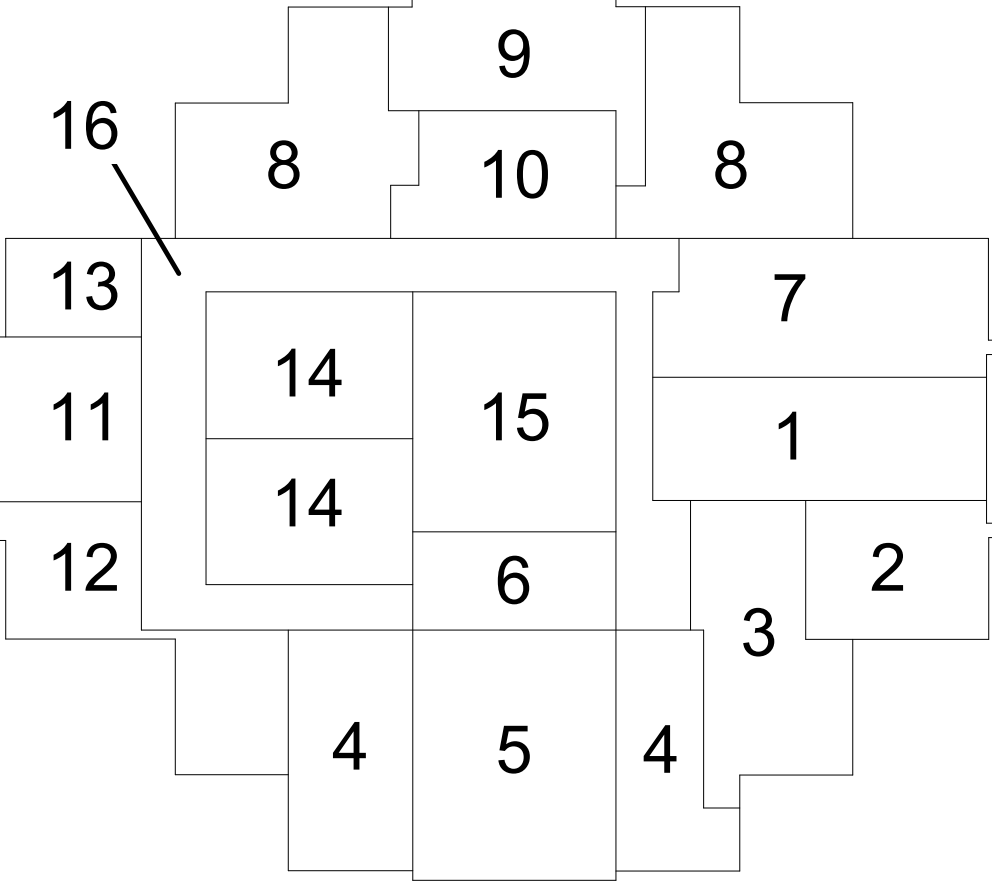


| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

VCBO NUMBER: 19614
CLIENT NUMBER: 00000
DATE: 19 MAY 2020



KEY PLAN





NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2020-0057



TBPE Firm # F-1435
TBPLS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

FRED L. KURTH • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • MARIO A. REYNA • RUBEN JAMES DE JESUS

July 15, 2020

City of McAllen Planning Department
Attn: Mr. Edgar Garcia, Director of Planning
311 N. 15th St.
McAllen, Texas 78501

Re: Request for withdrawal of Conditional Use Permit McAllen Temple Subdivision

Dear Mr. Garcia:

On behalf of the developer, The Church of Jesus Christ of Latter-Day Saints, Melden & Hunt, Inc. formally asks the City to withdraw our request for the conditional use permit submitted to your office May 20, 2020 for the following described property legal:

10.615 acres of land, more or less,
out of Lot 16, Block 13, Hidalgo Canal Company's Subdivision,
as per map or plat thereof recorded in Volume "Q", Page 177,
Hidalgo County Deed Records, McAllen, Hidalgo County, Texas.

If you have any questions, please feel free to call our office at 381-0981.

Respectfully,

Mario A. Reyna, P.E.
Vice-President

Memo

TO: Planning and Zoning Commission

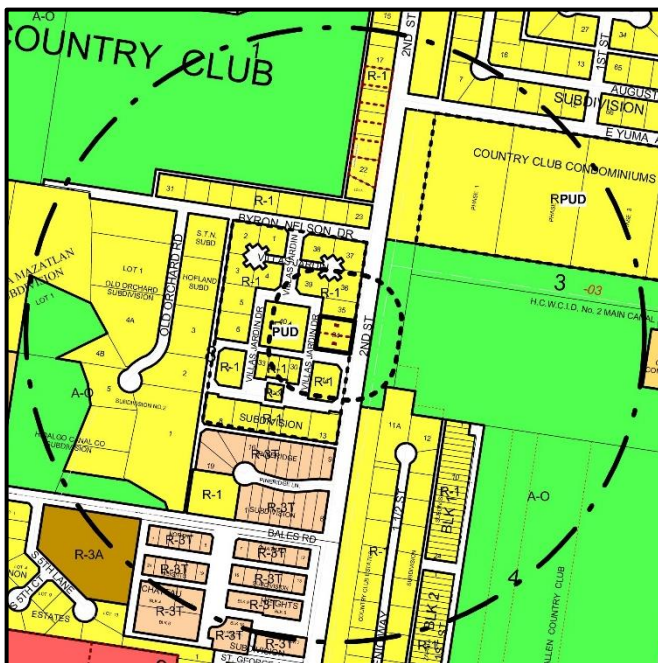
FROM: Planning Staff

DATE: July 30, 2020

SUBJECT: REQUEST OF MELISSA WEST ON BEHALF OF VILLAS JARDIN HOMEOWNERS ASSOCIATION, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, FOR A PLANNED UNIT DEVELOPMENT (RESIDENTIAL USE) AT LOT 34, AMENDED MAP OF VILLAS JARDIN SUBDIVISION, HIDALGO COUNTY, TEXAS; 301 BYRON NELSON DRIVE. (CUP2020-0071).

BRIEF DESCRIPTION:

The property is located on the west side of South 2nd Street, approximately 340 ft. south of Byron Nelson Drive and is zoned R-1 (single-family residential) District. The tract has 140 ft. of frontage along Villas Jardin Drive (private street) and a depth of 149 ft. that comprises a total area of 20,860 sq. ft. The adjacent zoning is A-O (agricultural and open space) District to the east and R-1 District to the north, west, and south. Surrounding land uses include single-family and multifamily residences and a golf course. A Planned Unit Development is permitted in an R-1 District with a conditional use permit subject to compliance with Article IV, Planned Developments, of the Subdivision Ordinance.



HISTORY:

The City Commission approved the initial conditional use permit for a Planned Unit Development for life of the use on December 18, 1979. Two amended conditional use permits were approved by the City Commission on April 25, 1988, and March 22, 2004. The original plat was recorded on

October 28, 1981, and the amended plat was recorded on September 28, 1988. A request to replat Lot 34 into Lots 34A and 34B was approved in preliminary form by the Planning and Zoning Commission on June 16, 2020.

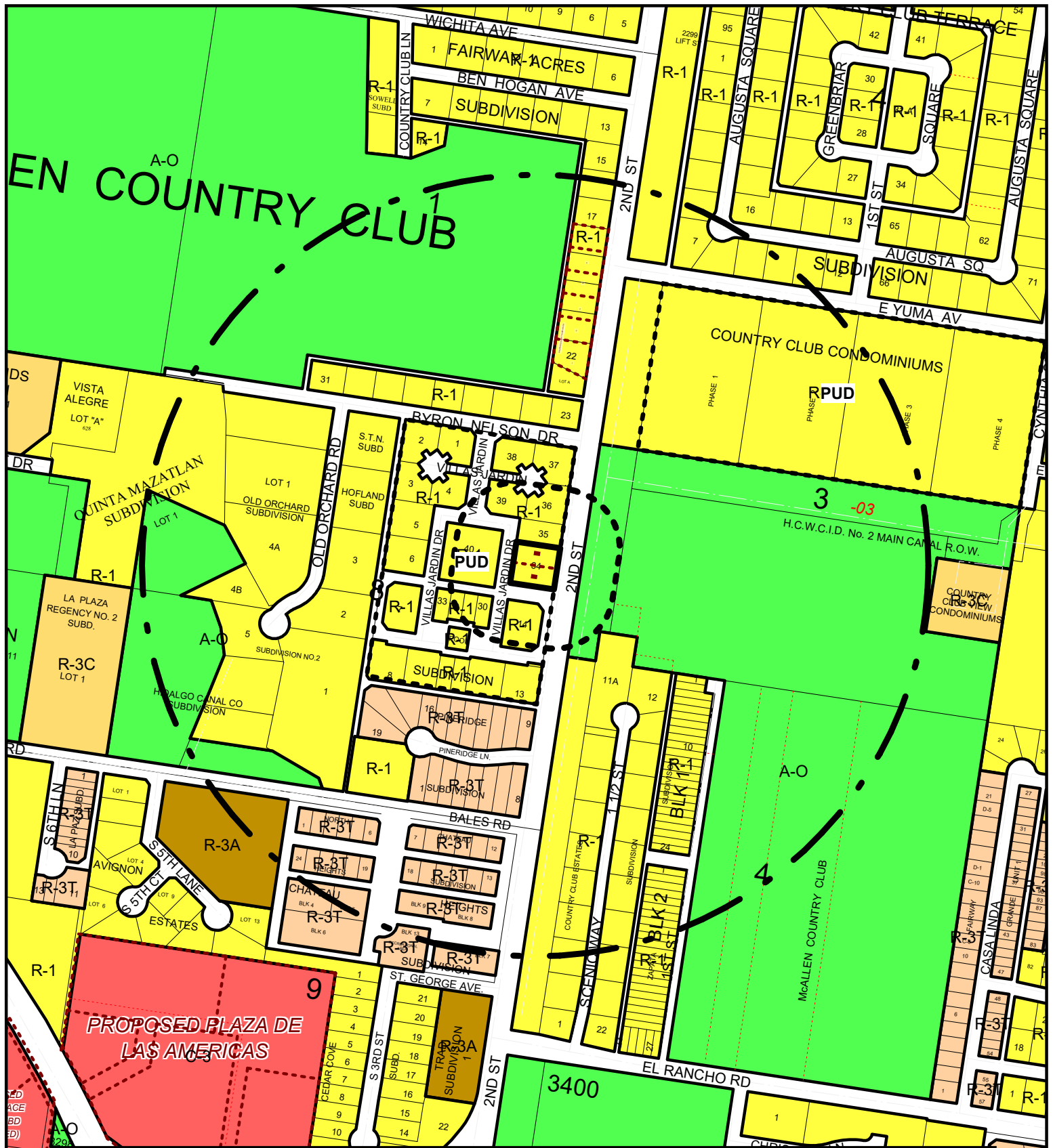
REQUEST/ANALYSIS:


The current use of the subject property is recreational (tennis court). The property is part of Amended Map of Villas Jardin Subdivision, consisting of twenty-five (25) lots. The applicant is proposing to amend the site plan (Lot 34) of the existing Planned Unit Development to construct two single-family residences. Lot 34 is proposed to no longer be used as tennis courts. All other applicable original plat notes will carry over to the proposed plat as well as site plans and restrictions of the Planned Unit Development, which will remain as initially required and approved.

Planned unit developments allow various land uses that complement each other within the development and with existing land uses in the vicinity. Site plan approval is required to comply with off-street parking, landscape, fire, building, and other applicable requirements. A recorded subdivision plat and approval of the site plan is required prior to issuance of building permits.

RECOMMENDATION:

Staff recommends approval of the request.







CITY OF McALLEN
PLANNING DEPARTMENT


LEGEND
SCALE: N.T.S.

AREA MAP






SUBJECT PROPERTY



200 FT. NOTIFICATION BOUNDARY



1/4 MILE RADIUS

ZONING LEGEND

| |
|---|
| <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <div style="background-color: #90EE90; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> A-0 (AGRICULTURAL & OPEN SPACE) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-1 (SINGLE FAMILY RESIDENTIAL) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-2 (DUPLEX-FOURPLEX) </div> </div> <div style="width: 45%;"> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-3A (APARTMENTS) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-3C (CONDOMINIUMS) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-3T (TOWNHOUSES) </div> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> R-4 (MOBILE HOMES) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> C-1 (OFFICE BUILDING) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> C-2 (NEIGHBORHOOD COMMERCIAL) </div> </div> <div style="width: 45%;"> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> C-3 (GENERAL BUSINESS) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> C-3L (LIGHT COMMERCIAL) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> C-4 (COMMERCIAL INDUSTRIAL) </div> </div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> I-1 (LIGHT INDUSTRIAL) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> I-2 (HEAVY INDUSTRIAL) </div> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> S (SPECIAL DISTRICT) </div> </div> <div style="width: 45%;"> <div style="background-color: #FFD700; border: 1px solid black; margin-bottom: 5px; display: flex; align-items: center; padding: 2px;"> S (SPECIAL DISTRICT) </div> </div> </div> |
|---|

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CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



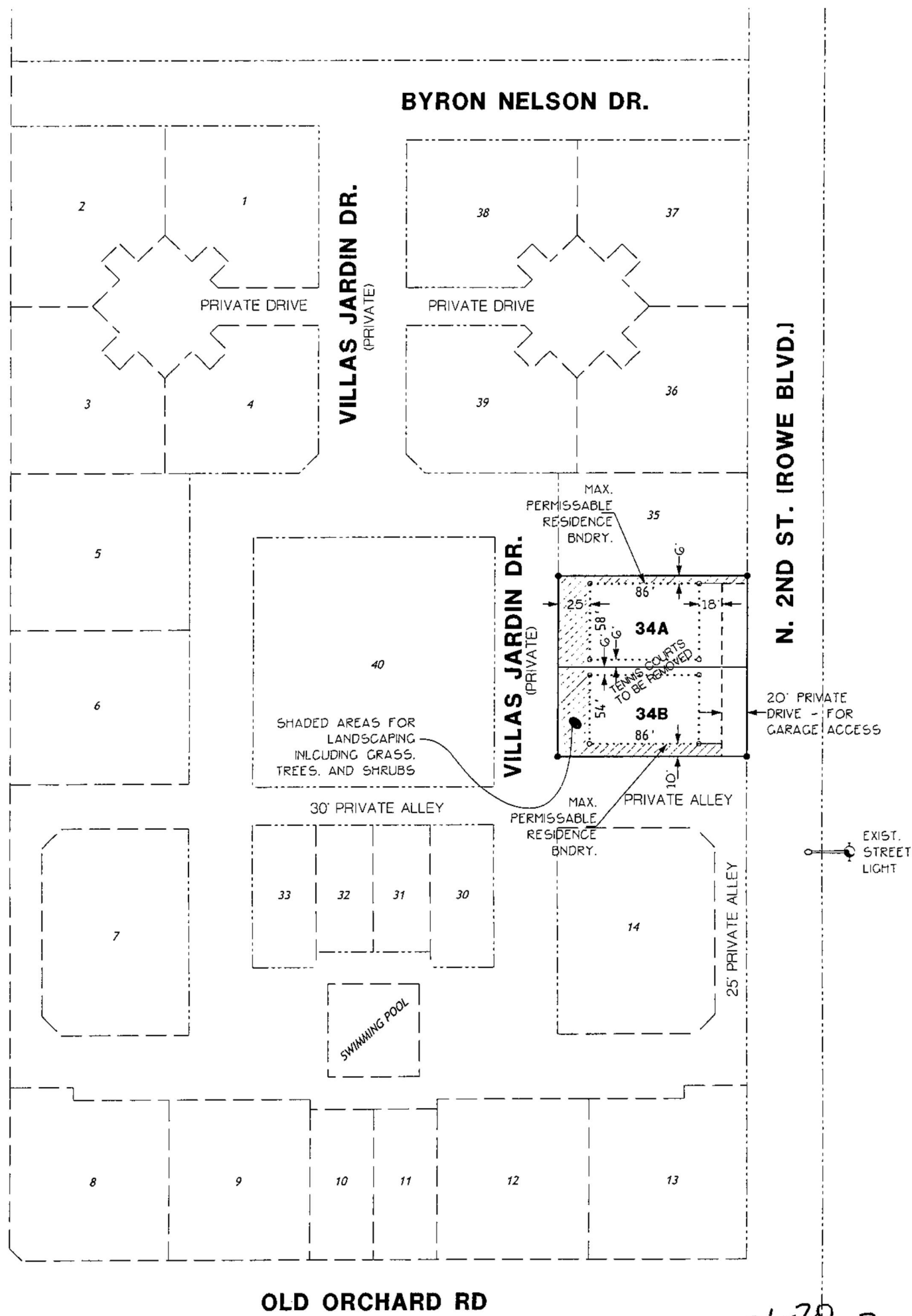
SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



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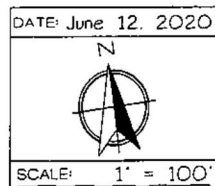


Rev. 06-26-20
 Add dimensions &
 Add landscape note
 06-26-20
[Signature]

SITE PLAN


FOR

VILLAS JARDIN, AMENDED
 CITY OF MCALLEN, HIDALGO COUNTY, TEXAS
 RECORDED IN VOLUME 25, PG. 150 HIDALGO
 COUNTY MAP RECORDS



DATE: June 12, 2020 Prepared by:
Spoor Engineering Consultants, Inc.
 Consulting Engineers - Civil Land Planning
 FIRM # F-6003
 202 South 4th Street McALLEN, TEXAS 78501

NOTICE
PLANNED UNIT
DEVELOPMENT
FOR
THIS PROPERTY
CUP2020-0071

 CITY OF MIAMI PLANNING DEPT.
800-88-1700
WWW.MIAMICITY.ORG

SUB2017-0040



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|------------------------------|---|
| Project Description | <p>Subdivision Name <u>Lots 12A, 12B, 12C and 12D #</u> <u>Re-Plat of Lot 12, Primrose Terrace # 11</u></p> <p>Location <u>N. Main @ Xanthisma Ave.</u></p> <p>City Address or Block Number <u>4900 Block N. Main Ave.</u></p> <p>Number of lots <u>3</u> Gross acres <u>18,027 Sq. Ft.</u> Net acres <u>.4235</u></p> <p>Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>open</u> Proposed Land Use <u>R-1 Resid.</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>0</u></p> <p>Legal Description <u>Primrose Terrace UT NO. 11, Lot 12</u></p> |
| Owner | <p>Name <u>Linda Emmons Gale</u> Phone <u>956. 821. 5528</u></p> <p>Address _____</p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>emmonsgale@aol.com</u></p> |
| Architect/Engineer/Developer | <p>Name <u>J. Tom Ashley III, FAIA</u> Phone <u>956. 369. 1976</u></p> <p>Address <u>1209 Xanthisma Ave.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>Contact Person <u>Tom</u></p> <p>E-mail <u>ar. jtomashley@yahoo.com</u></p> |
| Engineer | <p>Name <u>Big D Engineering</u> Phone <u>✓ 342 1372</u></p> <p>Address <u>PO Box 721025</u></p> <p>City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u></p> <p>Contact Person <u>Dario Guerra</u></p> <p>E-mail <u>Bigdengme@aol.com</u></p> |
| Surveyor | <p>Name <u>Michael Fabian Surveying Inc.</u> Phone <u>630. 1432</u></p> <p>Address <u>1283 E. Hackberry Ave.</u></p> <p>City <u>McAllen, TX</u> State <u>TX</u> Zip <u>78501</u></p> |

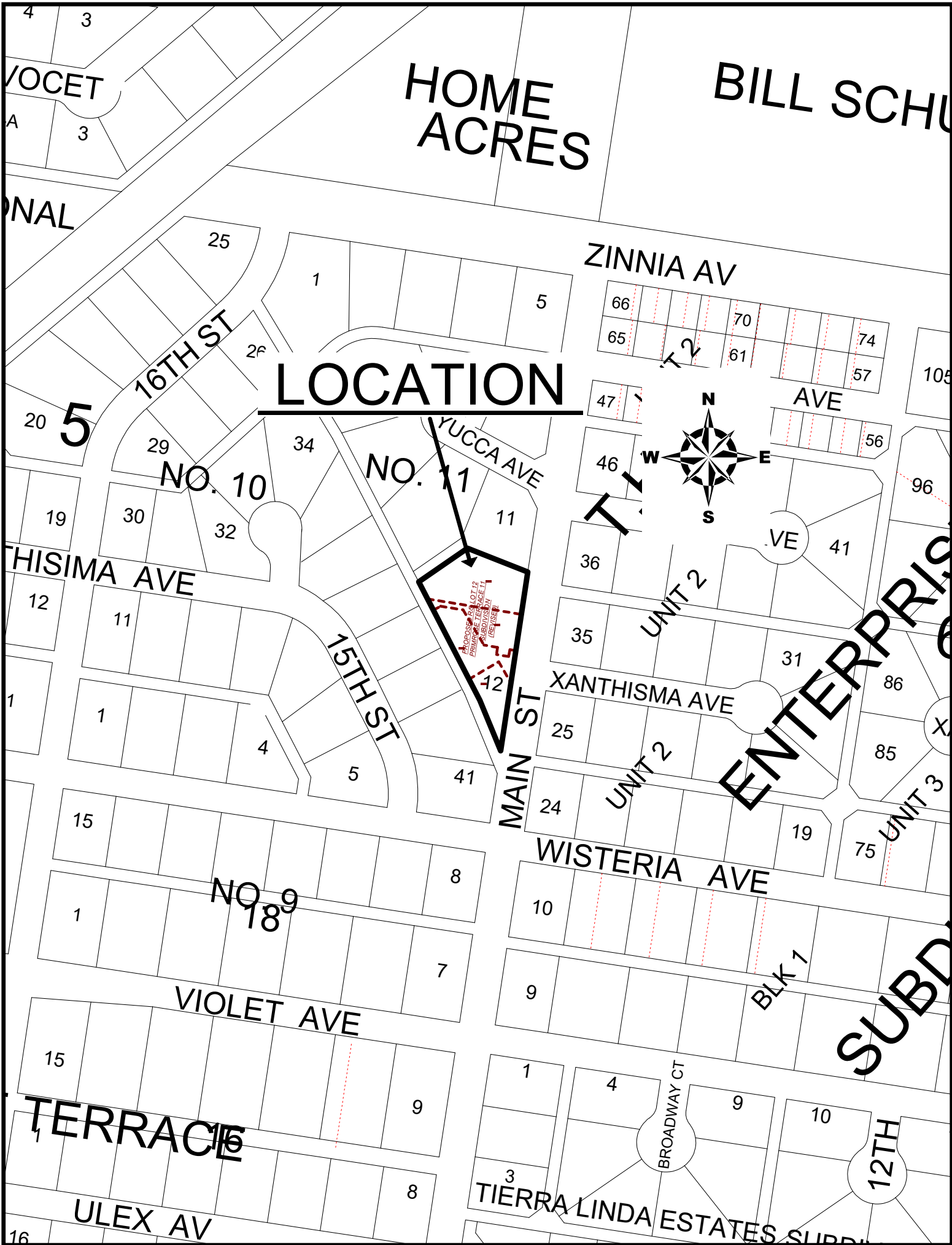
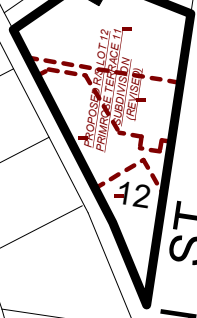
SUB2017-0040

RECEIVED
JUN 28 2017

BY: DeS:150m

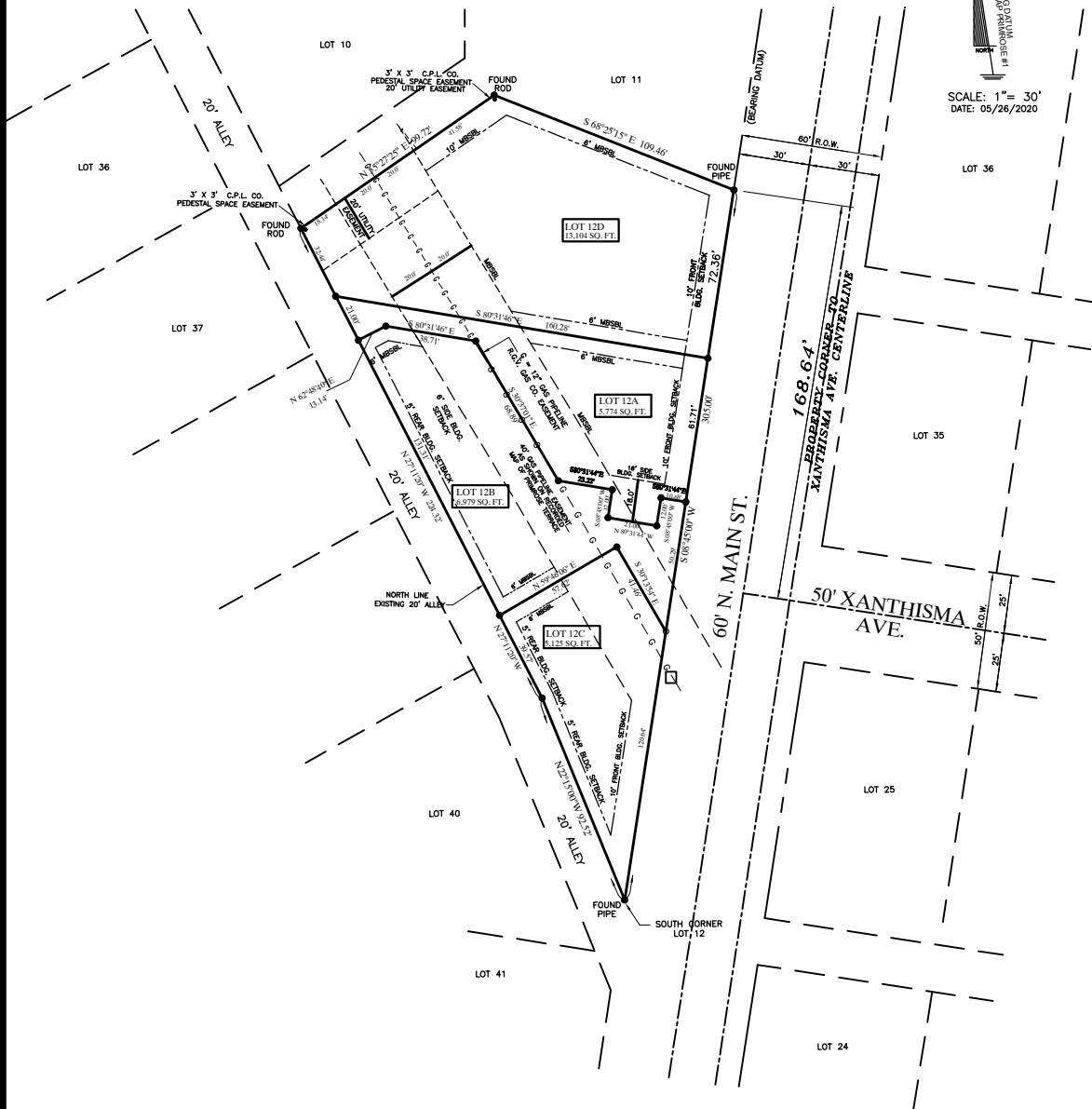
RC#477251

LOCATION





SCALE: 1" = 30'
DATE: 05/26/2020



**MAP
OF**
PRIMROSE TERRACE, UNIT #11
LOTS 12A THRU 12D
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS
BEING A RESUBDIVISION OF LOT 12
PRIMROSE TERRACE, UNIT #11
CONTAINING 0.711 ACRES OF LAND
RECORDED IN VOL.19, PG. 83 M/R

| | | |
|--|--|-----------------------|
| PREPARED BY | | |
| MICHAEL FABIAN SURVEYING, INC. | | |
| 1203 E. HACKBERRY AVE. | | |
| MCALLEN, TEXAS 78501 | | |
| TEL. (956) 630-1432 | | FAX (956) 687-4660 |
| MICHAEL FABIAN | | |
| REGISTERED PROFESSIONAL | | |
| LAND SURVEYOR | | |
| W.O.# 3120/TOPO | | |
| CRD: | | |
| PRINT SIZE: LETTER | | |
| SCALE: 1" = 30' | | |
| DATE: 07/09/2020 | | |
| EMAIL ADDRESS: SURVEY @ MFABIANSURVEYING.COM | | |
| FIRM # 10193965 | | |



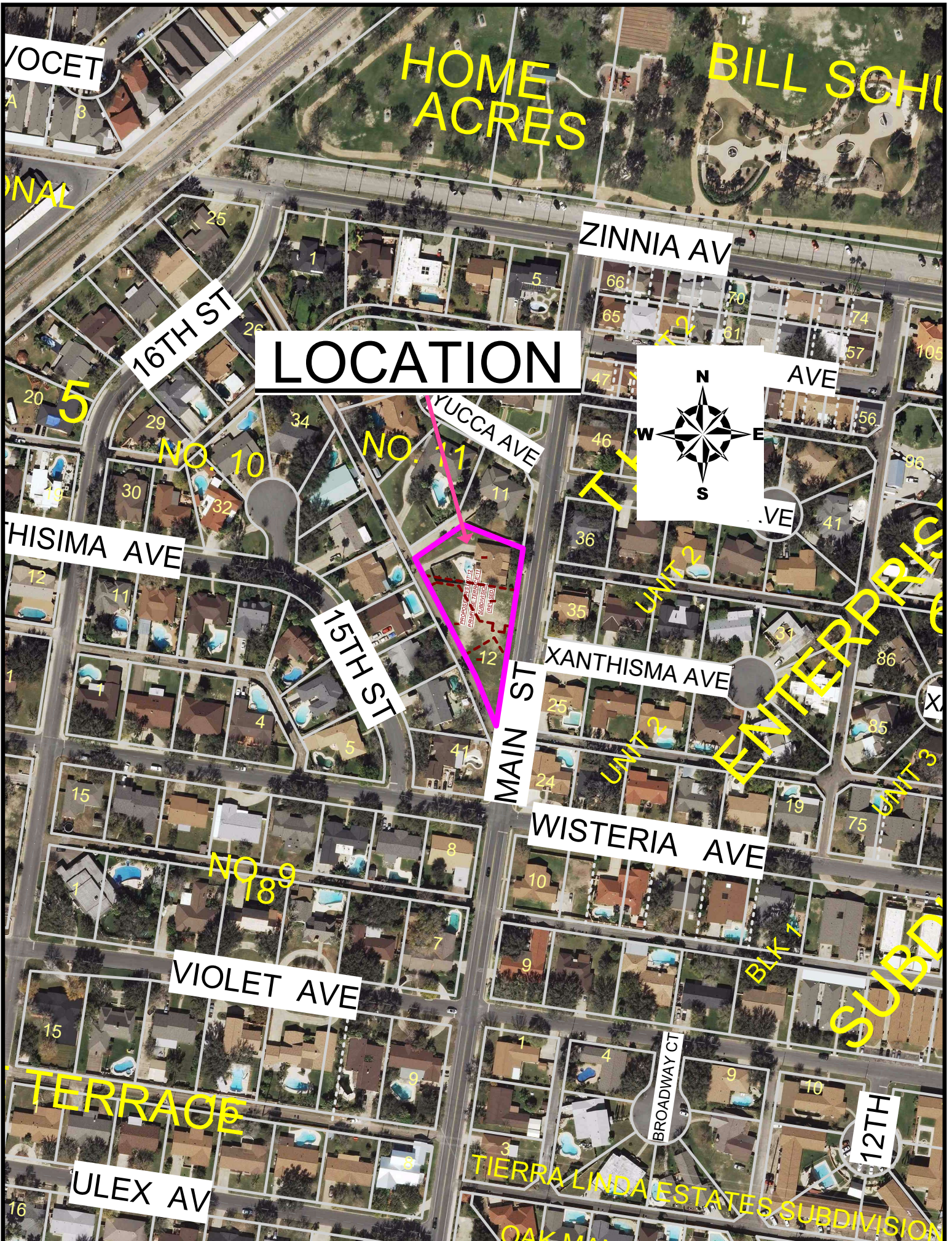
City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/16/2020

| | |
|---|------------|
| SUBDIVISION NAME: PRIMROSE TERRACE UNIT NO. 11, LOTS 12A-12D | |
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| N. Main Street: 30 ft. from centerline for 60 ft. ROW existing Paving: 40 ft. Curb & gutter: both sides | Compliance |
| * 800 ft. Block Length: | Compliance |
| * 600 ft. Maximum Cul-de-Sac: | NA |
| ALLEYS | |
| ROW: 20 ft. Paving: 16 ft. | Compliance |
| SETBACKS | |
| * Front: N. Main Street - 10 ft. or greater for easements **Planning and Zoning Board approved a 10 ft. setback or greater for easements along N. Main Street at the meeting of August 16, 2017, as requested by project engineer on behalf of developer. | Applied |
| * Rear (alley): 5 ft. or greater for easements. **Planning and Zoning Commission approved a 5 ft. rear setback or greater for easements at the meeting of August 16, 2017. ***Revise note as shown above prior to recording. | Required |
| * Interior Sides: 6 ft. except 5 ft. side along the alley, or greater for easements **Planning and Zoning Commission approved 6 ft. interior side setbacks or greater for easements at the meeting of August 16, 2018. It also included a 5 ft. - 9 ft. side setback or greater for easements along the alley. Please clarify as the plat submitted December 10, 2018, February 12, 2019 and May 24, 2019 does not reflect this. ****Side setbacks are 6 ft. except 5 ft. side along the alley as approved by P&Z Board on August 6, 2019. *****Revise Note #1 prior to recording to reflect setbacks approved at the meeting of August 6, 2019. | Required |
| * Corner: See side setback reference above as approved by the Planning and Zoning Board on August 16, 2017. | Applied |
| * Garage: 18 ft. except where greater setback is required; greater setback applies. **Revise Note #1 regarding garage setbacks as noted above, prior to recording. | Required |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS. **Note as needed should existing structure is within required setbacks, prior to recording. | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required on N. Main Street. **Planning and Zoning Board recommended approval of the variance on August 16, 2017, and City Commission approved the variance at the meeting of August 28, 2017 to not require sidewalks on N. Main Street. | NA |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, or industrial zones/uses. **Clarify Note #6 regarding gates, prior to recording. | Applied |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Applied |

| | |
|---|------------|
| *Perimeter buffers must be built at time of Subdivision Improvements. | NA |
| NOTES | |
| * No curb cut, access, or lot frontage permitted along: | NA |
| * Site plan must be approved by the Planning and other Development Departments prior to building permit issuance. | NA |
| * Common Areas/Drives must be maintained by the lot owners and not the City of McAllen. | Applied |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | NA |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Vegetation Ordinance, including but not limited to common areas. | Applied |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | Applied |
| LOT REQUIREMENTS | |
| * Lots fronting public streets: | Compliance |
| * Minimum lot width and lot area: | Compliance |
| ZONING/CUP | |
| * Existing: R-1 Proposed: R-1 | Compliance |
| * Rezoning Needed Before Final Approval | NA |
| PARKS | |
| * Land dedication in lieu of fee: | NA |
| * Park Fee of \$700 per lot is required to be paid prior to recording. Per latest plat submitted; 4 lots are proposed but only 3 rates apply due to one lot having an existing house. 3 Lots x \$700 = \$2,100 due prior to recording | Required |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * Trip Generation to determine if TIA is required, prior to final plat. | NA |
| **Per Traffic, trip generation will be waived for the three single family residences. | |
| * Traffic Impact Analysis (TIA) required prior to final plat. | NA |
| COMMENTS | |
| Comments: *Existing plat notes remain the same for the resubdivision. **Public Hearing with legal notices, for the resubdivision held on August 16, 2017. ***Per Traffic, vehicles shall exit front-first onto N. Main Street. ****Plat must comply with the City's Access Management Policy. *****Project engineer to provide agreement from the respective Gas Company for improvements over the gas easement, prior to recording/permit issuance. *****Common access easement needed between the lots. *****Site Plan for existing home on Lot 12D is needed to ensure the structure complies with setback requirements and is not considered non-conforming as a result of the replat, prior to recording. *****Subdivision was approved in final form at the P&Z meeting held August 6, 2019. *****Engineer submitted a revised plat on July 9, 2020 changing the lot layout approved in August 6, 2019. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM, SUBJECT TO CONDITIONS NOTED. | Applied |



VOCET

HOME
ACRES

BILL SCHU

INAL

16TH ST

LOCATION

ZINNIA AV



AVE

HISIMA AVE

15TH ST

MAIN ST

XANTHISMA AVE

WISTERIA AVE

VIOLET AVE

TERRACE

ULEX AV

BROADWAY CT

12TH

TIERRA LINDA ESTATES SUBDIVISION



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

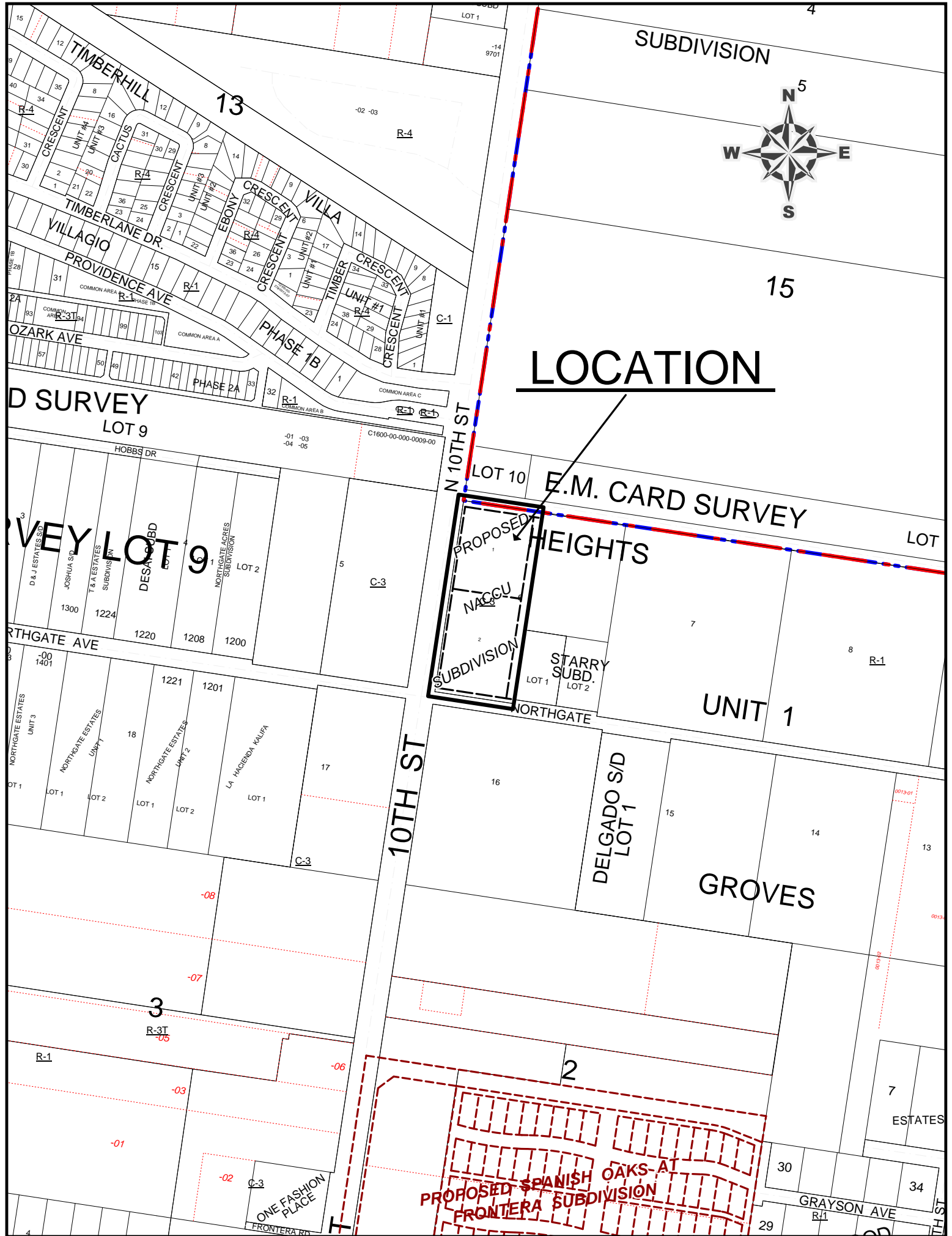
| | |
|----------------------------|---|
| Project Description | <p>Subdivision Name <u>NACCU Subdivision</u></p> <p>Location <u>N. 10th Street and Northgate Avenue</u></p> <p>City Address or Block Number <u>N. 10th Street</u></p> <p>Number of lots <u>1</u> Gross acres <u>5.27</u> Net acres <u>4.68</u></p> <p>Existing Zoning <u>C-3</u> Proposed <u>C-3</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>vacant</u> Proposed Land Use <u>bank</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>n/a</u></p> <p>Legal Description <u>west 5.27 acres of Lot 6, Ebony Heights Citrus Groves Subd. Unit No. 1</u></p> |
| Owner | <p>Name <u>Alberto, Adrian, and Antonio III Salinas</u> Phone <u>(956)683-1000</u></p> <p>Address <u>P.O. Box 3329</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78502</u></p> <p>E-mail <u>sec@spooreng.com</u></p> |
| Developer | <p>Name <u>Alberto, Adrian, and Antonio III Salinas</u> Phone <u>(956)683-1000</u></p> <p>Address <u>P.O. Box 3329</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78502</u></p> <p>Contact Person <u>Steve Spoor</u></p> <p>E-mail <u>sec@spooreng.com</u></p> |
| Engineer | <p>Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>(956)683-1000</u></p> <p>Address <u>202 So. 4th Street</u></p> <p>City <u>Mission</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>Steve Spoor, P.E.</u></p> <p>E-mail <u>SEC@SpoorEng.com</u></p> |
| Surveyor | <p>Name <u>CVQ Land Surveyors</u> Phone <u>(956)618-1551</u></p> <p>Address <u>517 Beaumont Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> |

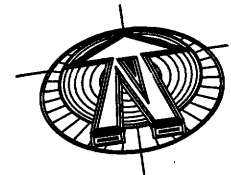
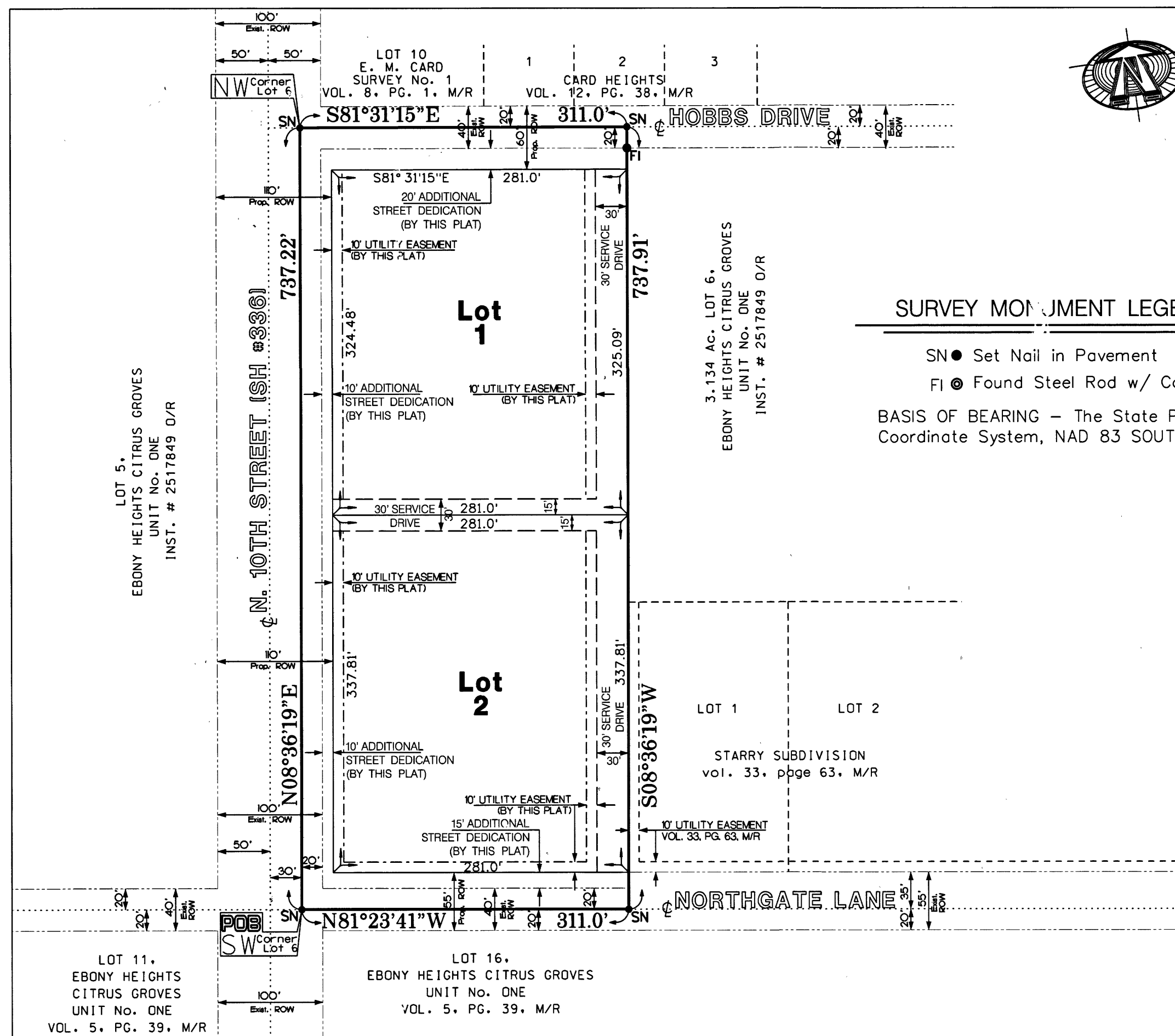
RECEIVED
AUG 09 2017

BY: PC 10:20am

RC-#486808 Pd \$225-

SUB 2017-0050





July 11, 2019
1"=100'

MAP OF NACCU SUBDIVISION

McAllen, Texas

BEING THE WEST 5.27 ACRES OF LOT 6,
EBONY HEIGHTS CITRUS GROVES
SUBDIVISION, UNIT No. ONE
Hidalgo County, Texas;
according to plat recorded in
vol. 5, page 39, Map Records
Hidalgo County, Texas

SURVEY MONUMENT LEGEND

- SN • Set Nail in Pavement
- FI • Found Steel Rod w/ Cap

BASIS OF BEARING - The State Plane
Coordinate System, NAD 83 SOUTH ZONE

LOCATION MAP

Prepared by:

Spoor Engineering Consultants, Inc.

Consulting Engineers - Civil Land Planning

FIRM # F-2003

202 South 4th Street, McAllen, Texas 78501

SEC@spooreng.com (956) 683 1000

STATE OF TEXAS:
COUNTY OF HIDALGO:

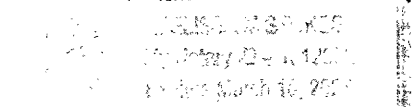
I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE "NACCU SUBDIVISION" SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

NAVY ARMY COMMUNITY CREDIT UNION

By: Gerry Morrow CEO
P.O. Box 81349
Corpus Christi, Texas 78468

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gerry Morrow, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 19th DAY OF July, 2019.



Melissa M. Stokes 7/19/19
NOTARY PUBLIC DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS:
COUNTY OF HIDALGO:

CHAIRMAN, PLANNING COMMISSION

DATE

I, THE UNDERSIGNED, CARLOS VASQUEZ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF PHARR SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS

CARLOS VASQUEZ, RPLS # 4608, CVO LAND SURVEYORS DATE
517 BEALMONT ST.
McALLEN, TEXAS 78501
TBLPS FIRM # 1019600

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

SPOOR ENGINEERING CONSULTANTS, INC.
Registration # F-6007

Stephen Spoor 07-12-19
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION No. 56752



I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.216(g). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY: RALL E. SESIN, P.E., CFM.
GENERAL MANAGER

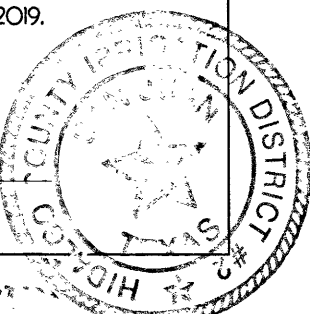
DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No.2 ON THIS 1st DAY OF August, A.D. 2019.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS

Rall E. Sesin
SECRETARY

David J. Roberts
PRESIDENT



NOTES:

- MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
A. FRONT: N. 10th St - 60 FT.
B. REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS.
C. INTERIOR SIDE: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS.
D1. CORNER - HOBBS DRIVE - 40 FT.
D2. CORNER - NORTHGATE LANE - 30 FT.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT CENTER OF LOT.
- THIS PROPERTY FALLS IN ZONE A (ELEV. 107.0) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 334 0325 D, REVISED JUNE 6, 2000. ZONE A IS CLASSIFIED AS AN AREA OF MODERATE FLOOD HAZARD.
- A 6' BUFFER OPAQUE IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 4' SIDEWALK REQUIRED ALONG N. 10th ST., NORTHGATE LANE AND HOBBS DRIVE.
- BENCHMARK - STATION NAME: MC 46 SET BY ARANDA & ASSOC. LOCATED AT THE NORTHWEST CORNER OF N. 10th ST. AND FREDDY GONZALEZ ELEV. 104.67 FT (NAVDS88)
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- STORM WATER DETENTION OF 0.88 AC-FT IS REQUIRED FOR THIS SUBDIVISION, BEING 0.44 AC. FT. FOR LOT 1 AND 0.44 AC. FT. FOR LOT 2.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING 9. MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

METES & BOUNDS

THE WEST 5.27 ACRES OF LOT 6, EBONY HEIGHTS CITRUS GROVES SUBDIVISION, UNIT NO. ONE, A tract of land containing 5.27 acres, situated in Hidalgo County, Texas and also being a part or portion of LOT 6, EBONY HEIGHTS CITRUS GROVES UNIT No. ONE, map reference Volume 5, Page 39, H.C.M.R., and said 5.27 acres of land also being more particularly described as follows:

BEGINNING on a nail set in the intersection of N 10th Street (SH 336) and Northgate Lane, said nail also being the Southwest corner of said Lot 6, for the southwest corner of this tract;

THENCE, N 08° 36' 19" E, in the right-of-way of said N 10th Street and with the West line of said Lot 6, a distance of 737.22 feet to a Nail set on the northwest corner of said Lot 6, for the northwest corner of this tract;

THENCE, S 81° 31' 15" E, in the right-of-way of said Hobbs Drive and with the North line of said Lot 6, at a distance of 20.00 feet pass the East right-of-way line of said N 10th Street as recorded in Volume 777, Page 550, H.C.D.R., and continuing a total distance of 311.00 feet, to Nail set on the northeast corner of the West 5.27 acres of said Lot 6 and the northwest corner of a tract of land deeded to Hobbs 4 Real Estates Investments, LLC, recorded in Document Number 2517849, H.C.D.R., for the northeast corner of this tract;

THENCE, S 08° 36' 19" W, along the West line of said Hobbs 4 Real Estates Investments, LLC tract and the West line of said West 5.27 acres of said Lot 6, at a distance of 20.00 feet pass a 1/2" iron rod with a plastic cap stamped "CVO L.S." set on the South right-of-way line of said Hobbs Drive, at a distance of 447.30 feet pass an iron rod found on the northwest corner of Lot 1, Starry Subdivision, recorded in Volume 33, Page 63, H.C.M.R., at a distance of 702.91 feet pass an iron rod found on the southwest corner of said Lot 1, at a distance of 717.91 feet pass an iron pipe found on the North right-of-way line of said Northgate Lane and continuing a total distance of 737.91 feet to a Nail set on the southwest corner of said Starry Subdivision, the southeast corner of the West 5.27 acres of said Lot 6 and the South line of said Lot 6, for the southeast corner of this tract;

THENCE, N 81° 23' 41" W, in the right-of-way of said Northgate Lane and with the South line of said Lot 6 at a distance of 291.00 feet pass the East right-of-way line of said N 10th Street (SH 336), and continuing a total distance of 311.00 feet, to the POINT OF BEGINNING, containing 5.27 acres of land, more or less.

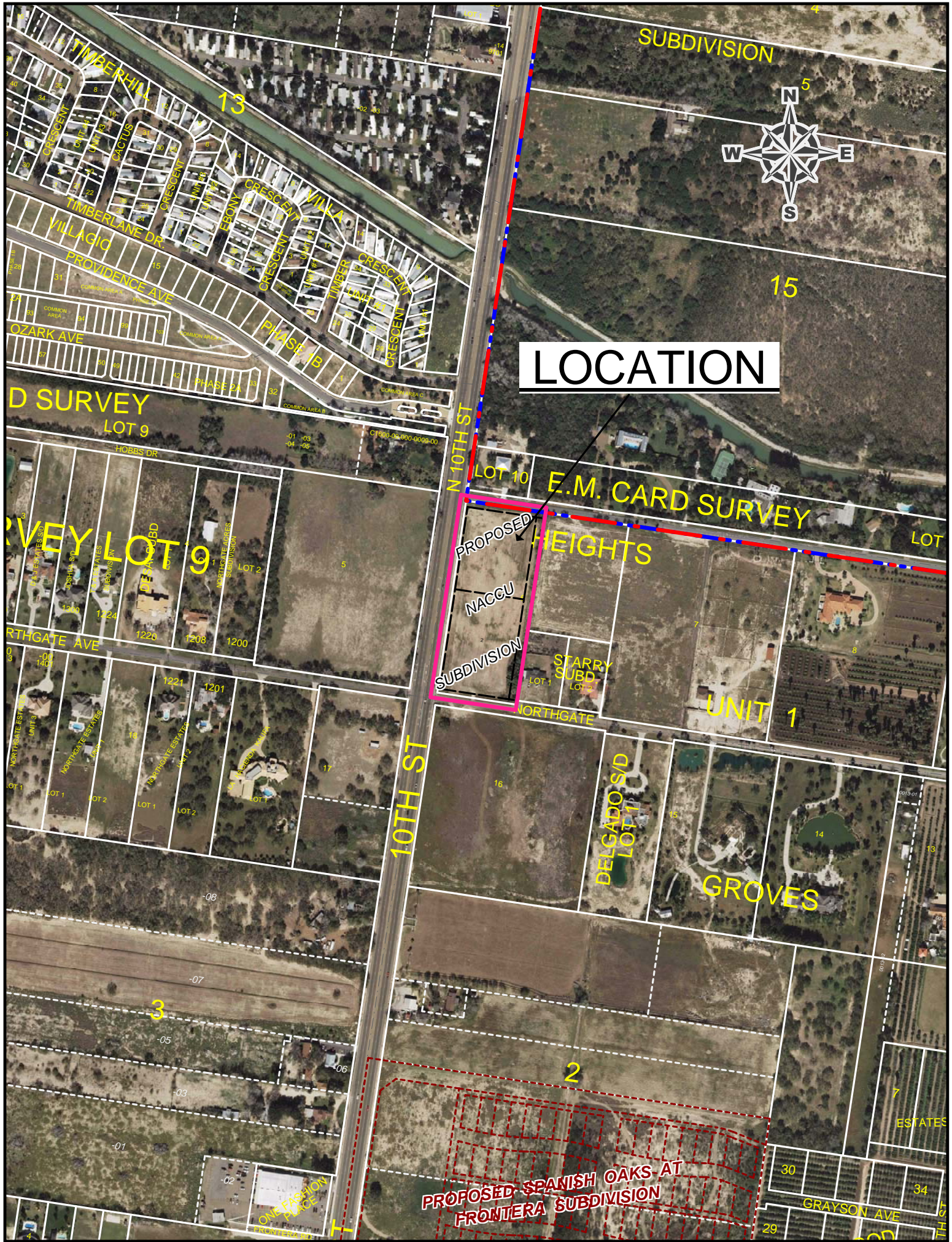


Reviewed On: 7/31/2020

| | |
|---|----------------|
| SUBDIVISION NAME: NACCU SUBDIVISION | |
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| N. 10th Street: 10 ft. ROW dedication required for 60 ft. from centerline for 120 ft. ROW Paving: by the state Curb & gutter: by the state **Please clarify eastern 20 ft. of existing ROW if it was dedicated by separate instrument prior to final. | Applied |
| Hobbs Drive: 20 ft. ROW dedication required for 40 ft. from centerline for 80 ft. ROW Paving: 52 ft. - 65 ft. Curb & gutter: both sides *Owner must escrow monies for improvements not built prior to plat recording. | Applied |
| Northgate Lane: 15 ft. ROW dedication required for 35 ft. from centerline for 70 ft. ROW Paving: 44 ft. Curb & gutter: both sides *Owner must escrow monies for improvements not built prior to plat recording. | Applied |
| * 800 ft. Block Length: | Compliance |
| * 600 ft. Maximum Cul-de-Sac: | NA |
| ALLEYS | |
| ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **A 30 ft. service drive is proposed. | Applied |
| SETBACKS | |
| * Front: N. 10th Street - 60 ft. or greater for easements or approved site plan | Applied |
| * Rear: 30 ft. for the service drive easement or approved site plan | Non-compliance |
| * Interior Sides: in accordance with the Zoning Ordinance, or greater for easements or approved site plan | Compliance |
| * Corner: Hobbs Drive - 40 ft. or greater for easements or approved site plan Northgate Lane - 35 ft. or greater for easements or approved site plan **Please revise plat note as shown above. | Non-compliance |
| * Garage: 18 ft. except where greater setback is required; greater setback applies | NA |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS | Applied |
| SIDEWALKS | |
| * 5 ft. wide minimum sidewalk required on N. 10th Street as per Engineering Department. **4 ft. wide minimum sidewalk is required on Northgate Lane and Hobbs Drive. **Please revise plat note as shown above. | Non-compliance |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, or industrial zones/uses and along Northgate Lane and Hobbs Drive. | TBD |

| | |
|--|------------|
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Compliance |
| *Perimeter buffers must be built at time of Subdivision Improvements. | NA |
| NOTES | |
| * No curb cut, access, or lot frontage permitted along Northgate Lane and Hobbs Drive. | TBD |
| * Site plan must be approved by the Planning and Development departments prior to building permit issuance. | Required |
| * Common Areas, Private Streets/service drives must be maintained by the lot owners and not the City of McAllen. | Required |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | Applied |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. | NA |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | NA |
| LOT REQUIREMENTS | |
| * Lots fronting public streets: | Compliance |
| * Minimum lot width and lot area: | Compliance |
| ZONING/CUP | |
| * Existing: C-3 Proposed: C-3 | Compliance |
| * Rezoning Needed Before Final Approval | NA |
| PARKS | |
| * Land dedication in lieu of fee: | NA |
| * Park Fee of \$700 per dwelling unit is required to be paid prior to recording. | NA |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * Trip Generation approved; No TIA required. | Completed |
| * Traffic Impact Analysis (TIA) required prior to final plat. | NA |
| COMMENTS | |
| Comments: *Must comply with the City's Access Management Policy. **Per Traffic, a queuing plan is needed for the drive-thru area. ***Preliminary plat approved by the Planning and Zoning Commission at their meeting on September 5, 2017. ****Final plat approved by the Planning and Zoning Commission at their meeting on November 21, 2017. *****Shared access between lots as may be required prior to final. | Applied |

| RECOMMENDATION | |
|---|---------|
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED, AND DRAINAGE APPROVAL AS MAY BE APPLICABLE. | Applied |



LOCATION

PROPOSED

NACCU
SUBDIVISION

PROPOSED SPANISH OAKS AT
FRONTERA SUBDIVISION

SUB2020-0046

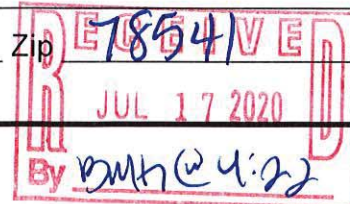


City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | Subdivision Name <u>LOTS 1A, 1B, 1C, & 1D Morales Subdivision</u> Location <u>McAllen-South side of Mile 7 N. Road</u> City Address or Block Number <u>7200 Mile 7 Road</u> Number of lots <u>4</u> Gross acres <u>4.167</u> Net acres <u>4.167</u> Existing Zoning <u>C4/R1</u> Proposed <u>C4/R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Res./comm</u> Proposed Land Use <u>Res./comm</u> Irrigation District # <u>41D</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>see attached</u> Parcel No. <u>572392/582739</u> Tax Dept. Review _____ Legal Description <u>Approx. 4.167 ac. o/o Lot 1 Morales Subdivision & Lot 481 JH Sham Subdivision</u> |
| Owner | Name <u>1.) Diana Morales</u> Phone <u>(956) 381-0981</u> <u>2.) Madalyn E. Morales</u> Address <u>1.) 7200 Mile 7 North Road</u> <u>2.) 7425 Mile 7 North Road</u> City <u>1.) McAllen</u> State <u>TX</u> Zip <u>78501</u> <u>2.) Mission</u> <u>78573</u> E-mail <u>Clo Maria@meldenandhunt.com</u> |
| Developer | Name <u>Eloy Tello</u> Phone <u>(956) 648-2394</u> Address <u>7209 Mile 7 North Road</u> City <u>Mission</u> State <u>TX</u> Zip <u>78572</u> Contact Person <u>Eloy Tello</u> E-mail <u>eloy.tello87@gmail.com</u> |
| Engineer | Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 W. McIntyre St.</u> City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u> Contact Person <u>Mario a. Reyna</u> E-mail <u>Mario@meldenandhunt.com</u> |
| Surveyor | Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 W. McIntyre St.</u> City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u> |



PROPOSED MORALES SUBDIVISION (REVISED)

502

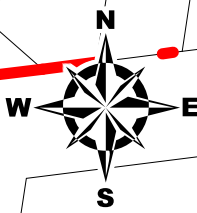
UPPER SHARYLAND SUB

CANTU LOT 1 SUBD.

7600

7200

491



STATE HIGHWAY 107

492

LOCATION

BOGERT SUBD

MCALLEN SH 107

7 MILE LINE

RUBEN RODRIGUEZ SID

PROPOSED MORALES SUBDIVISION

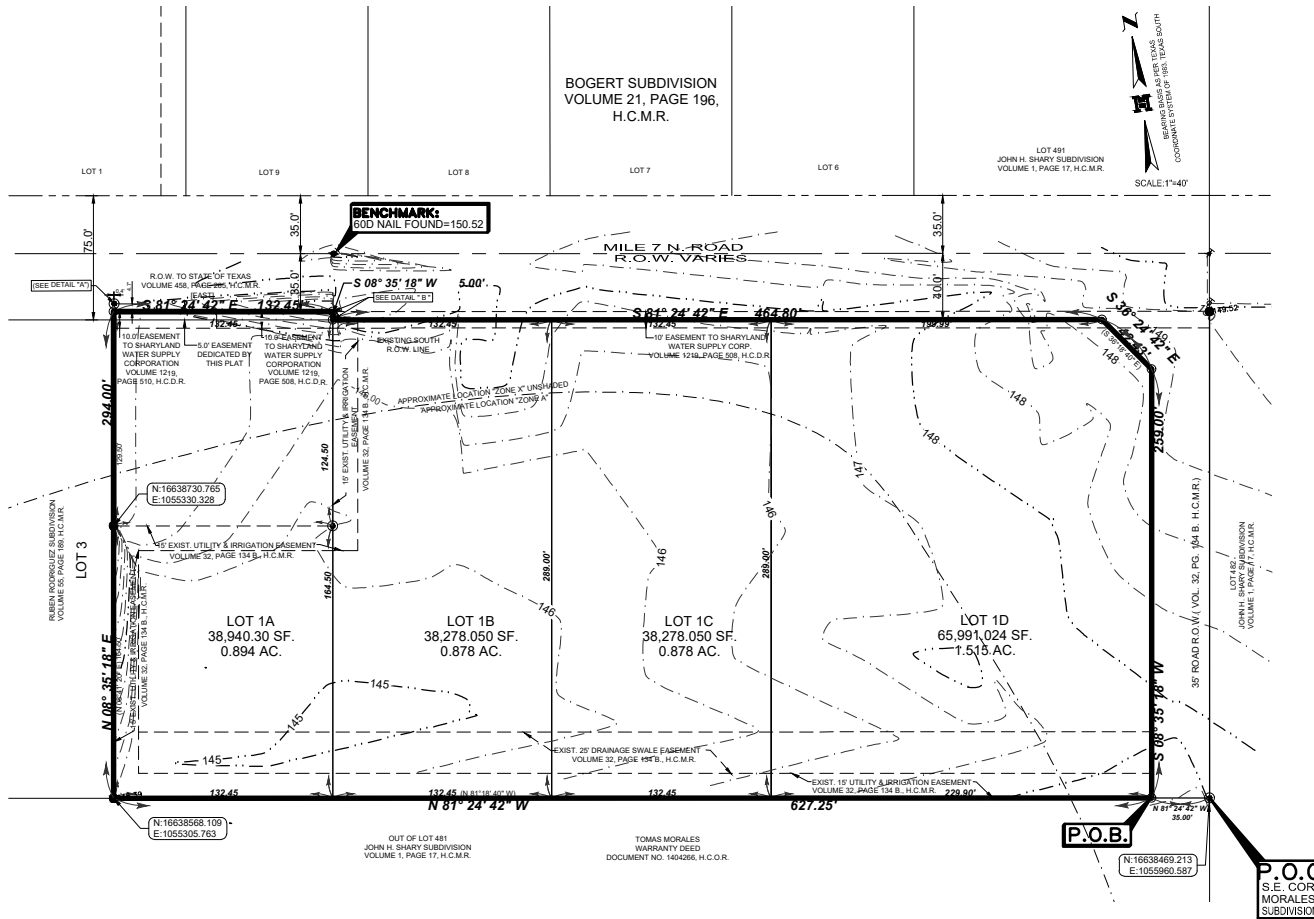
STEWART ROAD

481

482

OUTSIDE CITY LIMITS

ARRRES
D
T 1
AVE



SUBDIVISION MAP OF LOTS 1A, 1B, 1C, 1D, MORALES SUBDIVISION

PLAT SHOWING
4.167 ACRES
CONSISTING OF:
3.773 ACRES BEING ALL
OF LOT 1, MORALES SUBDIVISION
RECORDED IN VOL. 32, PG. 134 B., H.C.M.R.
AND
0.394 OF ONE ACRE
OUT OF LOT 481,
JOHN H. SHARY SUBDIVISION
RECORDED IN VOL. 1, PG. 17, H.C.M.R.
CITY OF McALLEN
HIDALGO COUNTY, TEXAS



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/31/2020

| | |
|---|----------------|
| SUBDIVISION NAME: LOTS 1A, 1B, 1C, 1D, MORALES SUBDIVISION | |
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| Mile 7 Road: 70 - 75 ft. existing ROW for 80 ft. total ROW Paving: min. 52 ft. Curb & gutter: Both sides **Revise plat to show centerline and label ROW on both sides to determine any dedication required prior to final ***Escrow required if improvements are not built prior to recording. | Non-compliance |
| N. 72nd Street: 35 ft. dedication for 70 ft. ROW Paving: 44 ft. Curb & gutter: Both sides **Escrow required if improvements are not built prior to recording. | Non-compliance |
| * 800 ft. Block Length | Compliance |
| * 600 ft. Maximum Cul-de-Sac | Compliance |
| ALLEYS | |
| ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties | Non-compliance |
| SETBACKS | |
| * Front: 40 ft. or greater for easements or approved site plan **Revise note on plat as shown above ***Should the use change from residential, setbacks are subject to increase, prior to final | Non-compliance |
| * Rear: 40 ft. for easements or greater approved site plan **Plat shows a 15 ft. irrigation easement and a 25 ft. drainage swale easement. Revise rear setback note as noted above. | Non-compliance |
| * Sides: 15 ft. or greater for easements | Applied |
| * Corner: 35 ft. or greater for easement on N. 72nd St. **Revise note on plat as shown above | Non-compliance |
| * Garage: 18 ft. or greater for easements **Garage setback note missing on plat submitted July 17, 2020. | Non-compliance |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required along south side of Mile 7 North Road and along the west side of N. 72nd Street. **Revise plat as noted above ***Escrow required if improvements are not built prior to recording. | Non-compliance |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Additional buffers along N. 72nd Street may be required | Required |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Need note on plat as shown above. | Non-compliance |
| *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |

| NOTES | |
|---|----------------|
| * No curb cut, access, or lot frontage permitted along | TBD |
| * Site plan must be approved by the Planning and other Development Departments prior to building permit issuance. | Required |
| * Common Areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen | Applied |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | Applied |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. | TBD |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | TBD |
| LOT REQUIREMENTS | |
| * Lots fronting public streets | Compliance |
| * Minimum lot width and lot area | Compliance |
| ZONING/CUP | |
| * Existing: C-4 & R-1 Proposed: C-4 & R-1 | Non-compliance |
| * Rezoning Needed Before Final Approval | Non-compliance |
| PARKS | |
| * Land dedication in lieu of fee | NA |
| * Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. | Applied |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department Trip Generation is required. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy **Money will be escrowed if improvements are not built prior to recording. ***Submit site plan for review ****Revise rear setback note and include garage setback note on plat *****Revise sidewalk note on plat to reflect it is also required along N. 72nd Street *****Rezoning required prior to final approval *****Subdivision name needs to be revised as follows: Morales Lots 1A, 1B, 1C and 1D Subdivision | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS. | Applied |



SUB2018-0080



City of McAllen
Planning Department

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Campo De Suenos ^{OX2} 7/9/20
S/D

APPLICATION FOR

SUBDIVISION PLAT REVIEW

OX2 2/25/19

Project Description

Subdivision Name Westwood Two Subdivision
Location East side of Ware Road
City Address or Block Number 8700 N. Ware Rd.
Number of lots 53 Gross acres 11.416 Net acres 11.264
Existing Zoning N/A Proposed R1 Rezoning Applied For ☒ Yes ☐ No Date _____
Existing Land Use vacant Proposed Land Use Residential Irrigation District # 1
Residential Replat Yes ☒ No ☐ Commercial Replat Yes ☐ No ☒ ETJ Yes ☒ No ☐
Agricultural Tax Exemption Yes ☐ No ☒ Estimated Rollback tax due \$70,472.49
Legal Description Approx. 11.04 acres out of Lots 209 & 210 of the O' Texas and all of Lot 1 Ware Oaks Subdivision

Owner

Name Joseph & Norma Trilla ^{OX2} 2/25/19 Phone N/A 956-867-0035 ^{OX2} 2/25/19
Address 421 Quince Circle ^{OX2} 2/25/19
City McAllen State TX Zip 78504
E-mail trtrilla@me.com ^{OX2} 2/25/19

Developer

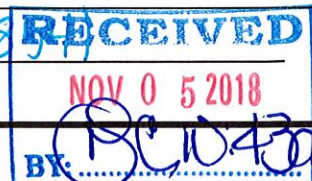
Name Riverside Development Services Phone (956) 867-0035
Address 4405 N. 22nd St.
City McAllen State TX Zip 78504
Contact Person Romeo Rendon
E-mail romeo@360transport.net

Engineer

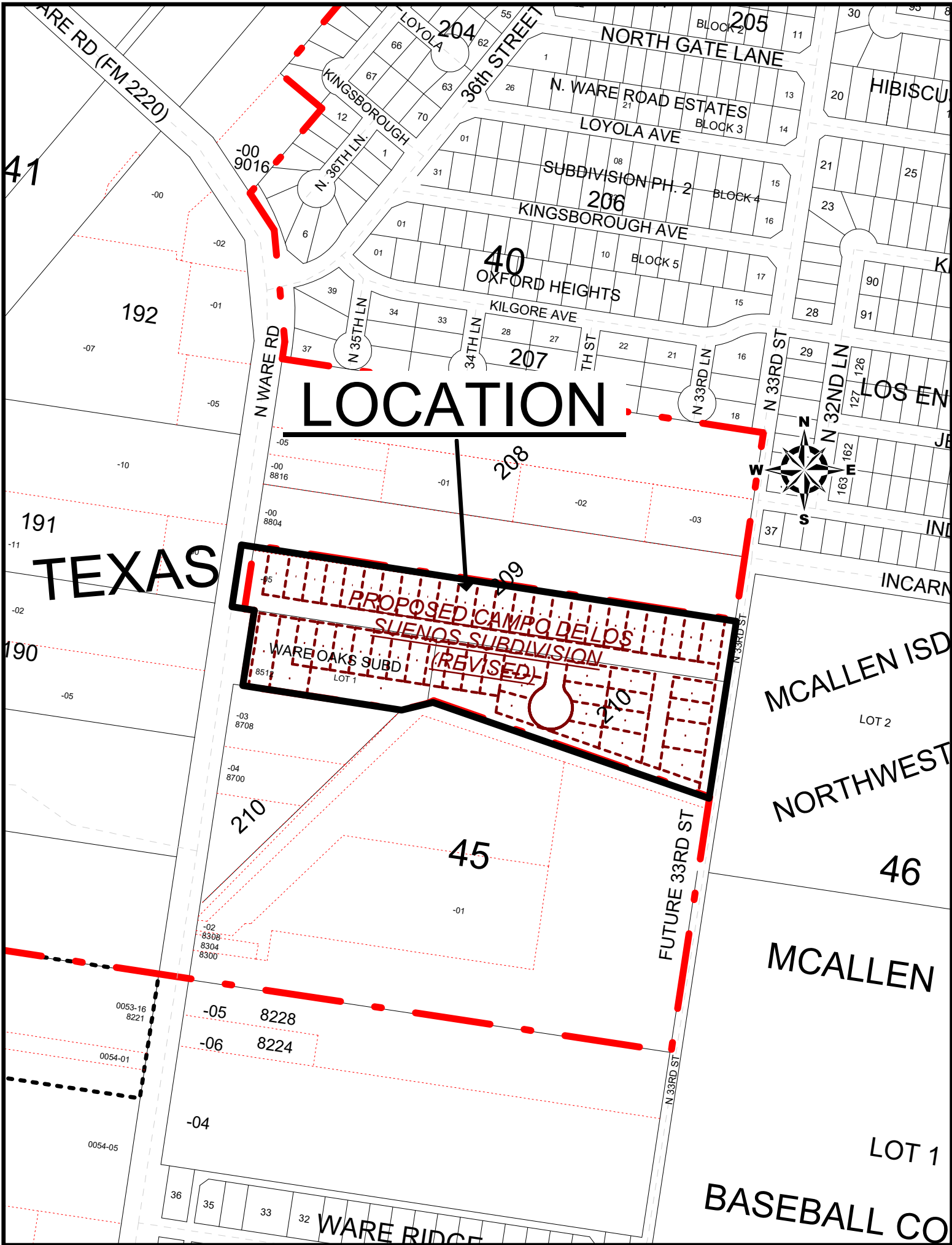
Name Melden & Hunt Inc. Phone (956) 381-0981
Address 115 W. McIntyre St.
City Edinburg State TX Zip 78541
Contact Person Mario A. Reyna
E-mail mario@meldenandhunt.com

Surveyor

Name Melden & Hunt, Inc. Phone (956) 381-0981
Address 115 W. McIntyre St.
City Edinburg State TX Zip 78541



RCT# 590 879 pd \$3800



LOCATION

TEXAS

PROPOSED CAMPO DEL OS
SUENOS SUBDIVISION
(REVISED)

WARE OAKS SUBD
LOT 1

MCALLEN ISD

NORTHWEST

MCALLEN

BASEBALL CO

Y:\Land Development\Residential\McAllen\18207 - Villa Torre Estates @ Ware Road\18207.00 - Plat DevReportGen\Autocad files\DWG\18207-Plat-2.dwg, 6/29/2020 9:47:33 AM, DWG To PDF.pc3



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/31/2020

| SUBDIVISION NAME: CAMPO DE SUENOS SUBDIVISION | |
|--|----------------|
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| <p>N. Ware Road: min. 15 ft. dedication for 75 ft. from centerline for 150 ft. ROW Paving: by the state Curb & gutter: by the state ***Label centerline and clarify 35 ft. dedication and 75 ft. dedication shown on the plat for 75 ft. from centerline.</p> | Applied |
| <p>N. 33rd Street: 30 ft. dedication for 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides **Must escrow monies if improvements are not constructed prior to recording.</p> | Applied |
| <p>E/W Interior Street: min. 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides **Remove prop. from the ROW being dedicated by this plat.</p> | Applied |
| <p>N. 34th Street: min. 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides ***Escrows required if improvements are not built prior to recording</p> | Required |
| <p>N. 33rd Lane: min. 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides **Need to provide a temporary turnaround/easement at the south end of N. 33rd Lane and barricades as may be required by Traffic Department ***Plat has been revised to show a temporary turnaround which is to be removed once property to the south develops. ****Escrows required for the removal of the temporary turnaround *****Crossing Agreement required with Hidalgo County Irrigation District No. 1 prior to final *****Escrows required for the extension for N. 33rd Lane may apply</p> | Non-compliance |
| <p>* 800 ft. Block Length: As proposed, the E/W Interior Street is approximately 1,100 ft. in length without a street stub out to the north or to the south. **Engineer has submitted a letter requesting a variance to not provide for the 800 ft. stub out streets to the north and south. ***City Commission approved the variance as requested on April 22, 2019.</p> | Compliance |
| <p>* 600 ft. Maximum Cul-de-Sac: Revised subdivision layout no longer has a cul-de-sac at the east end of the E/W Interior Street, but instead connects to N. 33rd Street located on the east boundary of the subdivision. Previous layout had the E/W street with a cul-de-sac with an approximate length of 1,100 ft. which would have required a variance and subject to increasing the ROW and paving widths. ***Cul-de-sac paving - 96 ft. as required by Fire Department. Increase ROW accordingly so as to maintain minimum 7 ft. back of curb.</p> | Applied |
| ALLEYS | |
| <p>ROW: 20 ft. ROW Paving: 16 ft. *Alley/service drive easement required for commercial properties</p> | NA |
| SETBACKS | |
| <p>* Front: 25 ft. or greater for easements. **Engineer submitted a variance request letter on July 24, 2020 asking for a front setback of 20 ft. instead of the required 25 ft. ***Subdivision was previously approved in final form at the P&Z meeting of May 21, 2019 with 25 ft. front setback under its former name.</p> | TBD |
| <p>* Rear: 10 ft. or greater for easements except 25 ft. for double fronting lots.</p> | Compliance |

| | |
|--|------------|
| <ul style="list-style-type: none"> * Interior Sides: 6 ft. or greater for easements. **Engineer submitted a variance request letter on July 24, 2020 asking for a side setback of 5 ft. instead of the required 6 ft. ***Subdivision was previously approved in final form at the May 21, 2019 meeting with a 6 ft. side setback under its former name. * Corner: 10 ft. or greater for easements. * Garage: 18 ft. except where greater setback is required, greater setback applies. *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | TBD |
| | Compliance |
| | Compliance |
| | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. 33rd Street and both sides of all interior streets. A 5 ft. wide minimum sidewalk required on N. Ware Road. * Perimeter sidewalks must be built or money escrowed if not built at this time. | Compliance |
| | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along N. Ware Road and N. 33rd Street. * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. *Perimeter buffers must be built at time of Subdivision Improvements. | Compliance |
| | Compliance |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along N. Ware Road and N. 33rd Street. * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. * Common Areas, detention pond must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 of the Code of Ordinances will apply if the subdivision is public. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | Compliance |
| | NA |
| | Applied |
| | NA |
| | Applied |
| | Applied |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets: * Minimum lot width and lot area. **All lots for must be a minimum of 50 ft. wide, including Lot 53 - Detention Pond. Corner lots must be a minimum 4 ft. wider than the minimum 50 ft. | Applied |
| | Applied |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: ETJ Proposed: R-1 **Property subject to being annexed. Application has been submitted for annexation with initial zoning. ***Annexation and initial zoning to R-1 approved by the City Commission on April 7, 2019. * Rezoning Needed Before Final Approval. **Initial zoning of R-1 processed simultaneously with the annexation. ***Annexation and initial zoning to R-1 approved by the City Commission on April 7, 2019. | Complete |
| | Complete |

| PARKS | |
|--|----------|
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. **Per Parks Department, a park fee of \$36,400 (based on 52 lots at \$700 per dwelling unit/lot) to be paid prior to the plat being recorded should the property be annexed. ***Annexation and initial zoning to R-1 approved by the City Commission on April 7, 2019; therefore, park fee applies and must be paid prior to recording. * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| | Applied |
| | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, Trip Generation approved; no TIA required. * Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department, Trip Generation approved; no TIA required. | Complete |
| | NA |
| COMMENTS | |
| <p>Comments: Must comply with City's Access Management Policy.</p> <p>**Need to clarify if the subdivision will be public or private. If private, need to submit Gate Details for staff review to assure compliance with requirements, including increasing the ROW, etc., prior to final. Proposed as public.</p> <p>***P&Z approved the subdivision in preliminary form, with conditions, at the meeting of November 20, 2018.</p> <p>****Will need to vacate Ware Oaks Subdivision if restrictions or covenants are being removed or amended as may be applicable, prior to recording.</p> <p>*****Subdivision name has been changed from Westwood Two Subdivision to Villa Torre Estates At Ware Road.</p> <p>*****Subdivision name has changed once more to Campo de Sueños Subdivision</p> <p>*****Revise metes and bounds description as it still references prior name</p> <p>*****Need to include note on plat regarding temporary for N. 33rd Lane as required by Public Works.</p> <p>*****Need note on plat regarding removal of the temporary turnaround to be done once property to the south develops</p> | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL IN REVISED PRELIMINARY FORM. | Applied |



LOCATION

TEXAS

PROPOSED CAMPO DE LOS SUEÑOS SUBDIVISION (REVISED)

WARE OAKS SUBD LOT 1

MCALLEN ISD LOT 2

NORTHWEST

MCALLEN

LOT 1

BASEBALL CO

WARE RIDGE

SUB2020-0025

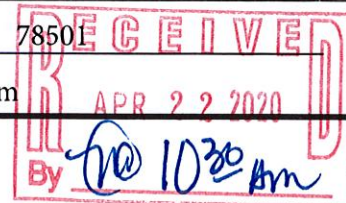


City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | Subdivision Name <u>Shary Manor Subdivision</u> Location <u>East side of N. Shary Road approx. 2,000 feet north of Lark Avenue</u> City Address or Block Number _____ Number of lots <u>106</u> Gross acres <u>38.27</u> Net acres <u>38.27</u> Existing Zoning <u>C-3</u> Proposed <u>R3A</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Open</u> Proposed Land Use <u>Duplex/Fourplex</u> Irrigation District # <u>UID</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u> Legal Description <u>38.27 acres of land out of Lot 385 John H. Shary Subdivision</u> |
| Owner | Name <u>Shary 80 Phase I, LLC</u> Phone <u>956-213-8244</u> Address <u>P.O. Box 610</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u> E-mail <u>jwholand@verturointerests.com</u> |
| Developer | Name <u>Shary 80 Phase I, LLC</u> Phone <u>956-213-8244</u> Address <u>P.O. Box 610</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u> Contact Person <u>Joseph W. Holand</u> E-mail <u>jwholand@verturointerests.com</u> |
| Engineer | Name <u>Javier Hinojosa Engineering</u> Phone <u>956-668-1588</u> Address <u>416 E. Dove Avenue</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u> Contact Person <u>Javier Hinojosa, P.E.</u> E-mail <u>javhin@rgv.rr.com</u> |
| Surveyor | Name <u>CVQ Land Surveyors, LLC</u> Phone <u>956-618-1551</u> Address <u>517 Beaumont</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> Contact Person: <u>Carlos Vasquez, R.P.L.S.</u> Email: <u>cvq@cvqls.com</u> |

Pct # 713343 pd \$3000



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 4/21/20

Print Name Joseph W. Holand

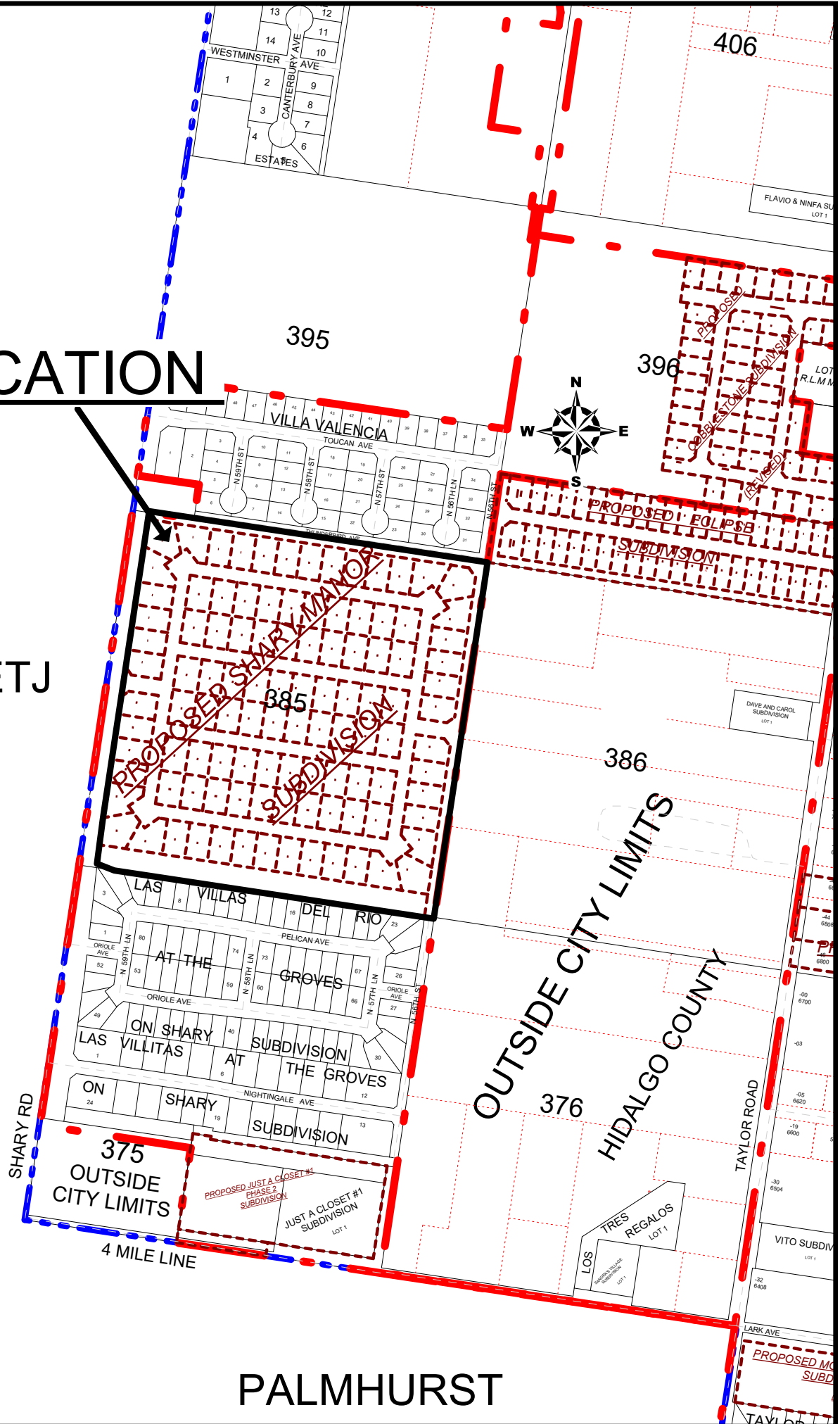
Owner ☒

Authorized Agent ☐

09/15

LOCATION

ALTON ETJ

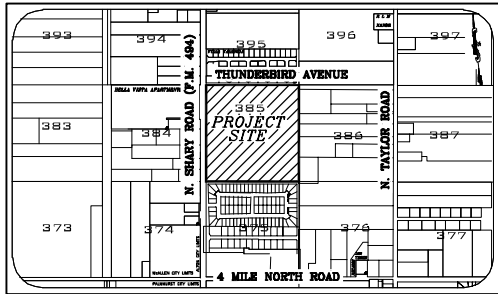


PALMHURST

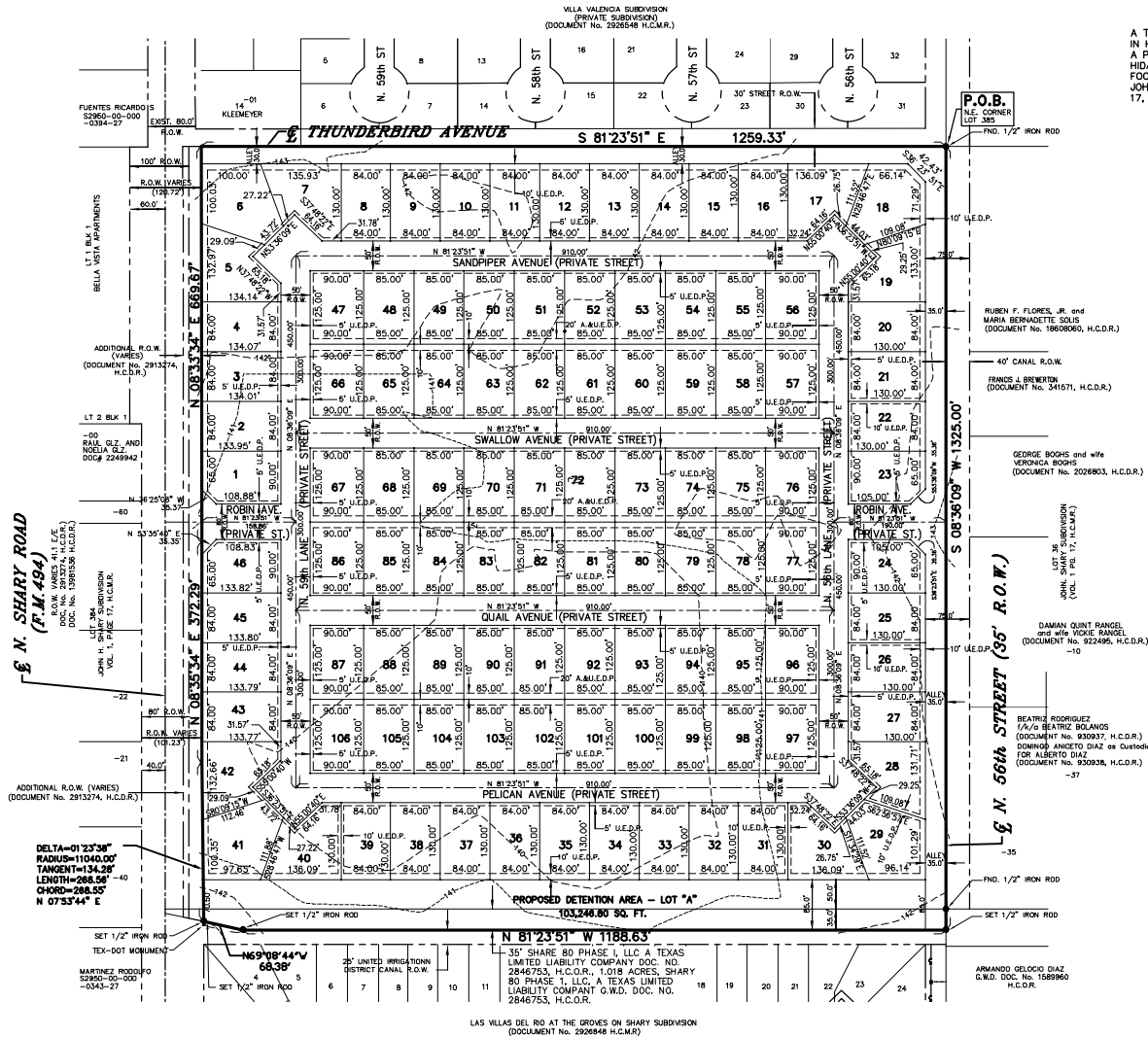
| IRREGULAR LOTS | | |
|----------------|---------|-------|
| LOT # | SQ. FT. | ACRES |
| 1 | 11,740 | 0.27 |
| 2 | 11,254 | 0.26 |
| 3 | 11,259 | 0.26 |
| 4 | 11,265 | 0.26 |
| 5 | 13,135 | 0.30 |
| 6 | 14,396 | 0.33 |
| 7 | 130.07 | 0.30 |
| 17 | 13,018 | 0.30 |
| 18 | 13,548 | 0.31 |
| 19 | 12,597 | 0.29 |
| 23 | 13,387 | 0.26 |
| 24 | 13,387 | 0.26 |
| 28 | 12,597 | 0.29 |
| 29 | 13,898 | 0.32 |
| 30 | 13,018 | 0.30 |
| 40 | 13,007 | 0.30 |
| 41 | 14,240 | 0.33 |
| 42 | 13,065 | 0.30 |
| 43 | 11,238 | 0.26 |
| 44 | 11,239 | 0.26 |
| 45 | 11,239 | 0.26 |
| 46 | 11,732 | 0.27 |

LEGEND

A.&U.E.D.P. = ACCESS AND UTILITY EASEMENT
DEDICATED BY THIS PLAT
U.E.D.P. = UTILITY EASEMENT DEDICATED BY THIS PLAT
N.T.S. = NOT TO SCALE
P.O.B. = POINT OF BEGINNING
H.C.D.R. = HIDALGO COUNTY DEED RECORDS
H.C.M.R. = HIDALGO COUNTY MAP RECORDS
VOL. = VOLUME
PG. = PAGE
R.O.W. = RIGHT OF WAY
FND. = FOUND 1/2" IRON ROD
o = SET 1/2" IRON ROD



LOCATION MAP
N.T.S.



SUBDIVISION PLAT OF SHARY MANOR SUBDIVISION (PRIVATE SUBDIVISION)

A TRACT OF LAND CONTAINING 38.27 ACRES OF LAND, SITUATED IN HIDALGO COUNTY, TEXAS, SAID 38.27 ACRES OF LAND, BEING A PART OR PORTION OF LOT 385, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AND PART OR PORTION OF A 60.0 FOOT CANAL RIGHT-OF-WAY BETWEEN LOT 375 AND LOT 385, JOHN H. SHARY SUBDIVISION, MAP REFERENCE: VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS



SCALE: 1" = 100'
BASIS OF BEARING AS PER
TEXAS STATE PLANE COORDINATE SYSTEM
NAD 83, SOUTH ZONE

RECEIVED

By Nikki Marie Cavazos at 4:38 pm, Apr 28, 2020

RECEIVED VIA EMAIL 04/27/2020 AT 3:46 PM

| PRINCIPAL CONTACTS: | | | |
|-------------------------------|--------------------|-------------------|----------------|
| NAME | ADDRESS | CITY & ZIP | PHONE # |
| OWNER: SHARY 80 PHASE I, LLC, | P.O. BOX 810 | McAllen, TX 78505 | (956) 213-8244 |
| ENGINEER: JAVIER HINOJOSA | 416 E. DOVE AVENUE | McAllen, TX 78504 | (956) 668-1588 |
| SURVEYOR: CARLOS VASQUEZ | 517 BEAUMONT AVE. | McAllen, TX 78501 | (956) 618-1561 |

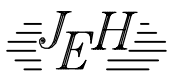


FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

DATE OF PREPARATION: APRIL, 2020

DRAWN BY: L. HERNANDEZ



JAVIER HINOJOSA ENGINEERING
CONSULTING ENGINEERS

416 E. DOVE AVENUE McAllen, TEXAS 78504

PHONE (956) 668-1588

javin@jeht.com

TIFOLS FIRM NUMBER F-1295

SHEET 1 OF 2



Reviewed On: 7/31/2020

SUBDIVISION NAME: SHARY MANOR**REQUIREMENTS****STREETS AND RIGHT-OF-WAYS**

North Shary Road: 60 ft. from centerline for 120 ft of ROW

Paving: by the state Curb & gutter: by the state

*Provide copy of document for ROW dedication (Doc. #2913274)

**Provide range of dedication along North Shary Road, including ROW from centerline to new property line to verify if additional dedication required prior to final.

Non-compliance

Thunderbird Avenue: 30 ft. dedication from centerline for 60 ft. ROW

Paving: 40 ft. Curb & gutter: both sides

**Must escrow monies if improvements are not built prior to recording.

***Correct plat to indicate 30 ft. additional ROW dedicated by this plat.

*****Revise reference to an alley where ROW is being dedicated.

Non-compliance

Robin Avenue (entrance Streets): 60 ft. ROW with 5 ft. Sidewalk/Utility Easement proposed on both sides

Paving: 40 ft. Curb & gutter: both sides

*Escrow monies if improvements not built prior to plat recording.

**Provide gate details prior to final to assure compliance with requirements.

Applied

Interior Street: (proposed as private) 50 ft. ROW with 5 ft. Sidewalk/Utility Easement proposed on both sides

Paving: 40 ft. Curb & gutter: both sides

**As per Engineering Department, Square knuckles, in lieu of round cul-de-sacs, may pose an issue with placement of inlets in the future and are therefore not recommended.

***Must escrow monies if improvements are not built prior to final.

****As per Fire Department, Cul-de-Sac minimum of 96 ft. paving diameter face-to-face.

Non-compliance

N. 56th Street: 35 ft. ROW dedication for 70 ft. ROW

Paving: 50 ft. Curb & gutter: both sides

*Clarify "35 ft. Alley" indicated on the North 56th. St. ROW.

**Indicate the total and dedicated ROW on North 56th St.

***City Commission approved a variance request to allow a half street with 24 ft. of paving at their meeting of March 27, 2017. Variance will be applied to this subdivision.

****Escrow monies if improvements not built prior to plat recording

*****Revise reference to alley where ROW is being dedicated.

Non-compliance

* 800 ft. block length:

**City Commission approved a variance request to allow block lengths greater 800 ft. at their meeting of March 27, 2017. Variance will be applied to this subdivision.

Applied

* 600 ft. Maximum Cul-de-Sac.

**As per Engineering Department, Square knuckles, in lieu of round cul-desacs, may pose an issue with placement of inlets in the future and are therefore not recommended.

***As per Fire Department, 96 ft. minimum diameter face-to-face for Cul-de-Sac

Applied

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties.

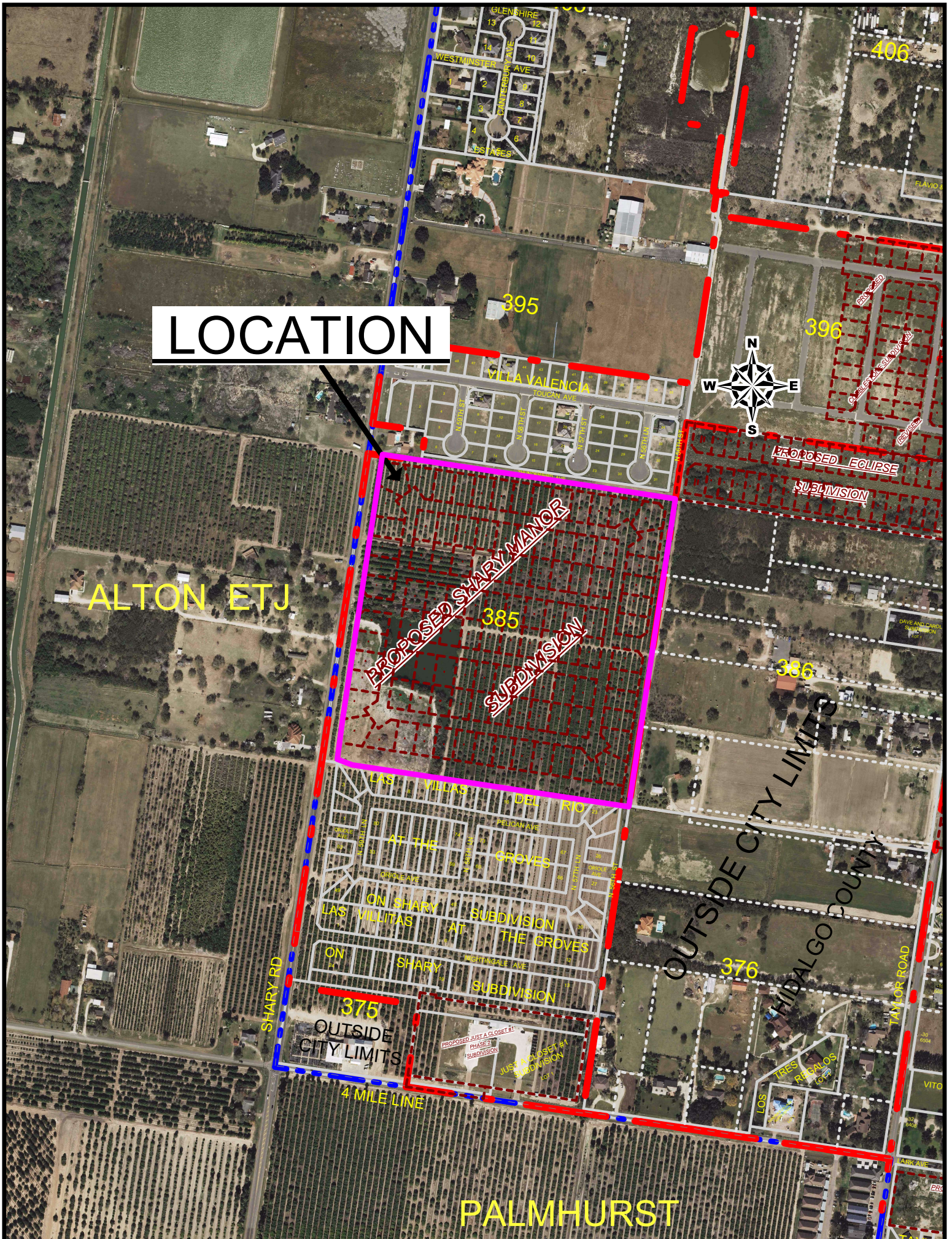
**Clarify reference on plat to alleys where streets are located; Thunderbird Avenue and North 56th Street.

Non-compliance

| SETBACKS | |
|---|----------------|
| <ul style="list-style-type: none"> * Front: 20 ft. or greater for easements. ***Engineer submitted a variance letter on July 14, 2020 requesting "20 ft. setback except 15 ft. for unenclosed carport only or greater for easements". ***Subdivision approved in Preliminary form at the P&Z meeting of May 19, 2020 with front setback of 20 ft. or greater for easements. * Rear: 10 ft. or greater for easements. * Sides: 6 ft. or greater for easement. * Corner: 10 ft. or greater for easements. * Garage: 18 ft. except where greater setback is required, greater setback applies. *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Non-compliance |
| | Applied |
| | Applied |
| | Applied |
| | Applied |
| | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. 56th Street, and on both sides of all interior streets. **5 ft. wide minimum sidewalk on North Shary Road as may be required by the Engineering Department. * Perimeter sidewalks must be built or money escrowed if not built at this time. | Non-compliance |
| | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Shary Road, North 56th Street, and Thunderbird Avenue. * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. *Perimeter buffers must be built at time of Subdivision Improvements. | Non-compliance |
| | Applied |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North Shary Road, North 56th Street and Thunderbird Avenue. * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA will be recorded simultaneously with subdivision plat. | Non-compliance |
| | NA |
| | NA |
| | Applied |
| | Applied |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. Interior streets proposed to be private. * Minimum lot width and lot area. | Applied |
| | Compliance |

| | |
|--|----------------|
| ZONING/CUP | |
| * Existing: C-3 Proposed: R-3A | Compliance |
| **Rezoning to R-3A approved by the City Commission on their meeting of June 22, 2020. | |
| * Rezoning Needed Before Final Approval | Completed |
| PARKS | |
| * Land dedication in lieu of fee. As per Parks Department, master plan for the entire development also request the amount of proposed units for Shary Manor. Proposed amount of units is a requirement in order to calculate park land dedication. Subdivision is subject to the McAllen Park Land Dedication Advisory Board review to determine land dedication or fee prior to final. | Non-compliance |
| * Park Fee of \$700 per dwelling unit to be paid prior to recording. Subdivision is subject to the McAllen Park Land Dedication Advisory Board review to determine land dedication or fee prior to final. | TBD |
| * Pending review by the Parkland Dedication Advisory Board and CC. | Required |
| TRAFFIC | |
| * As per Traffic Dept., Trip Generation must be submitted to determine if TIA is required, prior to final plat. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: Must comply with City's Access Management Policy **As per Traffic and Fire Departments, please submit gate detail for staff's review prior to final. ***As per Traffic Dept., please show no parking for edges of knuckles in subdivision. ****As per Engineering Dept., square knuckles, in lieu of round cul-de-sacs, may pose an issue with placement of inlets in the future and are therefore not recommended. *****As per Public Works Dept., please submit site plan indicating proposed dumpster locations and enclosure details | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES APPROVAL, AND CLARIFICATION ON VARIANCE REQUESTED. | Applied |

LOCATION



JAVIER HINOJOSA ENGINEERING/Consulting Engineers

416 E. Dove Avenue • McAllen, Texas 78504

Tel: (956) 668-1588 • Fax: (956) 994-8102

javhin@rgv.rr.com
TBPE FIRM NO. F-1295

July 14, 2020

Mr. Jose Humberto De La Garza, MBA, Planner III
City of McAllen
P.O. Box 220
McAllen, Texas 78505-0220

Re: Shary Manor Subdivision

Dear Mr. De La Garza,

Please accept this letter as a request on behalf of the owner of the Shary Manor Subdivision for the following setback requirements for the subdivision:

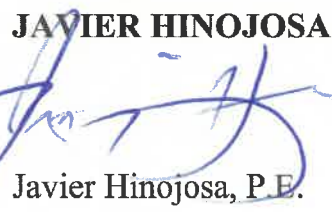
| | | |
|----------------|---|--|
| Front | : | 20 feet except 15 feet for unenclosed carport only, or greater for easements. |
| Rear | : | 10 feet or greater for easement |
| Interior Sides | : | 6 feet or greater for easement |
| Corner | : | 10 feet or greater for easement |

These proposed setbacks are identical to what was provided for in the Las Villitas at the Groves on Shary Subdivision which is located south of this development and was developed by the same owner. The proposed housing units within the Shary Manor will be similar to Las Villitas at the Groves on Shary Subdivision. The rear setback is being requested for all lots and is similar to Las Villas at the Groves on Shary Subdivision and Las Villas Del Rio at the Groves on Shary Subdivision which is located immediately south this property.

Please process this request at your earliest convenience. If you have any questions or require further information, please feel free to contact me at your convenience.

Sincerely,

JAVIER HINOJOSA ENGINEERING



Javier Hinojosa, P.E.

JAVIER HINOJOSA ENGINEERING/Consulting Engineers

416 E. Dove Avenue • McAllen, Texas 78504

Tel: (956) 668-1588 • Fax: (956) 994-8102

javhin@rgv.rr.com

TBPE FIRM NO. F-1295

July 14, 2020

Mr. Jose Humberto De La Garza, MBA, Planner III
City of McAllen
P.O. Box 220
McAllen, Texas 78505-0220

Re: Shary Manor Subdivision

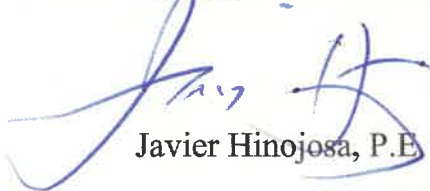
Dear Mr. De La Garza,

Please accept this letter as a request on behalf of the owner of the Shary Manor Subdivision for payment of the park land fee to be separated in order to pay ½ of the amount upon platting of the subdivision and the other ½ to be paid upon applying for building permit. This request was granted for the owner's development of Las Villitas at the Groves on Shary Subdivision. The proposed Shary Manor Subdivision will be similar to the housing units within the Las Villitas at the Groves on Shary Subdivision.

Please process this request at your earliest convenience. If you have any questions or require further information, please feel free to contact me at your convenience.

Sincerely,

JAVIER HINOJOSA ENGINEERING



Javier Hinojosa, P.E.

JAVIER HINOJOSA ENGINEERING/Consulting Engineers

416 E. Dove Avenue • McAllen, Texas 78504

Tel: (956) 668-1588 • Fax: (956) 994-8102

javhin@rgv.rr.com

TBPE FIRM NO. F-1295

July 14, 2020

Mr. Jose Humberto De La Garza, MBA, Planner III
City of McAllen
P.O. Box 220
McAllen, Texas 78505-0220

Re: Shary Manor Subdivision

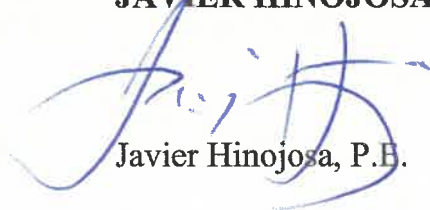
Dear Mr. De La Garza,

Please accept this letter as a request on behalf of the owner of the Shary Manor Subdivision that all streets within the subdivision have a 50' right of way with 5' utility easements on either side of the right of ways. This subdivision is being proposed as a private gated community and this right of ways and easements will accommodate the property paving and infrastructure being proposed. This system was utilized by the owner for the existing Las Villitas at the Groves on Shary Subdivision located south of the property. The proposed Shary Manor Subdivision will be similar to the housing units within the Las Villitas at the Groves on Shary Subdivision.

Please process this request at your earliest convenience. If you have any questions or require further information, please feel free to contact me at your convenience.

Sincerely,

JAVIER HINOJOSA ENGINEERING



Javier Hinojosa, P.E.

SUB2020-0044



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | <p>Subdivision Name <u>Villa Torre Estates Subdivision</u> <i>Villa Torre Estates At Almon Subdivision 7/27/20 JH</i></p> <p>Location <u>Yellowhammer Avenue just west of N. 34th Street (south side of Fossum Middle School)</u></p> <p>City Address or Block Number _____</p> <p>Number of lots <u>41</u> Gross acres <u>8.48</u> Net acres <u>8.48</u></p> <p>Existing Zoning <u>A-O</u> Proposed <u>R-1</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Open</u> Proposed Land Use <u>Single Family</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Legal Description <u>8.48 acres out of Lot 57 La Lomita Irrigation and Construction</u></p> <p><u>Company's Subdivision as recorded in Volume 24, Page 68 Deed Records of Hidalgo County</u></p> |
| | <p>Owner</p> <p>Name <u>Riverside Development Services, LLC</u> Phone <u>(956) 867-0035 / (956) 331-8987</u></p> <p>Address <u>2606 Zinnia Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p> <p>E-mail <u>taguirreconsulting@me.com & riversidedevelopmentservices@gmail.com</u></p> |
| | <p>Developer</p> <p>Name <u>Riverside Development Services, LLC</u> Phone <u>(956) 867-0035 / (956) 331-8987</u></p> <p>Address <u>2606 Zinnia Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p> <p>Contact Person <u>Antonio M. Aguirre, Jr.</u></p> <p>E-mail <u>taguirreconsulting@me.com & riversidedevelopmentservices@gmail.com</u></p> |
| | <p>Engineer</p> <p>Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u></p> <p>Address <u>416 E. Dove Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p> <p>Contact Person <u>Javier Hinojosa, P.E.</u></p> <p>E-mail <u>javhin@rgv.rr.com</u></p> |
| | <p>Surveyor</p> <p>Name <u>CVQ Land Surveyors, LLC</u> Phone <u>(956) 618-1551</u></p> <p>Address <u>517 Beaumont Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person: <u>Carlos Vasquez, R.P.L.S.</u> Email: <u>cvq@cvqls.com</u></p> |

RECEIVED
JUL 08 2020

BY: *[Signature]* *[Signature]*

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 1/2" by 11" Original Sealed Survey showing existing structures/
- _____ easements or 3 blueline copies
- _____ 2' Location Maps
- _____ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
- _____ partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

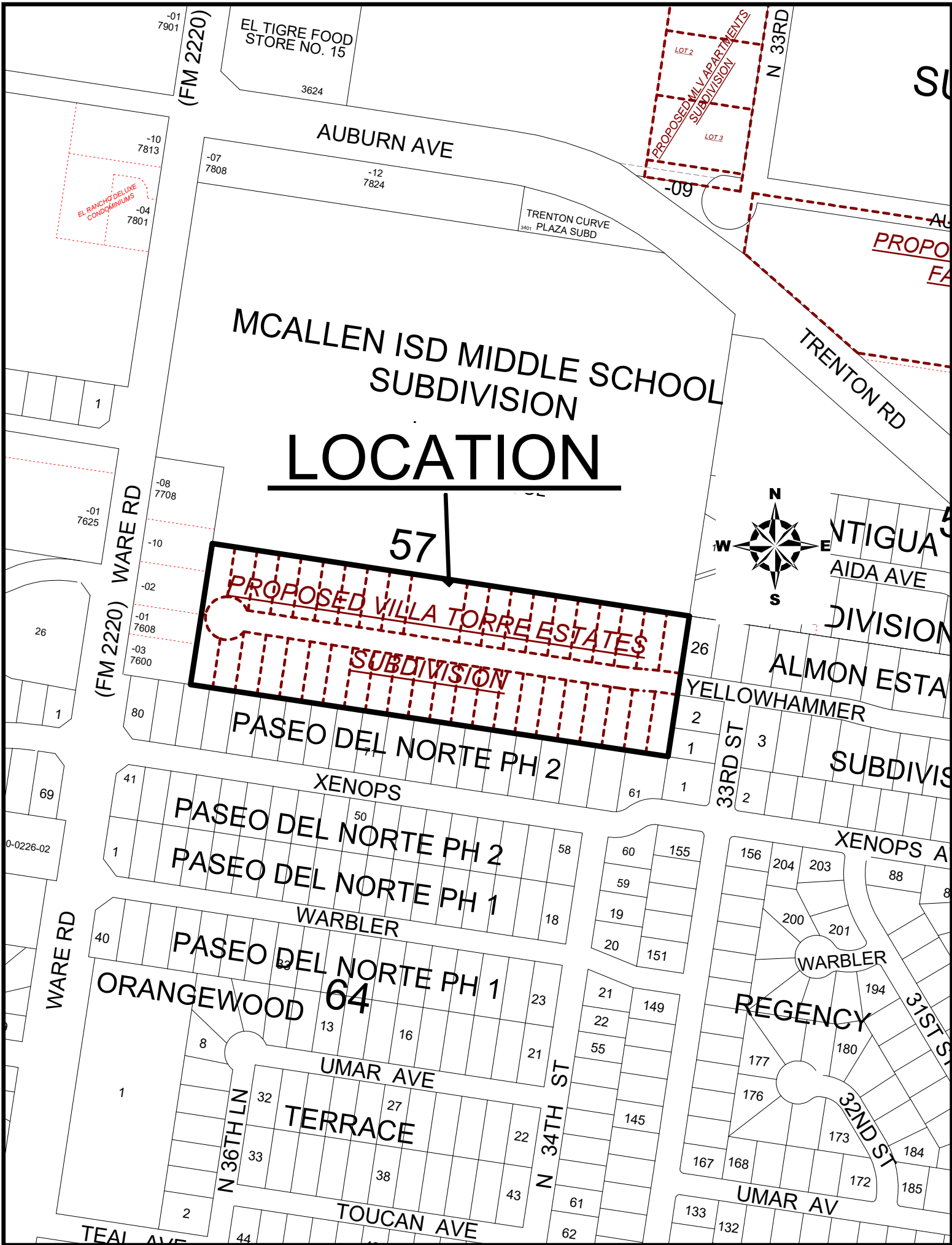
Signature _____ Date 7-8-2020

Print Name Antonio M. Aguirre, Jr.

Owner ☒

Authorized Agent ☐

09/15



MCALLEN ISD MIDDLE SCHOOL
SUBDIVISION

LOCATION

57

PROPOSED VILLA TORRE ESTATES
SUBDIVISION

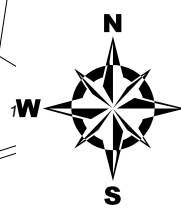
PASEO DEL NORTE PH 2

PASEO DEL NORTE PH 2
PASEO DEL NORTE PH 1

PASEO DEL NORTE PH 1
ORANGEWOOD

TERRACE

TOUCAN AVE



ANTIGUA
AIDA AVE
DIVISION

ALMON ESTA

YELLOWHAMMER
SUBDIVIS

XENOPS A

REGENCY

UMAR AV

(FM 2220)
-01
7901

EL TIGRE FOOD
STORE NO. 15
3624

PROPOSED MILV APARTMENTS
LOT 2
LOT 3

N 33RD

EL RANCHO DELUXE
CONDOMINIUMS
-10
7813
-04
7801

-07
7808

-12
7824

TRENTON CURVE
PLAZA SUBD
3401

-09

PROPO
FA

TRENTON RD

(FM 2220) WARE RD
-08
7708
-10
-02
-01
7608
-03
7600

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26

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3

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0-0226-02

WARE RD

1

8

32

33

27

38

43

22

61

62

N 34TH ST

61

62

21

22

55

149

145

177

176

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N. WARE ROAD

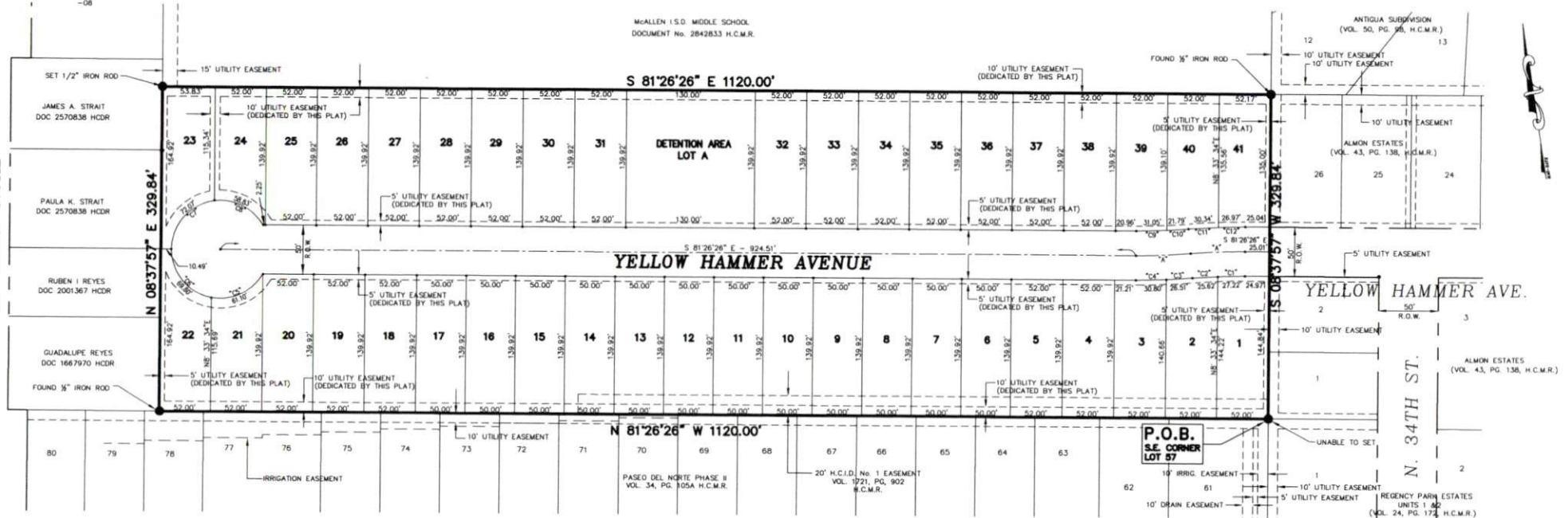
McALLEN I.S.D. MIDDLE SCHOOL
DOCUMENT No. 2842833 H.C.M.R.

S 81°26'26" E 1120.00'

YELLOW HAMMER AVENUE

N 81°26'26" W 1120.00'

SUBDIVISION PLAT OF
**VILLATORRE ESTATES
AT ALMON
SUBDIVISION**



RECEIVED
JUL 27 2020
8:15am



Reviewed On: 7/31/2020

| | |
|--|---|
| SUBDIVISION NAME: VILLATORRE ESTATES AT ALMON | |
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| <p>Yellohammer Avenue: 50 ft. ROW Paving: Submitted plan indicates 40 ft. of paving Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. *** Please revise name to show "Yellowhammer Avenue" instead of "Yellow Hammer Avenue" wherever is applicable prior to final. ****Engineer must clarify cul-de-sac radius prior to final. As per Fire Dept., Cul-De-Sacs must be 96' in diameter face-to-face with an approximately 10 ft. ROW paving back of curb. *****If Cul-de-Sac length variance is requested, paving might be required to be increased as part of the conditions of the variance. If 50 ft. of ROW is proposed, 5 ft. sidewalks and utility easements on both sides of the street will be required, as well as 40 ft. of paving. *****Secondary access required as per Traffic and Fire Department.</p> <p>Paving _____ Curb & gutter _____</p> <p>Paving _____ Curb & gutter _____</p> <p>* 800 ft. Block Length _____</p> <p>* 600 ft. Maximum Cul-de-Sac length is allowed; approximately 1,120 ft. is proposed. Engineer must request a variance to the cul-de-sac length prior to final or revise plat to comply with requirements. ***If Cul-de-Sac length variance is requested, paving might be required to be increased as part of the conditions of the variance. If 50 ft. of ROW is proposed, 5 ft. sidewalks and utility easements on both sides of the street will be required, as well as 40 ft. of paving.</p> | <p>Non-compliance</p> <p>Applied</p> <p>Applied</p> <p>NA</p> <p>Non-compliance</p> |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties</p> | NA |
| SETBACKS | |
| <p>* Front: 25 ft. or greater for easements. * Rear: 10 ft. or greater for easements. **Please correct plat note as shown above. * Sides: 6 ft. or greater for easements. **Please revise plat note as shown above. * Corner: 10 ft. or greater for easements. * Garage: 18 ft. or except where greater setback is required, greater setback applies. *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | <p>Applied</p> <p>Non-compliance</p> <p>Non-compliance</p> <p>Applied</p> <p>Applied</p> <p>Applied</p> |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on both sides of all interior streets. * Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | <p>Applied</p> <p>Applied</p> |

| BUFFERS | |
|---|----------------|
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Please remove wording "and along North 29th Street" from plat note #9 prior to final. * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. *Perimeter buffers must be built at time of Subdivision Improvements. | Non-compliance |
| | Compliance |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. * Site plan must be approved by the Planning and Development departments prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common/Detention Lots/Areas, and any private streets, etc., must be maintained by the lot owners and not the City of McAllen * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Please revise plat note 15 to reflect the correct subdivision name. ***Section 110-72 if public subdivision is proposed. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | NA |
| | NA |
| | NA |
| | Required |
| | Non-compliance |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Minimum lot width and lot area. * Lots fronting public streets. **Public subdivision is proposed. | Compliance |
| | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: A-O Proposed: R-1 * Rezoning Needed Before Final Approval. **Rezoning request will be presented at P&Z on 8/18/20 and at the City Commission on 9/14/20. | Required |
| | Non-compliance |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per dwelling unit/lot. As per submitted plat, 41 lots are proposed (41 X \$700 = \$28,700) will have to be paid prior to recording. If number of proposed lots/dwelling units change, park fees will be adjusted. * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| | Required |
| | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * Trip Generation is under review to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. | Applied |
| | TBD |

| COMMENTS | |
|---|---------|
| <p>Comments: Must comply with City's Access Management Policy **As per Fire and Traffic Dept., subdivision needs a second access due to the number of proposed lots (over 30). Please revise plat accordingly. ***If Cul-de-Sac length variance is requested, ROW and paving might be required to be increased as part of the conditions of the variance.</p> | Applied |
| RECOMMENDATION | |
| <p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, AND UTILITY AND DRAINAGE APPROVALS.</p> | Applied |

(FM 2220)

EL TIGRE FOOD STORE NO. 15

AUBURN AVE

PROPOSED MANIPALM ST. DIVISION

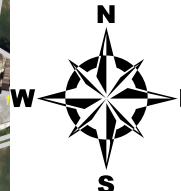
N 33RD

MCALLEN ISD MIDDLE SCHOOL SUBDIVISION

LOCATION

57

PROPOSED VILLA TORRE ESTATES SUBDIVISION



(FM 2220) WARE RD

33RD ST

PASEO DEL NORTE PH 2

XENOPS

PASEO DEL NORTE PH 2

PASEO DEL NORTE PH 1

WARBLER

PASEO DEL NORTE PH 1

ORANGEWOOD 64

UMAR AVE

TERRACE

N 36TH LN

N 34TH ST

TOUCAN AVE

TEAL AVE

YELLOWHAMMER

XENOPS A

WARBLER

REGENCY

UMAR AV

32ND ST

31ST ST

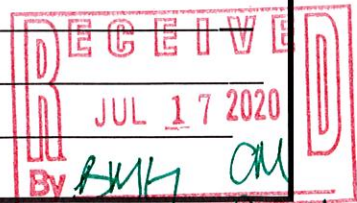
Sub 2020-0045



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | Subdivision Name <u>ESMERALADA HEIGHTS</u> Location <u>NWC N. 8TH ST. & BEECH AVE.</u> City Address or Block Number <u>209 N. 8TH ST.</u> Number of lots <u>1</u> Gross acres <u>0.23</u> Net acres <u>0.23</u> Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>House</u> Proposed Land Use <u>House</u> Irrigation District # <u>3</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u> Legal Description <u>THE S. 145' OF LOT 8, BLK. 1, PALM HEIGHTS ADDN., McAllen, N.C.T.</u> |
| Owner | Name <u>SERGIO TODARO</u> Phone <u>655-5125</u> Address <u>209 N. 8TH ST.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> E-mail <u>STODARO25@gmail.com</u> |
| Developer | Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____ |
| Engineer | Name <u>DAVID SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DAVID</u> E-mail <u>dsalinas@salinasengineering.com</u> |
| Surveyor | Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ |



Rct# 726256

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/
easements or 3 blue-line copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blue-line prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 7/17/20

Print Name _____

Owner ☒

Authorized Agent ☐

09/15

12

LOUIS³



PROPOSED ESMERALDA HEIGHTS
SUBDIVISION
4.02.1

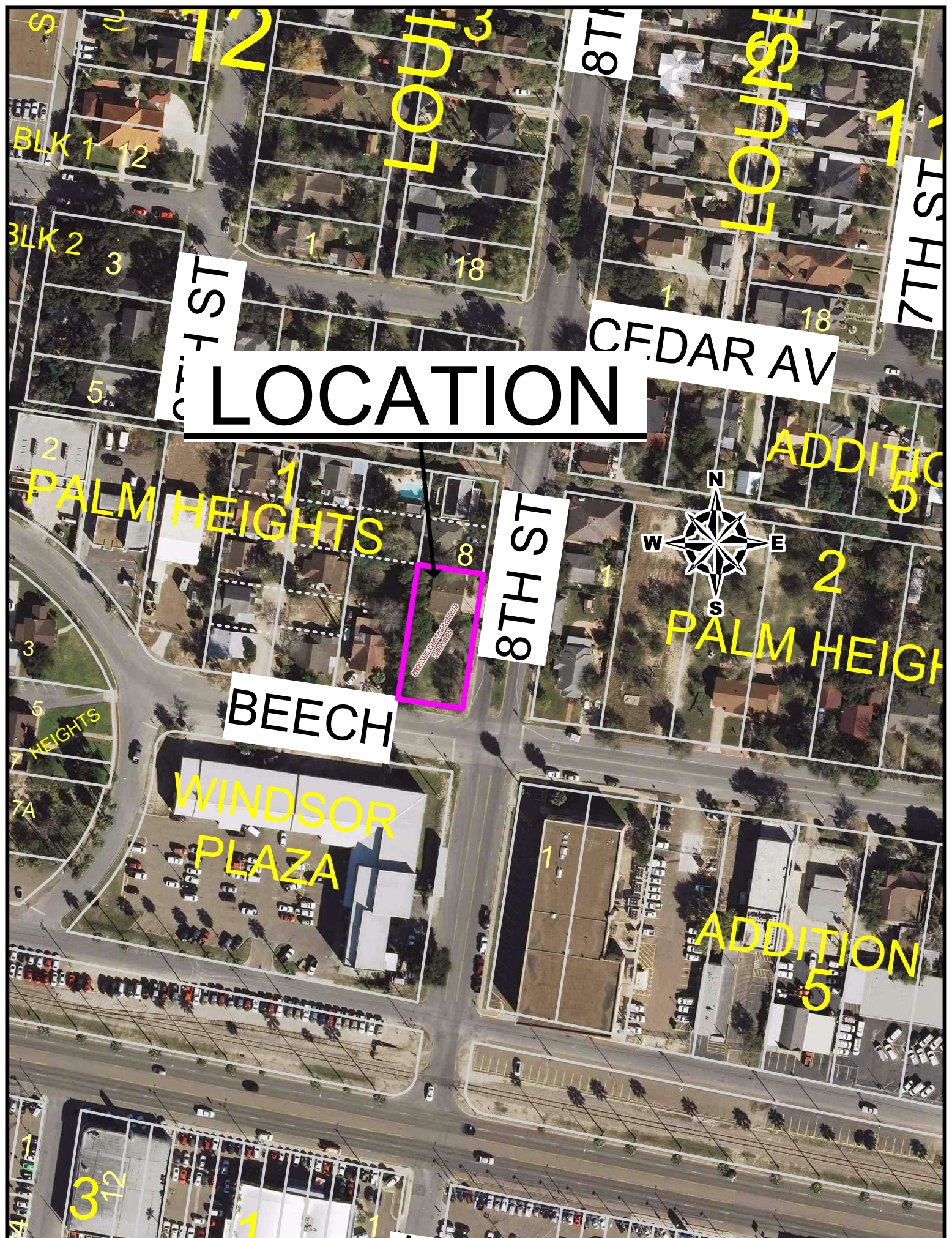


Reviewed On: 7/31/2020

| SUBDIVISION NAME: ESMERALDA HEIGHTS | |
|--|---------|
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| North 8th Street: 37 ft. from centerline for 74 ft. Paving: 40 ft., minimum 20 ft. of paving required on both sides of boulevard Curb & gutter: Both sides | Applied |
| Beech Avenue: 35 ft. from centerline for 70 ft. of existing ROW Paving: Approximately 50 ft. Curb & gutter: Both sides | Applied |
| Paving _____ Curb & gutter _____ | Applied |
| * 800 ft. Block Length. | NA |
| * 600 ft. Maximum Cul-de-Sac. | NA |
| ALLEYS | |
| ROW : 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties | NA |
| SETBACKS | |
| * Front: Beech Avenue: 20 ft. or greater for easements, or in line with average setback of existing structures or approved site plan; whichever is greater ** North 8th Street: 20 ft. or greater for easements, or in line with average setback of existing structures or approved site plan; whichever is greater ***Please reference "Avenue" instead of "Drive" after Beech. | TBD |
| * Rear: 10 ft. or greater for easements. | Applied |
| * Interior Sides: In accordance with Zoning Ordinance or greater for easements. | Applied |
| * Corner: See above setbacks. | TBD |
| * Garage: 18 ft. except where greater setback is required; greater setback applies. | Applied |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required along Beech Avenue and North 8th Street. **Monies must be escrowed if improvements are not built prior to recording. | Applied |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. | Applied |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Applied |
| *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |

| NOTES | |
|--|------------|
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along Beech Avenue. **As per Traffic Department, access will have to remain in the same location. * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | TBD |
| | NA |
| | NA |
| | NA |
| | NA |
| | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. * Minimum lot width and lot area. | Compliance |
| | Applied |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-2 Proposed: Single Family Residence ***Engineer must clarify if any new structures are proposed. If rezoning or CUP are required, they must be done prior to final. | Applied |
| | TBD |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted, 1 lot is proposed and \$700 must be paid prior to recording. If number of lots or dwelling units change prior to recording, additional parks fees might be required. * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| | Required |
| | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation waived. * Traffic Impact Analysis (TIA) not required as per Traffic Department. | Complete |
| | Applied |
| COMMENTS | |
| <ul style="list-style-type: none"> Comments: Must comply with City's Access Management Policy **As per Public Works, site plan required for review. ***Revise subdivision name to: "Palms Heights, Lot 8A, Block 1A" prior to final. | Applied |
| RECOMMENDATION | |
| <ul style="list-style-type: none"> Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, AND UTILITIES AND DRAINAGE APPROVALS. | Applied |

LOCATION





City of McAllen
Planning Department
(956) 972-7050

APPLICATION FOR
SUBDIVISION PLAT REVIEW

7/5/20
Dee

Project Description

Subdivision Name Mission Valley Estates NORTH VIA CANTERA
Location East of Upper Sharyland Subdivision and in between Mile 7 1/2 and SH 107 7321
City Address or Block Number Lots 491 and 501, John H. Shary Subdivision 1501 Mile
Number of lots 54 52 AR 10/27/0 Gross acres 33.58 Net acres 33.47 7 1/2 RD
Existing Zoning A-0 Proposed R-1 Rezoning Applied For Yes ☐ No ☒ Date 20
Existing Land Use Agriculture Proposed Land Use Single Family Residential
Residential Replat Yes ☐ No ☒ Commercial Replat Yes ☐ No ☒ ETJ Yes ☒ No ☐
Agricultural Tax Exemption Yes ☐ No ☒ Estimated Rollback tax due 0
Legal Description (attached) Town of McAllen (NORTH VIA CANTERA)

Owner

Name La Poderosa Development, LTD Telephone (956) 722-5688 LLC
Address 130 Martin Gale
City Laredo State TX Zip 78041

Developer

Name La Poderosa Development, LTD Telephone (956) 722-5688
Address 130 Martin Gale
City Laredo State TX Zip 78041
Contact Person Humberto Fasci, President

Engineer

Name Rio Delta Engineering & Surveying Telephone (956) 380-5152
Address 302 West University Drive, Suite C
City Edinburg State TX Zip 78539
Contact Person Gilbert Guerra or Ialo Chapa

Surveyor

Name (same as Engineer) Telephone
Address
City State Zip
Contact Person

FEB 25 2005

Zip

RECEIPT #185299

51-12 AGUIRRE, G

11933

12237
12233

LOT 3

11915

KOEPKE
LOT 2

SUBDIVISION

11851

LOT 1

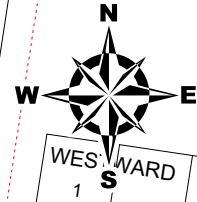
11823

7 1/2 MILE LINE

11800

STEWART ROAD (11800)

LOCATION



7 1/2 MILE LINE

50-12

UPPER SHARYLAND SUBD.

PROPOSED NORTH VIA CANTERA
SUBDIVISION
(REVISED)

CANTU
LOT 1
SUBD.

502

AUDIE E. RAY SUBDIVISION
LOT 1

7600

7200

STATE HIGHWAY 107

491

492

BOGERT SUBD
1 2 3 4 5
9 8 7 6

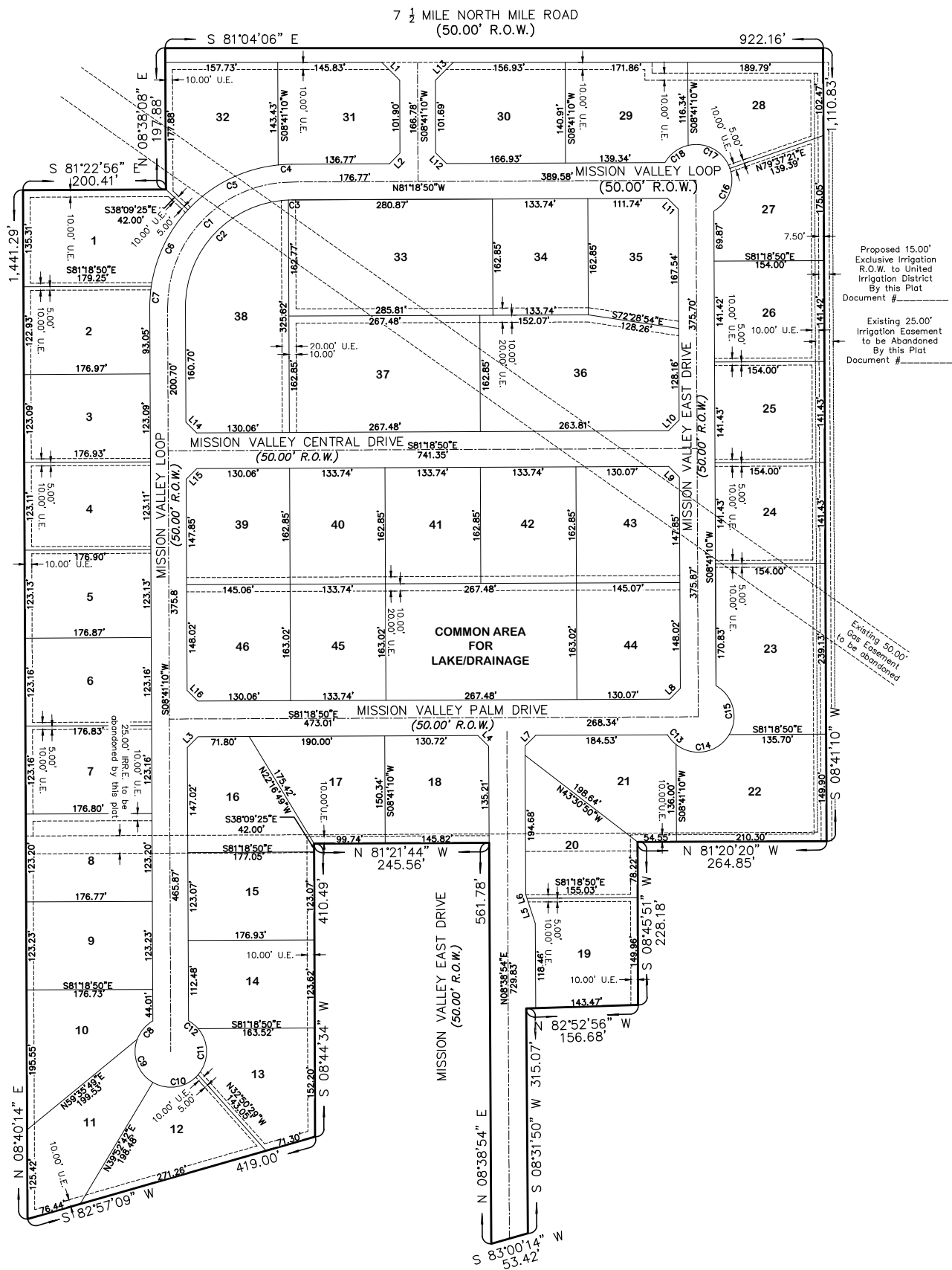
MCALLEN SH 107
SUBDIVISION
LOT 1

2 3
UE SUBD

RUBEN RODRIGUEZ SID
1 2 3

MORALES SUBD
1

GLASS COCK



NOR VIA AN ERA SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

BEING A 33.58 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF 5.82 ACRES OUT OF LOT 491, AND, 27.76 ACRES OUT OF LOT 501, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JUNE 26, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



SALINAS ENGINEERING & ASSOCIATES
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFODIL - McALLEN, TEXAS 78501
(956) 882-9081 (956) 888-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/17/2020

| SUBDIVISION NAME: NORTH VIA CANTERA | |
|--|----------------|
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| <p>S. H. 107: 172 ft. ROW existing Paving: by the state Curb & gutter: both sides **Need to show centerline, and existing ROW on both sides</p> | Non-compliance |
| <p>Mile 7 1/2 North Road: 15 ft. dedication for 40 ft. from centerline for 80 ft. ROW Paving: 52 ft. - 65 ft. Curb & gutter: both sides **Need to show centerline and existing ROW on both sides after accounting for any ROW dedication.</p> | Non-compliance |
| <p>N. 73rd Street: 58 ft. ROW minimum as previously approved Paving: 32 ft. Curb & gutter: both sides **Engineer needs to show/label ROW on the plat. Due to subdivision being private, minimum ROW width previously approved is 58 ft., revise plat accordingly. ***Revise street name on plat to reflect N. 73rd St.</p> | Non-compliance |
| <p>N. 73rd Ln.: 73 ft. as previously approved Paving: 46 ft. Curb & gutter: both sides **Engineer needs to show/label ROW on the plat. Due to subdivision being private, minimum ROW width previously approved is 73 ft., revise plat accordingly. ***Revise street name on plat to reflect N. 73rd Lane.</p> | Non-compliance |
| <p>Lavaca Ave., Kentucky Ave., Johnson Creek Ave., N. 75th St. and N. 72th St.: 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides. **Revise plat and replace street names as follows: Lavaca Ave. - instead of Mission Valley Loop, Kentucky Ave. - instead of Mission Valley Central Dr., Johnson Creek Ave. - instead of Mission Valley Palm Dr., N. 75th St. - instead of Mission Valley Loop (north/south), and N. 72th St. - instead of Mission Valley East Dr.</p> | Non-compliance |
| * 800 ft. Block Length | Compliance |
| * 600 ft. Maximum Cul-de-Sac: | Compliance |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties</p> | NA |
| SETBACKS | |
| <p>* Front: 25 ft. or greater for easements **Please revise plat note as shown above prior to final. ***Remove plat note for "Front Cul-de-sacs" prior to final.</p> | Non-compliance |
| <p>* Rear: 10 ft. or greater for easements, except 25 ft. for double fronting lots along Mile 7 1/2 North Road. **Revise Note #1 on plat regarding rear setback as shown above.</p> | Non-compliance |
| <p>* Sides: 6 ft. or greater for easements. **Revise plat note as shown above.</p> | Non-compliance |
| * Corner: 10 ft. or greater for easements. | Compliance |
| * Garage: 18 ft. except where greater setback is required, greater setback applies | Applied |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN. | Applied |

| SIDEWALKS | |
|---|----------------|
| * 5 ft. wide minimum sidewalk required on S.H. 107 and 4 ft. wide Mile 7 1/2 North Road and both sides of all interior streets. ***Revise Note #4 as shown above. ***Sidewalk along Mile 7 1/2 North Road may increase to 5 ft. - per Engineering Department. | Non-compliance |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial, or multi-family residential zones/uses, and along Mile 7 1/2 North Road. **Note #7 on plat submitted June 26, 2020 needs to be revised as shown above. | Non-compliance |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Applied |
| *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| NOTES | |
| * No curb cut, access, or lot frontage permitted along Mile 7 1/2 North Road. **Revise Note #11 on plat submitted June 26, 2020 as shown above. | Non-compliance |
| * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. | NA |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | NA |
| * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen. | Required |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Need note on plat as shown above. Indicate subdivision is private by placing including "private" with or without parenthesis, | Non-compliance |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | Required |
| LOT REQUIREMENTS | |
| * Lots fronting public streets **Need to assign a Lot number or letter for Common Area Lake/Drainage | Non-compliance |
| * Minimum lot width and lot area: | Compliance |
| ZONING/CUP | |
| * Existing: R-1 Proposed: R-1 | Compliance |
| * Rezoning Needed Before Final Approval. | NA |
| PARKS | |
| * Land dedication in lieu of fee. | NA |
| * Park Fee of \$700 per dwelling unit to be paid prior to recording. Park fee of \$32,200 (based on \$700 x 46 dwelling units/lots) to be paid prior to recording. If the number of dwelling units/lots changes, the fees will be adjusted accordingly. Per Parks Department, the park fee is adjusted based on the reduction of lots from 53 to 48 lots. Park fees are subject to change if the number of lots changes again. | Required |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, Trip Generation has been approved. | Completed |

| | |
|---|---------|
| * Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department no TIA required, if number of Lots remain the same. | NA |
| COMMENTS | |
| <p>Comments:</p> <p>**Must comply with City's Management Access Policy</p> <p>***Need to identify subdivision as a private development by including "private" reference after the name.</p> <p>***Gate and gate mechanism details must be submitted for review/approval, prior to final.</p> <p>****Minimum 20 ft. pavement on both sides of islands along gate entry required.</p> <p>****Must escrow monies, prior to recording for improvements if not constructed at this time, including paving, curb & gutter, sidewalks, etc.</p> <p>*****If streets are to be private, must be built in accordance with City standards and maintained by the owners, not the City of McAllen.</p> <p>***** P&Z approved the subdivision in preliminary form, with conditions, at the meeting of August 7, 2018.</p> <p>***** Subdivision was approved in revised preliminary form at the P&Z meeting of February 5, 2020, engineer requested a six month extension.</p> <p>***** Assign a Lot # or letter for Common Area Lake / Drainage</p> <p>***** Update Note #11 on plat to reflect Lots 28-32 in accordance with the revised layout.</p> <p>***** 25 ft. irrigation easement identified on plat will need to be abandoned by separate process, not by plat - prior to recording.</p> <p>***** Subdivision was originally approved under Mission Valley Estates</p> | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED. | Applied |

LOCATION



STATE HIGHWAY 107

BOGERT SUBD

MORALES SUBD

51-12 11933 AGUIRRE, G

KOEPKKE
LOT 2
UBDIVISION
11915
11851

1/2 MILE LINE

7 1/2 MILE LINE

502

492

GLASS COCK

SUB 2020-0022



City of McAllen
Planning Department

APPLICATION FOR
SUBDIVISION PLAT REVIEW

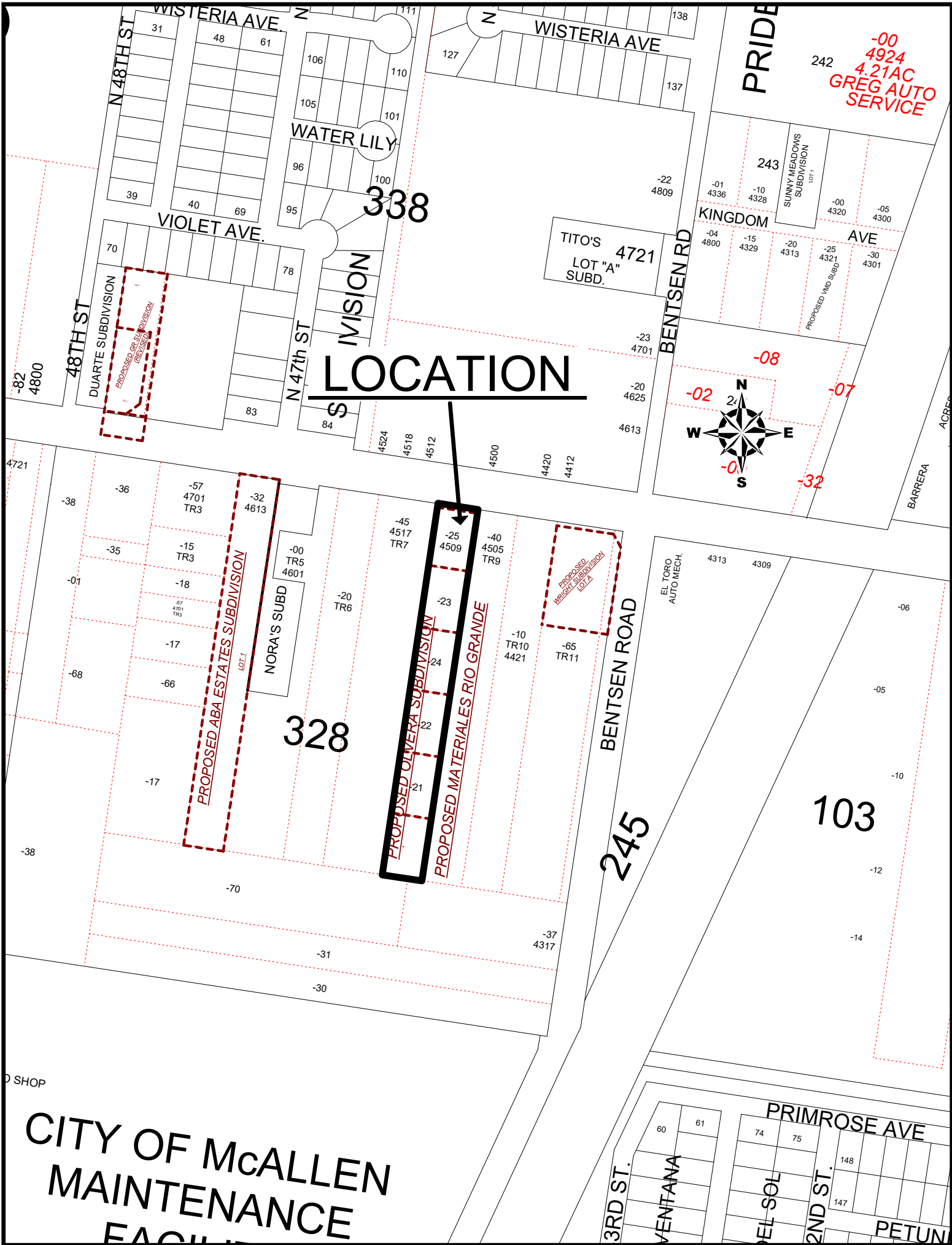
311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | <p>Subdivision Name <u>OLVERA SUBD.</u> <u>OF BUDDY OWENS</u></p> <p>Location <u>1/4 475' WEST OF BENTLEY ROAD ALONG SOUTH SIDE</u></p> <p>City Address or Block Number <u>4509 BUDDY OWENS BLVD.</u></p> <p>Number of lots <u>6</u> Gross acres <u>2.15</u> Net acres <u>2.15</u></p> <p>Existing Zoning <u>C3/R-1</u> Proposed <u>C3/R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>OPEN/RESIDENTIAL</u> Proposed Land Use <u>RESIDENTIAL</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u></p> <p>Parcel No. <u>PROP. I.D. # 281799</u> Tax Dept. Review _____</p> <p>Legal Description <u>2.15 AC. 0/0 LOT 328, JOHN. D. SHARP SUBD., D.C.T.</u></p> |
| Owner | <p>Name <u>JOSE TALLEZ OLVERA</u> Phone <u>776-9268</u></p> <p>Address <u>4509 BUDDY OWENS BLVD.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>None</u></p> |
| Developer | <p>Name <u>SHARPS AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p> |
| Engineer | <p>Name <u>DAVID O. SALINAS</u> Phone <u>682-9001</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p> |
| Surveyor | <p>Name <u>SHARPS AS ENGR.</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> |

RECEIVED
APR 14 2020

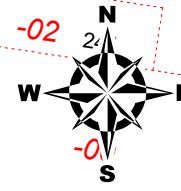
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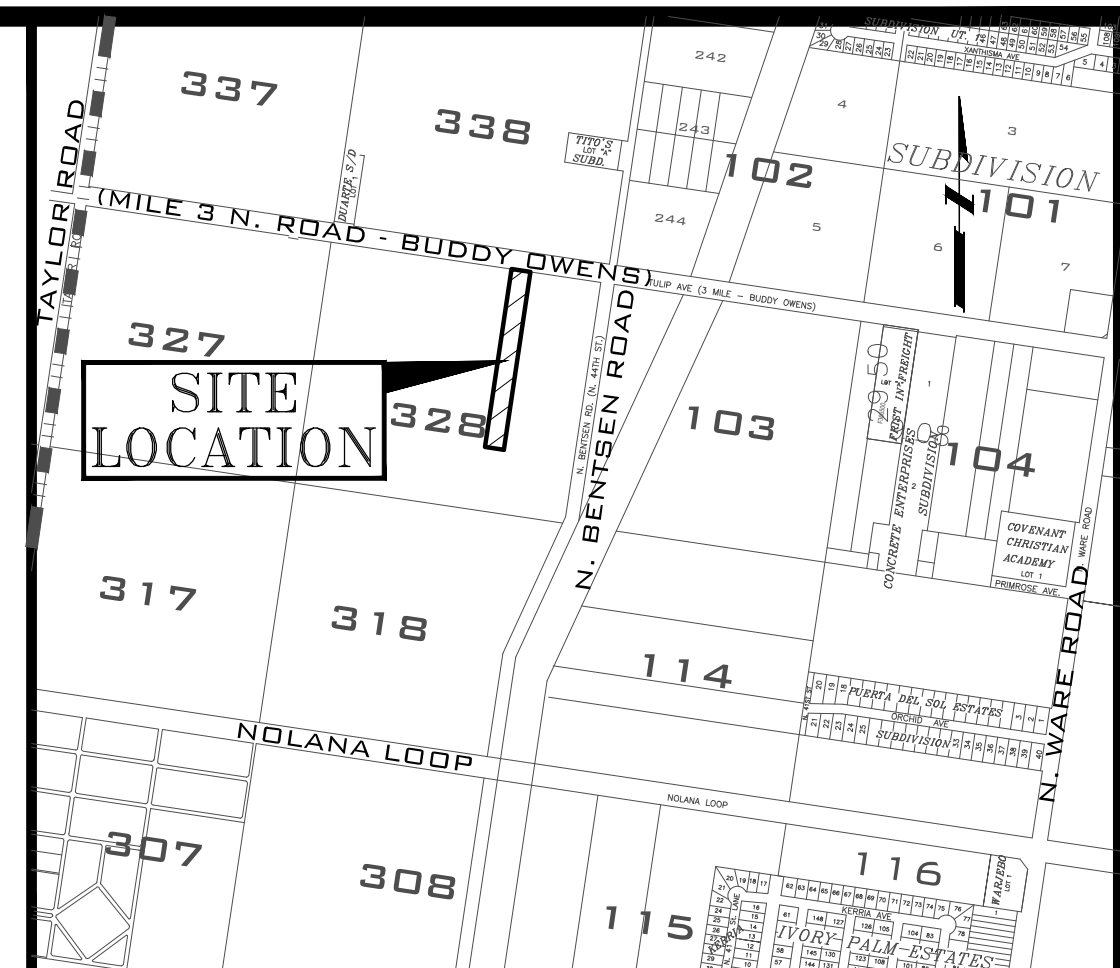


-00
4924
4.21AC
GREG AUTO
SERVICE

LOCATION



CITY OF McALLEN
MAINTENANCE
EACH



PREPARED BY: SALINAS ENGINEERING & ASSOC.
DAVID O. SALINAS, P.E., R.P.L.S.
2221 DAFFODIL AVE.
MCALLEN, TEXAS 78501

DATE PREPARED: MAY 12, 2020
DATE SURVEYED: APRIL 06, 2020

AN ADDITION TO THE CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS
BEING A 2.15 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF LOT
328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO
THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 17, MAP
RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

| | | |
|---|--|--|
| OWNER: ROBERTO OLIVERA 4509 BUDDY OWENS BLVD. MCALLEN, TEXAS 78504 (OWNER OF LOT 1) | OWNER: JOSE TELLEZ OLIVERA 4509 BUDDY OWENS BLVD. MCALLEN, TEXAS 78504 (OWNER OF LOT 2) | OWNER: RICARDO OLIVERA 1410 MADRID ST. PHARR, TEXAS 78577 (OWNER OF LOT 3) |
| OWNER: RAUL OLIVERA AND WIFE THELMA OLIVERA 4509 BUDDY OWENS BLVD. MCALLEN, TEXAS 78504 (OWNER OF LOT 4) | | OWNER: JOSE OLIVERA 4509 BUDDY OWENS BLVD. MCALLEN, TEXAS 78504 (OWNER OF LOTS 5 & 6) |

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 2020.

STATE OF TEXAS
CITY OF MCALLEN

I THE UNDERSIGNED, MAYOR OF THE CITY MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT GUARANTEE THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THIS SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1


| | |
|--|------|
| RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER | DATE |
|--|------|

| NAME | ADDRESS | CITY & ZIP | PHONE | FAX |
|-----------------------------------|-------------------------------|-----------------------------|-----------------------|-----------------------|
| OWNER: <u>ROBERTO OLIVERA</u> | <u>4509 BUDDY OWENS BLVD.</u> | <u>MCALLEN, TEXAS 78504</u> | <u>(956) XXX-XXXX</u> | <u>NONE</u> |
| ENGINEER: <u>DAVID O. SALINAS</u> | <u>2221 DAFFODIL AVE.</u> | <u>MCALLEN, TEXAS 78501</u> | <u>(956) 682-9081</u> | <u>(956) 686-1489</u> |
| SURVEYOR: <u>DAVID O. SALINAS</u> | <u>2221 DAFFODIL AVE.</u> | <u>MCALLEN, TEXAS 78501</u> | <u>(956) 682-9081</u> | <u>(956) 686-1489</u> |

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY
THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF
DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON MAY 12, 2020.
IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

RECEIVED
By Nikki Marie Cavazos at 12:14 pm, May 20, 2020

RECEIVED VIA EMAIL 05/20/2020 AT 11:53 AM


 FILED FOR RECORD
 IN HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 RECORDED IN VOLUME _____ PAGE _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

SEA
SALINAS ENGINEERING & ASSOC.
(P-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFODIL AVE. - McALLEN, TEXAS 78501
(956) 682-9081 (S) (956) 686-1489 (FAX)
TBLPS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263



Reviewed On: 5/29/2020

SUBDIVISION NAME: OLVERA**REQUIREMENTS****STREETS AND RIGHT-OF-WAYS**

Buddy Owens Boulevard: 10 ft. ROW dedication by this plat for 60 ft. from centerline for 120 ft. of ROW

Paving: by the state Curb & gutter: by the state

**Make reference to "10 ft. additional ROW dedicated by this plat" prior to final.

Interior N/S Street: 50 ft. of ROW

Paving: 32 ft. Curb & gutter: Both sides

*Cul-de-Sac is required at the south end of property with a minimum of 96 ft. paving diameter face to face as per Fire Department.

**As per Public Works, ROW is required to be dedicated in order to provide for necessary pavement improvements and Cul-de-Sac design for residential waste collection services.

**Must escrow monies if improvements are not constructed prior to recording.

****Engineer submitted a variance letter on May 21, 2020 to not provide the required 50 ft. of ROW, 32 ft. of pavement with curb and gutter on both sides, and to not provide the required cul-de-sac. Instead, the engineer is proposing a 20 ft. caliche access easement with no curb and gutter.

Paving _____ Curb & gutter _____

Paving _____ Curb & gutter _____

Paving _____ Curb & gutter _____

* 800 ft. Block Length.

*Block length proposed is approximately 930 ft. which exceeds the maximum 800 ft. allowed.

**Engineer submitted a variance letter on May 21, 2020 requesting a variance to this requirement.

* 600 ft. Maximum Cul-de-Sac.

***Engineer submitted a variance letter on May 21, 2020 to not provide the required cul-de-sac ROW or 96 ft. paving diameter at the south end of the proposed 20 ft. access easement.

Applied

Non-compliance

Applied

Applied

Applied

Non-compliance

Non-compliance

ALLEYS

ROW 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front: 25 ft. or greater for easements on properties facing interior N/S street.

**Lot 1: 60 ft. or greater for easements on Buddy Owens Boulevard.

***Note must be included on plat prior to final.

****Zoning must be verified by Engineer prior to final to determine required setbacks.

*****If Conditional use Permit is required, it must be approved prior to final.

* Rear: 10 ft. or greater for easements. (If Zoned R-1)

**Note must be included on plat prior to final.

***Zoning must be verified by Engineer prior to final to determine required setbacks.

*****If Conditional use Permit is required, it must be approved prior to final.

Non-compliance

Non-compliance

| | |
|--|----------------|
| <ul style="list-style-type: none"> * Interior Sides: 6 ft or greater for easements. (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. | Non-compliance |
| <ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements. (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. | Non-compliance |
| <ul style="list-style-type: none"> * Garage: 18 ft. or greater for easements except where greater setback is required, greater setback applies (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. | Non-compliance |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on both sides of interior street **5 ft. wide minimum sidewalk along Buddy Owens Blvd. as per Engineering Dept. ***Engineer submitted a variance letter on May 21, 2020 to not provide sidewalks along the interior street and Buddy Owens Blvd. | Non-compliance |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. | Compliance |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Compliance |
| *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| NOTES | |
| * No curb cut, access, or lot frontage permitted along Buddy Owens Blvd. | TBD |
| * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. (For commercial lots on Buddy Owens Boulevard). | Required |
| * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen | Applied |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | NA |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-70 if a public subdivision. | Required |
| *Engineer must clarify if this will be a private or public subdivision prior to final. | |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | Applied |
| **Engineer must clarify if subdivision will be private or public prior to final. | |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. **Engineer submitted a variance letter on May 21, 2020 to allow Lots 2-6 to front onto a proposed 20 ft. access easement instead of the required street. Lot 1 has more than 50 ft. of frontage onto Buddy Owens Boulevard. | Non-compliance |

| | |
|---|----------------|
| * Minimum lot width and lot area. | Applied |
| ZONING/CUP | |
| * Existing: C-3 & R-1 Proposed: R-1 **Zoning must be verified by the engineer. If any rezoning or CUP for residence in a C-3 zone required, it must be done prior to final. | TBD |
| * Rezoning Needed Before Final Approval | TBD |
| PARKS | |
| * Land dedication in lieu of fee. | NA |
| * Park Fee of \$700 per dwelling unit to be paid prior to recording. Plat submitted April 14, 2020 shows 6 lots. Engineer must clarify use for the 6 lots prior to final to determine amount of park fees required. Parks fees apply at a rate of \$700 per dwelling unit (6 lots X \$700= \$4,200) | Required |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation to determine if TIA is required, prior to final plat. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy **As per Public Works Dept., ROW must be dedicated and provide pavement improvements including a turnaround design for residential waste collection service ***Minimum 96 ft. paving diameter required for Cul-de-Sac as per Fire Dept. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITY AND DRAINAGE APPROVALS, AND CLARIFICATION ON VARIANCE REQUESTS. | Applied |



LOCATION

48TH ST

WISTERIA AVE

WISTERIA AVE

PRIDE

WATER LILY

338

VIOLET AVE

TITO'S
LOT "A"
SUBD.

KINGDOM

GREG AUTO
SERVICE

BENTSEN RD

AVE

SUBDIVISION



328

PROPOSED ABA ESTATES SUBDIVISION

NORA'S SUBD

PROPOSED OLIVERA SUBDIVISION

PROPOSED MATERIALES RIO GRANDE

BENTSEN ROAD

245

103

CITY OF MCALLEN
MAINTENANCE
FACILITY

PRIMROSE AVE

3RD ST


BENTANA

EL SOL

2ND ST

PETUNIA AVE

Memo

To: McAllen Planning Department (Via Email on 05/21/20)
From: David Omar Salinas, P.E., R.P.L.S. 
CC: n:\subdivisionplats\olvera.sub\humbertodelagarza.001
Date: 5/21/2020
Re: Olvera Subd. – Variances to Street Requirements

On behalf of the subdivider of Olvera Subdivision, please find the following requested variances to the street of the proposed plat:

1. Variance for lots not fronting a public street. The only lots that currently fronts a public street is proposed Lot 1 while proposed Lots 2 thru 6 front on a private 20.0 foot roadway access easement;
2. Variance to the block length. Reviewing the details of this tract will show any kind of midway have cul-de-sac will likely makes the affected (lot/lots) un-buildable;
3. Variance to not providing for 50.0 feet of public dedicated ROW, and, not providing a 32' back to back roadway allowing the continued use of a 20.0 foot access easement. Client has agreed to provide for an all-weather road (i.e. caliche) in lieu of a paved section. The provision of any roadway dedication of 50.0 feet will make the lots almost un-buildable or would result in the reduction of the lots, and, would likely create another variance to lot depths;
4. Variance not to provide a cul-de-sac turn-a-round at the end of the ingress/egress roadway as the half cul-de-sac will make Lot 6 unbuildable (See Attachment);
5. Client is requesting a variance to providing sidewalks along the internal roadway easement and Mile 3 North Road.

Please see attachment of plat revisions.

The main purpose of this plat is to secure a building permit on proposed Lot 2 -Lots 1 and 5 already have residential improvements. Please advise if you need any further information. Thank you.

2221 Daffodil Ave., McAllen, Texas 78501
(956) 682-9081/(956) 686-1489 Facsimile
(956) 648-8899 Cell
dsalinas@salinasengineering.com



Memo

TO: Planning & Zoning Commission
FROM: Edgar I. Garcia, AICP, CNU-A
DATE: July 17, 2020
SUBJECT: City Commission Actions on July 13, 2020

REZONINGS:

1. Rezone from C-3 to R-3A District: Lot 3, Block 54, McAllen Addition; 612 S. 15th St.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
2. Rezone from R-1 to R-3T District: 26.375 acres out of Sections 227 and 232, Texas-Mexican Railway Company's Survey; 5600 Tres Lagos Blvd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
3. Rezone from C-4 to R-3T District: 2.888 acres out of Section 232, Texas-Mexican Railway Company's Survey; 5700 Tres Lagos Blvd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
4. Rezone from R-1 to R-3A District: 0.645 acres out of Section 232, Texas-Mexican Railway Company's Survey; 5750 Tres Lagos Blvd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
5. Rezone from C-4 to R-3A District: 14.355 acres out of Sections 227 and 232, Texas-Mexican Railway Company's Survey; 14800 N. Shary Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
6. Rezone from C-4 to R-3T District: 2.908 acres out of Sections 227 and 232, Texas-Mexican Railway Company's Survey; 15000 N. Shary Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission maintained the item on the table

7. Rezone from R-1 to R-3A District: 39.83 acres out of Lots 13, 14, 16, 17, and 18, Section 234 Texas-Mexican Railway Company's Survey; 12512 N. Ware Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission maintained the item on the table

CONDITIONAL USE PERMITS:

1. Request of Guillermo Cruz, for a Conditional Use Permit, for one year, for an automotive repair shop: Lots 17 & 18 and the west 25 ft. of Lot 19, Block 7, West Addition to McAllen Subdivision, 2226 & 2228 Houston Ave.
 - Planning and Zoning Commission disapproved with a favorable recommendation
 - City Commission approved the item as recommended
2. Request of Mario Gutierrez, for Conditional Use Permit, for one year, for an event center: Lot A, Arapaho Subdivision; 4108 N. 10th St., Suite 900
 - Planning and Zoning Commission disapproved with a favorable recommendation
 - City Commission approved as recommended
3. Request of Mario Gutierrez, for Conditional Use Permit, for one year, for an event center: Lot A, Arapaho Subdivision; 4108 N. 10th St., Suite 1000
 - Planning and Zoning Commission disapproved with a favorable recommendation
 - City Commission approved as recommended
4. Request of Jorge Briones, for Conditional Use Permit, for one year, for an automotive repair shop: Lots 11 & 12, Block 2, West Addition to McAllen; 2241 Dallas Ave., Suite B
 - Planning and Zoning Commission disapproved with a favorable recommendation
 - City Commission approved as recommended
5. Request of Juan Ludwig, on behalf of AEP Texas, for a Conditional Use Permit, for life of the use, for a railroad facility or utilities holding a franchise (Electric Substation): 3.248-acre tract of land out of Lot 141, La Lomita Irrigation and Construction Company's Subdivision, 3600 Quince Ave. & 1700 N. Ware Rd.
 - Planning and Zoning Commission disapproved
 - City Commission tabled the item on request of the applicant

Memo

TO: Planning & Zoning Commission
FROM: Edgar I. Garcia, AICP, CNU-A
DATE: July 31, 2020
SUBJECT: City Commission Actions on July 27, 2020

REZONINGS:

1. Rezone from R-1 to R-3A District: 39.83 acres out of Lots 13, 14, 16, 17, and 18, Section 234 Texas-Mexican Railway Company's Survey; 12512 N. Ware Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended

CONDITIONAL USE PERMITS:

1. Request of Juan Ludwig, on behalf of AEP Texas, for a Conditional Use Permit, for life of the use, for a railroad facility or utilities holding a franchise (Electric Substation): 3.248-acre tract of land out of Lot 141, La Lomita Irrigation and Construction Company's Subdivision, 3600 Quince Ave. & 1700 N. Ware Rd.
 - Planning and Zoning Commission disapproved
 - City Commission tabled the item on request of the applicant

2020 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS





[illegible]

2020 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]

2020 CALENDAR

Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council
- CENSUS

Deadlines:

- D- Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed

JULY 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|---------------------|-----------------------|----------------------------|---------------------|-------------|--------------|-----|
| | | | 1 D-8/4 & 8/5 | 2 CENSUS | 3 HOLIDAY | 4 |
| 5 A-8/4 & 8/5 | 6 | 7 | 8 N-8/4 & 8/5 | 9 | 10 | 11 |
| 12 | 13 City Commission | 14 Public Utility Board | 15 D-8/18 & 8/19 | 16 | 17 | 18 |
| 19 A-8/18 & 8/19 | 20 | 21 | 22 HPC | 23 | 24 | 25 |
| 26 | 27 City Commission | 28 Public Utility Board | 29 N-8/18 & 8/19 | 30 | 31 | |

AUGUST 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---------------------|----------------------------|---------------------|-------------|-----|-----|
| | | | | | | 1 |
| 2 | 3 | 4 | 5 D-9/1 & 9/2 | 6 CENSUS | 7 | 8 |
| 9 | 10 A-9/1 & 9/2 | 11 Public Utility Board | 12 N-9/1 & 9/2 | 13 | 14 | 15 |
| 16 | 17 | 18 | 19 D-9/16 & 9/17 | 20 | 21 | 22 |
| 23 | 24 A-9/16 & 9/17 | 25 Public Utility Board | 26 HPC | 27 | 28 | 29 |
| 30 | 31 | | 30 N-9/16 & 9/17 | | | |

SEPTEMBER 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----------------------|-----------------------|----------------------------|-----------------------|-------------|-----|-----|
| | | 1 | 2 D-10/6 & 10/7 | 3 CENSUS | 4 | 5 |
| 6 HOLIDAY | 7 | 8 | 9 N-10/6 & 10/7 | 10 | 11 | 12 |
| 13 A-10/6 & 10/7 | 14 City Commission | 15 Public Utility Board | 16 D-10/20 & 10/21 | 17 | 18 | 19 |
| 20 A-10/20 & 10/21 | 21 | 22 | 23 HPC | 24 | 25 | 26 |
| 27 | 28 City Commission | 29 Public Utility Board | 30 N-10/20 & 10/21 | | | |

OCTOBER 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|-----------------------|----------------------------|-----------------------|-------------|-----|-----|
| | | | | 1 CENSUS | 2 | 3 |
| 4 | 5 | 6 | 7 D-11/3 & 11/4 | 8 | 9 | 10 |
| 11 | 12 A-11/3 & 11/4 | 13 Public Utility Board | 14 N-11/3 & 11/4 | 15 | 16 | 17 |
| 18 | 19 | 20 | 21 D-11/17 & 11/18 | 22 | 23 | 24 |
| 25 | 26 A-11/17 & 11/18 | 27 Public Utility Board | 28 HPC | 29 | 30 | 31 |

NOVEMBER 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----------------------|-----------------------|----------------------------|-----------------------|---------------|-----|-----|
| 1 | 2 | 3 | 4 D-12/1 & 12/2 | 5 CENSUS | 6 | 7 |
| 8 A-12/1 & 12/2 | 9 City Commission | 10 Public Utility Board | 11 N-12/1 & 12/2 | 12 | 13 | 14 |
| 15 | 16 | 17 | 18 D-12/16 & 12/17 | 19 | 20 | 21 |
| 22 A-12/16 & 12/17 | 23 City Commission | 24 Public Utility Board | 25 N-12/16 & 12/17 | 26 HOLIDAY | 27 | 28 |
| 29 | 30 | | | | | |

DECEMBER 2020

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|-----------------------|----------------------------|---------------------|---------------|---------------|-----|
| | | 1 | 2 HPC | 3 CENSUS | 4 | 5 |
| 6 | 7 A-1/5 & 1/6 | 8 | 9 N-1/5 & 1/6 | 10 | 11 | 12 |
| 13 | 14 City Commission | 15 Public Utility Board | 16 D-1/19 & 1/20 | 17 | 18 | 19 |
| 20 | 21 A-1/19 & 1/20 | 22 | 23 N-1/19 & 1/20 | 24 HOLIDAY | 25 HOLIDAY | 26 |
| 27 | 28 | 29 | 30 | 31 | | |