

**AGENDA**  
**PLANNING & ZONING COMMISSION SPECIAL MEETING**  
**TUESDAY, JULY 26, 2022 - 3:30 PM**  
**McAllen Development Center, 311 N. 15<sup>th</sup> Street, McAllen, Texas**  
**EXECUTIVE CONFERENCE ROOM, PLANNING DEPARTMENT**

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

**CALL TO ORDER -**

**1) SITE PLAN:**

- a) Site plan approval for Lot 10, Citrus Grove Plaza Phase 1-A, Lot 10. 4129 EXPRESSWAY 83. **(SPR2022-0036)**

**2) CONSENT:**

- a) ABA Estates Subdivision, 4613 Buddy Owens Boulevard, ABA Group Investments, LLC **(SUB2022-0082(FINAL)SEA)**

**3) SUBDIVISIONS:**

- a) Vacating and Replat of Bann Subdivision Lot 2 and Bann, Lots 2A,2B,2C and 2D Subdivision, 2401 Quince Avenue, Nachito Enterprises, LLC **(SUB2022-0061) (REVISED PRELIMINARY) STIG**
- b) Dove Meadows Subdivision, 5517 North Bentsen Road, Riverside Development Services, LLC**(SUB2022-0079) (PRELIMINARY)JEH**
- c) Bentsen Village Subdivision, 420 South Bentsen Road, Arnold R. Gonzalez Jr.**(SUB2022-0083)(PRELIMINARY)M&H**
- d) Replat of Lot 1, Toys “R” Us Subdivision, 1105 Expressway 83, 1101 McAllen Retail Partners, LP**(SUB2022-0078) (PRELIMINARY)M&H**
- e) Parke at Nolana Subdivision, 3200 Nolana Avenue, Parke at Nolana, LLC**(SUB2022-0077) (PRELIMINARY)M&H**
- f) Auburn Grove Subdivision, 7800 North 29th Street, Setting Stone 29th, LLC**(SUB2022-0080) (PRELIMINARY)NE**
- g) Sharybak 1 Subdivision, 5001 Expressway 83, Francisco A. and Martha Ramirez, Co-Trustees of the Ramirez Joint Revocable Trust**(SUB2022-0081) (PRELIMINARY)HA**

**h) Tercer Milenium Taylor, 7201 North Taylor Road, New Millennium L. Investments, Inc.(SUB2022-0084)(PRELIMINARY)SE**

**ADJOURNMENT:**

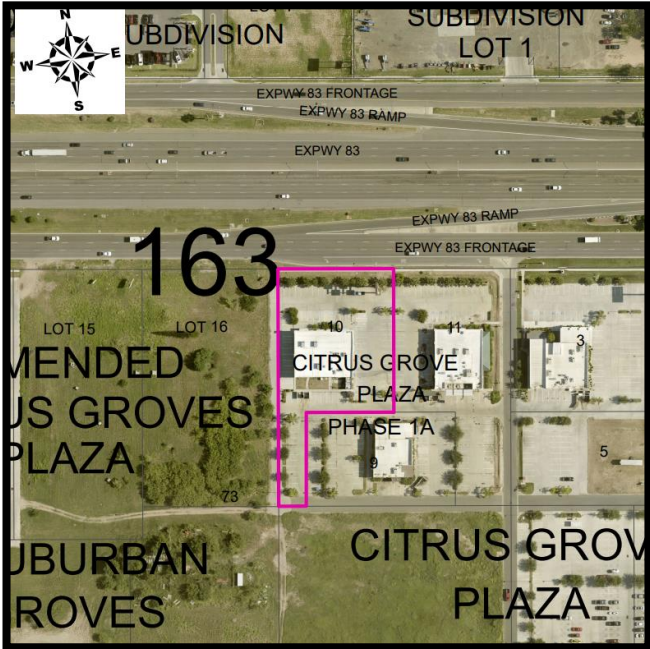
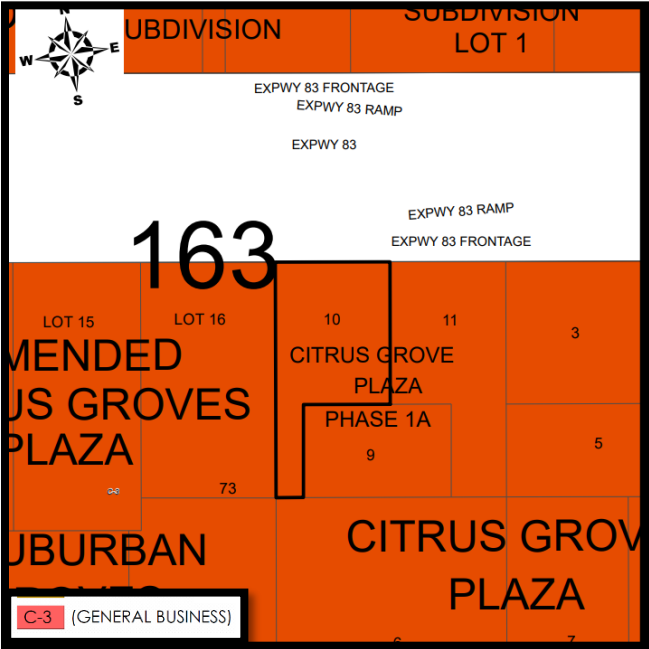
IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

**Memo**

**TO:** Planning and Zoning Commission  
**FROM:** Planning Staff  
**DATE:** July 11, 2022  
**SUBJECT:** **SITE PLAN APPROVAL FOR LOT 10, CITRUS GROVE PLAZA PHASE 1-A, LOT 10. 4129 EXPRESSWAY 83. (SPR2022-0036)**

**LOCATION:** The property is located on the south side of Expressway 83, approximately 880 feet east of South Bentsen Road. The property is an irregular shaped lot that has a lot size of 47,516 square feet according to the recorded subdivision plat. The property is zoned C-3 (general business) District and the adjacent zoning is C-3 District in all directions.

**PROPOSAL:** The applicant is proposing to construct an addition of a patio to an existing building for restaurant use on the subject property.



**ANALYSIS:** Based on the square footage of the proposed addition of patio area, 75 parking spaces are required, 85 parking spaces are provided on site. The accessible spaces must maintain existing to the original site plan approval. Access to the site is along the Frontage Road and Colbath Road. Required landscaping for the lot is 4,809 sq. ft., 8,608 sq. ft. is provided, with trees required as follows: 16 – 2 1/2” caliper trees, or 8 – 4” caliper trees, or 4 – 6” caliper trees, or 32 palm trees. Applicant must maintain existing landscaping. Any dead grass, trees, or plants must be replaced as well as any non-working irrigation system. Minimum 10' wide landscape strip (5' wide with 3' hedge for properties less than 200' deep) required inside the property line along Expressway 83, Colbath Road, and Bentsen Road. Fifty percent of the landscaping must be visible in front areas, and each parking space must be within 100 ft.

of a landscaped area with a tree, as required by ordinance. A 4 ft. wide sidewalk along U.S. Expressway 83 is required as per the Engineering Department. No part of gates for the dumpster enclosure to swing into Right-of-Way. No structures are permitted over easements.

The Building Permit Site Plan must comply with requirements noted on the development Team Review sheet.

As per Utilities Engineering Dept., the applicant will need to provide a revised utility layout showing:

1. Must maintain a minimum of 6 feet separation between fixed structures and water/sewer lines.

**RECOMMENDATION:**

Staff recommends approval of the site plan subject to the conditions noted, paving and Building Permit requirements, Utilities Engineering Dept. requirements, and the subdivision and zoning ordinances.

Consultant  
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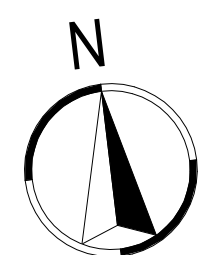
No.	Description	Date

**MARIA CURANDERA RESTAURANT**

**4129 W Expy 83, McAllen, TX 78503**

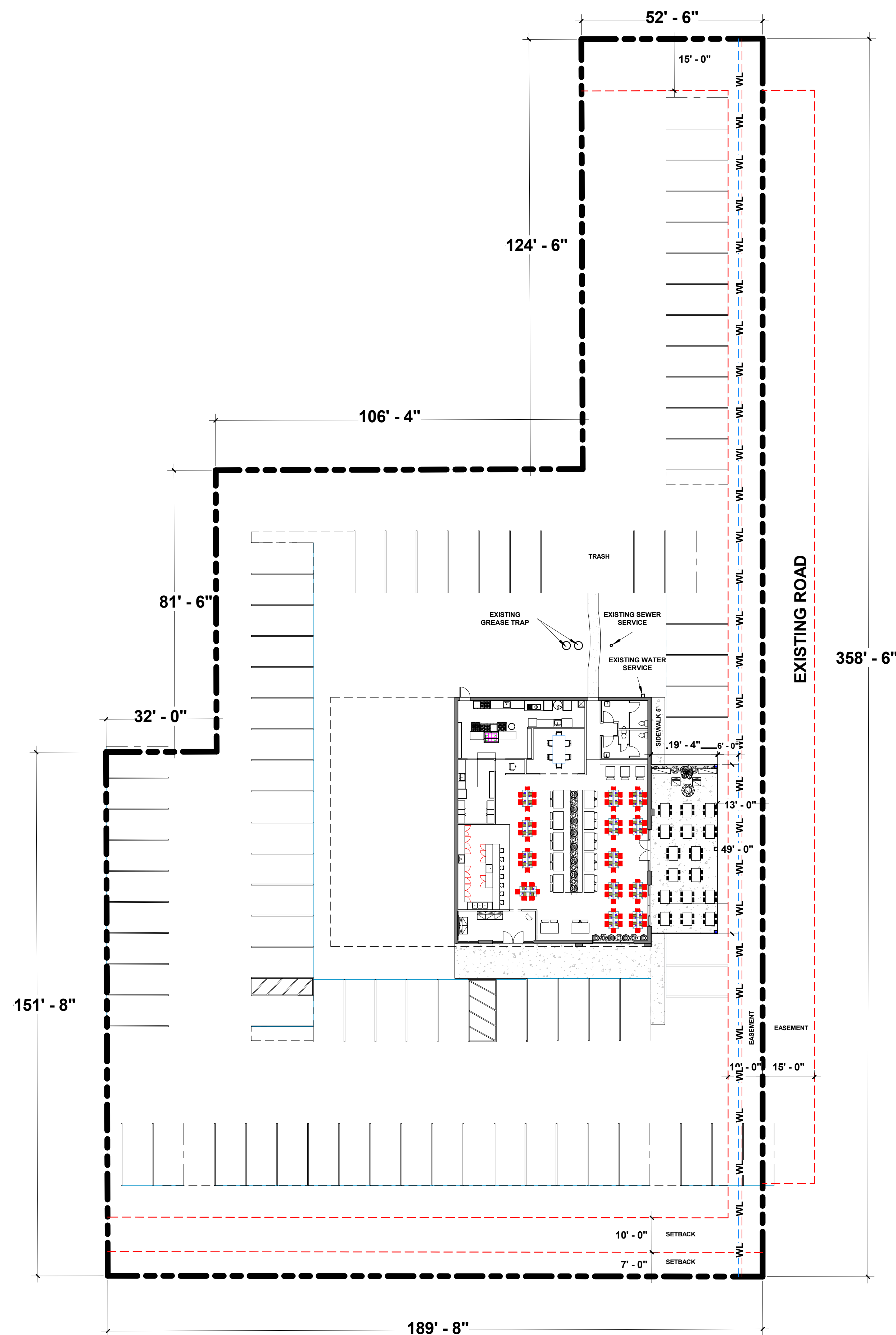
Project Number    Project Number  
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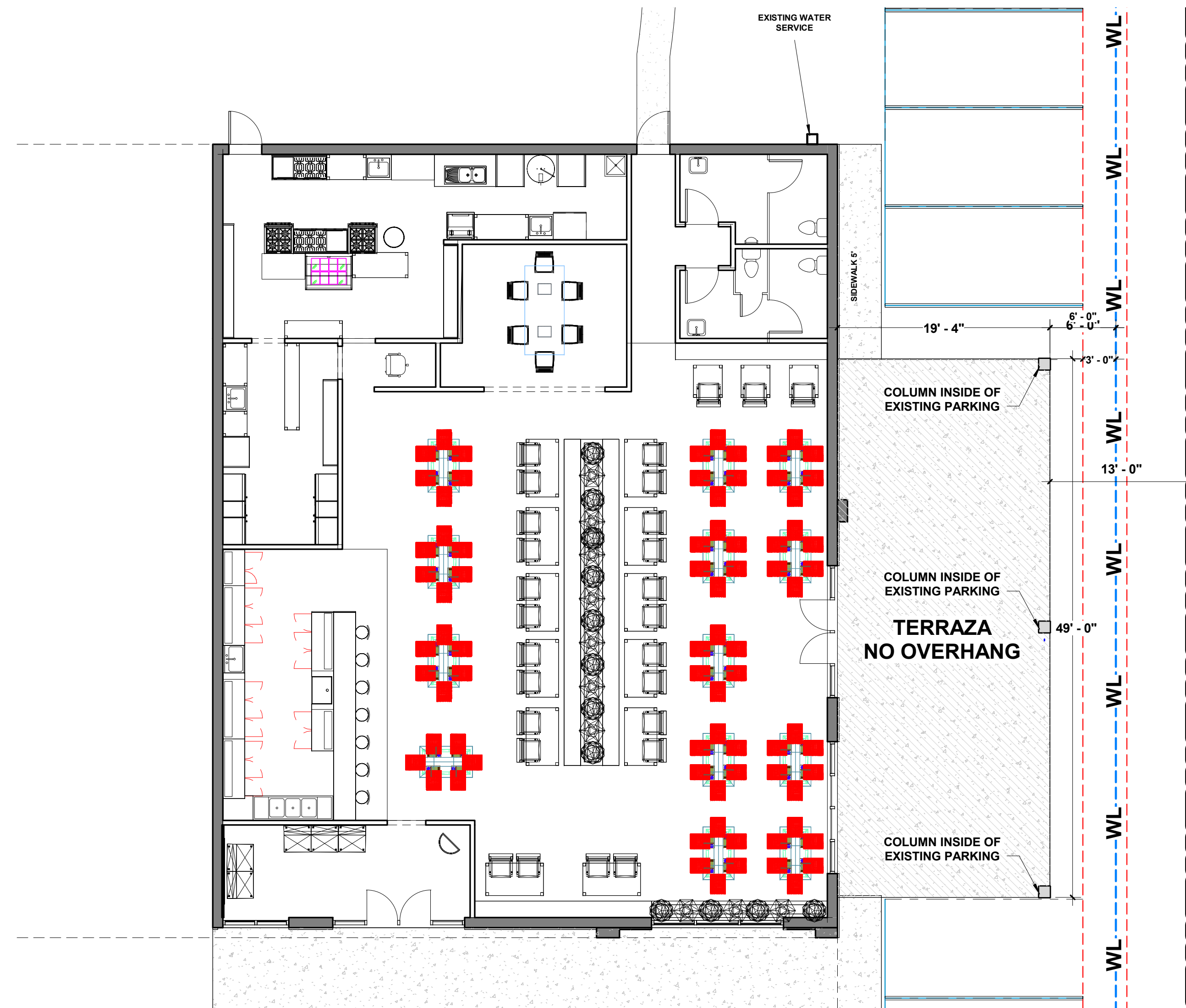


**A-2**  
SITE PLAN

Scale    AS INDICATED



1 SITE PLAN  
1" = 20'-0"



3 SITE PLAN DETAIL  
1/8" = 1'-0"

- - - - - SETBACKS
- WL - WL - WL - EXISTING WATER LINE
- - - - - PROPERTY LINE

**EXISTING BUILDING = 4,049.00 SQFT**  
**PROPOSED TERRAZA BUILDING = 980.00 SQFT**  
**EXISTING PARKING = 84 SPACES**  
**ADA EXISTING PARKING = 4 SPACES**

**GENERAL NOTES:**

1. ALL ELECTRICAL AS PER LOCAL ADOPTED CODES
2. ALL SMOKE DETECTORS TO BE HARDWARE & INTERCONNECTED W/BATTERY BACKUP.
3. ALL CONSTRUCTION, FRAMING, JOIST, & RAFTER SIZES & SPANS AS PER ADOPTED CODES (2021 IBC)
4. ALL SOLE PLATES TO BE TREATED OR PROTECTED
5. ALL FOUNDATION BEAMS TO BE EXTEND MIN. 6" INTO UNDISTURBED SOIL
6. ALL PLUMBING AS PER 2021 IBC PLUMBING CODES
7. SIZE WATER HEATER AS PER 2021 IBC PLUMBING CODE
8. CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE BEFORE COMMENCING ANY PHASE OF THE WORK, ADJUSTMENTS FOR FIT AND COORDINATION SHALL BE MADE BY THE DESIGNER OF ANY CONFLICTS, DISCREPANCIES OR OMISSION TO COMMENCEMENT OF THE CONTRACT WORK.
9. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME FOR SIMILAR WORK
10. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS OR DETAILS ON THESE DRAWINGS
11. VERIFY W/ OWNER LAYOUT OF LIGHT FIXTURES & SWITCH PRIOR TO INSTALLATION
12. CONTRACTOR TO INSURE FINISHED CONCRETE SLAB TO BE 18" FROM STREET ELEVATION
13. ALL DIMENSIONS SHOULD BE READ AND CALCULATED AND NEVER SCALED
14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION SHORING & BRACING FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION.
15. THE CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY. THIS REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
16. CONTRACTOR MUST VERIFY AND COMPLY THAT ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND/OR APPLICABLE ORDINANCE.
17. ALL FOOTING TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.
18. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL REINFORCE AS PER CODE
19. ALL WOOD, CONCRETE AND STEEL STRUCTURE MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.

Sub 2022-0070



City of McAllen  
Planning Department

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

APPLICATION FOR  
SUBDIVISION PLAT REVIEW

Project Description	Subdivision Name <u>ABA ESTATES</u> Location <u>4613 BUDDY OWENS BLVD</u> City Address or Block Number <u>" " "</u> Number of lots <u>1</u> Gross acres <u>2.15</u> Net acres <u>2.04</u> Existing Zoning <u>C-3</u> Proposed <u>C-3</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>OPEN</u> Proposed Land Use <u>C-3</u> Irrigation District # <u>UNITED I.D.</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500<sup>00</sup></u> Parcel No. <u>281801</u> Tax Dept. Review <u>52950-00-000-0328</u> Legal Description <u>2.15 AC. o/o LOT 328, AMENDED</u> <u>MAP OF JOHN H. SMRY SUBD. N.C.T.</u>
Owner	Name <u>BENITO MARTINEZ</u> Phone <u>227-3222</u> <u>ADRIANA MARTINEZ</u> Address <u>3519 N. 40TH LANE</u> City <u>MENARD</u> State <u>TX</u> Zip <u>78501</u> E-mail <u>DBA: ABA GROUP INVESTMENTS, LLC</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>DAVID O. SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> City <u>MENARD</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DAVID</u> E-mail <u>dsalinas@salinasengineering.com</u>
Surveyor	Name <u>SAME AS ENGINEER</u> Phone _____ Address _____ City _____ State _____ Zip _____

ENTERED

JUN 24 2022

Initial: AM

L.G.

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies
- 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- EMAIL 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (Identifying owner on application)
- Autocad 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

**PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted
- Surrounding platted lots and/or lot lines for unplatted tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 6/14/22

Print Name Benito Martinez / Adele Mamen

Owner

Authorized Agent

JOH

337

CANTA RANAS SUBDIVISION  
5000

WISTERIA AVE.

N 48TH ST

N 47th

N 47th STR

N 46

N 45th LAN

WISTERIA AVE

PRIDE

WATER LILY

338

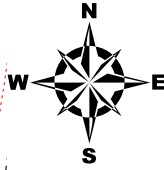
VIOLET AVE.

LOCATION

TITO'S 4721  
LOT "A"  
SUBD.

BENTSEN RD

KINGDOM



BUDDY OWENS BLVD

27

VICENTE SUBDIVISION

PROPOSED ABA ESTATES SUBDIVISION  
LOT 1

328

NORA'S SUBD

PROPOSED MATERIALES RIO GRANDE

BENTSEN ROAD

245

EL TORO  
AUTO MECH.

4099  
RADIO SHOP

CITY OF McALLEN  
MAINTENANCE  
EACH

3RD ST.

VENTANA

EL



# ABA ESTATES

## AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEING A 2.15 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 328, AMENDED MAP OF JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

### GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES = FRONT: 60.0 FT. OR GREATER FOR APPROVED SITEPLAN OR EASEMENTS.  
SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
GARAGE: 18.0 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "C" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/16/82, COMMUNITY PANEL NO. 480343 0400 C.  
ZONE "C" DEFINED AS AREAS OF MINIMAL FLOODING. (NO SHADING)
- MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THIS LOT ALONG BUDDY OWENS BLVD.
- MINIMUM 5 FT. WIDE SIDEWALK IS REQUIRED ON BUDDY OWENS BLVD.
- THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 19,389 CUBIC FEET, OR, 0.45 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY EASEMENTS SHALL BE PROHIBITED.
- A 6' OPAQUE BUFFER IS REQUIRED FROM ANY ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONE/USE.  
AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USE.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 57, LOCATED AT THE SOUTH BOUND OF MILE 3 NORTH ROAD (BUDDY OWENS BLVD.), 63 FEET EAST OF TAYLOR RD. AND 33 FEET SOUTH OF THE EDGE OF PAVEMENT OF MILE 3 NORTH ROAD (BUDDY OWENS BLVD.). THERE IS A CAR STEREO STORE ACROSS FROM THE MONUMENT. ELEV. = 131.17
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMODATING MORE THAN THE DETAILED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAT THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

STATE OF TEXAS  
UNITED IRRIGATION DISTRICT  
THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS  
THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAY OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: \_\_\_\_\_  
PRESIDENT  
\_\_\_\_\_  
SECRETARY

### APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS ABA ESTATES, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED, OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: ABA GROUP INVESTMENTS, LLC  
BENITO MARTINEZ, MEMBER  
3519 N. 40TH. LANE  
McALLEN, TEXAS 78501

OWNER: ABA GROUP INVESTMENTS, LLC  
ADELA MARTINEZ, MEMBER  
3519 N. 40TH. LANE  
McALLEN, TEXAS 78501

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BENITO MARTINEZ AND ADELA MARTINEZ, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 2022.

NOTARY PUBLIC IN AND FOR THE  
STATE OF TEXAS  
MY COMMISSION EXPIRES, \_\_\_\_\_

STATE OF TEXAS  
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,  
PLANNING AND ZONING COMMISSION  
\_\_\_\_\_  
DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

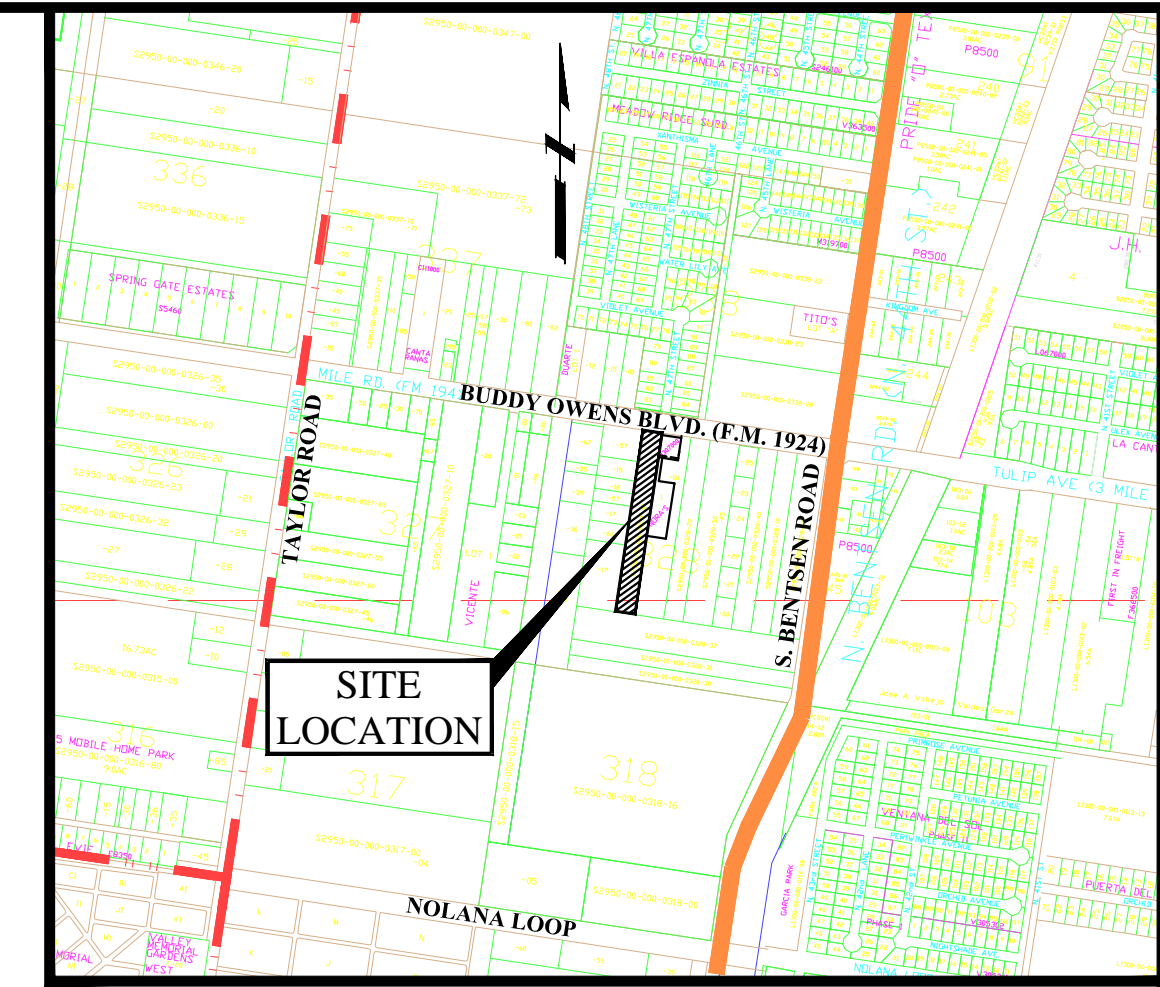
I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.  
REG. PROFESSIONAL ENGINEER #71973 \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.  
REG. PROFESSIONAL LAND SURVEYOR #5782 \_\_\_\_\_ DATE \_\_\_\_\_



LOCATION MAP SCALE: 1" = 1000'

### METES AND BOUNDS DESCRIPTION

BEING A 2.15 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 328, AMENDED MAP OF JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 2.15 ACRE TRACT OF LAND BEING ALL OF THOSE SAME LANDS AS DESCRIBED IN A WARRANTY DEED WITH VENDOR'S LIEN CONVEYANCE FROM RODRIGO F. SALINAS, JR., AND, WIFE, JANET ELAINE SALINAS, AND, VERONICA SALINAS TODD AND HUSBAND, DREW ALLEN TODD, UNTO BENITO MARTINEZ, AS DESCRIBED AND RECORDED IN DOCUMENT NUMBER 2014-2502861, H.C.D.R.; SAID 2.15 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT NAIL FOUND ON THE NORTHEAST CORNER OF SAID LOT 328 LOCATED IN THE CENTER OF S. BENTZEN AND BUDDY OWENS BLVD. (AKA F.M. 1924; MILE 3 NORTH ROAD); THENCE, AS FOLLOWS:

NORTH 81 DEGREES 18 MINUTES 50 SECONDS WEST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 328, A DISTANCE OF 906.0 FEET TO A NAIL FOUND; THENCE,

SOUTH 08 DEGREES 41 MINUTES 10 SECONDS WEST, A DISTANCE OF 50.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF BUDDY OWENS BLVD., A 110.0 FOOT PUBLIC ROAD RIGHT-OF-WAY, FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, SOUTH 08 DEGREES 41 MINUTES 10 SECONDS WEST, A DISTANCE OF 10.0 FEET PASS A 1/2 INCH DIAMETER IRON ROD FOUND ON THE NORTHWEST CORNER OF LOT 1, NORA'S SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 47, PAGE 66, MAP RECORDS OF HIDALGO COUNTY, TEXAS, CONTINUING COINCIDENT WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 521.80 FEET PASS A 1/2 INCH DIAMETER IRON ROD FOUND ON THE SOUTHWEST CORNER OF SAID LOT 1, AT A DISTANCE OF 936.46 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 18 MINUTES 50 SECONDS WEST, ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 328, A DISTANCE OF 100.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 41 MINUTES 10 SECONDS EAST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 328, A DISTANCE OF 936.46 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID BLVD. FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 81 DEGREES 18 MINUTES 50 SECONDS EAST, COINCIDENT WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID BLVD., A DISTANCE OF 100.0 FEET TO THE POINT OF BEGINNING, CONTAINING 2.15 ACRES OF LAND, MORE OR LESS.

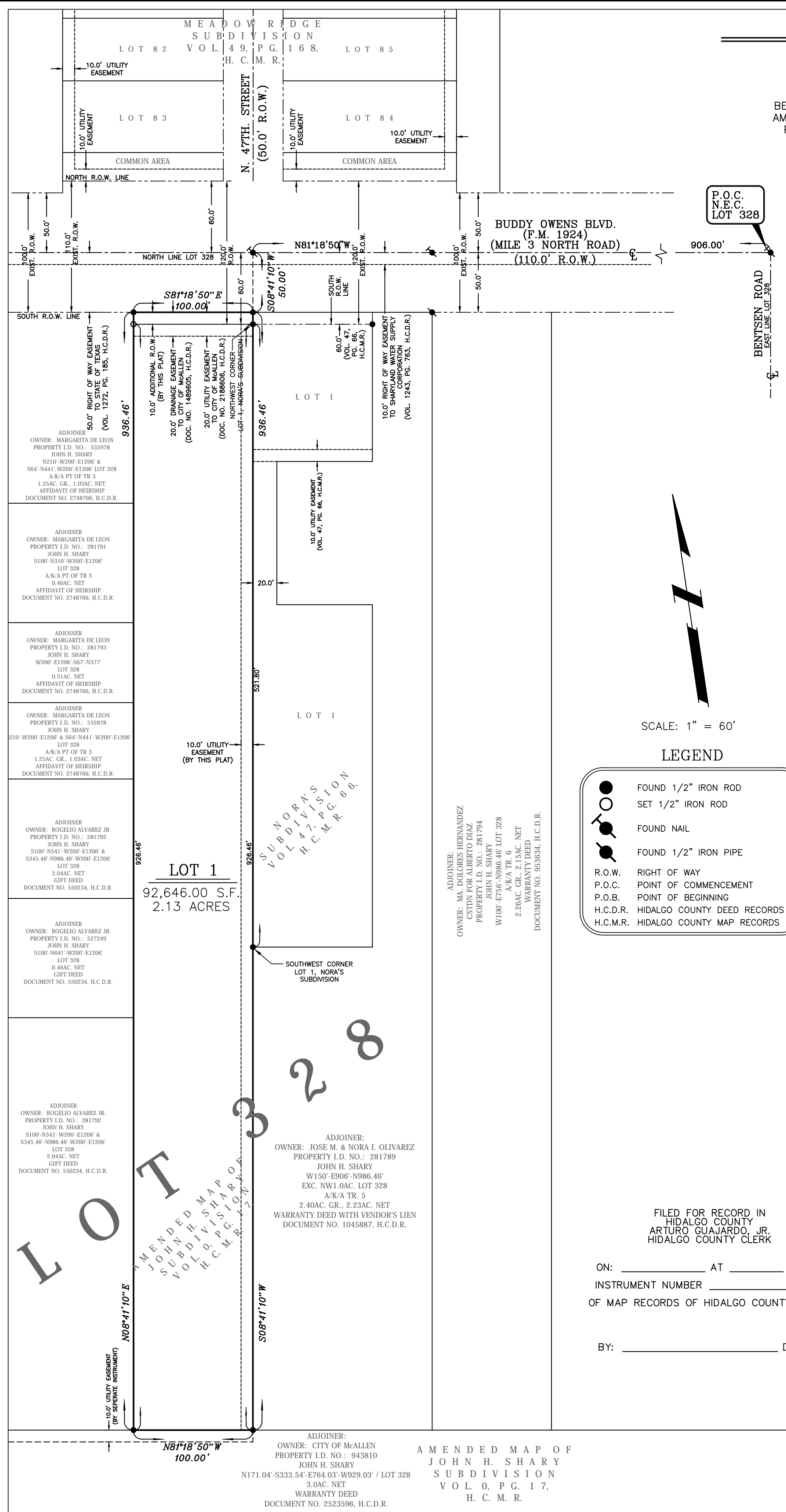
BEARING SOURCE: RECORDED PLAT OF SAID AMENDED MAP OF JOHN H. SHARY SUBDIVISION, H.C.T. N:\SUBDIVISION\PLATS\ABA.SUB\METESANDBOUNDS.2.15.031617

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JUNE 23, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

## ABA ESTATES

PREPARED BY: SALINAS ENGINEERING & ASSOC.  
DATE OF PREPARATION: JUNE 23, 2022  
JOB NUMBER: SP-17-23634  
OWNER: BENITO MARTINEZ AND ADELA MARTINEZ  
3519 N. 40TH. LANE  
McALLEN, TEXAS 78501

**SEA**  
**SALINAS ENGINEERING & ASSOC.**  
(F-6675) (10065700)  
CONSULTING ENGINEERS & SURVEYORS  
2221 DAFFODIL - McALLEN, TEXAS 78501  
(956) 682-9081 (956) 686-1489 (FAX)  
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263



PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: BENITO MARTINEZ	3519 N. 40TH. LANE	McALLEN, TEXAS 78501	(956) 227-3222	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489



Reviewed On: 7/15/2022

<b>SUBDIVISION NAME: ABA ESTATES</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
Buddy Owens Boulevard: 10 ft. of additional ROW dedication required for 60 ft. from centerline for 120 ft. total ROW Paving: By the state Curb & gutter: By the state **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
N.47th Street on west boundary: 25 ft. dedication from centerline for future 50 ft. ROW Paving: 32 ft. Curb & gutter: Both Sides *ROW being reviewed and plat would need to be revised accordingly. After review of ownership map submitted by engineer on July 07,2022 properties along western boundary provide 25 ft. access easement along west side, as properties to the west develop access easement will be reviewed for ROW dedication. **Subdivision Ordinance: Section 134-105 ***Monies must be escrowed if improvements are required prior to final ****COM Thoroughfare Plan	NA
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118	Compliance
* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. ***Provide plat note as shown prior to recording, "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the city of McAllen." *Alley/service drive easement required for commercial and multi-family properties. **Must comply with Public Works Alley/ service drive easement requirements. ***Alley/ service drive easement must comply with Fire Department requirements. ****Alley or service drive easement cannot dead-end. *****Subdivision Ordinance: Section 134-106	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>SETBACKS</b>	
<p>* Front: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies.                      **Revise note as shown above prior to recording.                      ***Proposing: 60 ft. or greater for approved site plan or easements.                      ****Clarify front setback prior to recording.                      *****Zoning Ordinance: Section 138-356</p>	Required
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise note as shown above prior to recording.                      ***Proposing: In accordance with Zoning Ordinance or greater for easements or approved site plan.                      *****Zoning Ordinance: Section 138-356</p>	Required
<p>* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise note as shown above prior to recording.                      ***Proposing: In accordance with Zoning Ordinance or greater for easements or approved site plan.                      **Zoning Ordinance: Section 138-356</p>	Required
<p>* Corner: Interior Lot                      **Zoning Ordinance: Section 138-356</p>	NA
<p>* Garage :Commercial Development.                      **Remove garage setback note, prior to recording.                      **Zoning Ordinance: Section 138-356</p>	Required
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on Buddy Owens Blvd.                      **5 ft. sidewalk might be required on Buddy Owens Blvd. by Engineering Department, will be finalized prior to recording.                      ***Proposing: Minimum 5 ft. wide sidewalk required on Buddy Owens Blvd.                      ****Finalize note wording prior to recording.                      *****Subdivision Ordinance: Section 134-120</p>	Required
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.                      **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                      **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
<b>NOTES</b>	
<p>* No curb cut, access, or lot frontage permitted along                      **Must comply with City Access Management Policy</p>	Applied
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Required

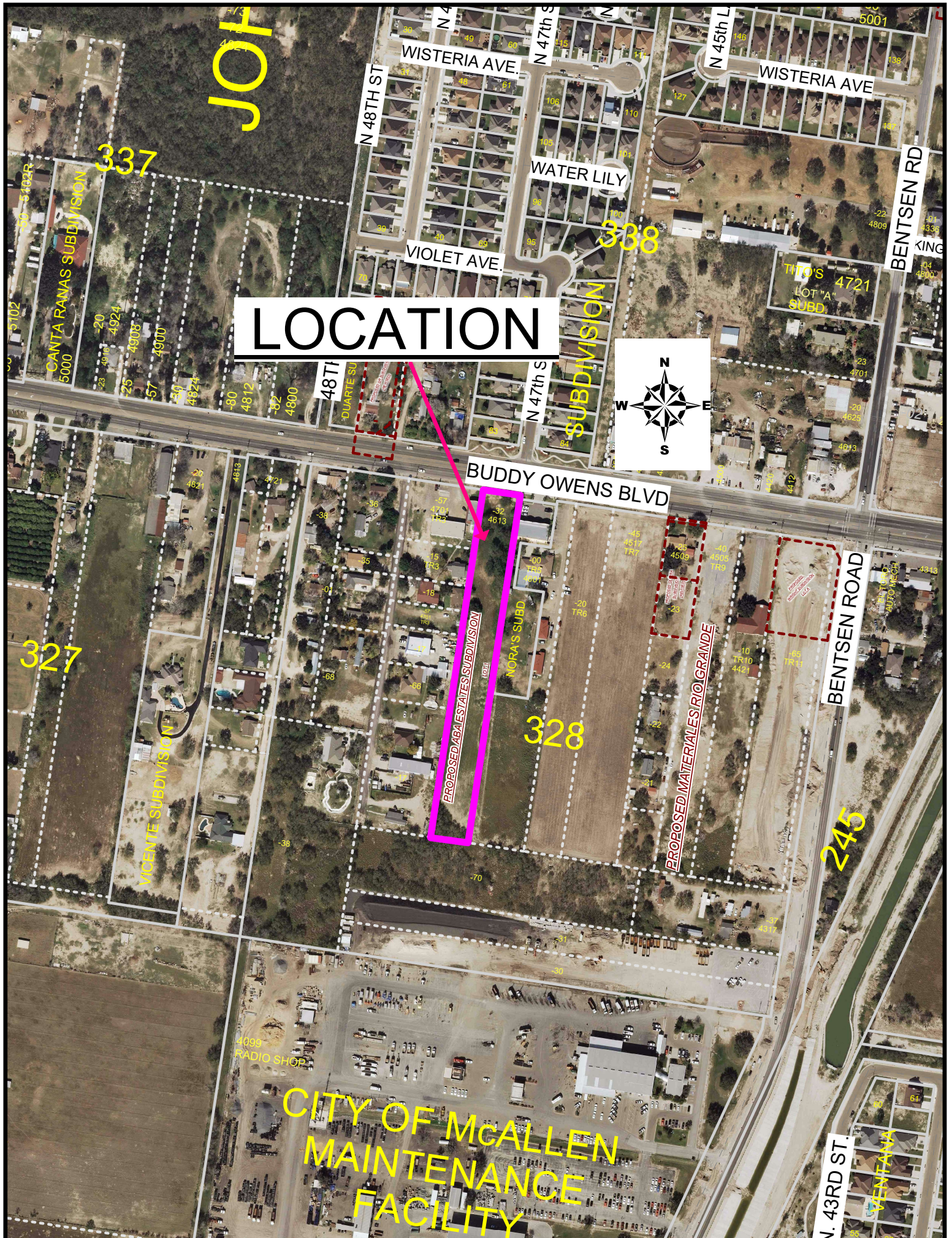
**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>Required</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Required</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p><b>LOT REQUIREMENTS</b></p>	
<p>* Lots fronting public streets.                  **Subdivision Ordinance: Section 134-1</p>	<p>Compliance</p>
<p>* Minimum lot width and lot area.                  **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p><b>ZONING/CUP</b></p>	
<p>* Existing: C-3(General Business) District. Proposed: C-3(General Business) District.                  ***Zoning Ordinance: Article V</p>	<p>Compliance</p>
<p>* Rezoning Needed Before Final Approval                  **Proposed zoning is compliant with current zoning.                  *** At the Planning and Zoning Commission meeting of April 18, 2017 the Board recommended approval of the rezoning request and at the City Commission meeting of May 8, 2017 the Commission voted to approve the rezoning request from R-1 (single family residential) District to C-3 (general business) District.                  ****Zoning Ordinance: Article V</p>	<p>Completed</p>
<p><b>PARKS</b></p>	
<p>* Land dedication in lieu of fee. As per Parks Department, Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Pending review by the City Manager's Office. As per Parks Department, Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p><b>TRAFFIC</b></p>	
<p>* As per Traffic Department, Trip generation will be honored, no TIA required.</p>	<p>Completed</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.                  **As per Traffic Department, Trip generation will be honored, no TIA required.</p>	<p>NA</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy. ** Submit ownership map with surrounding legal descriptions and document numbers, to ensure no landlocked properties exist or will be created. After review of ownership map submitted by engineer on July 07,2022 properties along western boundary provide 25 ft. access easement along west side, as properties to the west develop access easement will be reviewed for ROW dedication. ***Please submit updated survey that corresponds to the proposed subdivision	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

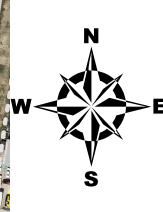


JOB

337

338

LOCATION



327

328

245

CITY OF MCALLEN  
MAINTENANCE  
FACILITY

CANTA RAMAS SUBDIVISION  
5000

VICENTE SUBDIVISION

PROPOSED ABILETES SUBDIVISION

NORA'S SUBD

PROPOSED MATERIALES RIO GRANDE

TITO'S 4721  
LOT 'A'  
SUBD

4099  
RADIO SHOP

VENTANA

WISTERIA AVE  
WISTERIA AVE  
WATER LILY  
VIOLET AVE  
BUDDY OWENS BLVD  
BENTSEN ROAD  
BENTSEN RD  
N 48TH ST  
N 47th S  
N 45th L  
N 47th S  
N 48TH ST  
DUARTE SU  
N 47th S  
N 43RD ST

# City of McAllen

Subarea- 00e1

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	Replat of Lot 2 Bann Subdivision		
	Location	Quince Ave & 24 1/2 Street		
	City Address or Block Number	2401 QUINCE AVE		
	Number of Lots	4	Gross Acres	2.156
			Net Acres	2.152
			ETJ	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning	R-3A	Proposed Zoning	
			Rezoning Applied for	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Date			
	Existing Land Use	Vacant	Proposed Land Use	Multifamily
		Irrigation District #		
Replat	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Commercial	<input type="checkbox"/>	
		Residential	<input checked="" type="checkbox"/>	
Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Rollback Tax Due	0.10	
Parcel #	121453	Tax Dept. Review		
Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	Other		
Legal Description	Lot 2, Bann Subdivision			
Owner	Name	Gabriel Kamel Nachito Enterprises, LLC	Phone 956-342-1391	
	Address	5608 N 6th St	E-mail gabriel@kamelinvestments.com	
	City	McAllen	State TX Zip 78504	
Developer	Name	Gabriel Kamel	Phone 956-342-1391	
	Address	5608 N 6th St	E-mail gabriel@kamelinvestments.com	
	City	McAllen	State Texas Zip 78504	
	Contact Person	Gabriel Kamel		
Engineer	Name	South Texas Infrastructure Group	Phone 956-424-3335	
	Address	900 S. Stewart Rd Ste 13	E-mail victor@southtexasig.com	
	City	Mission	State Texas Zip 78572	
	Contact Person	Victor Trevino		
Surveyor	Name	ROW Surveying	Phone 956-424-3335	
	Address	900 S. Stewart Rd Ste 13	E-mail jgalvan@rowsurveying.com	
	City	Mission	State Texas Zip 78572	

ENTERED

MAY 27 2022

B155700000000200

Initial: af

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\***


### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 5-27-22

Print Name Gabriel Kamel (Manager)

Owner  Authorized Agent

The Planning Department is now accepting DocuSign signatures on application



VAR2022-0020



# City of McAllen

## Planning Department

### VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

<b>Project</b>	Legal Description	<u>Being all of Lot 2, Bann Subdivision, an addition to the City of McAllen, according to the plat recorded in Volume 24, Page 76B, M.R.H.C.T.</u>		
	Street Address	<u>2401 Quince Ave, McAllen Texas</u>		
		Number of lots	Gross acres	
	Existing Zoning	Existing Land Use		

Number of lots 4 Gross acres 2.156 acres  
Existing Zoning R-3A Existing Land Use Undeveloped

Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

<b>Applicant</b>	Name	<u>Victor Trevino</u>	Phone	<u>956-424-3335</u>
	Address	<u>900 S. Stewart Rd Ste 13</u>	E-mail	<u>victor@southtexasig.com</u>
	City	<u>Mission</u>	State	<u>TX</u> Zip <u>78572</u>

<b>Owner</b>	Name	<u>Gabriel Kamel</u>	Phone	<u>956-342-1391</u>
	Address	<u>5608 N 6th Street</u>	E-mail	<u>gabriel@kamelinvestments.com</u>
	City	<u>McAllen</u>	State	<u>TX</u> Zip <u>78504</u>

<b>Authorization</b>	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?			
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.			
	Signature	<u>[Signature]</u>	Date	<u>7/7/2022</u>
	Print Name	<u>Gabriel Kamel</u>	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Authorized Agent

<b>Office</b>	*FOR OFFICE USE ONLY*	
	APPLICATION FILING FEE:	<input checked="" type="checkbox"/> \$250.00
	Accepted by	<u>[Signature]</u> Payment received by _____ Date _____
	Rev 06/21	JUL 08 2022 BY: <u>[Signature]</u>



# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Using a 15 feet Front Setback for unenclosed carport only

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

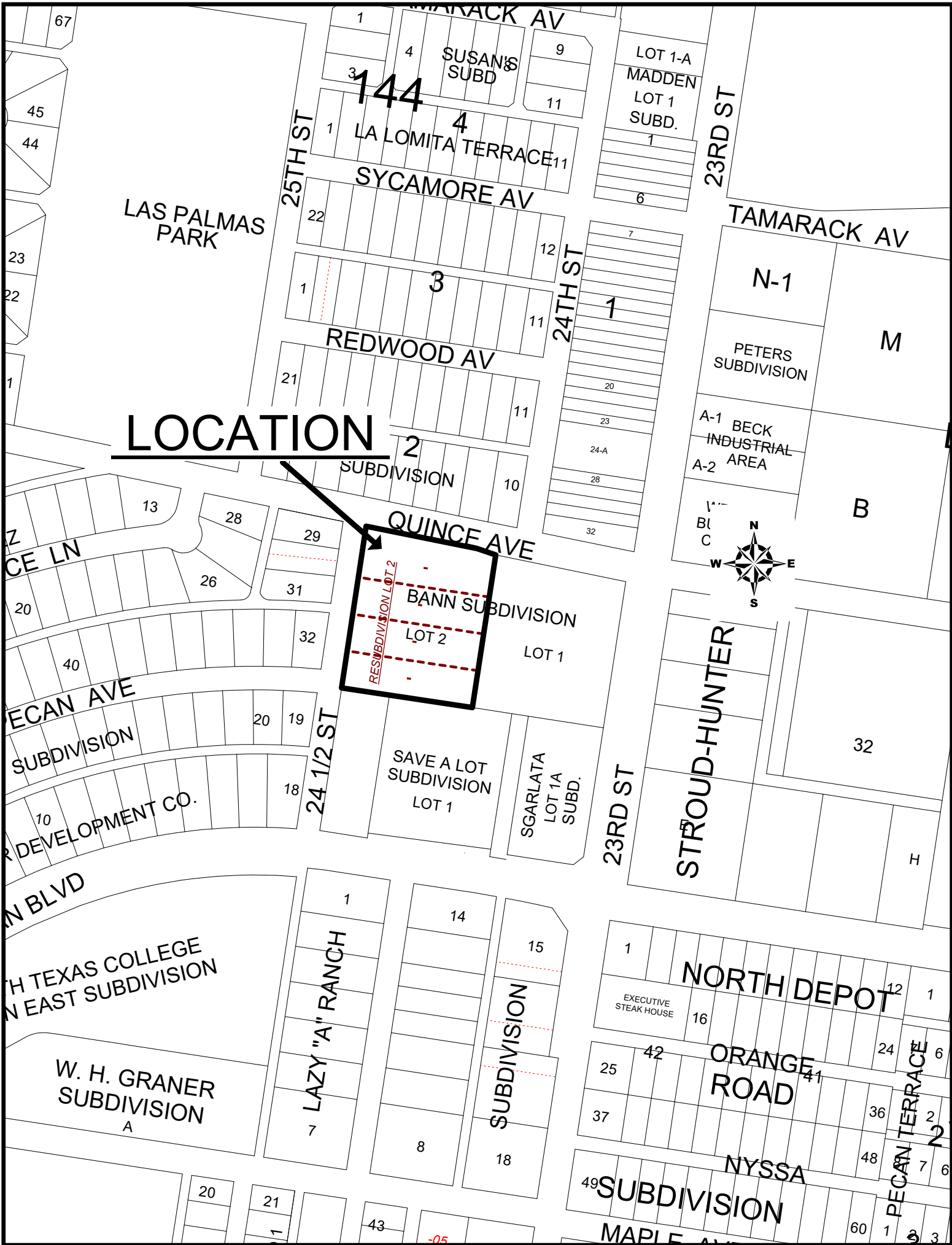
The proposed apartments will include a unenclosed carport at the front of the property and the current front buiding setback is 20, we are proposing for the front building setback to remain but we would like to add a note on the front setback in order to allow a 15 Feet Front Setback for unenclosed carport only

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

It wouldn't affect any other aspects of the public safety, because the 20 feet front setback will remain, the proposed 15 feet front setback for unenclosed carport will only allow to build a carport

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

Since we are doing a replat, we are using the current setbacks as stated in the original subdivision



**LOCATION**

**RESUBDIVISION LOT 2**



**144**

LAS PALMAS PARK

25TH ST

SYCAMORE AV

REDWOOD AV

QUINCE AVE

STROUD-HUNTER

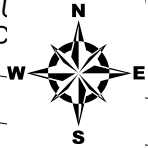
TAMARACK AV

N-1

PETERS SUBDIVISION

A-1 BECK INDUSTRIAL AREA  
A-2

V-1  
BL C



B

32

23RD ST

ICE LN

PECAN AVE

SUBDIVISION

DEVELOPMENT CO.

N BLVD

H TEXAS COLLEGE  
N EAST SUBDIVISION

W. H. GRANER  
SUBDIVISION  
A

LAZY "A" RANCH

SUBDIVISION

NORTH DEPOT

EXECUTIVE STEAK HOUSE

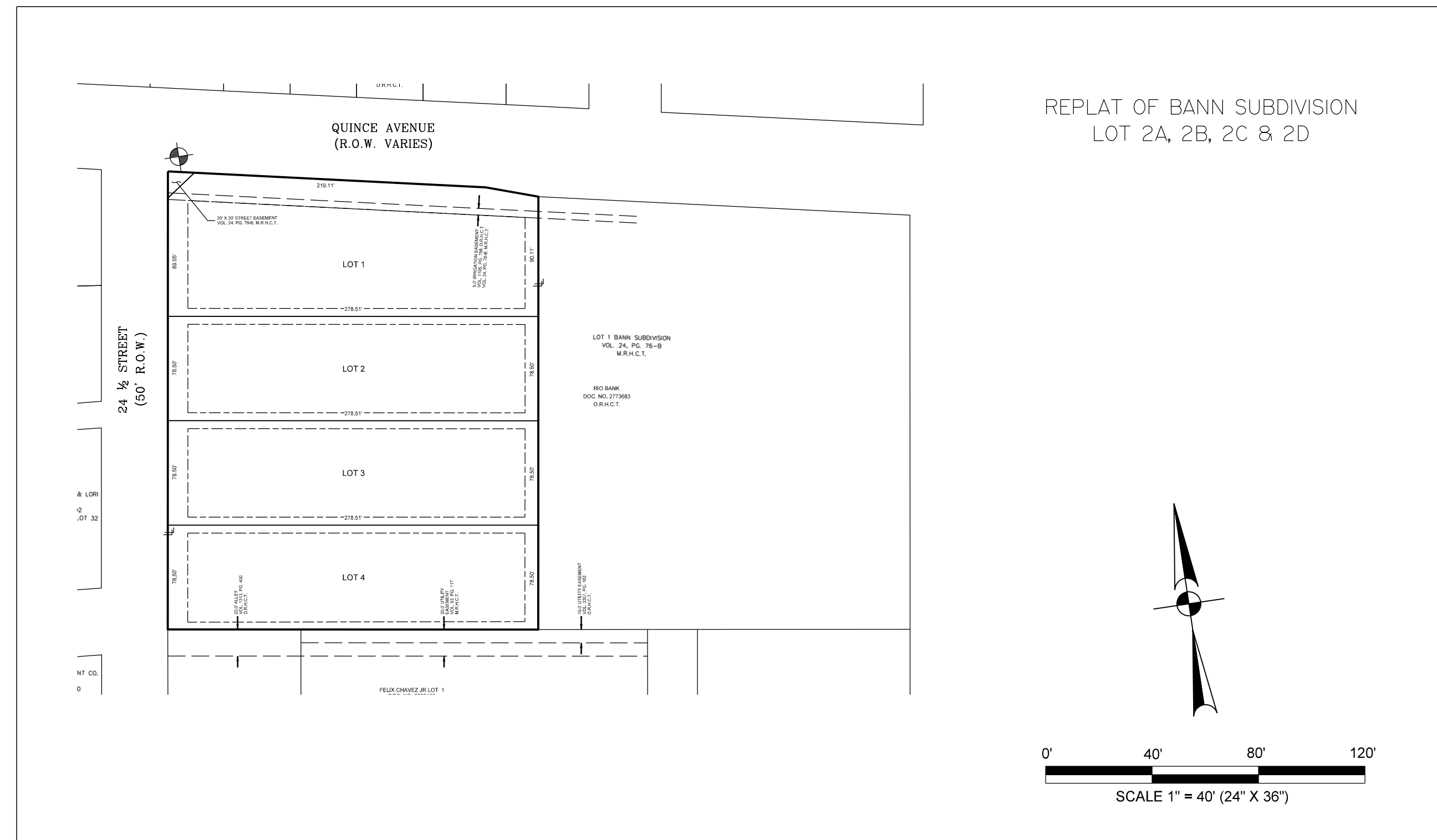
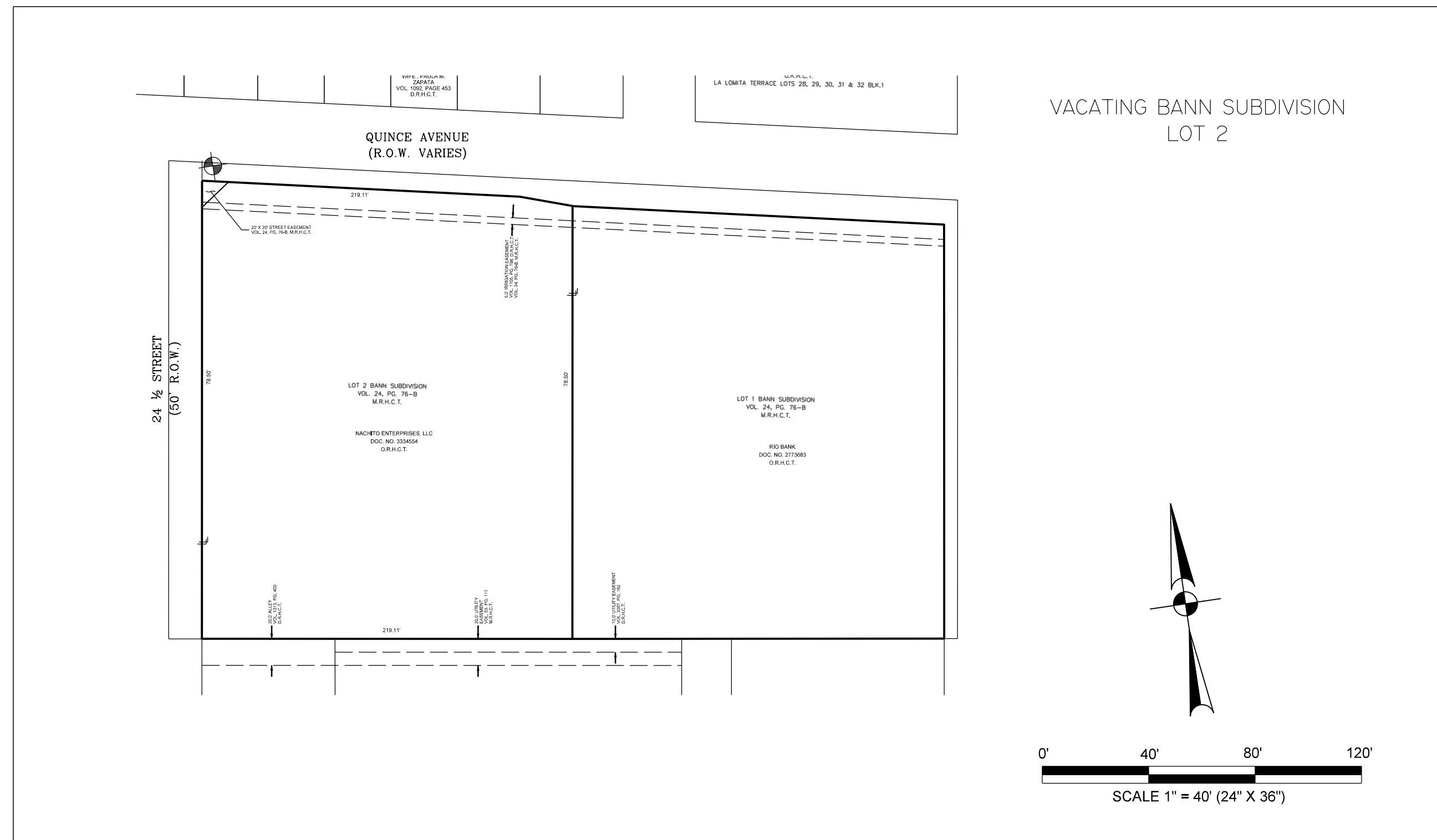
ORANGE ROAD

NYSSA

SUBDIVISION

MAPLE AVE

PECAN TERRACE



LOCATION MAP  
SCALE 1" : 2000'

**LEGEND:**

- SET # 5/8" IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR."
- FOUND IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR.", UNLESS OTHERWISE NOTED
- OFFICIAL RECORDS HIDALGO COUNTY TEXAS
- MAP RECORDS HIDALGO COUNTY TEXAS
- DEED RECORDS HIDALGO COUNTY TEXAS
- RIGHT-OF-WAY HIDALGO COUNTY DRAINAGE DISTRICT
- O.R.H.C.T.
- M.R.H.C.T.
- D.R.H.C.T.
- R.O.W.
- H.C.D.D.

STATE OF TEXAS  
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VIDA SUBDIVISION OF THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

GABRIEL KAMEL \_\_\_\_\_ DATE \_\_\_\_\_  
5608 N. 5TH ST.  
McALLEN TX 78504

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GABRIEL KAMEL, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
\_\_\_\_\_  
NOTARY PUBLIC

STATE OF TEXAS  
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVINO, A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER 128195, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

VICTOR H. TREVINO, P.E.  
LICENSED PROFESSIONAL ENGINEER,  
TEXAS LIC. NO. 128195

STATE OF TEXAS  
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, JUAN E. GALVAN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND ON \_\_\_\_\_ UNDER MY DIRECTION.

JUAN E. GALVAN, R.P.L.S.  
REG. PROFESSIONAL LAND SURVEYOR # 4011

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTIEST: \_\_\_\_\_ PRESIDENT \_\_\_\_\_

SECRETARY \_\_\_\_\_

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS HERBY CERTIFY THAT VIDA SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_

SHARYLAND WATER SUPPLY CORPORATION

I, SHERILYN DAHLBERG, HEREBY CERTIFY THAT SHARYLAND WATER SUPPLY CORPORATION HAS APPROVED THE POTABLE WATER INFRASTRUCTURE FOR THE VIDA SUBDIVISION LOCATED AT 5 MILE ROAD, HIDALGO COUNTY, TEXAS, SUBJECT TO THE POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DESIGN ENGINEER AND ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER INFRASTRUCTURE IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EASEMENT.

SHERILYN DAHLBERG \_\_\_\_\_ DATE \_\_\_\_\_  
GENERAL MANAGER  
SHARYLAND WATER SUPPLY CORPORATION

GENERAL NOTES:

1. FLOOD ZONE STATEMENT:  
ZONE "B"  
AREAS BETWEEN LINES 100-YEAR FLOOD AND 600-YEAR FLOOD;  
COMMUNITY PANEL NO. 4803-43 0005 C, REVISION NOVEMBER 2, 1992
2. SETBACK LINES TO BE AS PER CITY OF McALLEN ZONING ORDINANCE (D):  
FRONT: 20 FEET EXCEPT 15 FEET FOR UNENCLOSED CARPORT ONLY, OR GREATER FOR EASEMENTS  
REAR: 10 FEET OR EASEMENT, WHICHEVER IS GREATER  
INTERIOR SIDES: 5 FEET OR EASEMENT, WHICHEVER IS GREATER  
CORNER: 10 FEET OR EASEMENT, WHICHEVER IS GREATER  
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED
3. MINIMUM FINISH FLOOR NOTE:  
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
4. CITY OF McALLEN BENCHMARK "MC 54" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GUCKL LINN OFFICE, PEDRO DA, OCTOBER 21, 1998, BEING LOCATED AT THE GARDEN PARK ON MILE 4 ROAD, 30" ALUMINUM PIPE WITH A 3/4" BRASS MONUMENT CAP ON TOP AT ELEVATION = 117.01 FEET (NAVD88).
6. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
7. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN CUTCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
8. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
9. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
10. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 15.232 CFT OR 0.33 ACRES-FT OF STORM WATER RUNOFF DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO.2 FOR STORM SEWER IMPROVEMENTS).
11. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONEUSES AND ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
12. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON NORTH SHARY ROAD (FM 496) AND AUBURN AVENUE (5 MILE LINE - FM 676) AND 4 FT. MINIMUM WIDE SIDEWALK ALONG BOTH SIDES OF ALL INTERIOR STREETS.
13. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONEUSES.
14. DETENTION SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, VIDA HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF McALLEN. NO BARRIERS OR OTHER STRUCTURES SHALL BE ERRECTED IN DETENTION BASINS WHICH SHALL BE USED EXCLUSIVELY AS A RETENTION AREA, AFTER TRANSFER OF TITLE TO THE VIDA HOMEOWNER'S ASSOCIATION THE SUBDIVISION LOT OWNER PRO DATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE RENESSANCE HOMEOWNER'S ASSOCIATION, FILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES, PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS, AS THE SAME MAY BE AMENDED, THE SPECIFIC AND EXCLUSIVE USE OF RETENTION BASINS, BLOCK 1, THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION.
15. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
16. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE, NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.

PRINCIPAL CONTACTS:					
	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	GABRIEL KAMEL	5608 N. 5TH ST.	McALLEN, TEXAS 78504	(956) 342-1391	
ENGINEER:	VICTOR H. TREVINO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(856) 424-3335	(956) 424-3132
SURVEYOR:	JUAN E. GALVAN, R.P.L.S.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(956) 424-3335	(956) 424-3132

SOUTH TEXAS INFRASTRUCTURE GROUP  
900 S. STEWART, SUITE 13  
MISSION, TEXAS 78572  
PH: (856) 424-3335  
FAX: (856) 424-3132  
TBPE REG. # 1500

VACATING AND REPLAT OF BANN  
SUBDIVISION LOT 2 AND BANN, LOTS 2A, 2B,  
2C AND 2D.





**City of McAllen**  
SUBDIVISION PLAT REVIEW

Reviewed On: 7/14/2022

<b>SUBDIVISION NAME: REPLAT OF LOT 2 BANN SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Quince Avenue: Dedication as needed for 30 ft.-32.5 ft. from centerline for 60 ft.- 65 ft. total ROW as dedication varies.                      Paving : _Approximately existing 35 ft.- 45 ft._ Curb &amp; gutter _Both Sides____                      *Include document numbers on plat and provide any documents as applicable regarding how existing ROW was dedicated.                      **Show ROW dedication along Quince Avenue, as it varies.                      ***Label centerline.                      ****Label ROW dedications, from centerline, existing, total, etc.                      ****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>N. 24th1/2 Street: Proposing to maintain existing 50 ft. total ROW.                      Paving _Approximately existing 30 ft._ Curb &amp; gutter _Both Sides____                      *Include document numbers on plat and provide any documents as applicable regarding how existing ROW was dedicated.                      **Label centerline and revise street name as shown; N.24th 1/2 Street.                      ***Label ROW dedications, from centerline, existing, total, etc.                      ****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>_____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial and multi-family properties.                      **Public Works service drive required to provide waste collection service for the R-3A lots.                      ***Alley/ service drive easement must comply with Fire Department requirements.                      ****Alley or service drive easement cannot dead-end. Provide for alley or service drive easement on the plat prior to final.                      ****Finalize alley/service drive requirements prior to final.                      ***Subdivision Ordinance: Section 134-106</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>SETBACKS</b>	
<p>* Front:20 ft. or greater for easements or approved site plan, or in line with average setback, whichever is greater applies.                      **Proposing:20 ft. except 15 ft. for unenclosed carport only, or greater for easements.                      ***Engineer submitted a variance to allow a 15ft. front setback for unenclosed carports only.                      ***Note wording must be finalized prior to final.                      ****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to final.                      ***Proposing:10 ft. or easement, whichever is greater                      ****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to final                      ***Proposing: 6 ft. or easement, whichever is greater;                      ****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies.                      **Revise plat note as shown above, finalize prior to final.                      ***Proposing 10 ft. or easement whichever is greater;                      ****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage: 18 ft. except where a greater setback is required, greater setback applies                      **Proposing 18ft. except where greater setback is required; Revise plat note as shown above, finalize prior to final.                      *Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required along Quince Avenue and N.24th 1/2 Street.                      **Revise plat note as shown above, finalize prior to final.                      ***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements.                      ***Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.                      **Revise plat note as shown above, finalize prior to final.                      ***Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                      **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
<b>NOTES</b>	
<p>* No curb cut, access, or lot frontage permitted along.                      **Must comply with City Access Management Policy</p>	TBD

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	Required
	Applied
	NA
	Required
	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area.</p> <p>**Zoning Ordinance: Section 138-356</p>	Compliance
	Compliance
<b>ZONING/CUP</b>	
<p>* Existing :R-3A (Apartment Residential) District Proposed: R-3A (Apartment Residential) District</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>**At the City Commission meeting of April 25th,2022, the rezoning request was approved to R-3A District.</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	Completed
<b>PARKS</b>	
<p>* Land dedication in lieu of fee.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Park fees apply at a rate of \$700 per dwelling unit. In this case Park fees amount to \$22,400 (\$700 X 32 dwelling units) and payable prior to plat recording. Park fees will be adjusted accordingly if proposed number of lots/dwelling unit changes.</p> <p>* Pending review by the City Manager's Office.</p>	NA
	Required
	NA
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation waived for 4 multi-family lots.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> <p>**As per Traffic Department, Trip Generation waived for 4 multi-family lots.</p>	Applied
	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy. **Revise name as follows: Vacating and Replat of Bann Subdivision Lot 2 and Bann, Lots 2A,2B,2C and 2D Subdivision. Please update all necessary documents prior to final. ***Need to submit a vacate and replat as plat restrictions are being changed. Vacate and replat plat submitted July 07,2022. ****Please verify surrounding legal descriptions to ensure description matches recorded documents.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS AND CLARIFICATION ON THE REQUESTED VARIANCE.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**





**LOCATION**

25TH ST

144

LA LOMITA TERRACE

SYCAMORE AV

23RD ST

TAMARACK AV

LAS PALMAS PARK

24TH ST

REDWOOD AV

N-1

PETERS SUBDIVISION

M

**LOCATION**

SUBDIVISION

A-1 BECK INDUSTRIAL AREA

B



QUINCE LN

QUINCE AVE

BANN SUBDIVISION

LOT 2

PECAN AVE

STROUD-HUNTER

24 1/2 ST

SAVE A LOT SUBDIVISION

23RD ST

WATER DEVELOPMENT CO.

PECAN BLVD

SOUTH TEXAS COLLEGE CAN EAST SUBDIVISION

"LAZY 'A' RANCH

SUBDIVISION

NORTH DEPOT

W. H. GRANER SUBDIVISION

ORANGE ROAD

NYSSA

SUBDIVISION

MAPLE AVE

PECAN TERRACE

Sub 2022-0079

# City of McAllen Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Dove Meadows Subdivision</u>	
	Location <u>Southwest corner of Dove Avenue and Bentsen Road</u>	
	City Address or Block Number <u>5317 N. BENTSEN RD</u>	
	Number of Lots <u>45</u> Gross Acres <u>9.95</u> Net Acres <u>9.81</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-1/C-2</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date <u>7/6/22</u> Single	
	Existing Land Use <u>Open</u> Proposed Land Use <u>Family</u> Irrigation District # <u>United</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input type="checkbox"/> Residential <input checked="" type="checkbox"/>	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>NO (mc)</u>	
	Parcel # _____ Tax Dept. Review _____	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>9.95 Acres out Lot 348, John H. Shary Subdivision as recorded in Volume 1, Page 17</u> Hidalgo County Map Records.		
Owner	Name <u>Riverside Development Services, LLC</u> Phone <u>(956) 331-8987</u>	
	Address <u>2606 Zinnia Avenue</u> E-mail <u>riversidedevelopmentservices@gmail.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
Developer	Name <u>Riverside Development Services, LLC</u> Phone <u>(956) 331-8987</u>	
	Address <u>2606 Zinnia Avenue</u> E-mail <u>riversidedevelopmentservices@gmail.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Antonio M. Aguirre, Jr.</u>	
Engineer	Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u>	
	Address <u>416 E. Dove Avenue</u> E-mail <u>javier@javierhinojosaeng.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Javier Hinojosa, P.E.</u>	
Surveyor	Name <u>CVQ Land Surveyors, LLC</u> Phone <u>(956) 618-1551</u>	
	Address <u>517 Beaumont Avenue</u> E-mail <u>cvq@cvqlandsurvey.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	

JUL 07 2022

BY: CW

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 7-6-2022

Print Name Antonio M. Aguirre, Jr.

Owner  Authorized Agent

The Planning Department is now accepting DocuSign signatures on application

JOHN H. SHARY  
JUNIOR  
I.S.D.

ABND ROW (2006-72)

HIGH SCHOOL

LOT 2

LOCATION

**PROPOSED DOVE MEADOWS  
SUBDIVISION**

**PROPOSED THE MEDICI  
SUBDIVISION**

**PROPOSED SUNS  
SUBDIVISION**

**PROPOSED BENTSEN PARK  
SUBDIVISION**

**PROPOSED VILLA  
ENCANTO  
SUBDIVISION**

**PRIDE**  
-00  
4924  
4.21AC  
GREG AUTO  
SERVICE



JOHN H. SHARY

LOT 3

SENDERO 348

VILLA RANCH

MEADOW RIDGE ESPANOLA

WISTERIA AVE XANTHISMA AVE

WATER LILY

VIOLET AVE

338

TITO'S  
LOT "A"  
SUBD. 4721

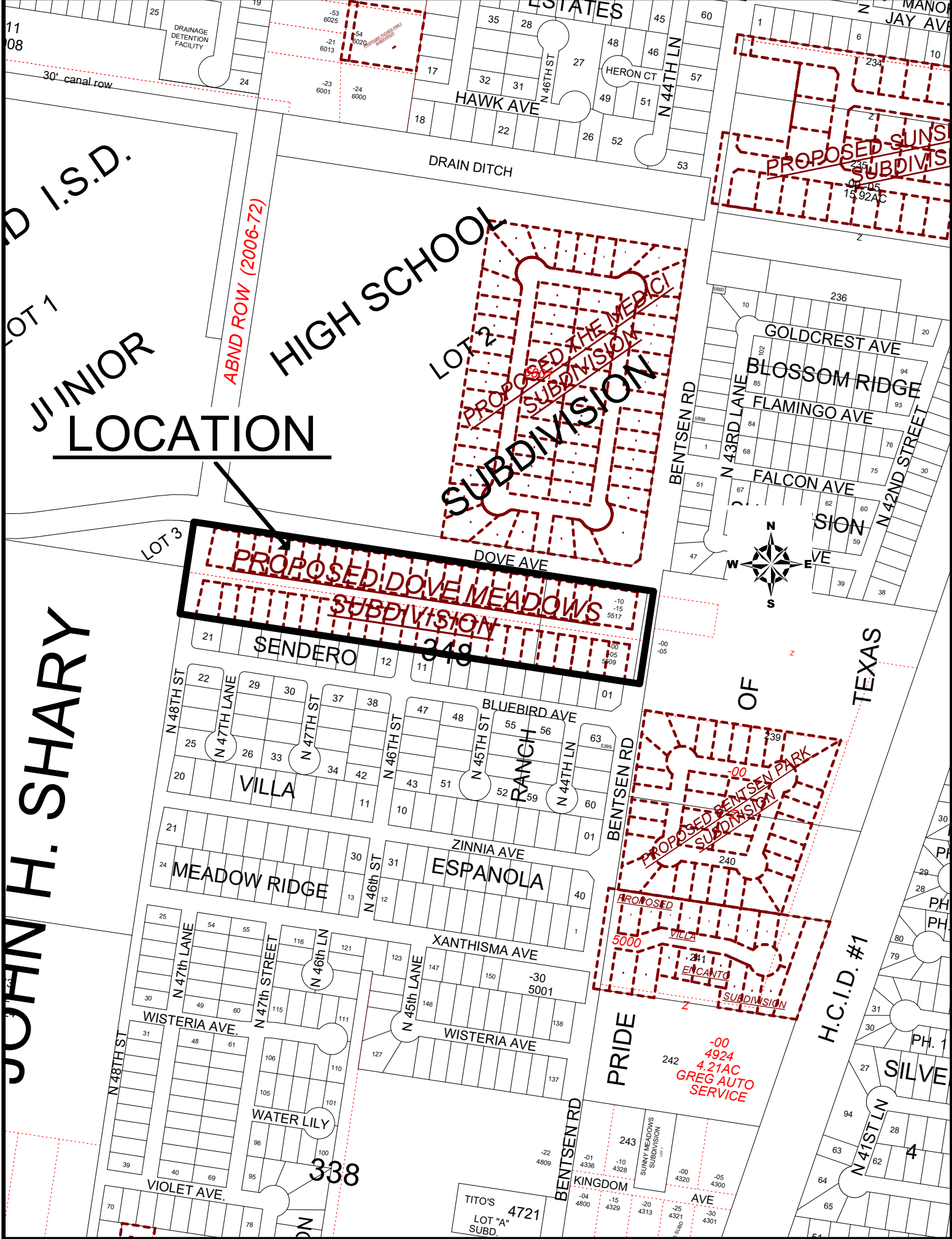
KINGDOM

H.C.I.D. #1

SILVER

N 41ST LN

4



# SUBDIVISION PLAT OF DOVE MEADOWS SUBDIVISION

A TRACT OF LAND CONTAINING 9.95 ACRES OF LAND, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 1, PAGE 17, MAP RECORDS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS DOVE MEADOWS SUBDIVISION PLAT, AN ADDITION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

RIVERSIDE DEVELOPMENT SERVICES, LLC. DATE: \_\_\_\_\_  
2606 ZINNIA AVENUE  
McALLEN, TEXAS 78504  
BY: ANTONIO M. AGUIRRE, JR., MEMBER

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY THE OWNER PERSONALLY APPEARED MR. ANTONIO M. AGUIRRE JR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_\_

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE \_\_\_\_\_

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E. DATE \_\_\_\_\_  
REGISTERED PROFESSIONAL ENGINEER NO. 74808

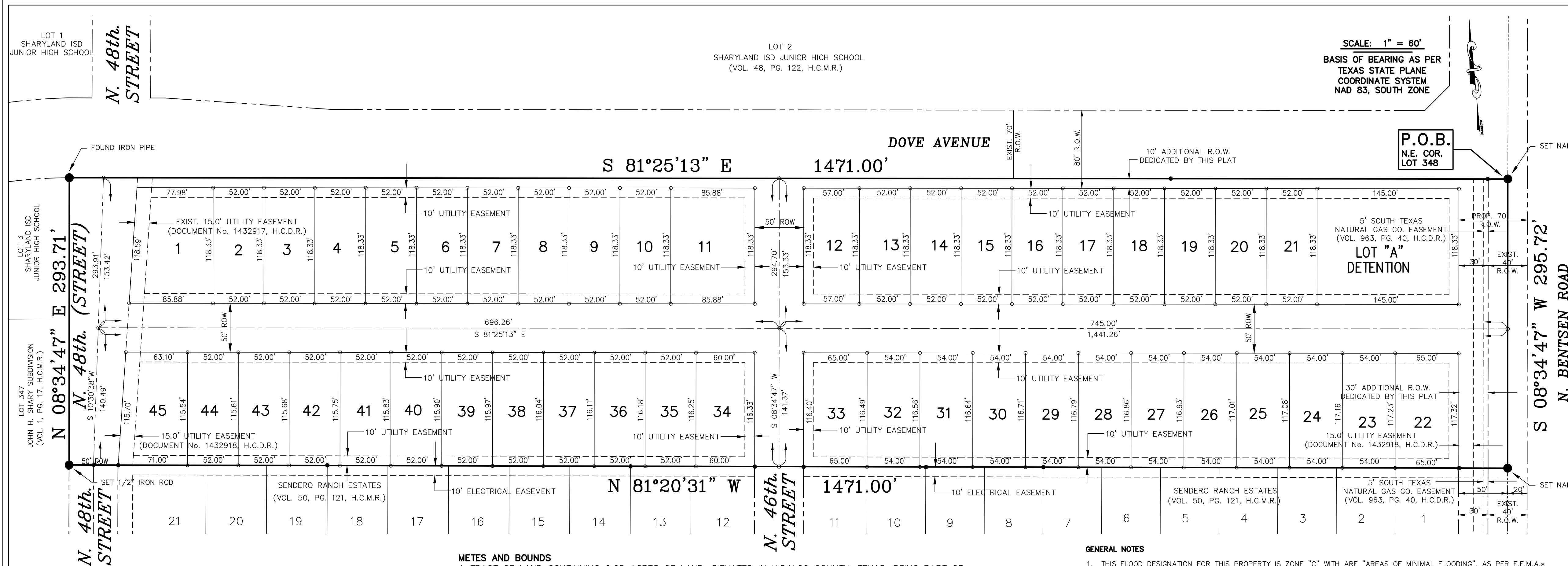
STATE OF TEXAS  
COUNTY OF HIDALGO

I, CARLOS VASQUEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

CARLOS VASQUEZ, R.P.L.S. DATE \_\_\_\_\_  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4608  
C.V.Q. LAND SURVEYORS, LLC  
517 BEAUMONT AVE.  
McALLEN, TEXAS 78501  
TEL. (956) 618-1551 DATE SURVEYED: 03/09/2022  
TBPELS FIRM NO. 10119600

SCALE: 1" = 60'  
BASIS OF BEARING AS PER  
TEXAS STATE PLANE  
COORDINATE SYSTEM  
NAD 83, SOUTH ZONE

P.O.B.  
N.E. COR.  
LOT 348



### METES AND BOUNDS

A TRACT OF LAND CONTAINING 9.95 ACRES OF LAND, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 9.95 ACRES BEING ALL THOSE TRACTS OF LAND DEEDED TO OSAMA B. NAHAS, RECORDED IN DOCUMENT NUMBER 1651186 AND DOCUMENT NUMBER 1966667, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND SAID 9.95 ACRES OF LAND ALSO BEING MORE PARTICULARLY AS FOLLOWS:

BEGINNING ON THE NORTHEAST CORNER OF SAID LOT 348, WITHIN BENTSEN ROAD RIGHT-OF-WAY, FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE S 08° 34' 47" W, ALONG THE EAST LINE OF SAID LOT 348 WITHIN SAID BENTSEN ROAD RIGHT-OF-WAY, A DISTANCE E OF 295.72 (296.12) FEET TO THE NORTHEAST CORNER OF SENDERO RANCH ESTATES, MAP REFERENCE: VOLUME 50, PAGE 121, MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N 81° 20' 31" W, ALONG THE NORTH LINE OF SAID SENDERO RANCH ESTATES, AT A DISTANCE OF 20.00 FEET PASS THE WEST RIGHT-OF-WAY LINE OF SAID BENTSEN ROAD AND CONTINUING A TOTAL DISTANCE OF 1471.00 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "C.V.Q. LS" SET ON THE NORTHWEST CORNER OF SAID SENDERO RANCH SUBDIVISION AND THE WEST LINE OF SAID LOT 348, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE N 08° 34' 47" E, ALONG THE WEST LINE OF SAID LOT 348, A DISTANCE OF 293.71 (296.12) FEET TO AN IRON PIPE FOUND ON THE SOUTH RIGHT-OF-WAY LINE OF DOVE AVENUE, FOR THE NORTHWEST CORNER HEREOF;

THENCE S 81° 25' 13" E, ALONG THE NORTH LINE OF SAID LOT 348 AND SOUTH RIGHT-OF-WAY LINE OF SAID DOVE AVENUE AT A DISTANCE OF 1126.78 FEET PASS A 1/2" IRON ROD FOUND, AND CONTINUING A TOTAL DISTANCE OF 1471.00 FEET TO THE POINT OF BEGINNING, CONTAINING 9.95 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO

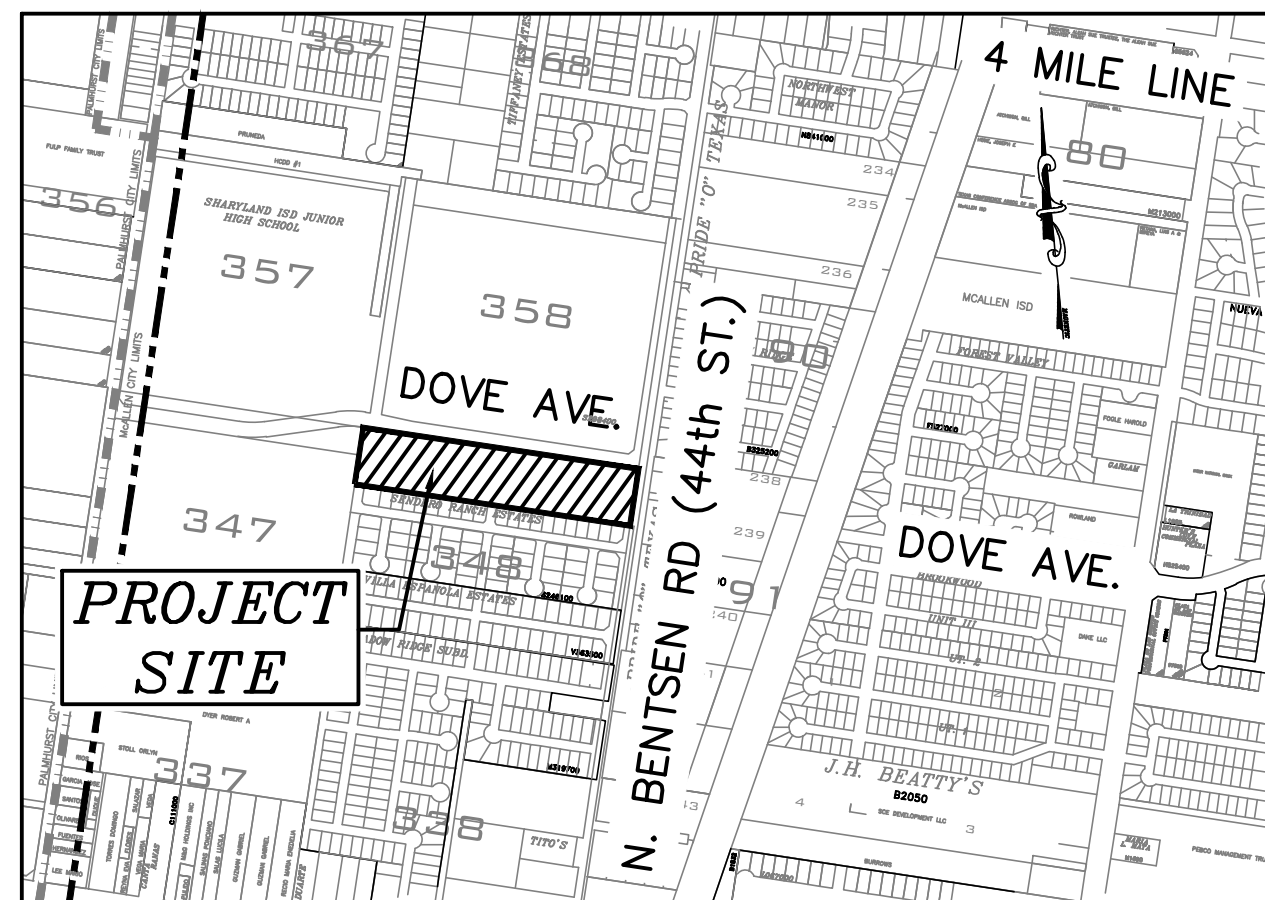
WE, THE UNDERSIGNED, HOLDERS (OR DULY AUTHORIZED OFFICERS OF THE HOLDERS) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS DOVE MEADOWS SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.  
SECURITY INTEREST HOLDER

SIGNATURE \_\_\_\_\_  
BY: ADRIAN VILLARREAL, PRESIDENT  
INTERNATIONAL BANK OF COMMERCE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ADRIAN VILLARREAL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_\_



### LOCATION MAP 1"=1000'

LOT #	SQ. FT.	ACRES
1	9,271	0.21
11	9,737	0.22
12	7,266	0.17
22	7,310	0.17
33	7,457	0.17
34	6,865	0.16
45	7,621	0.18

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 ( C ). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE \_\_\_\_\_  
GENERAL MANAGER

DATE OF PREPARATION: MARCH, 2022 DRAWN BY: P.GONZALEZ



**JAVIER HINOJOSA ENGINEERING**  
CONSULTING ENGINEERS  
416 E. DOVE AVENUE McALLEN, TEXAS 78504  
PHONE (956) 668-1588  
javier@javierhinojosaeeng.com  
TBPELS FIRM NUMBER F-1295

PRINCIPAL CONTACTS:				
NAME	ADDRESS	CITY & ZIP	PHONE	#
OWNER: RIVERSIDE DEVELOPMENT SERVICES, LLC.	2606 ZINNIA AVENUE	McALLEN, TX 78504	(956) 331-8987	
ENGINEER: JAVIER HINOJOSA	416 E. DOVE AVENUE	McALLEN, TX 78504	(956) 668-1588	
SURVEYOR: CARLOS VASQUEZ	517 BEAUMONT AVE.	McALLEN, TX 78501	(956) 618-1551	



FILE FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



**City of McAllen**  
SUBDIVISION PLAT REVIEW

Reviewed On: 7/15/2022

<b>SUBDIVISION NAME: DOVE MEADOWS</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>N. Bentsen Road: Dedication as needed for 100 ft. total ROW.                      Paving: 65 ft. Curb &amp; gutter: both sides                      *Label centerline along N. Bentsen Road., prior to final.                      **Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to final.                      ***Provide Document Numbers on plat for existing ROW dedication and Documents, prior to final.                      ****Staff is reviewing street alignment with the subdivisions to the north and south, ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to final.                      *****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>Dove Avenue: Dedication as needed for 75 ft. from centerline for 150 ft. total ROW.                      Paving; 65 ft. min. Curb &amp; gutter. both sides                      *Subdivision as proposed at this time shows only an additional 10 ft. ROW., finalize ROW requirements prior to final.                      **If proposing less ROW than required a Variance Request will be required.                      ****Label centerline along Dove Avenue., prior to final.                      *****Provide Document Numbers on plat for existing ROW dedication and Documents, prior to final.                      *****Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>N. 46th Street: Proposing 50 ft. total ROW.                      Paving: 32 ft. Curb &amp; gutter: Both Sides                      **Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to final.                      ***Subdivision Ordinance: Section 134-105                      ****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>N. 48th Street: Proposing minimum 50 ft. of ROW.                  Paving: 40 ft. Curb &amp; gutter: both sides                  *Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to final.                  **10 ft. of additional dedication will be required from adjacent property along the westside for a future 60 ft.of ROW with 40 ft. of paving.                  ***Provide for dedication dimensions as ROW width varies..                  ****Finalize ROW requirements prior to final.                  *****Subdivision Ordinance: Section 134-105                  *****Monies must be escrowed if improvements are required prior to final                  *****COM Thoroughfare Plan</p>	<p>Non-compliance</p>
<p>Cardinal Avenue(Interior Street): Proposing 50 ft. total ROW                  Paving: 32 ft. Curb &amp; gutter: Both Sides                  **Subdivision Ordinance: Section 134-105                  **Monies must be escrowed if improvements are required prior to final                  **COM Thoroughfare Plan</p>	<p>Applied</p>
<p>* 1,200 ft. Block Length.                  **Subdivision Ordinance: Section 134-118</p>	<p>Compliance</p>
<p>* 900 ft. Block Length for R-3 Zone Districts.                  **Subdivision Ordinance: Section 134-118</p>	<p>NA</p>
<p>* 600 ft. Maximum Cul-de-Sac                  **Subdivision Ordinance: Section 134-105</p>	<p>NA</p>
<p><b>ALLEYS</b></p>	
<p>ROW: 20 ft. Paving: 16 ft.                  *Alley/service drive easement required for commercial properties                  **Subdivision Ordinance: Section 134-106</p>	<p>NA</p>
<p><b>SETBACKS</b></p>	
<p>* Front: 25 ft. or greater for easements.                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Rear: 10 ft. or greater for easements                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Interior sides: 6 ft. or greater for easements.                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Corner: 10 ft. or greater for easements                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies.                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p><b>SIDEWALKS</b></p>	
<p>* 4 ft. wide minimum sidewalk required along N. Bentsen Road, Dove Avenue, N.48th Street and Both Sides of all Interior Streets.                  **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements.                  ***Please finalize plat note prior to final.                  ****Subdivision Ordinance: Section 134-120</p>	<p>Non-compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

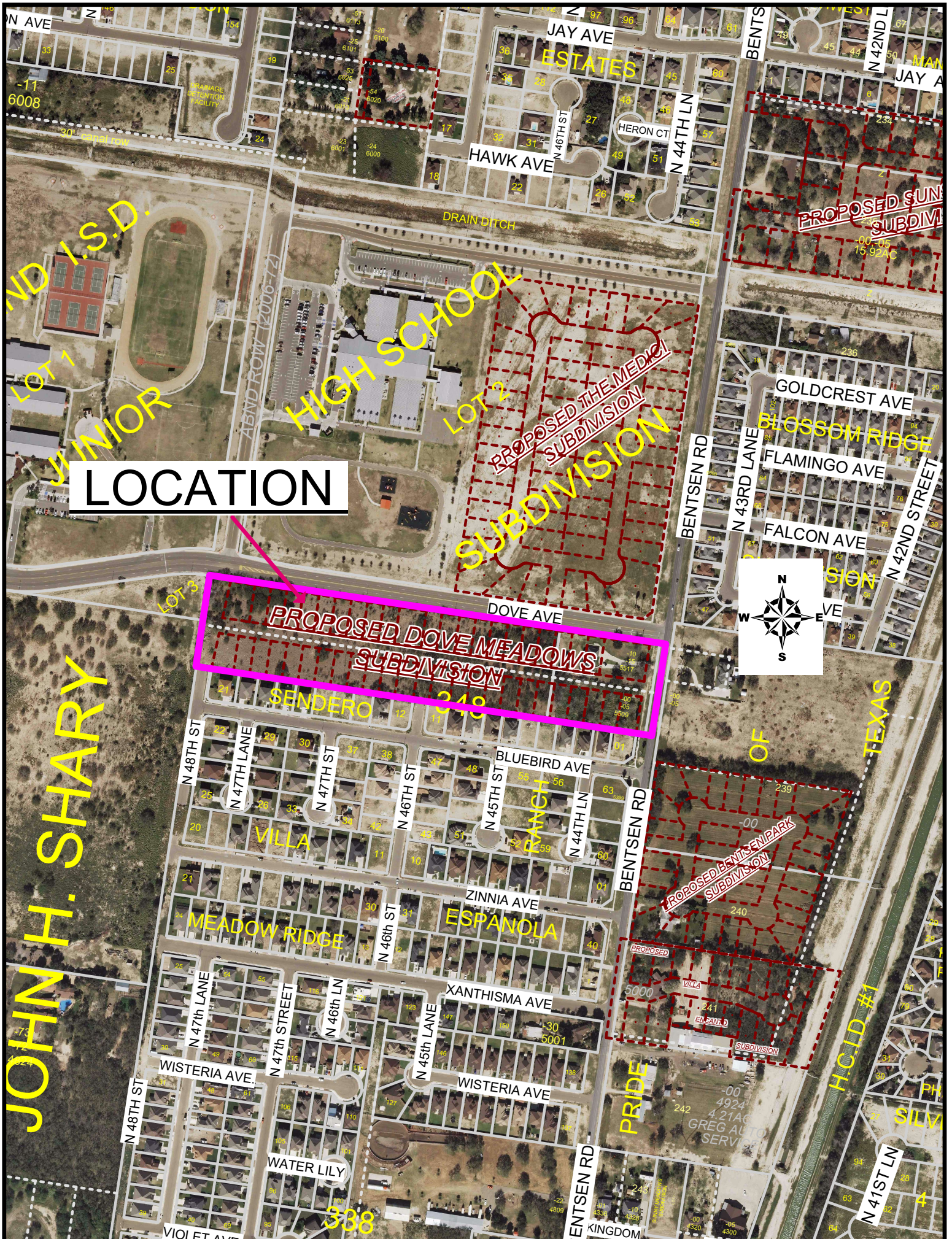
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Dove Avenue and N. Bentsen Road.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along N. Bentsen Road, Dove Avenue, and N.48th Street.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded simultaneously with plat.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 110-72 applies if private subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing:C-2(Neighborhood Commercial) District / R-1(Single-Family Residential) District</li> <li>Proposed:R-1(Single-Family Residential) District</li> <li>**A portion of proposed subdivision currently be rezoned from C-2(Neighborhood Commercial) District to R-1(Single-Family Residential) District, and is scheduled for the Planning and Zoning Commission meeting of August 2,2022 and City Commission meeting of August 22,2022.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Rezoning Needed Before Final Approval                  **A portion of proposed subdivision currently be rezoned from C-2(Neighborhood Commercial) District to R-1(Single-Family Residential) District, and is scheduled for the Planning and Zoning Commission meeting of August 2,2022 and City Commission meeting of August 22,2022.                  ***Zoning Ordinance: Article V</p>	<p>Required</p>
<p><b>PARKS</b></p>	
<p>* Land dedication in lieu of fee.                  * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Park Department fees apply to this subdivision at a rate of \$700 per dwelling unit, this in accordance with McAllen’s Park Land Dedication and Park Development Fees Ordinance. Amount comes to \$31,500, based on \$700 for each individual home and payable prior to plat recording. Fees can go up or down, they are dependent on the number of units.                  * Pending review by City Manager's Office.</p>	<p>TBD</p>
	<p>Required</p>
	<p>TBD</p>
<p><b>TRAFFIC</b></p>	
<p>* As per Traffic Department, Trip generation for 45 lot single family is approved and no TIA is required.                  * Traffic Impact Analysis (TIA) required prior to final plat.                  *** As per Traffic Department, Trip generation for 45 lot single family is approved and no TIA is required.</p>	<p>Completed</p>
	<p>NA</p>
<p><b>COMMENTS</b></p>	
<p>Comments:                  *Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to final.                  **Must comply with City’s Access Management Policy.</p>	<p>Applied</p>
<p><b>RECOMMENDATION</b></p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS.</p>	<p>Applied</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



**LOCATION**

AND I.S.D.  
LOT 1  
JUNIOR

HIGH SCHOOL  
LOT 2

JOHN H. SHARY

**PROPOSED DOVE MEADOWS  
SUBDIVISION**

**PROPOSED THE MEDIC  
SUBDIVISION**

**PROPOSED SUN  
SUBDIVISION**

**PROPOSED BENJEN PARK  
SUBDIVISION**



OF TEXAS  
HOLD #1

VIOLET AVE

338

PRIDE

GREG ALLEN  
SERV

N 41ST LN

ENTSEN RD  
KINGDOM

WATER LILY

WATER LILY

WISTERIA AVE

WISTERIA AVE

XANTHISMA AVE

MEADOW RIDGE

ESPANOLA

VILLA

BLUEBIRD AVE

SENDERO

MANCH

N 48TH ST

N 47TH LANE

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Subarea-0083

# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>JOHN H SHARY SUBDIVISION / PROPOSED BENTSEN VILLAGE SUBDIVISION</u> Location <u>On the west side of South Bentsen Road approximately 1,168 feet from West US Business 83</u> City Address or Block Number <u>420 S. BENTSEN T.D.</u> Number of Lots <u>29</u> Gross Acres <u>2.983</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No <small>R3T, R1 &amp; R3A</small> Existing Zoning <u>R3A</u> Proposed Zoning <u>R3A</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>4-Plex</u> Irrigation District # <u>HCID#1</u> Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential _____ Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>n/a</u> Parcel # <u>281096</u> Tax Dept. Review <u>MC</u> Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ Legal Description <u>2.681 acres, being a part or portion out of the abandoned canal R.O.W.m know as the "Old Edinburg Canal" that lies between the North and the South Line of Lot 198 and the South Line of Lot 208, John H. Shary Subdivision, according to the plat therefore recorded in Volume 1, Page 17, Hidalgo County Map Records, City of McAllen, Hidalgo County, Texas</u>
Owner	Name <u>Arnold R Gonzalez Jr</u> Phone <u>(956) 600-3570</u> Address <u>814 Cimarron Drive</u> E-mail <u>nono_glz@hotmail.com</u> City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u>
Developer	Name <u>Argo Construction</u> Phone <u>(956) 600-3570</u> Address <u>2425 E 6th Street</u> E-mail <u>nono_glz@hotmail.com</u> City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u> Contact Person <u>Arnold Gonzalez, Member</u>
Engineer	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u> City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u> Contact Person <u>Mario A. Reyna, P.E.</u>
Surveyor	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u> City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>

EMPERED

JUL 14 2022

Initial: AM

8200-59068112

### Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

#### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

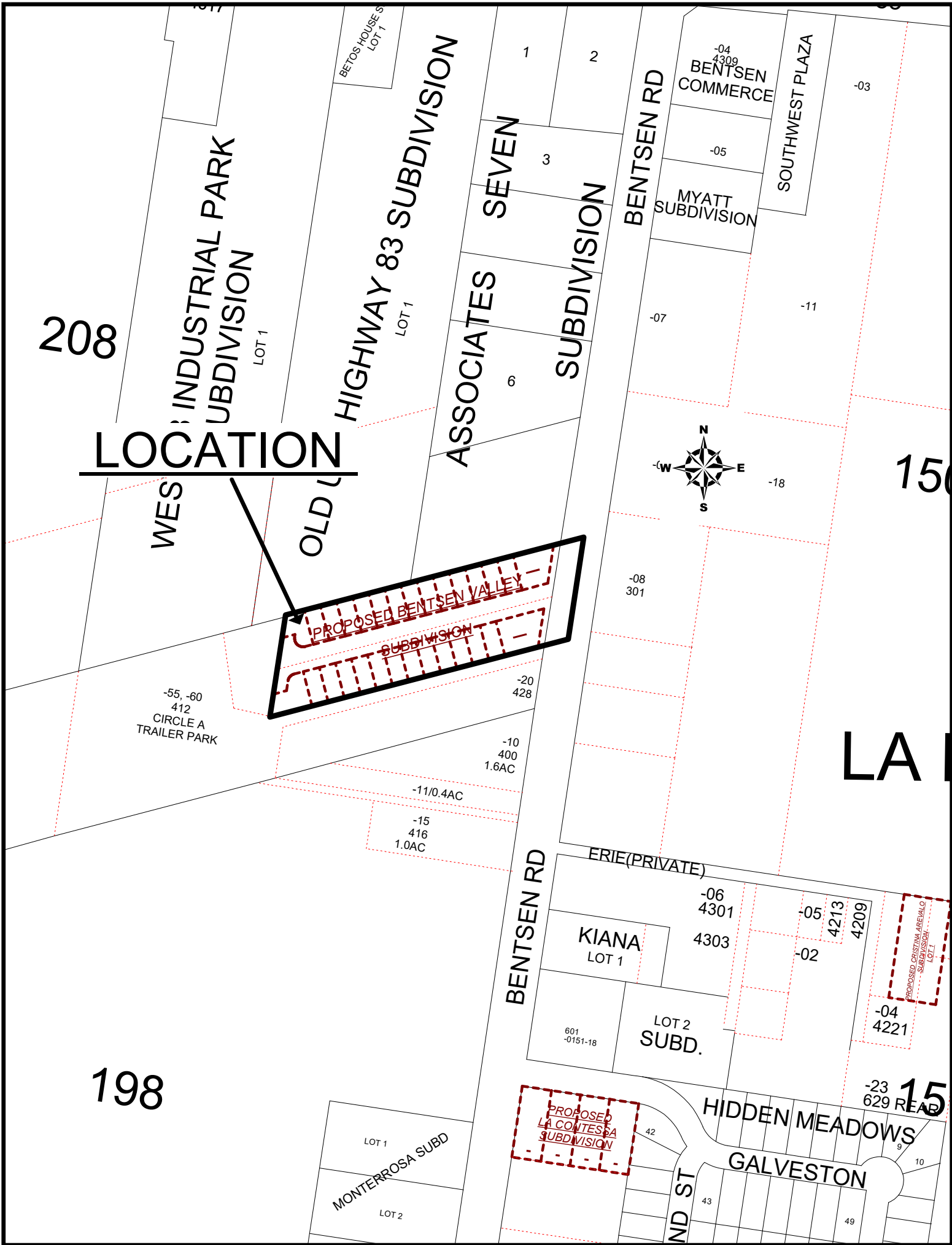
Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.14.2022

Print Name Mario A. Reyna, P.E.

Owner  Authorized Agent



208

**LOCATION**

WES INDUSTRIAL PARK  
SUBDIVISION  
LOT 1

HIGHWAY 83 SUBDIVISION  
LOT 1

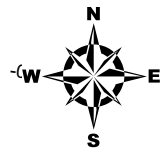
ASSOCIATES SEVEN  
SUBDIVISION

BENTSEN RD

-04  
4309  
BENTSEN  
COMMERCE

-05  
MYATT  
SUBDIVISION

SOUTHWEST PLAZA



150

-55, -60  
412  
CIRCLE A  
TRAILER PARK

-10  
400  
1.6AC

-11/0.4AC

-15  
416  
1.0AC

BENTSEN RD

ERIE (PRIVATE)

KIANA  
LOT 1

-06  
4301  
4303

-05  
4213  
4209

-04  
4221

LOT 2  
SUBD.

601  
-0151-18

-23  
629 REAR

198

LOT 1  
MONTERROSA SUBD  
LOT 2

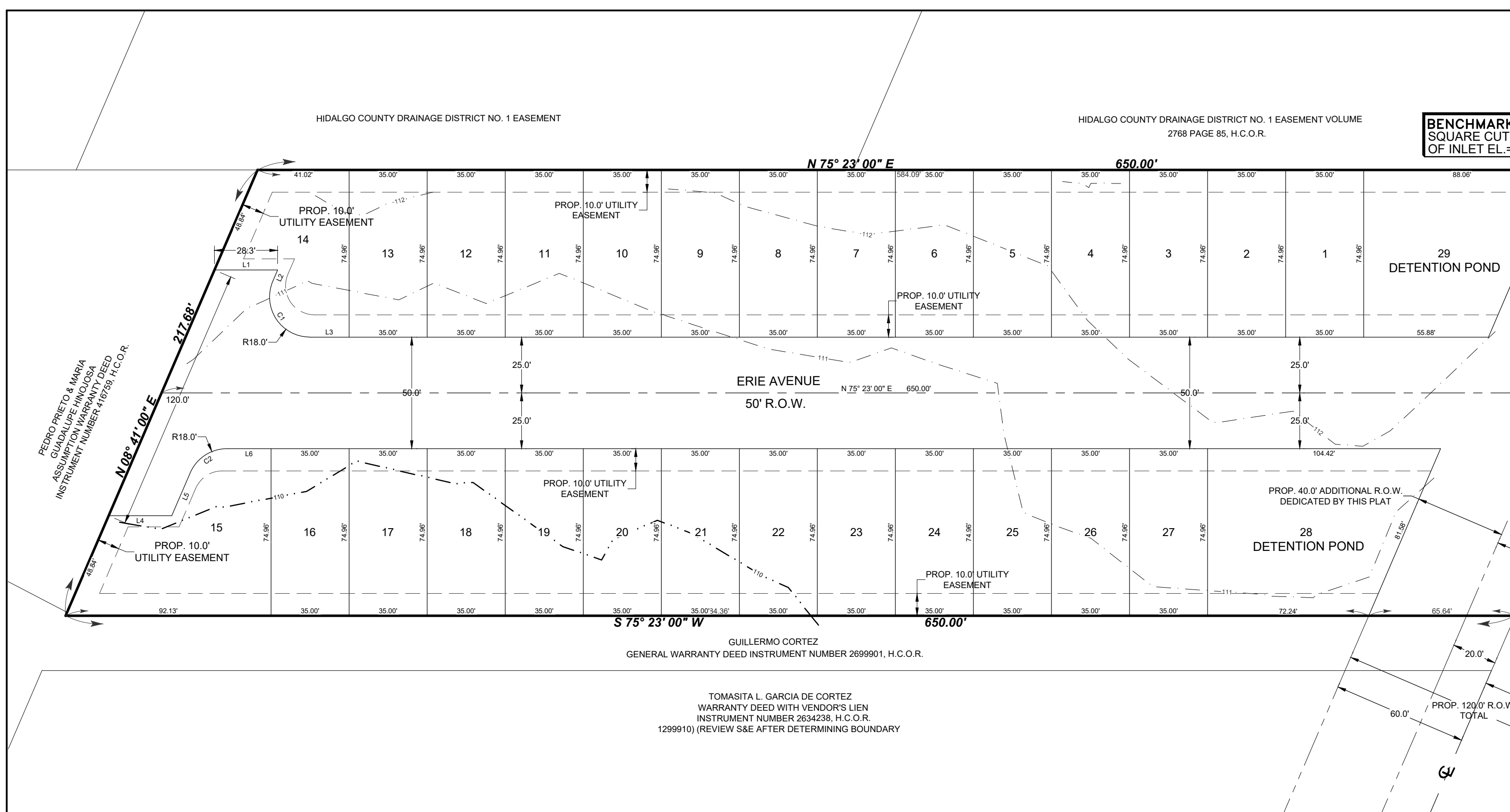
PROPOSED  
LA CONTESSA  
SUBDIVISION

15

HIDDEN MEADOWS

GALVESTON

ND ST



Lot #	SQ. FT.	Area
1	2623.73	0.060
2	2623.73	0.060
3	2623.73	0.060
4	2623.73	0.060
5	2623.73	0.060
6	2623.73	0.060
7	2623.73	0.060
8	2623.73	0.060
9	2623.73	0.060
10	2623.73	0.060
11	2623.73	0.060
12	2623.73	0.060
13	2623.73	0.060
14	3261.17	0.075
15	4819.14	0.111
16	2623.73	0.060
17	2623.73	0.060
18	2623.73	0.060
19	2623.73	0.060
20	2623.73	0.060
21	2623.73	0.060
22	2623.73	0.060
23	2623.73	0.060
24	2623.73	0.060
25	2623.73	0.060
26	2623.73	0.060
27	2623.73	0.060
28	6621.36	0.152
29	5395.21	0.124

Line #	Direction	Length
L1	N 75° 23' 00\"/>	

Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	35.59'	18.00'	113° 18' 00"	S47° 58' 00\"/>		

THE STATE OF TEXAS  
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BENTSEN VILLAGE TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

ARNOLDO R. GONZALEZ SR. 814 CIMARRONDRIVE MISSION, TX. 78572 DATE \_\_\_\_\_

ARNOLDO R. GONZALEZ JR. 814 CIMARRONDRIVE MISSION, TX. 78572 DATE \_\_\_\_\_

GUILLERMO A. CORTEZ 814 CIMARRONDRIVE MISSION, TX. 78572 DATE \_\_\_\_\_

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARNOLDO R. GONZALEZ SR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARNOLDO R. GONZALEZ JR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GUILLERMO A. CORTEZ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS MY COMMISSION EXPIRES: \_\_\_\_\_

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MELDEN & HUNT, INC. TEXAS REGISTRATION F-1435

MARIO A. REYNA, P.E. # 117368 DATE PREPARED: 01-07-2022 ENGINEERING JOB NO. 20145.00

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF BENTSEN VILLAGE, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 04-22-2022, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238 DATE SURVEYED: 04-22-22 T-1047, PAGE 67 SURVEY JOB NO. 22023.08

STATE OF TEXAS COUNTY OF HIDALGO

FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM INSTRUMENT NUMBER \_\_\_\_\_ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

By: \_\_\_\_\_ DEPUTY SHEET 1 OF 2

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN DATE \_\_\_\_\_

CITY SECRETARY DATE \_\_\_\_\_

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE \_\_\_\_\_

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER DATE \_\_\_\_\_

HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT SECRETARY

DRAWN BY: CESAR DATE 04-22-22  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE

**M** **MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

**LOCATION MAP**  
SCALE: 1"=1000'

**LEGEND**

- FOUND No. 4 REBAR
- ⊙ FOUND No. 5 REBAR
- ⊙ FOUND PIPE
- ⊙ FOUND 2" DISK
- ⊙ SET NAIL
- ⊙ SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT

R.O.W. - RIGHT OF WAY  
H.C.D.R. - HIDALGO COUNTY DEED RECORDS  
H.C.M.R. - HIDALGO COUNTY MAP RECORDS  
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS  
H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT  
S.W. COR. - SOUTHWEST CORNER  
P.O.B. - POINT OF BEGINNING  
G.W.D. - GENERAL WARRANTY DEED  
D.W.W. - DEED WITHOUT WARRANTY  
EXIST. - EXISTING  
DOC. NO. - DOCUMENT NUMBER  
W.D. - WARRANTY DEED  
S.W.D. - SPECIAL WARRANTY DEED  
JUDGEMENT NON PRO TUNC  
W.D.W.V.L. - WARRANTY DEED WITH VENDORS LEAN  
U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT  
S.W. - SIDEWALK EASEMENT DEDICATED BY THIS PLAT  
E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT  
D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT  
N.T.S. - NOT TO SCALE  
T.E. - TECHNOLOGY EASEMENT  
⊕ - CENTERLINE OF ROAD

**SUBDIVISION MAP OF BENTSEN VILLAGE**

BEING A SUBDIVISION OF 2.983 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF AN ABANDONED CANAL LAYING BETWEEN LOTS 198 AND 208, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS

**METES AND BOUNDS DESCRIPTION:**

A TRACT OF LAND CONTAINING 2.983 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF AN ABANDONED CANAL LAYING BETWEEN LOTS 198 AND 208, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS, SAID 2.983 ACRES WERE CONVEYED TO ARNOLDO R. GONZALEZ, JR. A/K/A ARNOLDO ROLANDO GONZALEZ BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3200886, HIDALGO COUNTY OFFICIAL RECORDS, SAID 2.983 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL SET AT THE SOUTHEAST CORNER OF SAID LOT 208, FOR THE NORTHEAST CORNER OF THIS TRACT:

1. THENCE, S 08° 41' 00" W A DISTANCE OF 217.68 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, S 75° 23' 00" W AT A DISTANCE OF 65.64 FEET PASS A NO. 4 REBAR SET AT WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, CONTINUING A TOTAL DISTANCE OF 650.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 41' 00" E A DISTANCE OF 217.68 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
4. THENCE, N 75° 23' 00" E AT A DISTANCE OF 584.09 FEET PASS A NO. 4 REBAR SET AT THE WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, CONTINUING A TOTAL DISTANCE OF 650.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.983 ACRES OF WHICH, 0.302 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF BENTSEN ROAD, LEAVING A NET OF 2.681 ACRES OF LAND, MORE OR LESS.

**GENERAL NOTES:**

1. THE SITE LIES IN ZONE "X" UNSHADED. ZONE "X" UNSHADED IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN". ZONE "X" UNSHADED SHOWN ON: COMMUNITY-PANEL NUMBER: 460334 0295 D MAP REVISED: JUNE 6, 2000
2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE.

FRONT: 20 FEET OR GREATER FOR EASEMENT, EXCEPT 25 FT. FOR LOTS 83-86, 91-103 & 139-149 OR GREATER FOR EASEMENT.  
REAR: 10 FEET OR GREATER FOR EASEMENT EXCEPT 25 FT. FOR DOUBLE FRONTING LOTS  
SIDE CORNER: 10 FEET OR GREATER FOR EASEMENT  
INTERIOR SIDES: 5 FEET OR GREATER FOR EASEMENT  
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.

4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 45,663 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION POND WITH A CAPACITY OF 115,119 CUBIC FEET TO ACCOMMODATE FOR PHASE III DETENTION. WATER WILL THEN DISCHARGE THROUGH AN 24" BLEEDER LINE INTO AN EXISTING CITY OF MCALLEN STORM SEWER NETWORK LOCATED OFF-SITE THAT IS BEING BUILT BY OTHERS.
5. CITY OF MCALLEN BENCHMARK: "MC 80" FROM THE CITY OF MCALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLOCK, INN ON OCTOBER 05, 1999, BEING LOCATED AT THE SOUTH BOUND OF EXPRESSWAY 83 BY A CANAL CLOSE TO TAYLOR ROAD, 30" ALUM. PIPE WITH A 3" BRASS MONUMENT CAP ON TOP AT ELEVATION = 104.41, NORTHING: 16596558.4167, EASTING: 1057762.93081 (NAVD88).
6. NO BUILDING ALLOWED OVER ANY EASEMENT.
7. 4 FT WIDE MINIMUM SIDEWALK REQUIRED ON S. BENTSEN ROAD AND BOTH SIDES OF ALL INTERIOR STREETS.
8. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH 33rd STREET.
9. 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
10. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES AND ALONG NORTH 33rd STREET.
11. AN 8 FT. MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
12. SET NO. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN AND HUNT ON ALL LOT CORNERS.
13. COMMON AREAS, AND DETENTION POND MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF MCALLEN.
14. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR BENTSEN VILLAGE RECORDED UNDER DOCUMENT NUMBER \_\_\_\_\_ HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL & VOID.
15. COMMON LOT 28 & 29, IDENTIFIED AS DETENTION AREAS SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION, BENTSEN VILLAGE HOMEOWNERS ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF MCALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN COMMON LOTS 28 & 29 WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREAS AFTER COMMON LOTS 28 & 29 TRANSFER OF TITLE TO THE BENTSEN VILLAGE HOMEOWNER'S ASSOCIATION. THE SUBDIVISION LOT OWNERS PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE BENTSEN VILLAGE HOMEOWNERS ASSOCIATION, FALLING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF MCALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-188(6), AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOTS 28 & 29 THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION. RECORDED IN INSTRUMENT No. \_\_\_\_\_ OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/22/2022

<b>SUBDIVISION NAME: BENTSEN VILLAGE SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>S. Bentsen Road: Proposing 40 ft. dedication for 120 ft. total ROW                      Paving: 65 ft. Curb &amp; gutter: both sides                      *Staff is reviewing ROW requirements and will be finalized prior to final.                      **Label ROW designations Total, Existing, by this plat, finalize prior to final.                      ***Indicate on the plat the document number or how the ROW was dedicated, prior to final.                      ****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Applied
<p>Erie Avenue (Interior Street): 60 ft. ROW                      Paving: 40 ft. Curb &amp; gutter: both sides                      *Proposing 50ft. of ROW                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length .                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac.                      **Cul-de-Sac required at the west end of interior street with 96 ft. face to face paving diameter and ROW dedication for 10 ft. ROW back of curb.                      ***Subdivision Ordinance: Section 134-105</p>	Non-compliance
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial properties                      **Subdivision Ordinance: Section 134-106</p>	NA
<b>SETBACKS</b>	
<p>*Proposing:20 Feet or greater for easement, except 25 ft. for lots 83-86,91-103 &amp;139-149 or greater for easement.                      **Revise note, as it appears to reference other plat, note must be clarified and setbacks will be established accordingly, finalize prior to final.                      ****Zoning Ordinance: Section 138-356</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>*Proposing:10 Feet or greater for easement except 25 ft. for double fronting lots                  **Revise note, as it appears to reference other plat, note must be clarified and setbacks will be established accordingly, finalize prior to final.                  ****Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>*Proposing 5 Feet or greater for easement.                  **Clarify note prior to final, so that setbacks requirements can be established accordingly, finalize prior to final.                  ****Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Corner :10 ft. or greater for easements.                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Garage:18 ft. except where greater setback is required, greater setback applies.                  **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p><b>SIDEWALKS</b></p>	
<p>* 4 ft. wide minimum sidewalk required along S. Bentsen Road and Both sides of all interior Streets.                  **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements.                  ***Please finalize plat note prior to final.                  ****Subdivision Ordinance: Section 134-120</p>	<p>Applied</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>
<p><b>BUFFERS</b></p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along S.Bentsen Road.                  **Revise note#10 as shown above, prior to final.                  **Landscaping Ordinance: Section 110-46</p>	<p>Non-compliance</p>
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                  **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Required</p>
<p><b>NOTES</b></p>	
<p>* No curb cut, access, or lot frontage permitted along S. Bentsen Road.                  **Revise note #8 as shown above, prior to final.                  **Must comply with City Access Management Policy</p>	<p>Non-compliance</p>
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	<p>NA</p>
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>Required</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>NA</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded simultaneously with plat.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 110-72 applies if private subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: R3-T (Townhouse Residential) District Proposed:R3-T (Townhouse Residential) District</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>**Proposed zoning is compliant with current zoning.</li> <li>***If the use changes, rezoning will be required, prior to final.</li> <li>****Zoning Ordinance: Article V</li> </ul>	Applied
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Pending review by City Manager's Office.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip generation for 29 lot townhomes will be waived.</li> </ul>	Complete
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> <li>** As per Traffic Department, Trip generation for 29 lot townhomes will be waived.</li> </ul>	NA
<b>COMMENTS</b>	
<ul style="list-style-type: none"> <li>Comments:</li> <li>*Must comply with City's Access Management Policy.</li> <li>**Need to submit an ownership map to assure no landlocked property exists, or if additional streets are required to provide street frontage to adjacent properties, prior to final. If additional streets are required, additional requirements will be applied accordingly.</li> </ul>	Required
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

# LOCATION



208

WES

INDUSTRIAL PARK  
SUBDIVISION  
LOT 1

HIGHWAY 88 SUBDIVISION  
LOT 1

ASSOCIATES SEVEN  
SUBDIVISION

BENTSEN RD

BENTSEN COMMERCE  
MYATT SUBDIVISION

SOUTHWEST PLAZA

PROPOSED BENTSEN VALLEY  
SUBDIVISION

-55, -60  
412  
CIRCLE A  
TRAILER PARK

BENTSEN RD

ERIE (PRIVATE)

KIANA  
LOT 1

LOT 2  
SUBD.

HIDDEN MEADOWS

GALVESTON

2ND ST

198

MONTERROSA SUBD.  
LOT 1  
LOT 2

PROPOSED  
LA GONTESSA  
SUBDIVISION

LA

Sub 2022-0078

# City of McAllen Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	LOT 1, TOYS "R" US SUBDIVISION/ PROPOSED REPLAT OF LOT 1, TOYS "R"	
	Subdivision Name <u>US SUBDIVISION</u>	
	Location <u>On the southwest corner of U.S. Expressway 83 and South 11th Street</u>	
	City Address or Block Number <u>1105 EXPWY 83</u>	
	Number of Lots <u>1</u> Gross Acres <u>0.824</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning <u>C3</u> Proposed Zoning <u>C3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>HCID#1</u>	
	Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>0</u>	
	Parcel # <u>1377687</u> Tax Dept. Review <u>[Signature]</u>	
Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC <u>Other</u> _____		
Legal Description <u>0.824 acres, out of Lot 1, Toys-R-US Subdivision, Volume 27, Page 31A, Hidalgo County</u>		
Map Records, City of McAllen, Hidalgo County, Texas		
Owner	Name <u>1101 McAllen Retail Partners LP</u> Phone <u>c/o (956) 381-0981</u>	
	Address <u>5599 San Felipe St., Suite 565</u> E-mail <u>Llmertz@scipioventures.com</u>	
	City <u>Houston</u> State <u>TX</u> Zip <u>77056</u>	
Developer	Name <u>1101 McAllen Retail Partners LP</u> Phone <u>1-832-485-1907</u>	
	Address <u>5599 San Felipe St., Suite 565</u> E-mail <u>Llmertz@scipioventures.com</u>	
	City <u>Houston</u> State <u>Texas</u> Zip <u>77056</u>	
	Contact Person <u>Louis Mertz, Manager</u>	
Engineer	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

JUL 01 2022

BT: [Signature]

LG

## Proposed Plat Submittal

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.01.2022

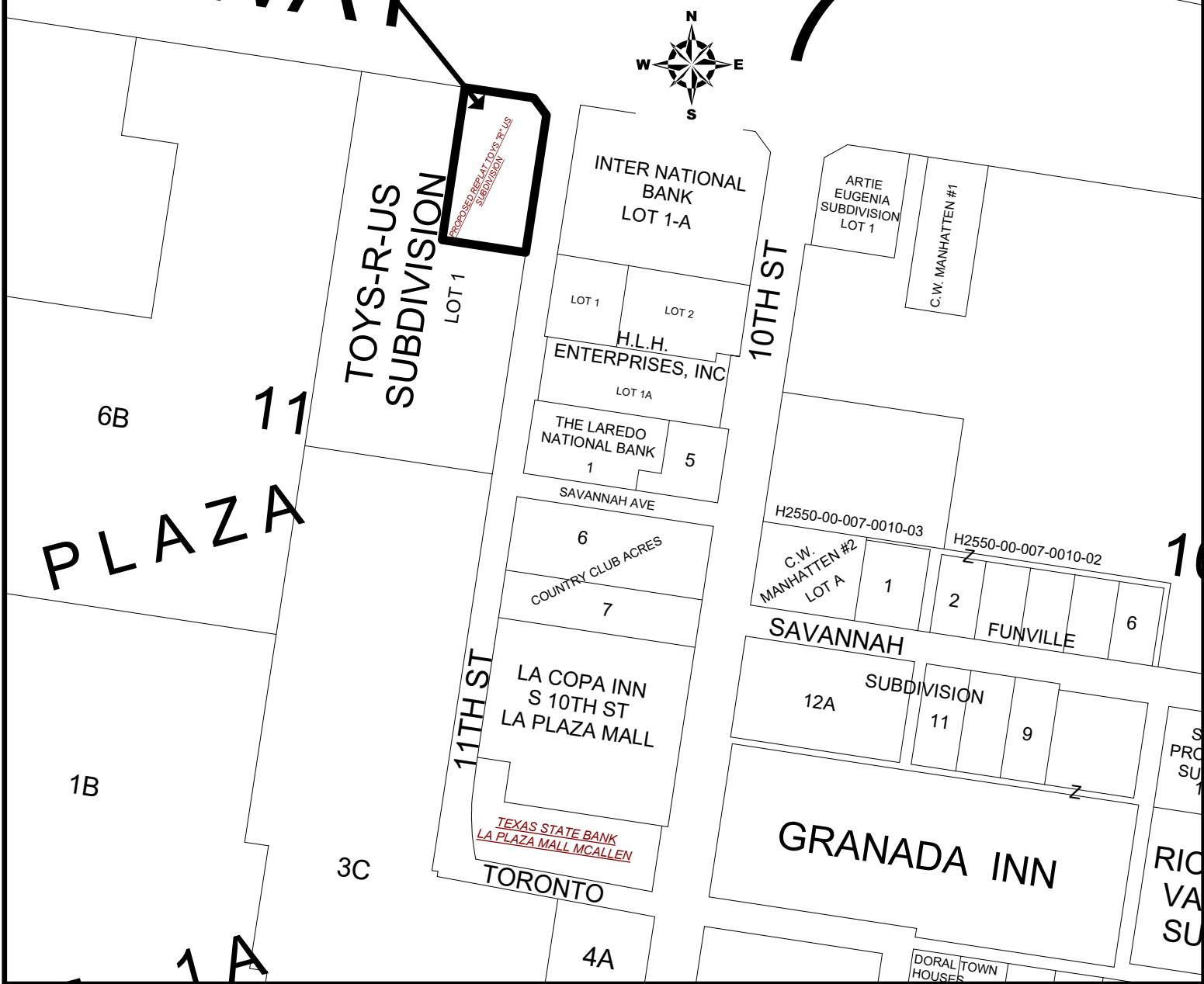
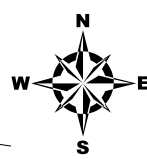
Print Name Mario A. Reyna, P.E.

Owner

Authorized Agent



# THE SS LOCATION



U.S. EXPRESSWAY 83 (I.H. 2)  
320.0' R.O.W.

SUBDIVISION MAP OF

**LOT 1A, RE-PLAT OF LOT 1  
TOYS-R-US SUBDIVISION**

BEING A SUBDIVISION OF 0.824 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO TEXAS, OUT OF LOT 1, TOYS-R-US SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 27, PAGE 31, HIDALGO COUNTY MAP RECORDS

**METES AND BOUNDS DESCRIPTION:**

A TRACT OF LAND CONTAINING 0.824 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO TEXAS, OUT OF LOT 1, TOYS-R-US SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 27, PAGE 31, HIDALGO COUNTY MAP RECORDS, WHICH SAID 0.824 OF ONE ACRE BEING OUT OF A CERTAIN TRACT CONVEYED TO 1101 MCALLEN RETAIL PARTNERS, L.P. BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2973773 HIDALGO COUNTY OFFICIAL RECORDS, SAID 0.824 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, AT A NO. 4 REBAR FOUND ON THE SOUTHWEST CORNER OF SAID LOT 1:

THENCE, S 81° 14' 00" E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 315.70 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1, ON THE WEST RIGHT-OF-WAY LINE OF SOUTH 11<sup>TH</sup> STREET, FROM WHICH AN "X" CUT IN CONCRETE FOUND BEARS N 83° 04' 08" E, A DISTANCE OF 0.72 FEET;

THENCE, N 08° 48' 00" E, ALONG THE EAST LINE OF SAID LOT 1 AND WEST RIGHT-OF-WAY LINE OF SOUTH 11<sup>TH</sup> STREET, A DISTANCE OF 231.70 FEET TO A NO. 4 REBAR SET, FOR THE POINT OF BEGINNING, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 81° 14' 00" W, A DISTANCE OF 141.00 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
2. THENCE, N 08° 48' 00" E, A DISTANCE OF 256.70 FEET, TO A NO. 4 REBAR SET ON THE NORTH LINE OF SAID LOT 1 AND SOUTH RIGHT-OF-WAY LINE OF U.S. EXPRESSWAY 83 (INTERSTATE 2), FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, S 81° 14' 00" E, ALONG THE NORTH LINE OF SAID LOT 1 AND SOUTH RIGHT-OF-WAY LINE OF U.S. EXPRESSWAY 83 (INTERSTATE 2), A DISTANCE OF 116.00 FEET, TO A NO. 4 REBAR SET ON THE BEGINNING OF A CUT BACK CORNER FROM WHICH A CONCRETE MONUMENT WITH ARANDA DISK, BEARS S 81° 14' 00" E, A DISTANCE OF 0.88 FEET, FOR NORTHWESTERN MOST NORTHEAST CORNER OF THIS TRACT;
4. THENCE, S 36° 24' 08" E, A DISTANCE OF 35.36 FEET TO AN "X" CUT IN CONCRETE SET ON THE WEST RIGHT-OF-WAY LINE OF SOUTH 11<sup>TH</sup> STREET, FROM WHICH A NAIL FOUND BEARS N 74° 24' 46" W, A DISTANCE OF 2.43 FEET, FOR THE SOUTHEASTERMOST NORTHEAST CORNER OF THIS TRACT;
5. THENCE, S 08° 48' 00" W, ALONG THE EAST LINE OF SAID LOT 1 AND WEST RIGHT-OF-WAY LINE OF SOUTH 11<sup>TH</sup> STREET, A DISTANCE OF 231.70 FEET, TO THE POINT OF BEGINNING AND CONTAINING 0.824 OF ONE ACRE OF LAND, MORE OR LESS.

**GENERAL NOTES :**

1. THIS SUBDIVISION IS IN FLOOD ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY-PANEL NUMBER: 480343 0010 C MAP REVISED: NOVEMBER 02, 1982.
  2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
  3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:  
11<sup>TH</sup> STREET: 25 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
U.S. EXPRESSWAY 83 (INTERSTATE 2): 70 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.  
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
- SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE" IS NOT REMOVED, SITE PLAN WILL NEED TO BE PRESENTED AND APPROVED BY PLANNING & ZONING COMMISSION
4. CITY OF MCALLEN BENCHMARK: NUMBER MC 81. TOP OF 3" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT NORTHWEST CORNER OF THE INTERSECTION OF JACKSON ROAD & BROADWAY STREET. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16596351.3392, E=1071202.75224, ELEV.=125.01
  5. REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: \_\_\_\_\_ C.F. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS.
  6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
  7. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
  8. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON U.S. EXPRESSWAY 83 (I2) AND 11<sup>TH</sup> STREET AT BUILDING PERMIT STAGE.
  9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES.
  10. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
  11. PERIMETER BUFFERS MUST BE BUILT AT TIME OF SUBDIVISIONS IMPROVEMENTS.
  12. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
  13. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
  14. COMMON AREAS, PRIVATE STREETS, SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
  15. COMMON AREAS FOR COMMERCIAL DEVELOPMENTS PROVIDE FOR COMMON PARKING, ACCESS, SETBACKS, LANDSCAPING, TC.
  16. A SERVICE DRIVE EASEMENT TO THE CITY OF MCALLEN, TEXAS IS GRANTED HEREIN FOR THE COLLECTION OF GARBAGE AND FOR THE PROVISION OF OTHER MUNICIPAL TRASH SERVICES OVER, UPON, AND ACROSS THE DRIVE AISLES AS THE SAME NOW EXIST OR ARE HEREAFTER CONSTRUCTED ON THE LAND SHOWN ON THIS PLAT BUT EXCLUDING ANY DRIVE-THRU LANE AND DRIVE-THRU STACKING LANES, MOTOR FUELS FACILITY AND THE CANOPY AREA HEREAFTER CONSTRUCTED ON THE LAND SHOWN ON THIS PLAT.

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN \_\_\_\_\_ DATE \_\_\_\_\_

CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS  
THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE LOT 1A RE-PLAT OF LOT 1 TOYS-R-US SUBDIVISION SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

LOUIS MERTZ, MANAGER \_\_\_\_\_ DATE \_\_\_\_\_  
1101 MCALLEN RETAIL PARTNERS, LP  
A TEXAS LIMITED PARTNERSHIP  
5599 SAN FELIPE ST, SUITE 565  
HOUSTON, TEXAS 77056

THE STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED LOUIS MERTZ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

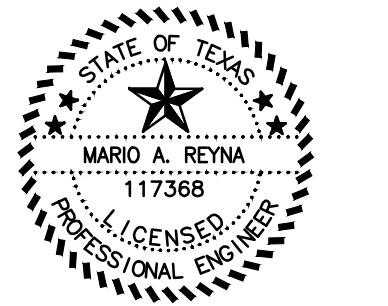
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368  
STATE OF TEXAS

DATE PREPARED: 4/22/2022  
ENGINEERING JOB # 21224.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435



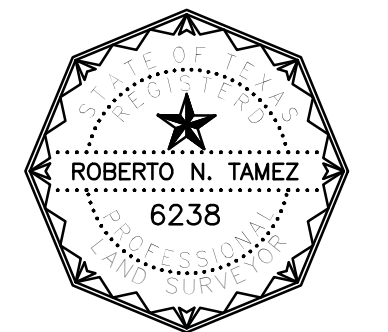
STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS

DATE SURVEYED: 04/10/2022  
SURVEY JOB # 21224.02

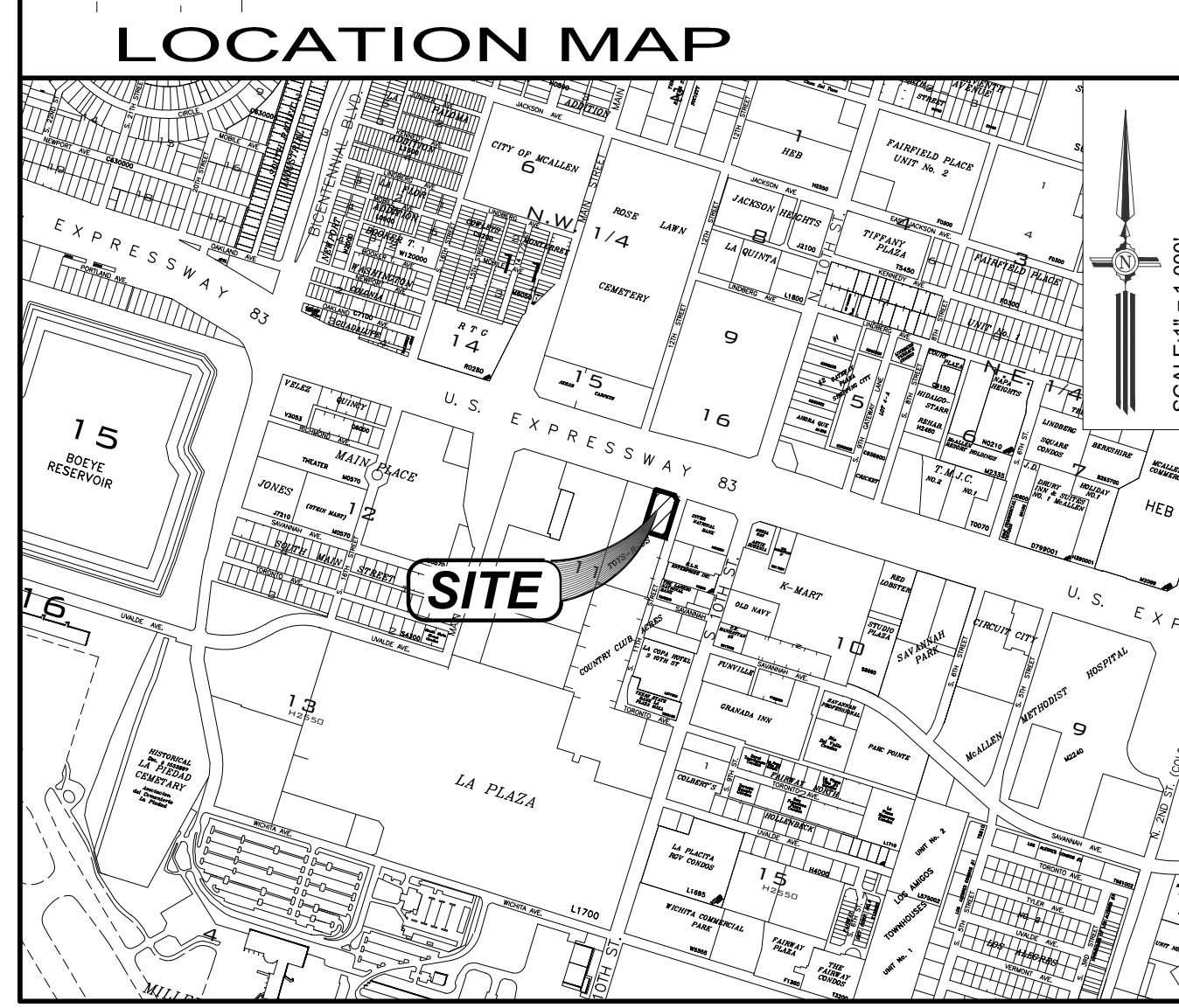
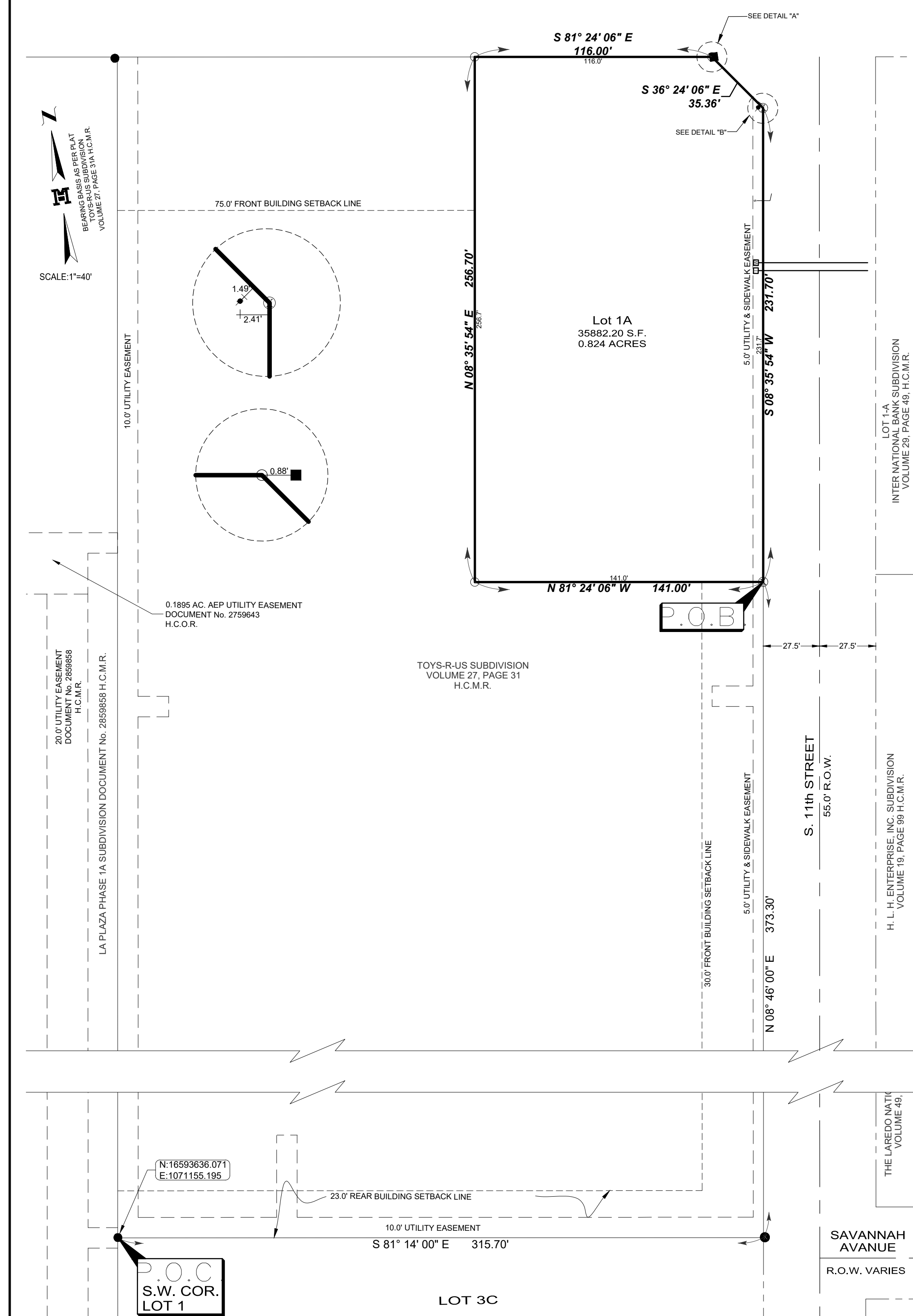


FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



**LEGEND**

- FOUND NO.4 REBAR
- FOUND CONCRETE MONUMENT
- FOUND PK NAIL
- FOUND "X" MARK ON CONCRETE
- ⊗ SET "X" MARK ON CONCRETE
- SET NO.4 REBAR WITH PLASTIC
- CAP STAMPED MELDEN & HUNT

R.O.W. - RIGHT OF WAY  
H.C.M.R. - HIDALGO COUNTY MAP RECORDS  
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS  
S.W. COR. - SOUTHWEST CORNER  
N.T.S. - NOT TO SCALE

DRAWN BY: C.P.	DATE: 04-22-2022
SURVEYED, CHECKED:	DATE:
FINAL CHECK:	DATE:

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/15/2022

<b>SUBDIVISION NAME: TOYS "R" US</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>U.S Expressway 83(Frontage Rd): Proposing 320 ft. of total ROW.                      Paving : By the State Curb &amp; gutter: By the State.                      *Thoroughfare Plan references 350 ft. of ROW, finalize prior to final.                      **Label centerline along U.S Expressway 83(Frontage Rd), prior to final.                      ***Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to final.                      ****Provide Document Numbers on plat for existing ROW dedication and Documents, prior to final.                      *****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>South 11th Street: Dedication as needed for 30ft. from centerline for 60ft. total ROW.                      Paving 40 ft. Curb &amp; gutter: Both Sides.                      *Verify ROW dedications as they do not correspond with original plat, revise as applicable.                      **Label centerline along South 11th Street, prior to final.                      ***Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to final.                      ****Provide Document Numbers on plat for existing ROW dedication and Documents, prior to final.                      *****Finalize ROW requirements prior to final.                      *****Subdivision Ordinance: Section 134-105                      *****Monies must be escrowed if improvements are required prior to final                      *****COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length                      **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts.                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial properties                      **Alley or service drive easement cannot dead-end. Provide for alley or service drive easement on the plat prior to final.                      ****Subdivision Ordinance: Section 134-106</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

SETBACKS	
<p>* Front:75 Feet-U.S Expressway 83(Frontage Rd.) 30 Feet-S.11th Street **Revise note as shown above, prior to final. ***Proposing: 11th Street: 25 ft. or greater for approved site plan or easement. U.S Expressway 83 (Interstate 2): 70 ft. or greater for approved site plan or easement. *****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Revise note as shown above, prior to final. ***Proposing: In accordance with the Zoning Ordinance or greater for easements. ****Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Revise note as shown above, prior to final. ***Proposing Side: In accordance with the Zoning Ordinance, or greater for easements. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner setback will be addressed through front setback, please see front setback requirement. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage: Commercial Development. **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along U.S Expressway 83(Frontage Rd.) and S.11th Street. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. **finalize plat note wording prior to final. ***Subdivision Ordinance: Section 134-120  * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>* No curb cut, access permitted along U.S Expressway 83 (Frontage Rd.) **Clarify if cross-access agreement will be established ,prior to final as it may trigger changes on plat. ***Must comply with City Access Management Policy</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

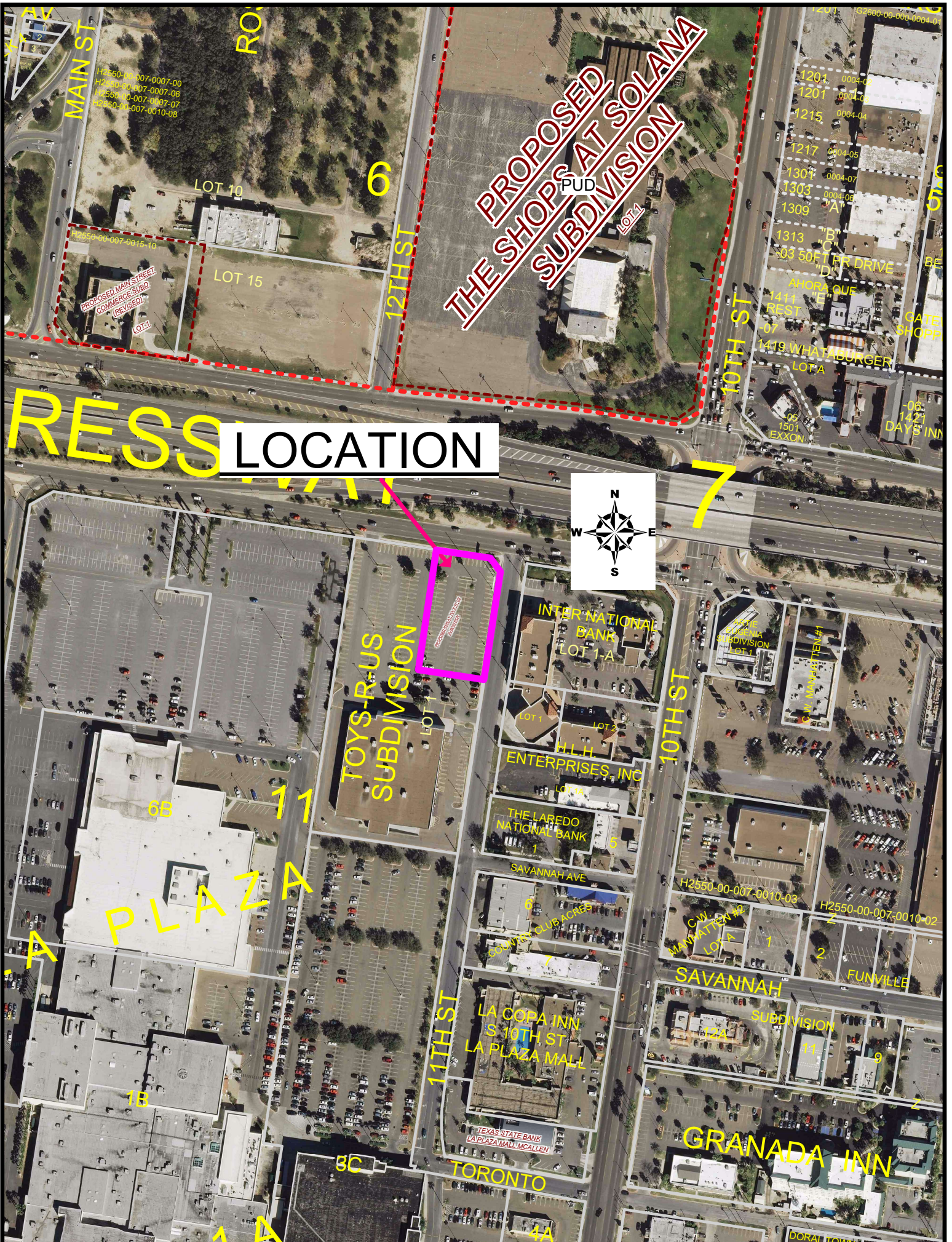


<p>*Site Plan Approval By The Planning and Zoning Commission Required Prior to Building Permit Issuance.                  **Note wording must be finalized prior to final and a separate note number will be required.                  ** *Site plan must be approved by the Planning and Development Departments prior to building permit issuance.                  * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.                  * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.                  * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168                  * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	Non-compliance
	Applied
	Applied
	NA
	NA
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets                  **Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area                  **Zoning Ordinance: Section 138-356</p>	Compliance
<b>ZONING/CUP</b>	
<p>* Existing: C-3(General Business) District. Proposed: C-3(General Business) District.                  **Zoning Ordinance: Article V</p>	Compliance
<p>* Rezoning Needed Before Final Approval                  **Proposed zoning is compliant with current zoning.                  ***Zoning Ordinance: Article V</p>	NA
<b>PARKS</b>	
<p>* Land dedication in lieu of fee. As per Parks Department proposed use is commercial, commercial developments do not apply to parks.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department proposed use is commercial, commercial developments do not apply to parks.</p>	NA
<p>* Pending review by the City Manager's Office. As per Parks Department proposed use is commercial, commercial developments do not apply to parks.</p>	NA
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	Required
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	TBD

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>COMMENTS</b>	
Comments: *Need to submit a vacate and replat if plat restrictions are being changed, clarify prior to final. If submitting a vacate and replat a letter of authorization will be required from adjoining property owner. **Clarify status of remaining portion of Lot 1 Toys-R-Us Subdivision. ***Site Plan Approval By The Planning and Zoning Commission Required Prior to Building Permit Issuance. ****Clarify if cross-access agreement will be established ,prior to final as it may trigger changes on plat. *****Must comply with City's Access Management Policy.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



**PROPOSED  
THE SHOPS AT SOLANA  
SUBDIVISION**

PUD

**LOCATION**



RESS

LA PLAZA

**TOYS-R-US  
SUBDIVISION**

**INTERNATIONAL  
BANK  
LOT 1-A**

**HLH  
ENTERPRISES, INC**

**THE LAREDO  
NATIONAL BANK**

SAVANNAH AVE

**LA COPA INN  
S. 10TH ST  
LA PLAZA MALL**

**TEXAS STATE BANK  
LA PLAZA MALL/CALLEN**

TORONTO

SAVANNAH

**GRANADA INN**

MAIN ST

RO

6

12TH ST

10TH ST

10TH ST

11TH ST

3C

4A

1201, 1201, 1215, 1217, 1301, 1303, 1309, 1313, 1411, 1419, 1501, 1501, 1201, 1201, 1215, 1217, 1301, 1303, 1309, 1313, 1411, 1419, 1501, 1501

1201, 1201, 1215, 1217, 1301, 1303, 1309, 1313, 1411, 1419, 1501, 1501, 1201, 1201, 1215, 1217, 1301, 1303, 1309, 1313, 1411, 1419, 1501, 1501

H2550-00-007-0007-00  
H2550-00-007-0007-06  
H2550-00-007-0007-07  
H2550-00-007-0010-08

H2550-00-007-0015-10

PROPOSED MAIN STREET  
COMMERCE SUBD  
(REVISED)

LOT 10

LOT 15

LOT 1

LOT 1

6B

11

1B

1A

2A

1201, 0004-02

1201, 0004-05

1215, 0004-04

1217, 0004-05

1301, 0004-07

1303, 0004-08

1309, "A"

1313, "B"

1411, "C"

1419, REST

1501, EXXON

1501, EXXON

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1501, EXXON

5700

BE

GATE

SHOPP

06

1421

DAY

INN

1501

EXXON

1501

EXXON

1501

EXXON

1501

EXXON

1501

EXXON

SUB 2022-0077

# City of McAllen Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION/ Subdivision Name <u>PROPOSED PARKE AT NOLANA SUBDIVISION</u>	
	Location <u>On the north side Nolana Avenue between N. 29th and N. 34th Street</u>	
	City Address or Block Number <u>3200 NOLANA AVE</u>	
	Number of Lots <u>4</u> Gross Acres <u>23.741</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning <u>C3</u> Proposed Zoning <u>C3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>HCID#1</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>yes</u>	
	Parcel # <u>210823 &amp; 210827</u> Tax Dept. Review <u>ag</u>	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>23.741 acres, out of Lot 111, La Lomita Irrigation and Construction Company's Subdivision according to the plat thereof recorded in Volume 24, Page 68, Hidalgo County Deed Records, Hidalgo County, Texas</u>		
Owner	Name <u>Parke at Nolana LLC</u> Phone <u>c/o (956) 381-0981</u>	
	Address <u>105 Sequoia Drive</u> E-mail <u>craig@corporateassetpartners.com</u>	
	City <u>San Antonio</u> State <u>TX</u> Zip <u>78232</u>	
Developer	Name <u>Corporate Asset Partners LLC</u> Phone <u>(210) 667-6466</u>	
	Address <u>105 Sequoia Drive</u> E-mail <u>craig@corporateassetpartners.com</u>	
	City <u>San Antonio</u> State <u>Texas</u> Zip <u>78232</u>	
	Contact Person <u>Craig J Garansuay, Managing Member</u>	
Engineer	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

JUL 01 2022

BY: CW

LG

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

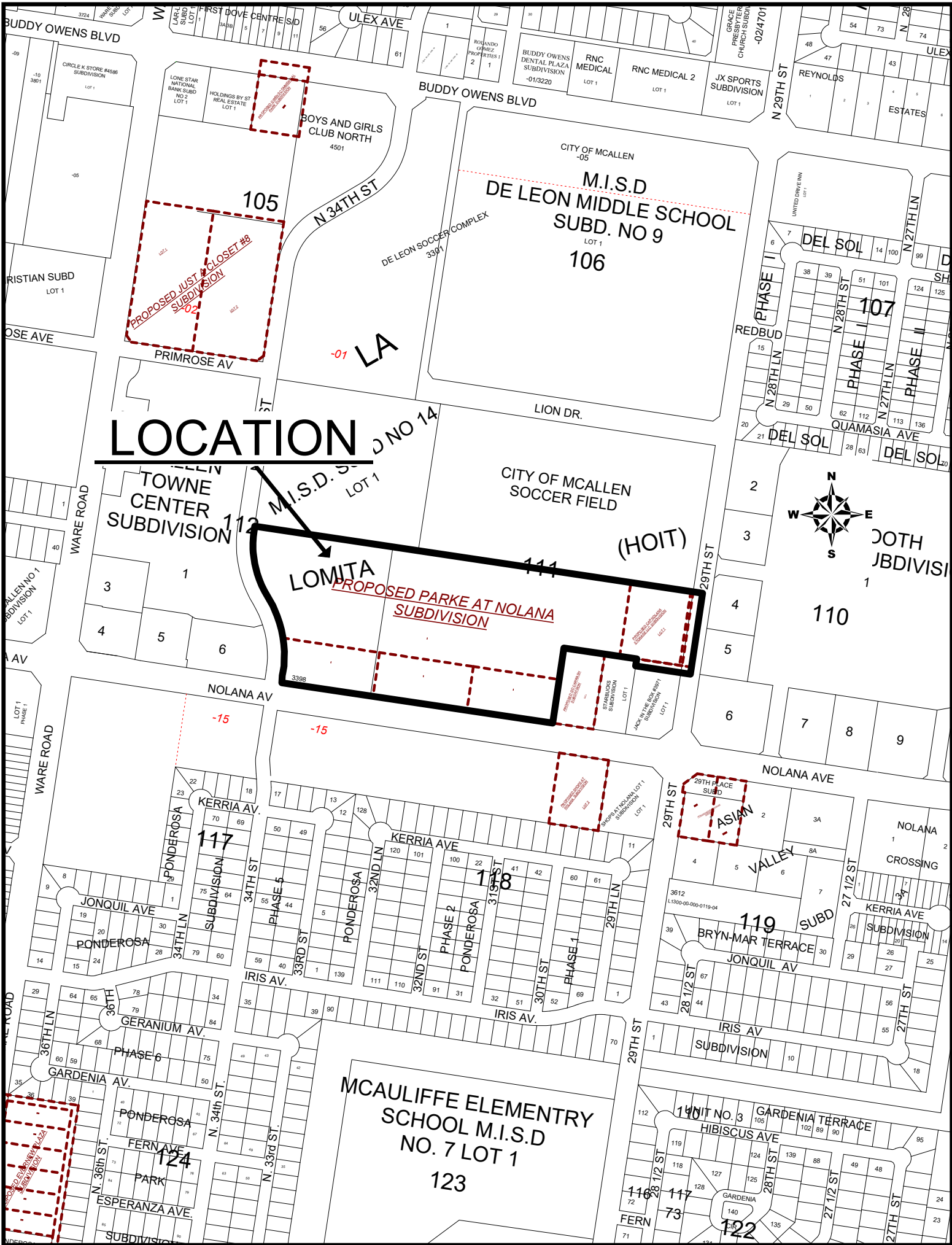
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 06.13.2022

Print Name Mario A. Reyna, P.E.

Owner

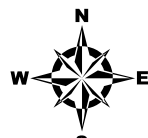
Authorized Agent



**LOCATION**



**LOMITA**  
*PROPOSED PARKE AT NOLANA SUBDIVISION*



**JOHN JBDIVISION**

**MCAULIFFE ELEMENTARY SCHOOL M.I.S.D NO. 7 LOT 1**  
123

**M.I.S.D DE LEON MIDDLE SCHOOL SUBD. NO 9**  
LOT 1  
106

**TOWNE CENTER SUBDIVISION**  
112

**PONDEROSA SUBDIVISION**  
117

**PONDEROSA PHASE 2**  
118

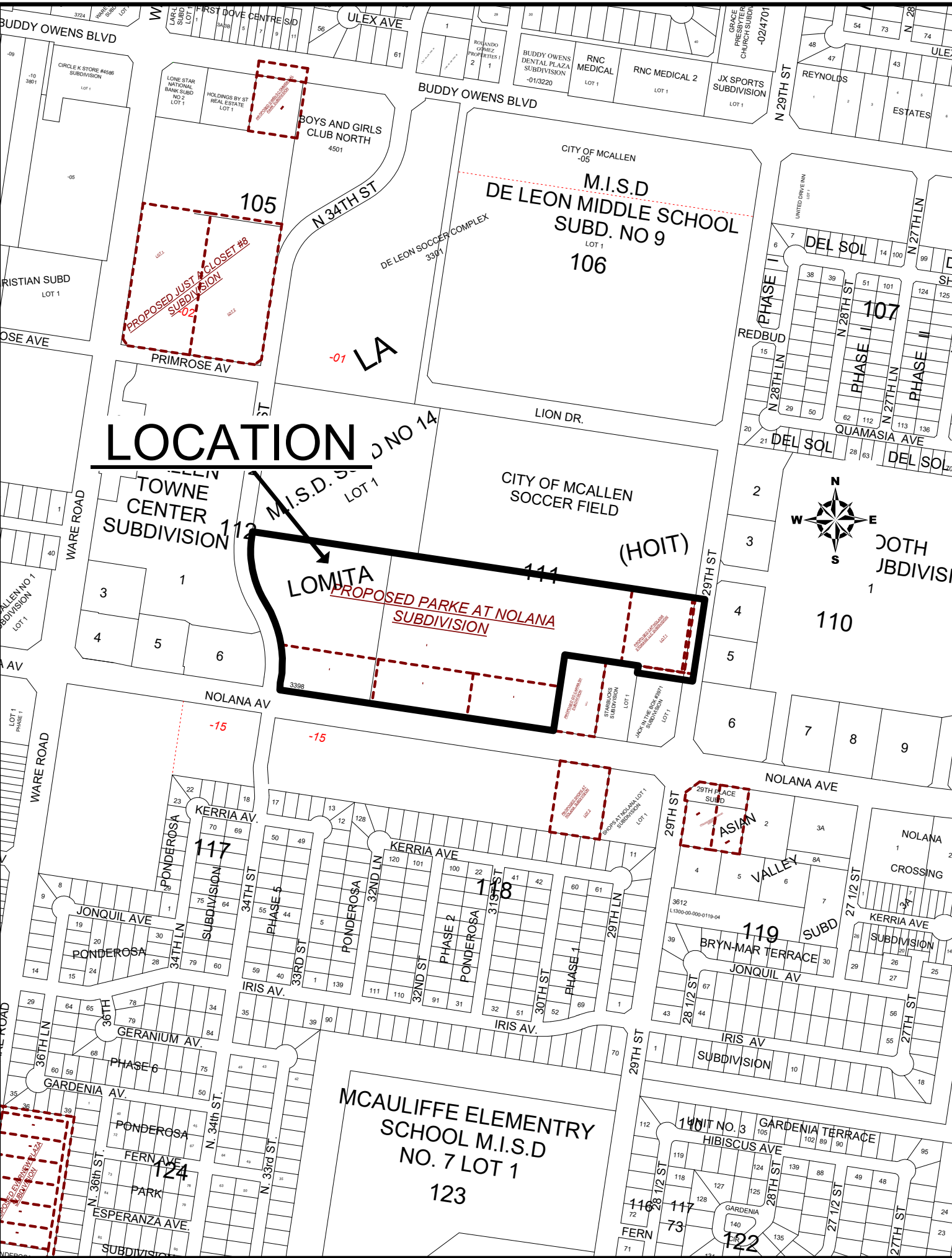
**119 SUBD**

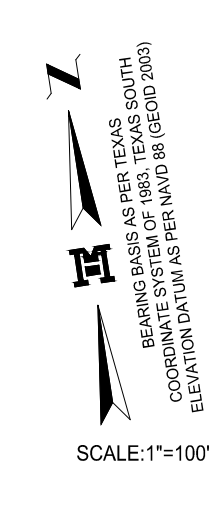
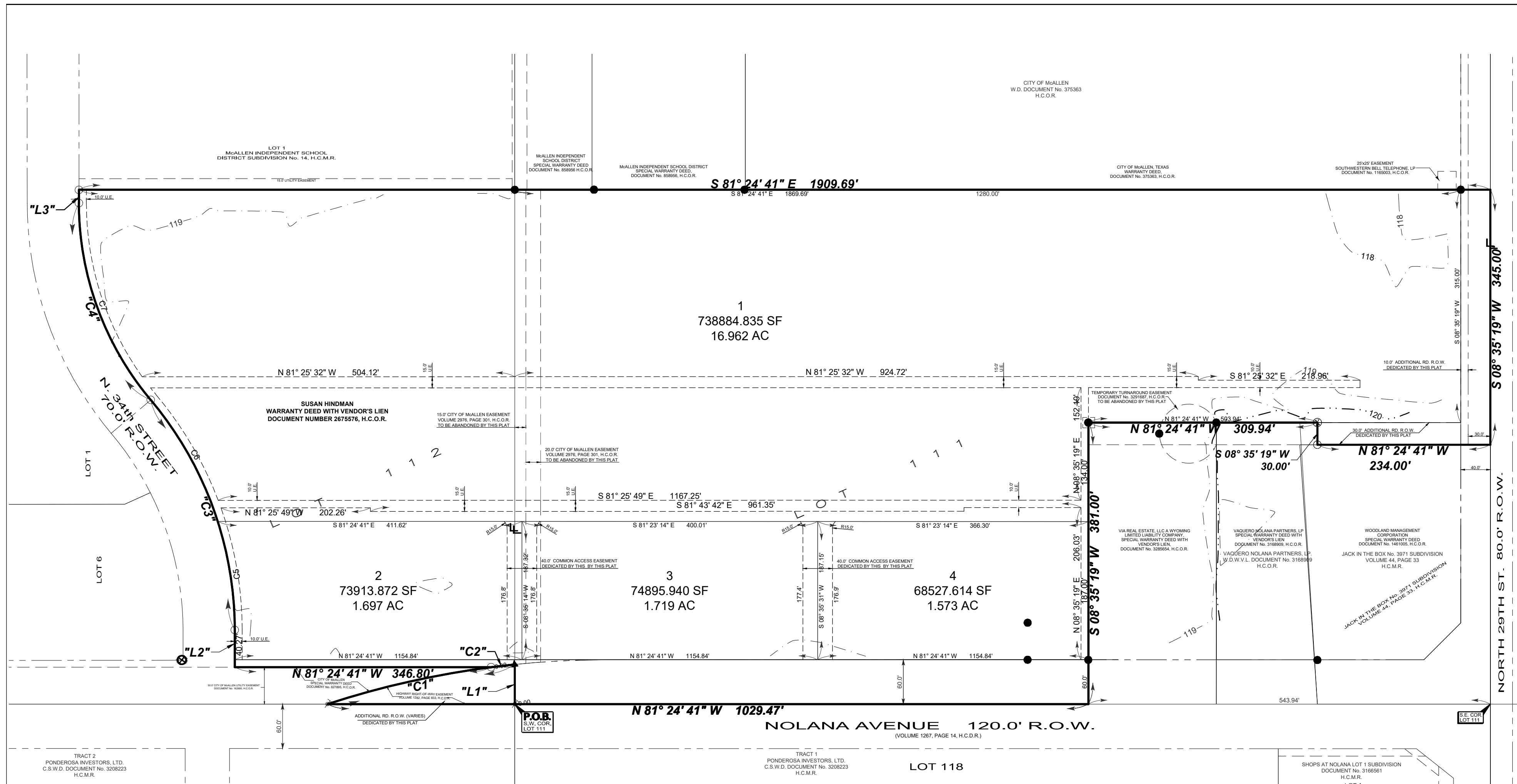
**PONDEROSA PARK**  
124

**122**

*PROPOSED JUST A CLOSET #8 SUBDIVISION*  
105

*ASIAN*





THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PARKE AT NOLANA...

SAID A. SHUAIB
409 E. SHASTA AVENUE
MCALEN, TX 78504-2459
DATE
THE STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SAID A. SHUAIB KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT...

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

THE STATE OF GEORGIA
COUNTY OF FULTON
I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PARKE NOLANA SUBDIVISION...

STEPHEN P. HINDMAN TRUSTEE REV
4533 REDFIELD RD.
ATLANTA GA. 30338-3754
DATE
SANDRA J. SMITH TRUSTEE REV TRUST
5433 REDFIELD RD.
ATLANTA GA. 30338-3754
DATE

THE STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEPHEN P. HINDMAN AND SANDRA J. SMITH KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT...

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

- LEGEND
• FOUND NO. 4 REBAR
○ SET SQUARE CUT
○ SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
○ SET NAIL
R.O.W. - RIGHT OF WAY
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
S.E. COR. - SOUTHEAST CORNER
Sq. Ft. - SQUARE FEET
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCING
Ac. - OF ONE ACRE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALEN DATE

CITY SECRETARY DATE

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE DAY OF 20

HIDALGO COUNTY IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C).

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE

GENERAL NOTES:

- 1. THIS SUBDIVISION IS IN FLOOD ZONE 'B' DESCRIBED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT...
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALEN ZONING CODE: FRONT: NOLANA: 80 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS, SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE.
CITY OF MCALEN BENCHMARK: NUMBER MC 58. TOP OF 30" ALUMINUM PIPE WITH A 3/4" BRASS MONUMENT CAP ON TOP THE SOUTHEAST CORNER OF THE INTERSECTION OF WARE ROAD & MILES LINE ROAD.
REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 386,327 C.F. - 8,869 AC.-FT. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS.
4. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
5. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
6. 5' SIDEWALK REQUIRED ON NOLANA AVENUE.
7. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
8. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN SHOWN ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
10. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.

SUBDIVISION MAP OF
PARKE AT NOLANA
SUBDIVISION

BEING A SUBDIVISION OF 23.741 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 111 AND 112, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 68, HIDALGO COUNTY DEED RECORDS.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 23.741 ACRES SITUATED IN THE CITY OF MCALEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 111 AND 112, LA LOMITA IRRIGATION AND CONSTRUCTION SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 68, HIDALGO COUNTY MAP RECORDS...

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 111:

- 1. THENCE N 81° 24' 41" W ALONG THE SOUTH LINE OF SAID LOT 111, A DISTANCE OF 543.94 FEET TO A NAIL SET FOR THE SOUTHERNMOST SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT.
2. THENCE, IN A NORTHEASTERLY DIRECTION, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 10° 48' 05", A RADIUS OF 1,205.94 FEET, AN ARC LENGTH OF 227.35 FEET, A TANGENT OF 114.01 FEET, AND A CHORD THAT BEARS N 85° 51' 53" E A DISTANCE OF 227.01 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT.
3. THENCE, N 81° 24' 41" W A DISTANCE OF 346.80 FEET TO AN "X" MARK SET ON CONCRETE FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS TRACT.
4. THENCE, N 08° 35' 19" E A DISTANCE OF 50.27 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT.
5. THENCE, IN A NORTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 39° 57' 04", A RADIUS OF 485.00 FEET, AN ARC LENGTH OF 338.18 FEET, A TANGENT OF 178.29 FEET, AND A CHORD THAT BEARS N 11° 27' 43" W A DISTANCE OF 331.37 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT.
6. THENCE, IN A NORTHWESTERLY DIRECTION, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 39° 56' 44", A RADIUS OF 414.99 FEET, AN ARC LENGTH OF 283.50 FEET, A TANGENT OF 159.92 FEET, AND A CHORD THAT BEARS N 11° 27' 53" W A DISTANCE OF 283.50 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT.
7. THENCE, N 08° 30' 29" E A DISTANCE OF 18.13 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT.
8. THENCE, S 81° 24' 41" E AT A DISTANCE OF 589.69 FEET PASS A NO. 4 REBAR FOUND ON THE EAST LINE OF SAID LOT 112 AND THE WEST LINE OF SAID LOT 111, AT A DISTANCE OF 1,869.69 FEET PASS A NO. 4 REBAR FOUND ON THE WEST RIGHT-OF-WAY LINE OF NORTH 29TH STREET, CONTINUING A TOTAL DISTANCE OF 1,909.89 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT.
9. THENCE, S 08° 35' 19" W WITHIN THE EXISTING RIGHT-OF-WAY OF NORTH 29TH STREET, A DISTANCE OF 345.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS TRACT.
10. THENCE, N 81° 24' 41" W AT A DISTANCE OF 40.00 FEET PASS THE WEST RIGHT-OF-WAY LINE OF NORTH 29TH STREET, CONTINUING A TOTAL DISTANCE OF 234.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT.
11. THENCE, N 08° 35' 19" E A DISTANCE OF 30.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT.
12. THENCE, N 81° 24' 41" W A DISTANCE OF 309.94 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT.
13. THENCE, S 08° 35' 19" W AT A DISTANCE OF 321.00 FEET PASS A NO. 4 REBAR SET ON THE NORTH RIGHT-OF-WAY LINE OF NOLANA AVENUE, CONTINUING A TOTAL DISTANCE OF 381.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 23.741 ACRES OF WHICH 0.317 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF NORTH 29TH STREET AND 1.247 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF NOLANA AVENUE, LEAVING A NET OF 22.177 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE DAY OF 20

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 06/13/2022
ENGINEERING JOB # 22021.00

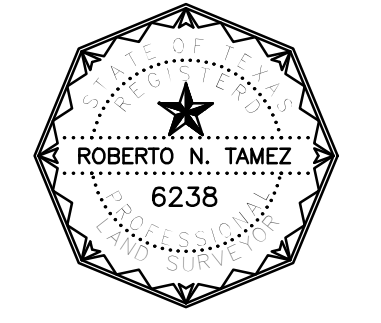


STATE OF TEXAS
COUNTY OF HIDALGO
I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALEN, TEXAS.

DATED THIS THE DAY OF 20

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS

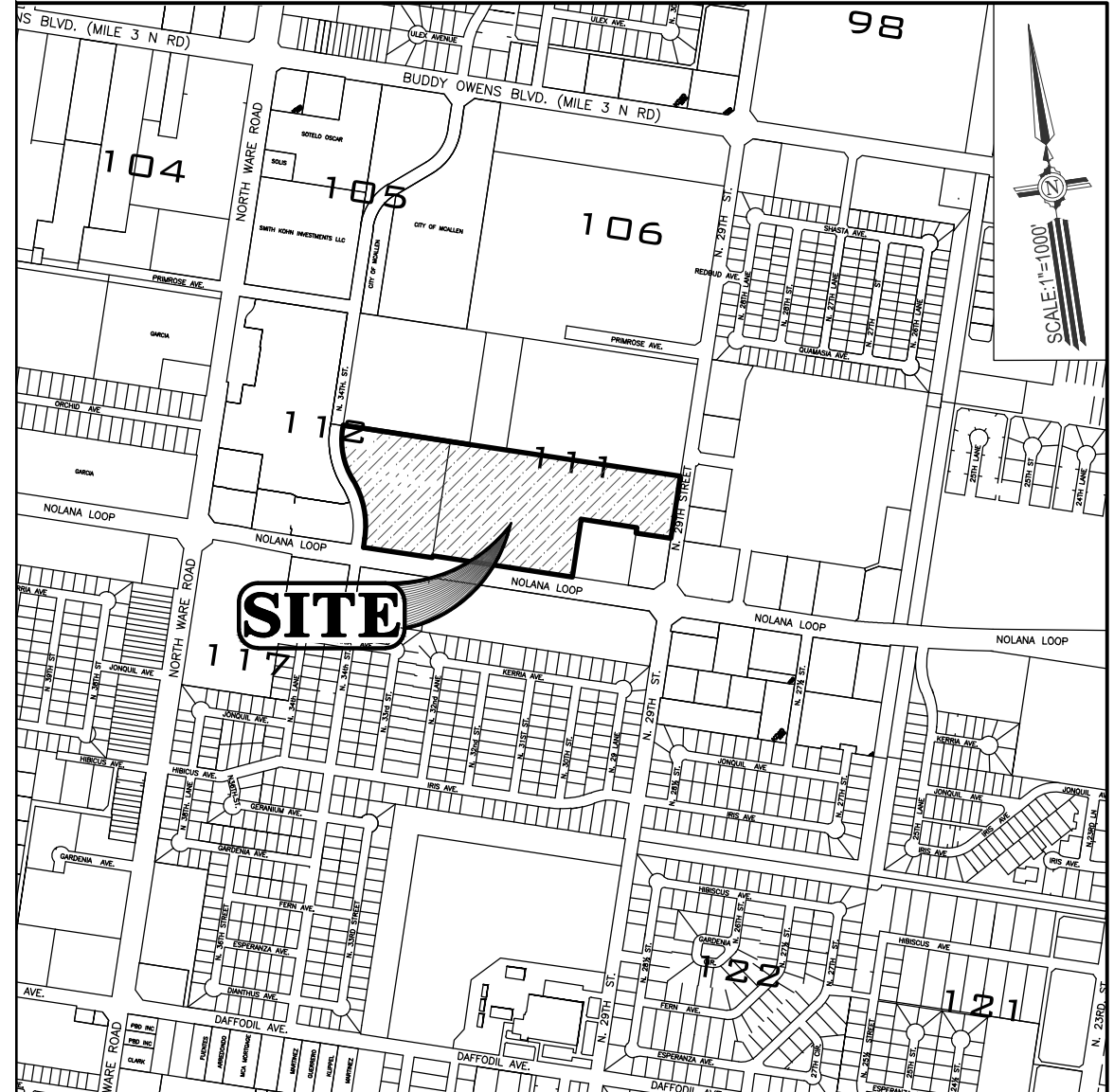
DATE SURVEYED: 10/27/21 & 04/25/22
T-1137 PG. 9 & 52, SURVEY JOB # 22311.08-21804.08



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: AT AM/PM
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: DEPUTY

LOCATION MAP
SCALE: 1"=1000'



Line Table and Curve Table with columns for Line #, Direction, Length, Curve #, Delta, Radius, Length, Tangent, Chord Length, Chord Direction.

DRAWN BY: R. DE JESUS DATE: 06-13-2022
SURVEYED, CHECKED DATE
FINAL CHECK DATE

Melden & Hunt, Inc. logo and contact information: 115 W. McIntyre - Edinburg, TX 78541. PH: (956) 381-0981 - FAX: (956) 381-1839. ESTABLISHED 1947 - www.meldenandhunt.com



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/14/2022

<b>SUBDIVISION NAME: PARKE AT NOLANA SUBD</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>North 29th Street: Dedication as required for 50 ft. from centerline for 100 ft. ROW                      Paving: 65 ft. Curb &amp; gutter: Both sides                      *Label centerline and existing ROW dimension from centerline on both sides and total ROW to determine dedication required prior to final.                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Nolana Avenue: Dedication as required for 60 ft. from centerline for 120 ft. total ROW.                      Paving: 65 ft. Curb &amp; gutter: Both sides                      *Label centerline existing ROW dimension from centerline on both sides and total ROW to determine dedication required prior to final.                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>N. 34th Street: 70 ft. total ROW                      Paving: 40 ft. - 44 ft. Curb &amp; gutter: Both Sides                      **Provide how ROW was dedicated to determine if any ROW dedication is required prior to final.                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____                      **Subdivision Ordinance: Section 134-118</p>	TBD
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial properties                      **Subdivision Ordinance: Section 134-106</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

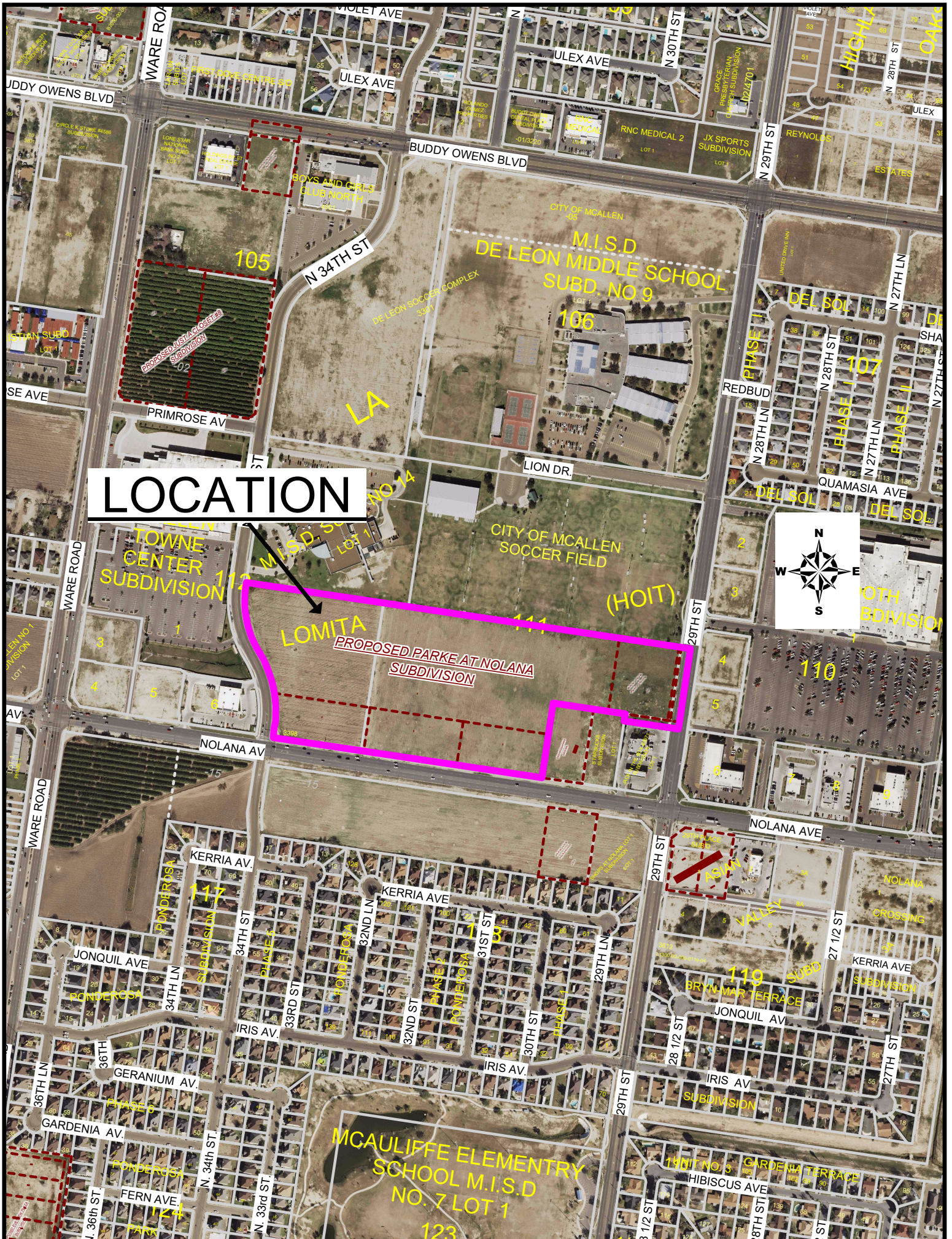


SETBACKS	
<p>* Front/Nolana Avenue: Proposing 60 ft. or in line with existing structures, approved site plan, or greater for easements, whichever is greater applies.                      **Plat note #3 must be revised as shown above prior to final.                      **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the zoning ordinance or approved site plan, or greater for easements, whichever is great applies.                      **Please revised plat note #3 as shown above prior to final.                      **5 ft. setback is required from any proposed service drives.                      **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the zoning ordinance, or approved site plan, or greater for easements, whichever is great applies..                      **Please revise plat note #3 as shown above prior to final.                      **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: In accordance with the zoning ordinance, or approved site plan, or greater for easements, whichever is great applies..                      **Please add plat note as shown above prior to final.                      **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage                      **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Nolana Avenue, N. 29th Street, and N. 34th Street                      **5 ft. sidewalk may be required as per Engineering Department.                      **Please revise plat note #6 as shown above and once finalized prior to final.                      **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.                      **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                      **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along                      **Must comply with City Access Management Policy</p>	TBD
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.                      ***Site plan must be approved by city departments, but not needed as a plat note.                      **Remove plat note "Site Plan must be approved by Planning and Zoning Commission prior to Buidling Permit Issuance" since requirements is not needed as a plat note.</p>	Non-compliance
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.                  * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>Required</p> <p>NA</p> <p>NA</p>
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets                  **Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area                  **Zoning Ordinance: Section 138-356</p>	Compliance
<b>ZONING/CUP</b>	
<p>* Existing: C-3 Proposed: C-3                  ***Zoning Ordinance: Article V</p>	Compliance
<p>* Rezoning Needed Before Final Approval                  ***Zoning Ordinance: Article V</p>	Complete
<b>PARKS</b>	
<p>* Land dedication in lieu of fee.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording</p>	NA
<p>* Pending review by the Parkland Dedication Advisory Board and CC.</p>	NA
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	Non-compliance
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	TBD
<b>COMMENTS</b>	
<p>Comments:                  *Must comply with City's Access Management Policy.                  **Please clarify ownership of northeast corner of Lot 1 as there is an existing plat that is in process in that corner which appears to overlap this plat boundaries. Need to revise/correct as needed prior to final.</p>	Applied
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



**LOCATION**



105  
PROPOSED WEST GARDEN SUBDIVISION

M.I.S.D DE LEON MIDDLE SCHOOL SUBD NO 9  
106

DEL SOL PHASE I  
107

TOWNE CENTER SUBDIVISION  
112

LOMITA  
PROPOSED PARKE AT NOLANA SUBDIVISION

110  
NOLANA CROSSING

119  
BRYN MAR TERRACE SUBDIVISION

MCAULIFFE ELEMENTARY SCHOOL M.I.S.D NO. 7 LOT 1  
123

Sub 2022-0070

\* New \*



City of McAllen  
 Planning Department  
**APPLICATION FOR  
 SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
 McAllen, TX 78501  
 P. O. Box 220  
 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

<b>Project Description</b>	Subdivision Name <u>AUBURN GROVE</u> Location <u>Southeast Corner of N. 29<sup>th</sup> St. and Auburn Ave.</u> City Address or Block Number <u>7800 N. 29<sup>th</sup> ST</u> Number of lots <u>1</u> Gross acres <u>1.77</u> Net acres <u>1.77</u> Existing Zoning <u>R-3A</u> Proposed <u>---</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u>---</u> Existing Land Use <u>VACANT</u> Proposed Land Use <u>APARTMENTS</u> Irrigation District # <u>3</u> Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/> Agricultural Tax Exempt Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0 7/8/22</u> Parcel No. <u>210601</u> Tax Dept. Review <u>Yanisela C.</u> Legal Description <u>A 1.77 ACRE TRACT OF LAND out of Lot 59, LA COMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS</u>
<b>Owner</b>	Name <u>SETTING STONE 29TH LLC</u> Phone <u>617-256-4211</u> Address <u>154 WELLS AVE</u> City <u>NEWTON</u> State <u>MA</u> Zip <u>02459</u> E-mail <u>NICK@SHAKINGCRAB.COM</u>
<b>Developer</b>	Name <u>EFFECTIVE REAL ESTATE</u> Phone <u>956-451-1152</u> Address <u>2212 PRIMROSE AVE, STE B</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>ADOLFO LANDA/ ESTEBAN FLORES</u> E-mail <u>FITO.LANDA01@GMAIL.COM, EFLORES@CCIM.NET</u>
<b>Engineer</b>	Name <u>Willie Arreola</u> Phone <u>956-784-0218</u> Address <u>526 N. 5<sup>th</sup> St.</u> City <u>Dallas</u> State <u>Tx</u> Zip <u>78537</u> Contact Person <u>Willie</u> E-mail <u>namengineering@yahoo.com</u>
<b>Surveyor</b>	Name <u>Homerio Gutierrez</u> Phone <u>956-369-0988</u> Address <u>2600 San Diego</u> City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u>

RECEIVED  
 JUL 08 2022  
 By mk

### Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

**PLAT TO SHOW:**

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature NICHOLAS WU Date 7/1/2022

Print Name NICHOLAS WU

Owner

Authorized Agent

# EBALL COMPLEX

51

## UBDIVISION

## LOCATION

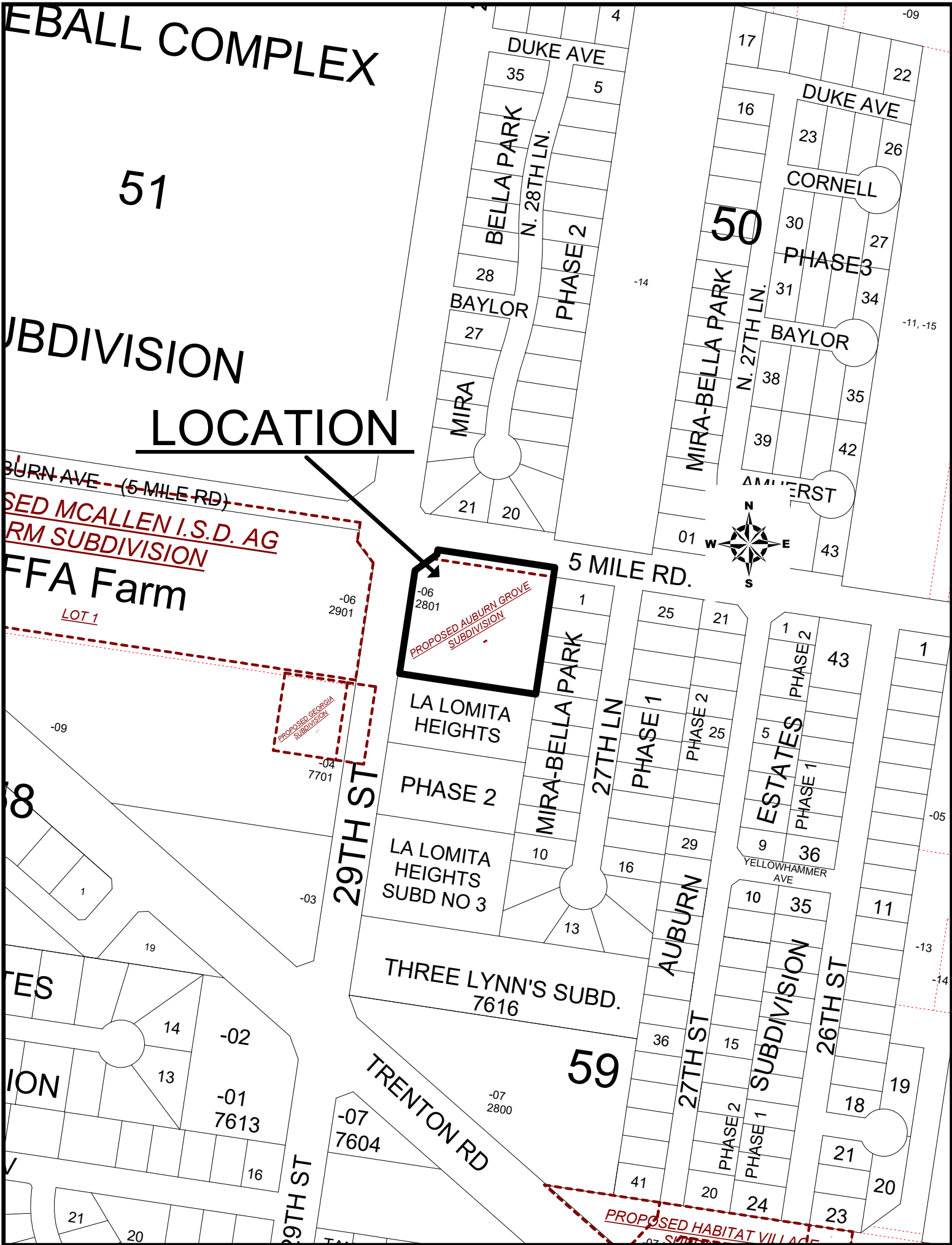
BURN AVE -- (5 MILE RD)  
SED MCALLEN I.S.D. AG  
RM SUBDIVISION

FFA Farm

LOT 1

PROPOSED AUBURN GROVE  
SUBDIVISION

PROPOSED GEORGIA  
SUBDIVISION



-09

-11, -15

-05

-13

-14

# AUBURN GROVE SUBDIVISION

A 1.77 ACRE TRACT OF LAND OUT OF LOT 59, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, ACCORDING TO THE MAP RECORDED IN VOLUME 24, PAGE 68, DEED RECORDS, HIDALGO COUNTY, TEXAS.

### METES AND BOUNDS

COMMENCING AT THE NORTHWEST CORNER OF LOT 59, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, THENCE S 81°17'30" E, 340.00 FEET AND S 08°42'30" W, 30.00 FEET TO A 1/2" IRON ROD FOUND WITH A PINK CAP STAMPED CLS RPLS 6388 FOR THE POINT OF BEGINNING;

THENCE: S 08°42'30" W, ALONG THE APPARENT WEST LINE OF MIRA-BELLA PARK SUBDIVISION, RECORDED IN VOLUME 24, PAGE 68, MAP RECORDS, HIDALGO COUNTY, TEXAS, A DISTANCE OF 270.00 FEET TO A "X" MARK FOUND IN CONCRETE FOR THE SOUTHEAST CORNER OF LOT 1, LA LOMITA HEIGHTS SUBDIVISION, RECORDED IN VOLUME 27, PAGE 46A, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND THE SOUTHEAST CORNER OF THIS TRACT HEREIN DESCRIBED;

THENCE: N 81°17'30" W, ALONG SAID NORTH LINE OF LOT 1, A DISTANCE OF 290.00 FEET TO 1/2" IRON ROD FOUND WITH A PINK CAP STAMPED CLS RPLS 6388 AT EAST RIGHT OF WAY OF N. 29TH STREET (ROOTH ROAD) FOR THE SOUTHWEST CORNER OF THIS TRACT HEREIN DESCRIBED;

THENCE: N 08°42'30" E, ALONG SAID EAST RIGHT OF WAY OF N. 29TH STREET (ROOTH ROAD) A DISTANCE OF 220.00 FEET TO A 5/8" IRON ROD FOUND FOR THE MOST SOUTHERLY NORTHWEST CORNER OF THIS TRACT HEREIN DESCRIBED;

THENCE: N 53°42'30" E, A DISTANCE OF 56.57 FEET TO A 5/8" IRON ROD FOUND FOR AN INTERIOR CORNER OF THIS TRACT;

THENCE: N 08°42'30" E, A DISTANCE OF 10.00 FEET TO A 1/2" IRON ROD FOUND WITH PINK CAP STAMPED CLS RPLS 6388 FOR THE MOST NORTHERLY NORTHWEST CORNER OF THIS TRACT HEREIN DESCRIBED;

THENCE: S 81°17'30" E, A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING AN CONTAINING 1.77 ACRES OF LAND MORE OR LESS.

### GENERAL NOTES:

- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
FRONT 50.0' OR GREATER FOR EASEMENT OR APPROVED SITE PLAN.  
SIDE STREET 15.0' OR GREATER FOR EASEMENT OR APPROVED SITE PLAN.  
OTHERS - ACCORDING TO ZONING ORDINANCE, OR EASEMENTS LINE, OR APPROVED SITE PLAN WHICHEVER IS GREATEST.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.
- MINIMUM FINISH FLOOR ELEVATION TO BE 18" ABOVE TOP OF CURB AT CENTER OF THE LOT.
- FLOOD ZONE "C" - AREAS OF MINIMAL FLOODING  
COMMUNITY-PANEL No. 480334 0400 C  
MAP REVISED: NOVEMBER 16, 1982.
- ALL LOT CORNERS MARKED WITH NO. 4 REBAR UNLESS OTHERWISE NOTED.
- BENCH MARK ELEV. 110.82, MC 49 LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF MILE 5 NORTH AND N. 23 RD STREET.
- 5.0' CONC. SIDEWALK IS REQUIRED ON AND AUBURN AVENUE AT THE TIME OF BUILDING PERMIT (ADA SPECS.)
- DRAINAGE DETENTION REQUIRED FOR THIS PROPERTY IS 0.46 AC-FT.
- AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- A 6.0 FT OPAQUE BUFFER IS REQUIRED FROM ADJECENT/BETWEEN MULTIFAMILY RESIDENTIAL & COMMERCIAL AND INDUSTRIAL ZONES/USES  
A 8.0 FT MASONRY WALLS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTIFAMILY RESIDENTIAL ZONES/USES
- SWPPP WILL BE REQUIRED AT THE TIME OF CONSTRUCTION.
- LOT OWNER SHALL MAINTAINED THE GREEN AREAS ALONG AUBURN AVENUE AND N. 29 TH STREET
- SITE PLAN MUST BE APPROVED BY PLANNING AND ZONNING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMIT.
- LOT 1 WILL BE FOR MULTI-FAMILY USE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, OWNER(S) OF THE LAND ON THIS PLAT, AND DESIGNATED AS AUBURN GROVE SUBDIVISION TO THE CITY OF McALLEN, TEXAS AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATRELINES, SEWER LINES, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED HEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: SETTING STONE 29TH LLC  
ADDRESS: 154 WELLS AVENUE  
NEWTON, MA 02459

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICKOLAS WU, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

APPROVED BY WATER DISTRICT:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 3

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ATTEST: \_\_\_\_\_  
PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODES 49.211(i). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

STATE OF TEXAS  
COUNTY OF HIDALGO

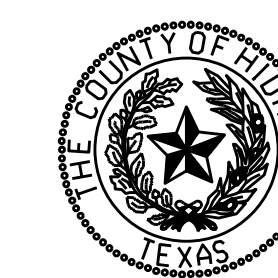
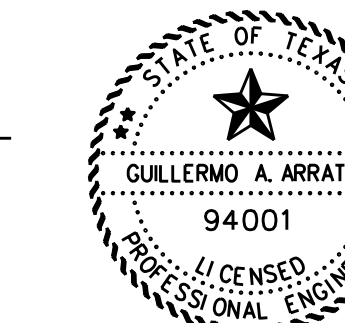
I, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

HOMERO LUIS GUTIERREZ  
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791  
2600 SAN DIEGO  
MISSION, TEXAS 78572

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, GUILLERMO A. ARRATIA, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

*Guillermo Arratia* P.E. 7/7/2022  
GUILLERMO A. ARRATIA  
LICENSED PROFESSIONAL ENGINEER No. 94001  
526 N. 5TH ST.  
DONNA, TEXAS. 78537



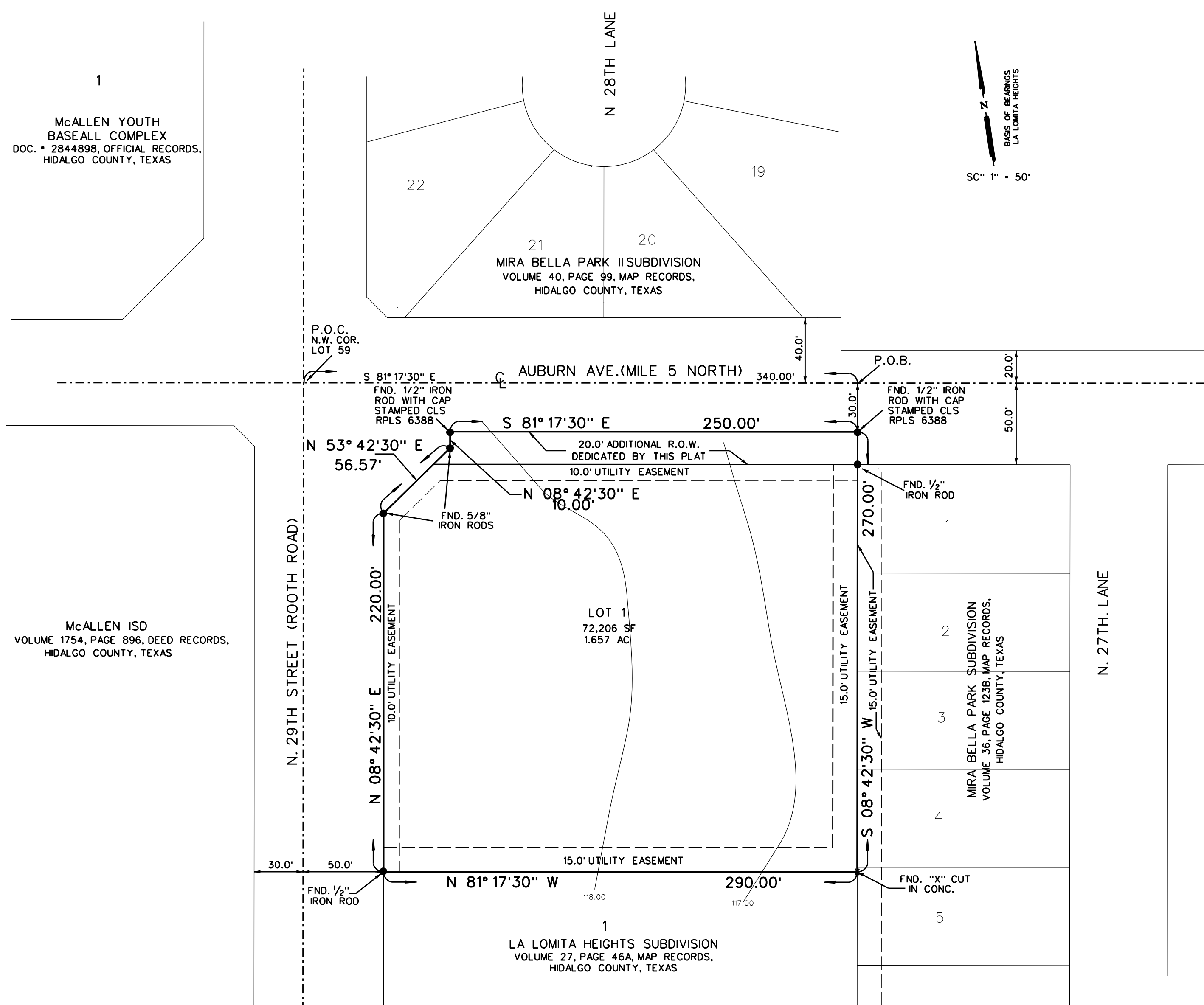
FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

DATE OF PREPARATION: JULY 3, 2022

**NAIN ENGINEERING, L.L.C.**  
CONSULTING ENGINEER

526 N. 5TH STREET FIRM No. 9050 PH. (956) 784-0218  
DONNA, TEXAS. 78537 E-MAIL: NAINENGINEERING@AHO.COM



McALLEN YOUTH BASEBALL COMPLEX  
DOC. # 2844898, OFFICIAL RECORDS,  
HIDALGO COUNTY, TEXAS

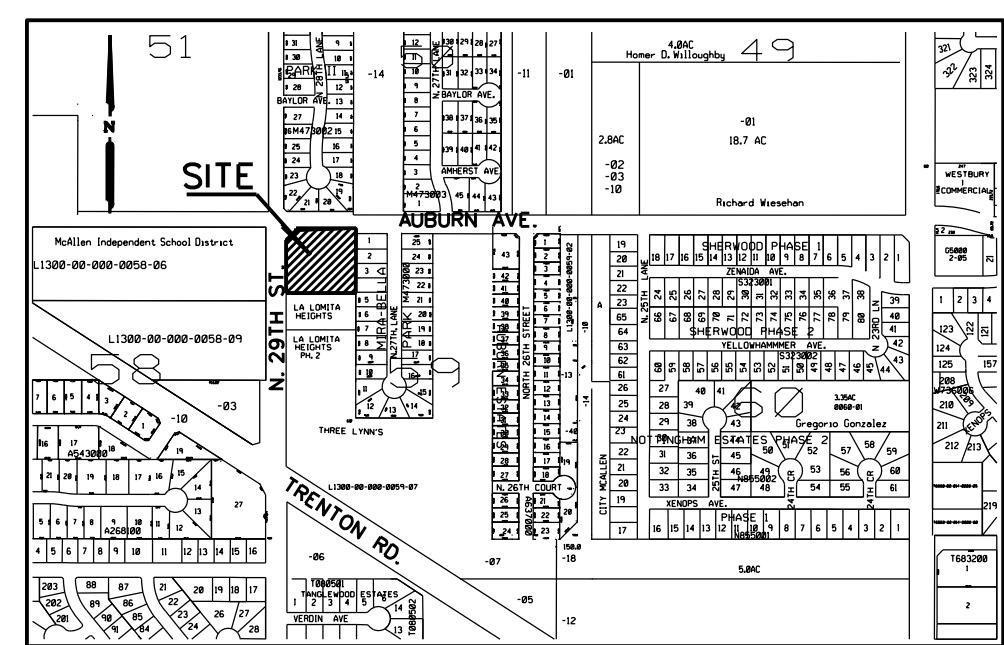
McALLEN ISD  
VOLUME 1754, PAGE 896, DEED RECORDS,  
HIDALGO COUNTY, TEXAS

MIRA BELLA PARK II SUBDIVISION  
VOLUME 40, PAGE 99, MAP RECORDS,  
HIDALGO COUNTY, TEXAS

SC" 1" = 50'  
BASIS OF BEARINGS  
LA LOMITA HEIGHTS

FND. "X" CUT  
IN CONC.

LOT 1  
72,206 SF  
1.657 AC  
LA LOMITA HEIGHTS SUBDIVISION  
VOLUME 27, PAGE 46A, MAP RECORDS,  
HIDALGO COUNTY, TEXAS



LOCATION MAP



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/14/2022

<b>SUBDIVISION NAME: AUBURN GROVE</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Auburn Ave.(Mile 5 Road):**Proposing 20 ft. dedication for 50 ft. from centerline for 90 ft. ROW                      Paving: 52 ft. Curb &amp; gutter: Both sides                      **Thoroughfare plan provides for minimum 80 ft. ROW                      **Proposed ROW dedication for 50 ft. from center line reflects ROW to the east.                      ***Subdivision Ordinance: Section 134-105                      ***Monies must be escrowed if improvements are required prior to final                      ***COM Thoroughfare Plan</p>	Applied
<p>N. 29th Street (Rooth Road): 50 ft. from centerline for 100 ft. ROW                      Paving: 65 ft. Curb &amp; gutter: Both sides                      **Label centerline and existing ROW from both sides of centerline and total ROW                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      ***Public works may require a service drive easement and/or plat note regarding waste collection for multifamily lots and will be finalized prior to final.                      *Alley/service drive easement required for commercial properties                      **Subdivision Ordinance: Section 134-106</p>	TBD
<b>SETBACKS</b>	
<p>* Front: Proposing 50 ft. or greater for easement or approved site plan, whichever is greater applies                      **Please clarify the property frontage prior to final                      **Please clarify proposed setback as front setback for R-3A along a collector road as per zoning ordinance is 40 ft.                      **Please revise plat note #1 as shown above and once finalized prior to final                      **Zoning Ordinance: Section 138-356</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Rear: In accordance with the zoning ordinance or greater for easements, or approved site plan, which ever is greater applies                  **Please add plat note as shown above prior to final                  **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Interior Sides: In accordance with the zoning ordinance or greater for easements, or approved site plan, which ever is greater applies                  **Please add plat note as shown above prior to final                  **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Corner: Proposing 15 ft. or greater for easement or approved site plan, whichever is greater applies                  **Once property frontage is established, corner setback will need to be finalized prior to final                  **Please clarify proposed setback as corner setback for R-3A along a collector road as per ordinance is 30 ft.                  **Please revise plat note #1 as shown above and once finalized prior to final                  **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies.                  **Please add plat note as shown above prior to final                  **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p><b>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</b></p>	<p>Applied</p>
<p><b>SIDEWALKS</b></p>	
<p>* 4 ft. wide minimum sidewalk required on Auburn Avenue (Mile 5 Road) and N. 29th Street (Rooth Road)                  ***Proposing: 5 ft. wide minimum sidewalk required on Auburn Ave.                  **5 ft. sidewalk may be required for Auburn Avenue (Mile 5 Road) and N. 29th Street (Rooth Road) by Engineering Department, will be finalized prior to final                  ***Please revise plat note #7 as shown above and once finalized prior to final                  **Subdivision Ordinance: Section 134-120</p>	<p>Non-compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Applied</p>
<p><b>BUFFERS</b></p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.                  **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                  **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Applied</p>
<p><b>NOTES</b></p>	
<p>* No curb cut, access, or lot frontage permitted along                  **Must comply with City Access Management Policy</p>	<p>TBD</p>
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.                  ***Please remove plat #13, site plan must be approved by city departments, but does not need to be a plat note.</p>	<p>Non-compliance</p>
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>Applied</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p><b>LOT REQUIREMENTS</b></p>	
<p>* Lots fronting public streets                  **Subdivision Ordinance: Section 134-1</p>	<p>Compliance</p>
<p>* Minimum lot width and lot area                  **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p><b>ZONING/CUP</b></p>	
<p>* Existing: R-3A Proposed: R-3A                  ***Zoning Ordinance: Article V</p>	<p>Compliance</p>
<p>* Rezoning Needed Before Final Approval                  ***Zoning Ordinance: Article V</p>	<p>Complete</p>
<p><b>PARKS</b></p>	
<p>* Land dedication in lieu of fee.</p>	<p>TBD</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording</p>	<p>TBD</p>
<p>* Pending review by City Manager's Office.</p>	<p>TBD</p>
<p><b>TRAFFIC</b></p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Non-compliance</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p><b>COMMENTS</b></p>	
<p>Comments:                  *Must comply with City's Access Management Policy.                  ***Please submit an ownership map to determine no properties are landlock.</p>	<p>Applied</p>
<p><b>RECOMMENDATION</b></p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.</p>	<p>Applied</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

SEBALL COMPLEX

51

SUBDIVISION

LOCATION

AUBURN AVE (5 MILE RD)  
PROPOSED MCALLEN I.S.D. AG  
FARM SUBDIVISION

FFA Farm  
LOT 1

DUKE AVE

BELLA PARK PHASE 2

MIRA BELLA PARK

N. 28TH LN.

BAYLOR

MIRA BELLA PARK PHASE 3

N. 27TH LN.

CORNELL

BAYLOR

AMHERST

5 MILE RD.

PROPOSED AUBURN GROVE  
SUBDIVISION

LA LOMITA  
HEIGHTS

PHASE 2

LA LOMITA  
HEIGHTS  
SUBD NO 3

MIRA BELLA PARK

27TH LN

PHASE 1

PHASE 2

ESTATES PHASE 2

PHASE 1

PHASE 1

PHASE 2

YELLOWHAMMER  
AVE

26TH ST

27TH ST

29TH ST

TRENTON RD

PROPOSED HABITAT VILLAGE

58

ATES

SUBDIVISION

AV

87

THREE LYNN'S SUBD.  
7616

59

TRENTON RD

29TH ST

27TH ST

SUBDIVISION

26TH ST

-02  
-01  
7613

-07  
7604

-07  
2800

PROPOSED HABITAT VILLAGE

Sub 2022-0081



City of McAllen  
Planning Department  
APPLICATION FOR  
SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Sharybak 1</u> Location <u>Expressway 83 and S Taylor Rd, McAllen</u> City Address or Block Number <u>5001 EXPWY 83</u> Number of lots <u>1</u> Gross acres <u>2</u> Net acres <u>2</u> Existing Zoning <u>C-3</u> Proposed <u>C-3</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Null</u> Proposed Land Use <u>Commercial</u> Irrigation District # _____ Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>NO</u> Parcel No. <u>HT 280919</u> Tax Dept. Review <u>Alb P.</u> Legal Description <u>John H Shary 2.0 ac. -12.76 ac. Lot 177</u>
Owner	Name <u>Martha Ramirez</u> Phone <u>956-402-1229</u> Address <u>1106 Union CT.</u> City <u>Mission</u> State <u>TX</u> Zip <u>78574</u> E-mail _____
Developer	Name <u>Bakke Development</u> Phone <u>210-835-5188</u> Address <u>207 Roosevelt Ave.</u> City <u>San Antonio</u> State <u>TX</u> Zip <u>78210</u> Contact Person <u>Phil Bakke</u> Brandt Bakke E-mail <u>pbakke@bakkedc.com</u> <u>bbakke@bakkedc.com</u>
Engineer	Name <u>Raul Garcia Jr</u> <u>Half Associates</u> Phone <u>956-445-5235</u> Address <u>5000 W Military Highway</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u> Contact Person <u>Angelica Neira</u> E-mail <u>aneira@halff.com</u>
Surveyor	Name <u>Juan Castillo</u> Phone <u>956-445-5253</u> Address <u>5000 W Military Highway</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>

ENTERED

JUL 11 2022

LG.

Initial: NM

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (Identifying owner on application)
- Autocad 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

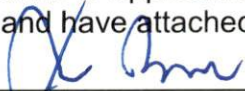
**PLAT TO SHOW:**

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07-08-22

Print Name Phil Bakke

Owner

Authorized Agent

LOCATION

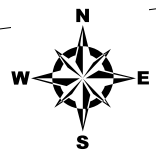
TAYLOR RD

U.S. 83 EXPRESSWAY  
177

GINTHER  
ESTATES

**PROPOSED SHARYBAK 1  
SUBDIVISION**

SHARY GATEWAY  
SUBDIVISION



COLBATH RD  
COLBATH  
PLAZA

SKY SPORTS  
SUBDIVISION

LAS

SONORA AVE

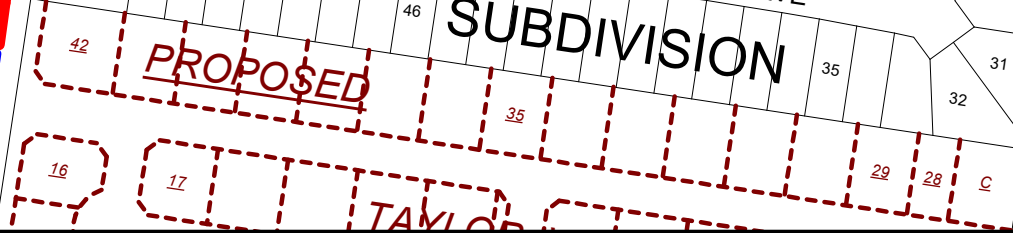
VILLAS

DEL

RIO

SUBDIVISION

**PROPOSED**

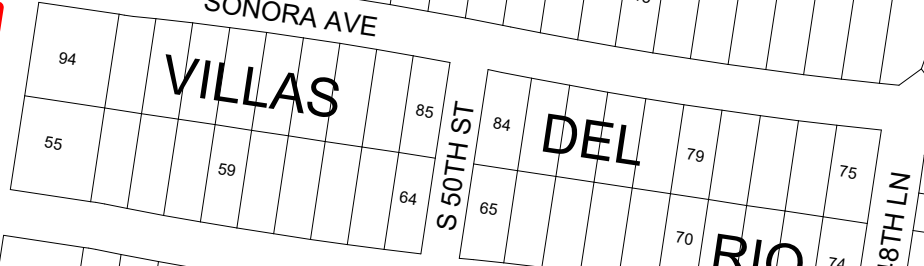
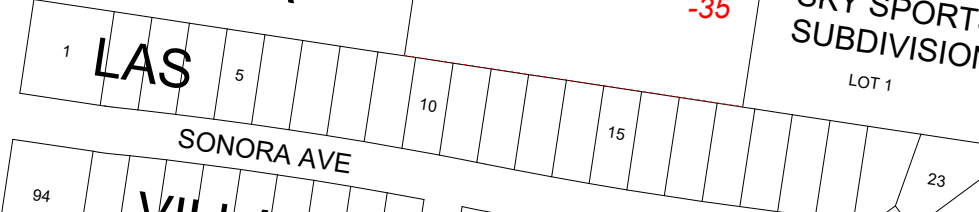


M&T MOTORS  
NO. 1  
LOT 1

D PLAZA

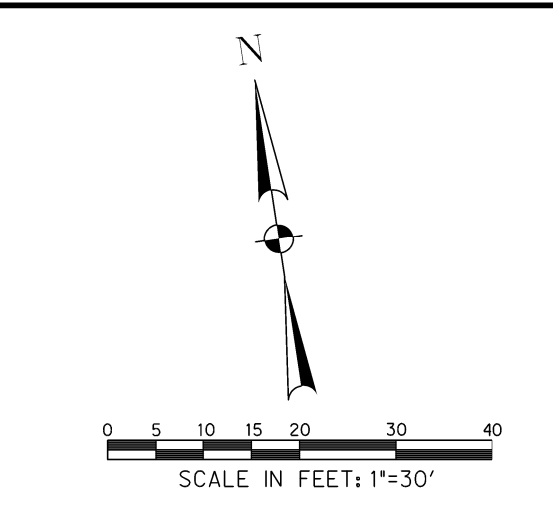
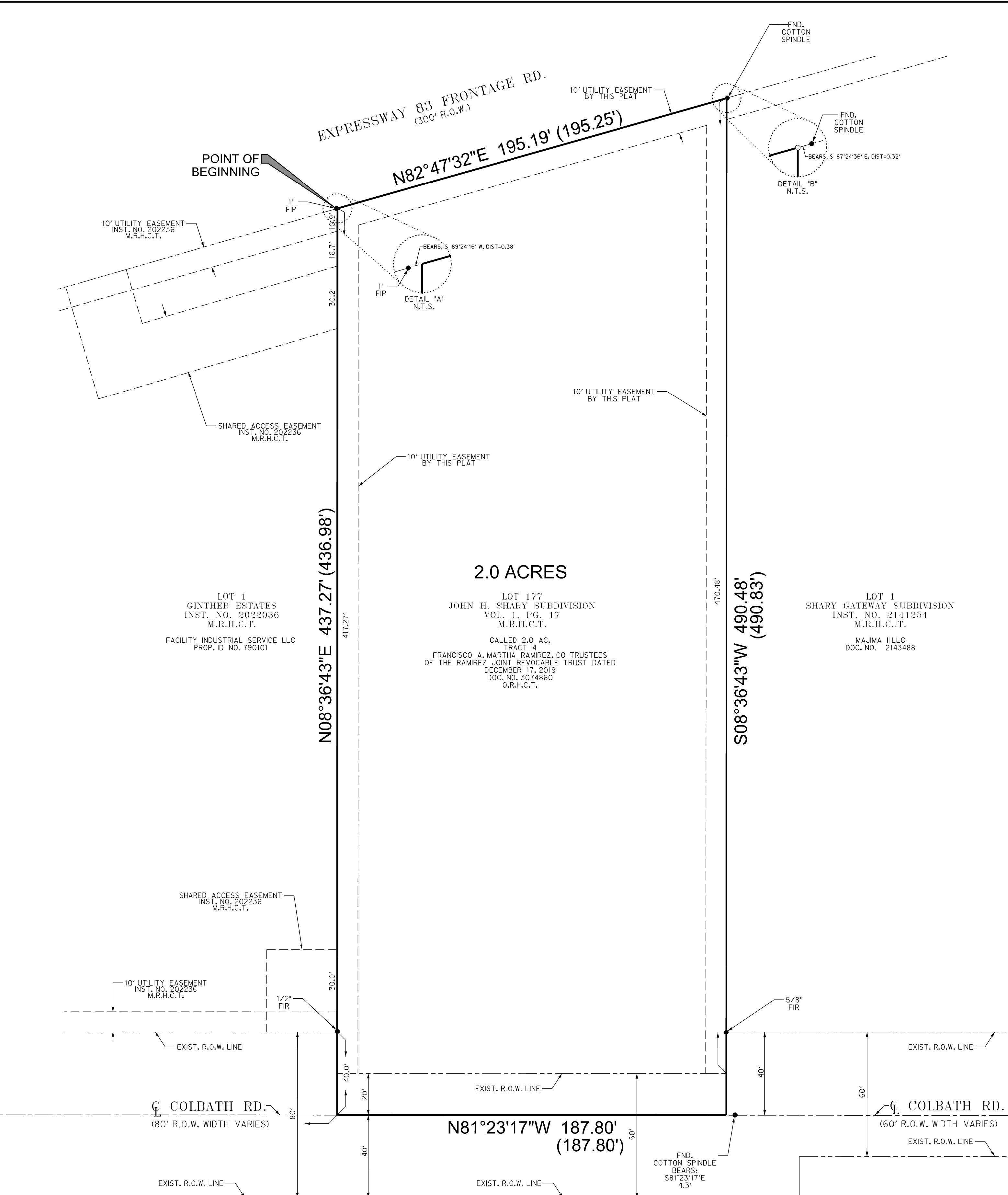
SUBD

LOT 1 LOT 2 LOT 3 LOT 4



TAYLOR

ST



**LEGEND**

- o - Set 1/2" Iron Rod with cap stamped "HALFF" (unless otherwise noted)
- FIR - Found Iron Rod
- FIP - Found Iron Pipe
- M.R.H.C.T. - Map Records Hidalgo County Texas
- D.R.H.C.T. - Deed Records Hidalgo County Texas
- O.R.H.C.T. - Official Records Hidalgo County Texas
- R.O.W. - Right of Way
- VOL. - Volume
- PG. - Page
- ( ) - Record
- CL - Centerline

**METES AND BOUNDS**

BEING a 2.000 acre (87,116 sq. ft.) tract of land situated in the City of McAllen, Hidalgo County, Texas, out of Lot 177 of the **John H. Shary Subdivision**, as recorded in Volume 1, Page 17, as recorded in Map Records of Hidalgo County, Texas (M.R.H.C.T.), same being out of that called 2.0 acres (Tract 4) conveyed to Francisco A. and Martha Ramirez, Co-trustees, as described in Documents No. 3074860 of the Official Records of Hidalgo County, Texas (O.R.H.C.T.), said 2.0 acre tract and being more particularly described as follows:

**BEGINNING** at a common corner of said 2.0 acre tract and Lot 1 of the **Ginther Estates Subdivision** as recorded in Instrument No. 2022036 M.R.H.C.T., same being in the south right of way line of Expressway 83 (300' right of way width), from where a 1-inch iron pipe found bears South 89° 24' 16" West, a distance of 0.38 feet, for the northwesterly corner of the herein described tract;

**THENCE** North 82° 47' 32" East, along said south right of way line, a distance of 195.19 feet to common corner of said 2.0 acre tract and Lot 1 of the **Shary Gateway Subdivision** as recorded in Instrument No. 214254 M.R.H.C.T., from where a cotton spindle found bears South 87° 24' 36" East, a distance of 0.32 feet, for the northeasterly corner of the herein described tract;

**THENCE** South 08° 36' 43" West, leaving said south right of way line and along the common line of said 2.0 acre tract and said Lot 1, at a distance of 490.48 feet pass a 5/2-inch iron rod found in the existing north right of way line of Colbath Avenue (right of way varies), continuing along said common line for a total distance of 490.48 feet to the south line of aforementioned Lot 177, for the southeast corner of the herein described tract;

**THENCE** North 81° 23' 17" West, along said south line of Lot 177, same being the centerline of said Colbath Avenue, a distance of 137.50 feet to the southeast corner of said Lot 1 of **Ginther Estates Subdivision**, for the southwest corner of the herein described tract;

**THENCE** North 08° 36' 43" East, leaving said south line of Lot 177 and along the common line of said 2.0 acre tract and said Lot 1 of **Ginther Estates Subdivision**, at a distance of 40.00 feet pass 1/2-inch iron found in the existing north right of way line of Colbath Avenue, continuing along said common line for a total distance of 437.27 feet to the **POINT OF BEGINNING** and containing an area of 2,000 acre (87,116 sq. ft.) of land, more or less.

- GENERAL NOTES:**
- The Basis of Bearing is being referenced to the Texas Coordinate System, South Zone (4205) as derived from the Western Data System VRS Rio Grande Valley Cooperative Network. All distances are shown in grid.
  - By graphical plotting, the parcel described hereon lies within designation Zone "B" which is defined as "Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood (Medium shading)", according to the current Federal Emergency Management Agency Maps which make up part of the National Flood Insurance Administration Report; Community-Panel No. 4803340400C dated November 16, 1982.
  - Benchmark Information:**  
MC80- Located 16 feet north of a canal, 30 feet south of Expressway 83 Frontage Road, and approximately 500 feet east of Taylor Road.  
Elevation=107.36 feet (NAVD88)  
Temporary Bench Mark (TBM) Information:  
X Cut on sidewalk on the south side of Colbath Rd. adjacent to the southeast corner of subdivision boundary. Elevation=117.52 feet (NAVD88)
  - Minimum Building Setback Lines shall be:**  
Front: Expressway 83 Frontage - 50 ft. or greater for easements or approved site plan.  
Rear: in accordance with the zoning ordinance, or greater for easements or site plan.  
Sides: in accordance with the zoning ordinance or greater for easements or site plan.  
All setbacks are subject to increase for easements or approved site plan.
  - Minimum finish floor elevation:** 18" above top of curb whichever is greater.
  - Storm water detention** required for this development is 0.28 ac-ft to be detained within the regional detention system. Detention areas shall be maintained by the lot owners and not the City of McAllen.
  - An **engineered drainage detention plan**, approved by The City of McAllen Engineering Department, shall be required prior to issuance of building permit.
  - No building allowed over any easement.
  - 6 feet opaque buffer is required from adjacent/between multi-family residential and commercial, or industrial, zones/uses. An 8 foot masonry wall is required between single family residential and commercial, industrial, or multi-family residential zones/uses.
  - 4 ft. wide minimum sidewalk required on Colbath Road.
  - All corners, angle points and points of curvature or tangency delineating the boundary of the land shown herein as being platted have been marked with a 1/2-inch iron rod with a yellow plastic cap stamped "HALFF" or left as found those monuments that represent or reference the boundary.
  - The developer shall be responsible for detaining and accommodating more than the detained volume shown on this plat if it is determined, at the permit stage, that the detention requirements are greater than stated on this plat, due to the impervious area being greater than the plat engineer considered in the hydraulic calculations for this subdivision.
  - Common Areas and service drives must be maintained by the lot owners and not the City of McAllen.

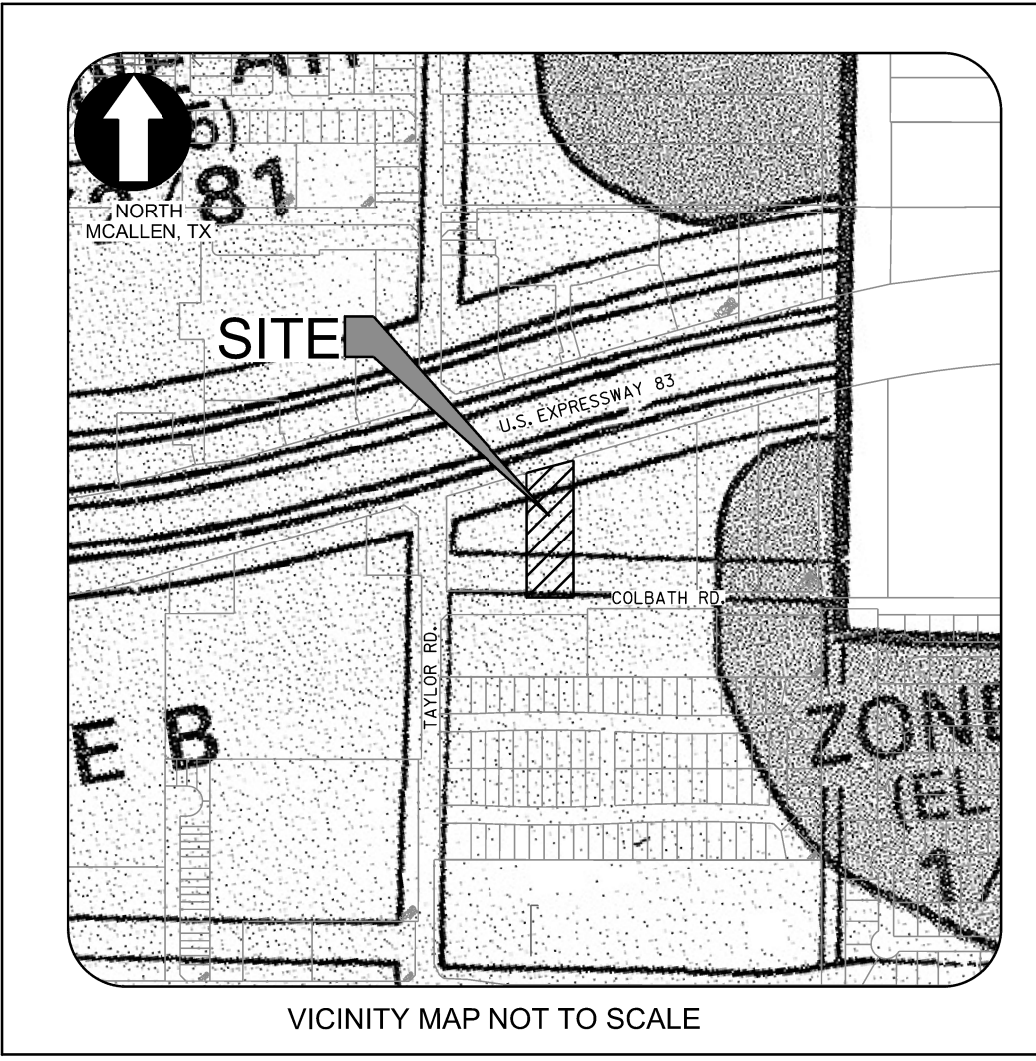
**HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 CERTIFICATION**

This plat approved by Hidalgo County Irrigation District No. 1 on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Hidalgo County Irrigation District No. One will not be responsible for drainage or delivery of water to any lot in this subdivision. Also there will not be any permanent structures on the district right-of-ways and/or easements.

No improvements of any kind shall be placed upon the HCID#1 rights of ways or easements without the expressed written permission of HCID#1

President \_\_\_\_\_ Secretary \_\_\_\_\_



STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, the undersigned owner of the land shown on this plat and designated herein as SHARYBAK 1 LOT 1 SUBDIVISION to the City of McAllen, Texas and whose name is subscribed hereto, hereby dedicated to the use of the public all streets, alleys, parks, water courses, drains, easements, waterlines, sanitary sewer lines, storm sewers, fire hydrants and public places which are installed or which I will cause to be installed thereon shown or not shown and required otherwise to be installed or dedicated under the subdivision approval process of the process of the City of McAllen all the same for the purposes therein expressed, either on the plat herein or on the official minutes of the applicable authorities of the City of McAllen.

Phil Bakke  
General Partner  
Sharybak LTD  
207 Roosevelt Ave.  
San Antonio, Texas 78210

STATE OF TEXAS:  
COUNTY OF HIDALGO:

Before me, the undersigned authority on this day personally appeared <NAME> and acknowledged to me that he executed the same for the purposes and consideration therein expressed and, in the capacity, therein stated. Given under my hand and seal of office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2022.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, the undersigned Chairman of the Planning and Zoning Commission of the City of McAllen, do hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of this city wherein my approval is required.

Given under my hand and seal of office, this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Chairman, Planning and Zoning Commission

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, the undersigned Mayor of the City of McAllen, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of this City wherein my approval is required.

Given under my hand and seal of office, this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Attested: Secretary, City of McAllen \_\_\_\_\_ Mayor, City of McAllen \_\_\_\_\_

**HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATION**

Hidalgo County Drainage District No. 1 hereby certifies that the drainage plans for this subdivision comply with the minimum standards of the district adopted under Tex. Water Code 49.211(c). The district has not reviewed and does not certify that the drainage structures described are appropriate for the specific subdivision, based on generally accepted engineering criteria. It is the responsibility of the developer of the subdivision and its engineer to make these determinations.

Raul E. Sesin, P.E., C.F.M. \_\_\_\_\_ DATE \_\_\_\_\_  
General Manager  
Hidalgo County Drainage District No. 1

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, Juan M. Castillo, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat was prepared from an actual survey of the property made under my supervision on the ground.

Juan M. Castillo  
Registered Professional Land Surveyor  
State of Texas No. 6146

Date \_\_\_\_\_

**PRELIMINARY**  
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.  
Release date: \_\_\_\_\_  
FOR REVIEW & COMMENT

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, Raul Garcia, Jr., a Licensed Professional Engineer in the State of Texas, do hereby certify that proper engineering consideration has been given to this plat.

Raul Garcia, Jr.  
Licensed Professional Engineer  
P.E. Registration No. 94855

Date \_\_\_\_\_

**PRELIMINARY**  
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.  
Release date: \_\_\_\_\_  
FOR REVIEW & COMMENT

**PRINCIPAL CONTACTS**

OWNER: BAKKE DEVELOPMENT	900 E. LAKEVIEW DR.	MCALLEN, TX 78501	PH: (210) 541-2005
ENGINEER: HALFF ASSOCIATES	5000 W. MILITARY STE. 100	MCALLEN, TX 78503	PH: (956) 664-0286
SURVEYOR: HALFF ASSOCIATES	5000 W. MILITARY STE. 100	MCALLEN, TX 78503	PH: (956) 664-0286

**SHARYBAK 1  
LOT 1 SUBDIVISION**

A SUBDIVISION OF 2.0 ACRES  
SITUATED IN THE CITY OF MCALLEN  
HIDALGO COUNTY, TEXAS  
OUT OF LOT 177  
JOHN H. SHARY SUBDIVISION

AVO: 052235.001  
DATE OF PREPARATION: SDATES  
BY \_\_\_\_\_

5000 WEST MILITARY, SUITE 100  
MCALLEN, TX 78503  
(956) 664-0286  
TSFELS NO. 10194444



**City of McAllen**  
**SUBDIVISION PLAT REVIEW**

Reviewed On: 7/14/2022

<b>SUBDIVISION NAME: SHARYBAK 1</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>U.S. Expressway 83 (Frontage Rd.): Dedication for 175 ft. from centerline for 350 ft. ROW                      Paving: By the State Curb &amp; gutter: By the State                      ***Please label ROW from centerline for both sides to verify if any dedication is required. As per the thoroughfare map, U.S. Expressway ROW is 350 ft.                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Colbath Road: Dedication for 40 ft. from centerline for 80 ft. ROW                      Paving: 52 ft. Curb &amp; gutter: both sides                      ***Please label ROW dedication by this plat to verify compliance                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____                      **Subdivision Ordinance: Section 134-105                      **Monies must be escrowed if improvements are required prior to final                      **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts                      **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac                      **Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.                      *Alley/service drive easement required for commercial properties                      **Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>* Front/U.S. Expressway 83 (Frontage Rd.): Proposing: 60 ft. or in line with existing structure, or approved site plan, or greater for easements, which ever is greater applies.                      ***Please revise plat note #4 as shown above prior to final                      **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the zoning ordinance, or greater for easements, or site plan, which ever is greater applies.                      ***Please revise plat note #4 as shown above prior to final                      **Zoning Ordinance: Section 138-356</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Sides: In accordance with the zoning ordinance, or greater for easements, or site plan, which ever is greater applies.                  ***Please revise plat note #4 as shown above prior to final                  **Zoning Ordinance: Section 138-356</p> <p>* Corner                  **Zoning Ordinance: Section 138-356</p> <p>* Garage                  **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Non-compliance</p> <hr/> <p>NA</p> <hr/> <p>NA</p> <hr/> <p>Applied</p>
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on U.S. Expressway 83 (Frontage Rd.) and Colbath Road.                  ***5 ft. sidewalk may be required on U.S. Expressway 83 (Frontage Rd.) and Colbath Road as per Engineering Department prior to final                  ****Please revise plat note #10 as shown above and once finalized prior to final                  **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p> <hr/> <p>Applied</p>
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.                  ***Other buffers as needed prior to final                  **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.                  **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>TBD</p> <hr/> <p>Applied</p> <hr/> <p>Applied</p>
<b>NOTES</b>	
<p>* No curb cut, access, or lot frontage permitted along                  **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.                  **Section 110-72 applies if private subdivision is proposed.                  **Landscaping Ordinance: Section 110-72                  **Subdivision Ordinance: Section 134-168</p>	<p>TBD</p> <hr/> <p>Required</p> <hr/> <p>Required</p> <hr/> <p>Required</p> <hr/> <p>NA</p> <hr/> <p>NA</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

<b>LOT REQUIREMENTS</b>		
* Lots fronting public streets **Subdivision Ordinance: Section 134-1		Compliance
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356		Compliance
<b>ZONING/CUP</b>		
* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V		Compliance
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V		Compliance
<b>PARKS</b>		
* Land dedication in lieu of fee.		NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording		NA
* Pending review by the Parkland Dedication Advisory Board and CC.		NA
<b>TRAFFIC</b>		
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.		Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.		TBD
<b>COMMENTS</b>		
Comments: *Must comply with City's Access Management Policy. ***Vicinity map shown on plat is not legible, please revise accordingly prior to final. Please reference vicinity map shown on survey.		Applied
<b>RECOMMENDATION</b>		
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.		Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

TAYLOR RD

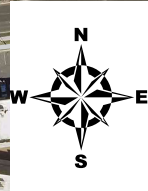
D PLAZA

SUBD

M&T MOTOR  
NO. 1  
LOT 1

U.S. 83 EXPRESSWAY  
177

LOCATION



GINTHER  
ESTATES

PROPOSED SHARYBAK 1  
SUBDIVISION

SHARY GATEWAY  
SUBDIVISION

COLBATH RD

COLBATH  
PLAZA

SKY SPORTS  
SUBDIVISION  
LOT 1

LAS

SONORA AVE

VILLAS

DEL

RIO

S 50TH ST

S 48TH LN

SWEETWATER AVE

SUBDIVISION

PROPOSED

SUB2022-0084



# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

Project Information	Subdivision Name <u>Tercer Milenium Taylor</u>	
	Location <u>Taylor Rd. Between Lark Ave. (Mile 4) and Auburn Ave. (Mile 5)</u>	
	City Address or Block Number <u>7201 N. TAYLOR RD</u>	
	Number of Lots <u>40</u> Gross Acres <u>9.394</u> Net Acres <u>9.180</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning _____ Proposed Zoning _____ Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Single Family</u> Irrigation District # <u>United</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential <input checked="" type="checkbox"/>	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>0</u>	
	Parcel # <u>282181</u> Tax Dept. Review <u>PAK</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>John H Shary N310'-S330' Lot 396 9.39AC GR 9.25 Net</u>		
Owner	Name <u>New Millennium L. Investments, Inc</u> Phone <u>+52 (833)-214-0471</u>	
	Address <u>711 W Nolana 104-A</u> E-mail <u>yaudethmujica@hotmail.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
Developer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Engineer	Name <u>Supreme Engineering, PLLC</u> Phone <u>(956) 272-2246</u>	
	Address <u>410 S. Jackson Rd #2780</u> E-mail <u>omar.cano@supremeengineering.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78542</u>	
	Contact Person <u>Omar Cano, P.E.</u>	
Surveyor	Name <u>Azimuth Engineering &amp; Surveying, LLC</u> Phone <u>(956) 270-8476</u>	
	Address <u>907 Summit Circle</u> E-mail <u>jorge.gonzalez@azimuthes.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78542</u>	

ENTERED

JUL 19 2022

Initial: AK

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

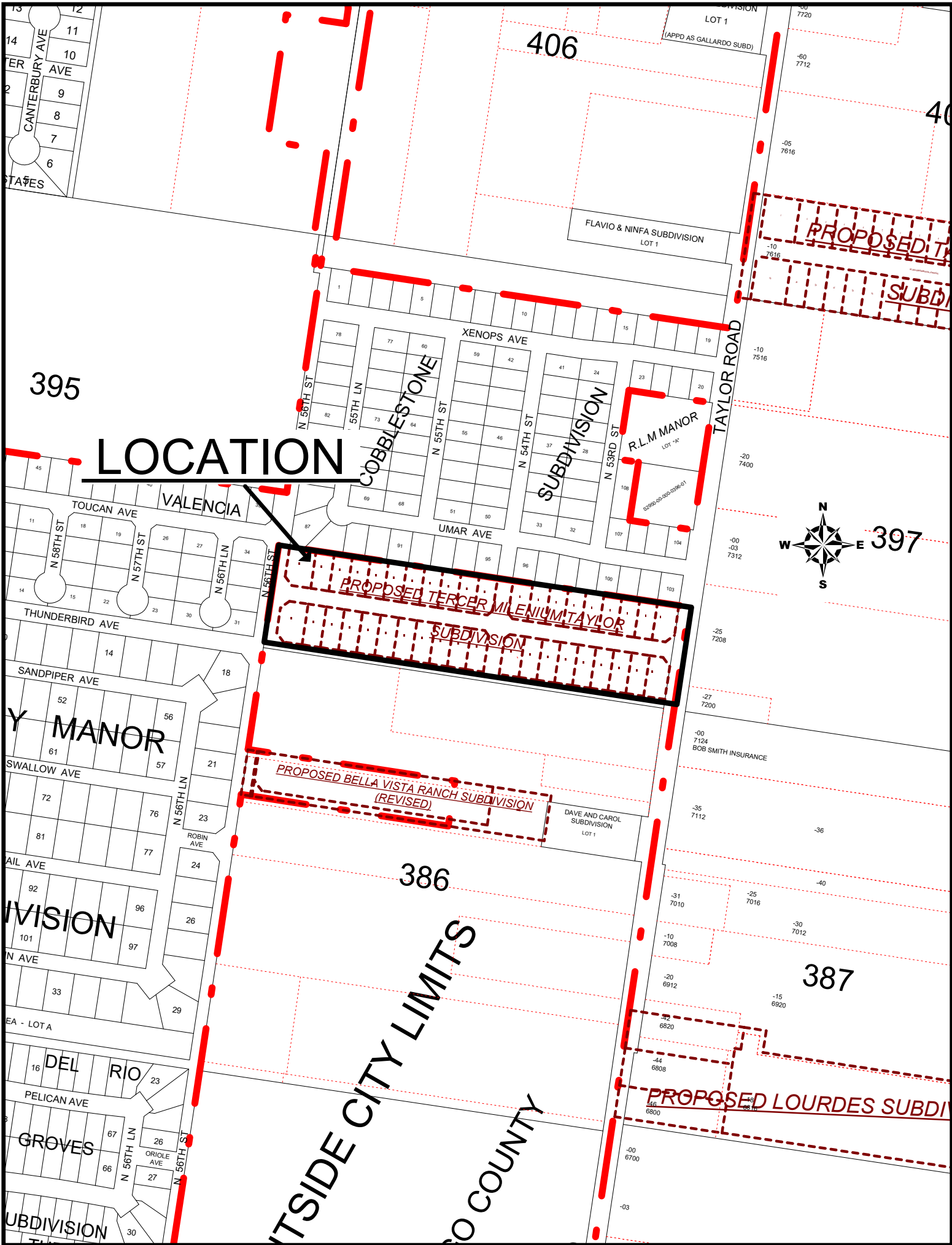
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 7/16/2022

Print Name Laura Elena Aragon Dominguez

Owner  Authorized Agent

The Planning Department is now accepting DocuSign signatures on application



**LOCATION**



**OUTSIDE CITY LIMITS**  
**CO COUNTY**

CANTERBURY AVE  
TER AVE  
STAYES

395

406

40

VALENCIA

COBBLESTONE

XENOPS AVE

SUBDIVISION

R.L.M MANOR  
LOT "A"

TAYLOR ROAD

PROPOSED TAYLOR  
SUBDI

397

TOUCAN AVE  
N 58TH ST  
N 57TH ST  
N 56TH LN  
N 56TH ST

THUNDERBIRD AVE

SANDPIPER AVE

Y MANOR

SWALLOW AVE

AIL AVE

IVISION

N AVE

EA - LOTA

DEL RIO

PELICAN AVE

GROVES

SUBDIVISION

386

387

PROPOSED TERCER MILENIUM TAYLOR  
SUBDIVISION

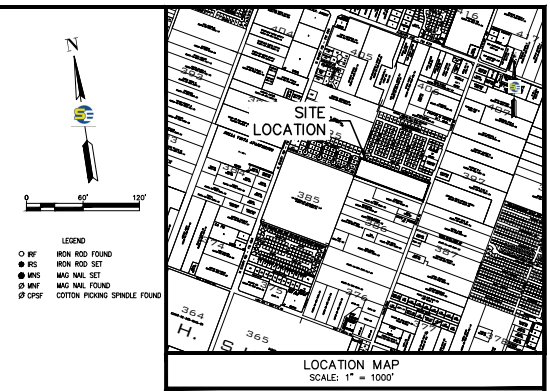
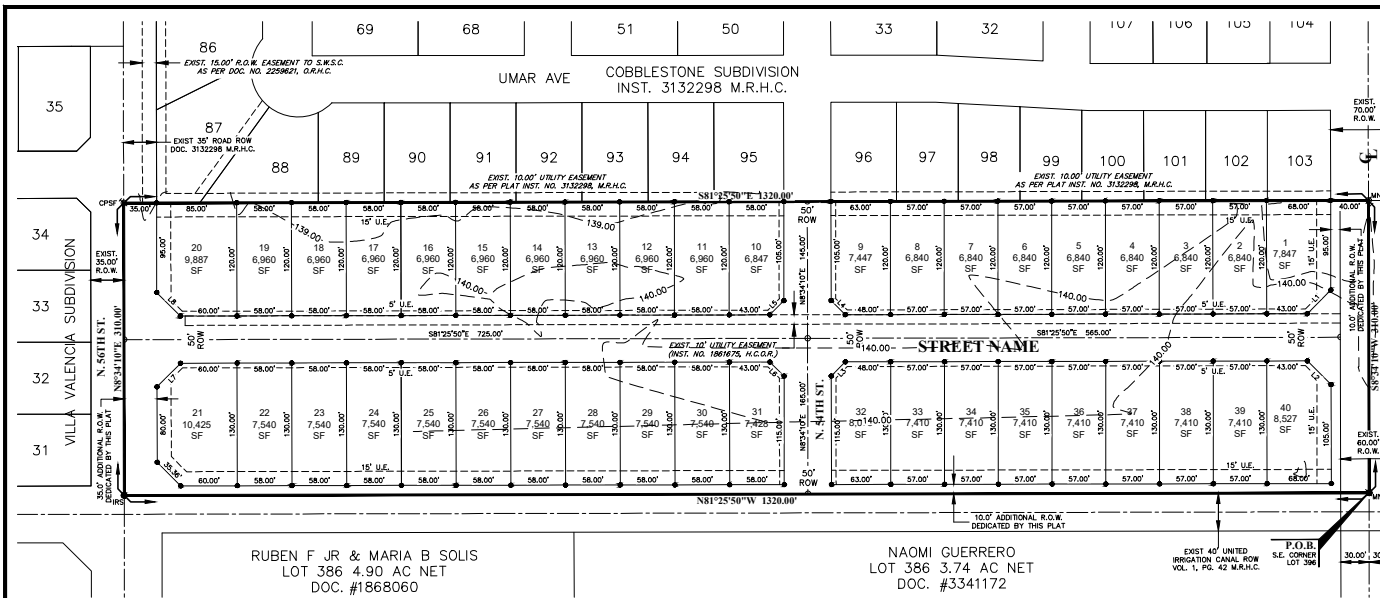
PROPOSED BELLA VISTA RANCH SUBDIVISION  
(REVISED)

PROPOSED LOURDES SUBDI

FLAVIO & NINFA SUBDIVISION  
LOT 1

DAVE AND CAROL  
SUBDIVISION  
LOT 1

PROPOSED



- GENERAL NOTES**
- FLOOD ZONE STATEMENT: FLOOD ZONE "C", FLOOD INSURANCE RATE MAP PANEL NO. 48034 0400 C MAP DATED NOV. 16, 1982.
  - MINIMUM FINISH FLOOR ELEVATION 18" ABOVE THE TOP OF CURB OF THE STREET AT MD POINT OF EACH LOT.
  - MINIMUM BUILDING SET BACKS:
    - FRONT: 25 FEET
    - REAR: 10 FEET
    - FRONTING LOTS 21-40: 20 FEET
    - REAR: 10 FEET
    - GARAGE: 18 FEET OF WHERE GREATER SETBACK REQUIRED APPLIES SETBACKS ARE SUBJECT TO INCREASE FOR ORDINANCE OR EXISTING
  - NO BUILDINGS OR DRAINAGE DETENTION AREAS SHALL BE CONSTRUCTED OVER ANY EASEMENT.
  - REQUIRED ENGINEERED DRAINAGE DETENTION IS \_\_\_\_\_ C.F. (\_\_\_\_ AC./FT.) TOTAL.
  - BENCHMARK (M) = \_\_\_\_\_
  - AN ENGINEERED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - A 4 FEET WIDE MINIMUM SIDEWALK IS REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS, AND A 4 FEET WIDE SIDEWALK IS REQUIRED ON ALONG N. TAYLOR ROAD & N. 56TH ST.
  - NO CURB CUT, ACCESS OR LOT FRONTAGE PERMITTED ALONG N. TAYLOR ROAD AND N. 56TH STREET.
  - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
  - NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GRADING ANY UNITED IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE DISTRICT.
  - NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT TO ANY UNITED IRRIGATION DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL.
  - NO PERMANENT STRUCTURE, (FOR EXAMPLE FENCES OR DRAINWAYS OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY UNITED IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT AREA IS SUBJECT TO REMOVAL.
  - COMMON AREAS, PRIVATE STREETS SHALL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
  - DEVELOPER/OBJECTOR'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
  - AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR TERCER MILENIUM TAYLOR SUBDIVISION RECORDED AS DOCUMENT NUMBER \_\_\_\_\_ HIDALGO COUNTY, DEED RECORDS, DEVELOPER/OBJECTOR'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
  - 25' x 25' SIGHT OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS.

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I, [NAME], THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE TERCER MILENIUM TAYLOR SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS DESCRIBED HEREIN, HEREBY DECLARE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREON OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

LAURA E. ARAGON \_\_\_\_\_ DATE \_\_\_\_\_  
MILLENIUM L INVESTMENTS, INC  
711 W. NOLANA AVE. STE. 104A  
McALLEN, TX 78504

**METES AND BOUNDS**

BEGINNING AT A MAG N&S SET AT THE SOUTHWEST CORNER OF LOT 396, JOHN H. SHARY SUBDIVISION, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, NORTH 81 DEGREES, 26 MINUTES, 50 SECONDS WEST (DEED CALL N 8129'47" W) ALONG THE SOUTH LINE OF SAID LOT 396 AND THE NORTH LINE OF A 40 FOOT UNITED IRRIGATION DISTRICT CANAL, RIGHT-OF-WAY, AT A DISTANCE OF 30.00 FEET PASS A 1/2-INCH IRON ROD SET FOR THE WEST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTAINING A TOTAL DISTANCE OF 1300.00 FEET TO A 1/2-INCH IRON ROD SET AT THE SOUTHWEST CORNER OF SAID LOT 396, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, NORTH 08 DEGREES, 34 MINUTES, 10 SECONDS EAST (DEED CALL N 8754'13" E) ALONG THE WEST LINE OF SAID LOT 396, A DISTANCE OF 310.00 FEET TO COTTON PICKING SPINDLE FOUND FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, SOUTH 81 DEGREES, 26 SECONDS EAST (DEED CALL S 8129'47" E), AT A DISTANCE OF 1300.00 (DEED CALL 1300.00) FEET PASS A 1/2-INCH IRON ROD FOUND FOR THE WEST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTAINING A TOTAL DISTANCE OF 1300.00 FEET TO A MAG N&S FOUND ON THE EAST LINE OF SAID LOT 396, FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE, SOUTH 08 DEGREES, 34 MINUTES, 10 SECONDS WEST (DEED CALL S 8754'13" W) ALONG THE EAST LINE OF SAID LOT 396 AND WITHIN THE RIGHT-OF-WAY OF TAYLOR ROAD, A DISTANCE OF 310.00 FEET TO THE POINT OF BEGINNING, OF WHICH 0.213 (DEED CALL 0.142) OF ONE ACRE LIES IN THE RIGHT-OF-WAY OF TAYLOR ROAD.

**Line Table**

Line #	Bearing	Length
L1	N53°34'10"E	35.36'
L2	S36°25'50"E	35.36'
L3	N53°34'10"E	21.21'
L4	S36°25'50"E	21.21'
L5	N53°34'10"E	21.21'
L6	S36°25'50"E	21.21'
L7	S53°34'10"W	35.36'
L8	S36°25'50"E	35.36'

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN WHEREIN MY APPROVAL IS REQUIRED.

**REVIEW COPY**  
GEMAR GONZALEZ, P.E.  
LICENSE PROFESSIONAL ENGINEER NO. 120081

FILED FOR RECORD IN  
HIDALGO COUNTY  
CLERK TONYO GALARDO, JR.  
HIDALGO COUNTY CLERK

ON \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS REFERRED TO IN THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES \_\_\_\_\_

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE, ARTICLE 4621I, § 3. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE PROPOSED SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.  
GENERAL MANAGER

NAME \_\_\_\_\_ ADDRESS \_\_\_\_\_ CITY, STATE & ZIP CODE \_\_\_\_\_ PHONE \_\_\_\_\_  
OWNER: NEW MILLENIUM L INVESTMENTS, INC 711 W. NOLANA AVE. STE. 104A McALLEN, TEXAS 78504 +52(833)214-0471  
ENGINEER: GEMAR GONZALEZ, P.E. 615 S. JACKSON RD #2780 DENVER, TEXAS 75558 (800)472-2246  
SURVEYOR: JORGE A. GONZALEZ, R.P.L.S. 807 SUMMIT CIRCLE DENVER, TEXAS 75559 (866)292-5418

SHIRLYN DANLBERG  
GENERAL MANAGER  
SHARYLAND WATER SUPPLY CORPORATION

DEVELOPER AND DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER INFRASTRUCTURE IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EASEMENT.

APPROVED BY UNITED IRRIGATION DISTRICT  
THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TRENCHES, FEEDS AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: \_\_\_\_\_ PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

**PRELIMINARY FOR REVIEW ONLY**

**SUPREME ENGINEERING**  
SUPREME ENGINEERING, PLLC  
CONSULTING ENGINEERS  
ENGINEERING FIRM F-21135  
410 S. JACKSON RD. #2780 - DENVER, TX 75539  
(956) 272-2246

# PLAT OF TERCER MILENIUM TAYLOR SUBDIVISION

A TRACT OF LAND CONTAINING 9.394 ACRES OF LAND, MORE OR LESS, BEING A PART OR PORTION OUT OF LOT 396, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

PREPARED FOR:  
NEW MILLENIUM L INVESTMENTS, INC  
711 W. NOLANA AVE. McALLEN, TX 78504



**City of McAllen**  
SUBDIVISION PLAT REVIEW

Reviewed On: 7/22/2022

<b>SUBDIVISION NAME: TERCER MILENIUM TAYLOR</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
N. Taylor Rd. - Minimum 10 ft. dedication for 40 ft. from Centerline for 80 ft. ROW Paving: 52 ft. Curb & gutter: Both Sides ***Label total ROW to new property line after accounting for the ROW dedication. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
N. 56th St.- 35 ft. dedication from centerline for 70 ft. ROW Paving: 44 ft. Curb & gutter: Both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Thunderbird Ave.- Dedication for 40 ft. from centerline for 80 ft. ROW Paving: 52 ft. Curb & gutter: Both sides ****City's thoroughfare map calls Thunderbird Avenue for an 80 ft. ROW, therefore, additional 20 ft. dedication for 40 from centerline required. As per plat submitted 7/19/22, 10 ft. additional ROW is being dedicated instead of the 20 ft. ROW required. ****Staff is reviewing dedication requirement, will need to be finalized prior to final. ***Label ROW from centerline and total ROW to new property line after accounting for the ROW dedication once finalized. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
N. 54th St. - 50 ft. ROW Paving: 32 ft. Curb & gutter: Both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
E/W Interior Street - 50 ft. ROW Paving: 32 ft. Curb & gutter: Both sides ****Street name will be finalized prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	Compliance
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
<b>SETBACKS</b>	
* Front: 25 ft. or greater for easements, whichever is greater applies **Please revise plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Rear: 10 ft. or greater for easements, whichever is greater applies **Please revise plat note #3 as shown above prior to final. ***Please clarify rear for double fronting lots proposed, since double fronting lot setback is only required on one street **Zoning Ordinance: Section 138-356	Non-compliance
* Sides: 6 ft. or greater for easements, whichever is greater applies **Please revise plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Corner: 10 ft. or greater for easements, whichever is greater applies **Please add plat note as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Garage: 18 ft. except where greater setback is required, greater setback applies. **Please revise plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on N. Taylor Rd., N. 56th St., Thunderbird Ave., & both sides of interior streets. ***5 ft. sidewalk may be required on N. Taylor Rd., N. 56th St., Thunderbird Ave., & both sides of interior streets. as per Engineering Department prior to final ***Please revise plat note #8 as shown above and once finalized prior to final. **Subdivision Ordinance: Section 134-120	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Taylor Rd., N. 56th St., and Thunderbird Ave. ***Please add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. ***Please add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

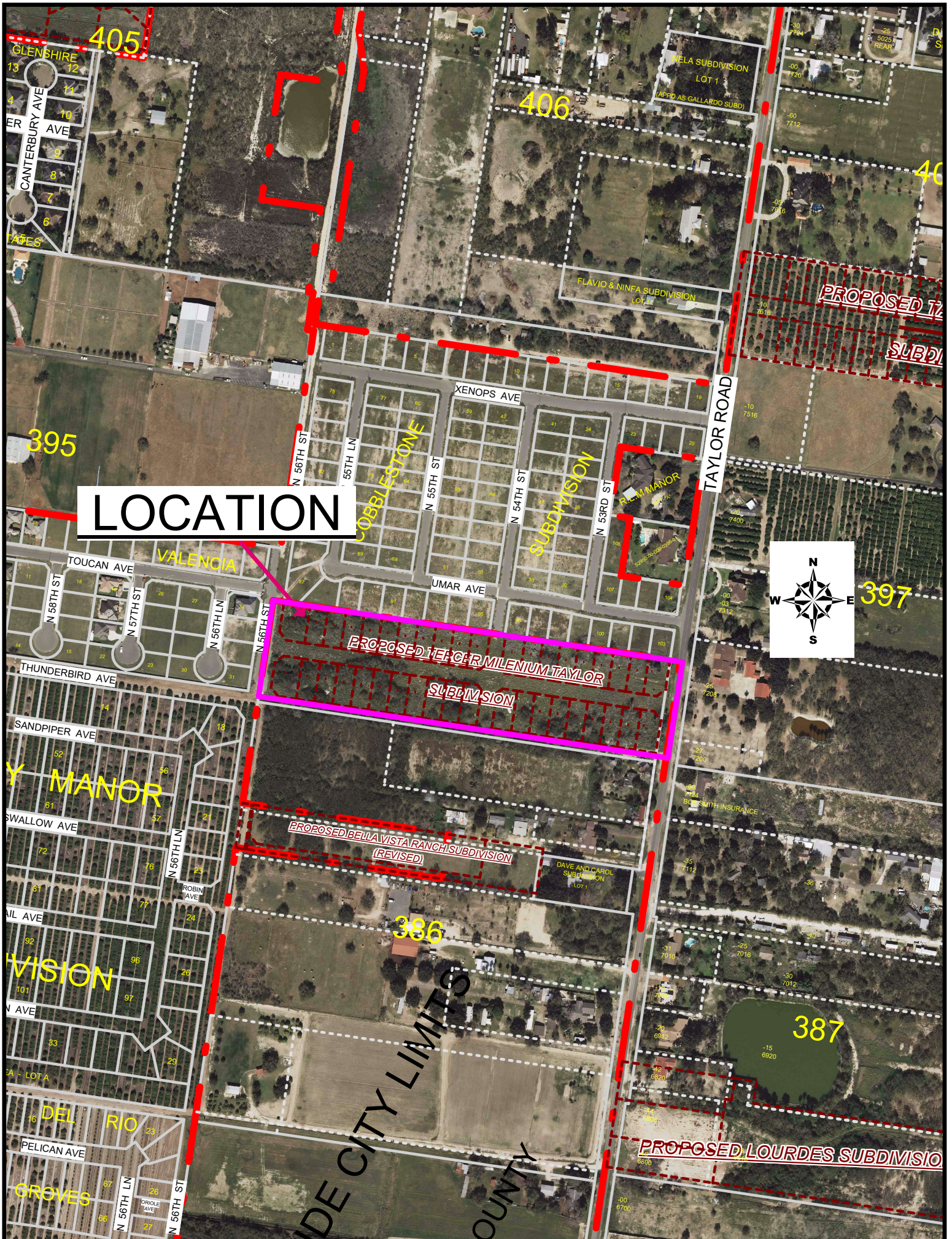
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along N. Taylor Rd., Thunderbird Ave., and N. 56th St.</li> <li>***Please revise plat note #9 as shown above prior to final.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: ETJ Proposed: Residential</li> <li>****Rezoning Needed Before Final Approval if annexed with initial zoning reflecting the proposed use.</li> <li>****Rezoning to R-1 needed if annexed for single family use.</li> <li>***Zoning Ordinance: Article V</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval if annexed with initial zoning reflecting the proposed use.</li> <li>****Rezoning to R-1 needed if annexed for single family use.</li> <li>***Zoning Ordinance: Article V</li> </ul>	TBD
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee, to be reviewed if annexed</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if annexed.</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office, if annexed.</li> </ul>	TBD
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</li> </ul>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
<b>COMMENTS</b>	
<p>Comments:</p> <p>*Must comply with City's Access Management Policy.</p> <p>****Annexation with initial zoning needed prior to final, as applicable</p> <p>****Clarify if subdivision is proposed to be public or private prior to final to finalize requirements.</p> <p>****Provide gate details prior to final for staff to review, as applicable. ROW might have to be increased at gate sections.</p>	Applied
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

# LOCATION



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CITY LIMITS