

**NOTICE OF MEETING TO BE HELD BY THE
HISTORIC PRESERVATION COUNCIL
WEDNESDAY, AUGUST 7, 2024 - 9:00 AM
MCALLEN DEVELOPMENT CENTER – 311 NORTH 15TH STREET
PLANNING CONFERENCE ROOM**

AGENDA

At any time during the course of this meeting, the Historic Preservation Council may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Historic Preservation Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Historic Preservation Council may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.

CALL TO ORDER -

1. Minutes

- a) Approval or Disapproval of Minutes held on July 10, 2024

2. Public Hearing

- a) Request of Mario Luis Guerra Jr. for a Certificate of Appropriateness for a proposed single family residence within the Las Palmas Historic District at Lot 11, Block 12, North McAllen Subdivision, Hidalgo County, Texas; 604 North 15th Street. **(CLM2024-0003)**

3. Adjournment

C E R T I F I C A T I O N

I, the undersigned authority, do hereby certify that the above agenda for the meeting of the McAllen Historic Preservation Council is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the municipal building, a place convenient and readily accessible to the general public at all times, and said notice was posted on the 2nd day of August, 2024 at 5:00 p.m. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.

Jessica Cavazos, Administrative Supervisor

**STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN**

The Historic Preservation Council convened in a meeting on Wednesday, July 10, 2024 at 9:03 a.m. at the City Hall – 1300 Houston Avenue - Commission Chambers

Present:	Dr. Jaclyn Miller	Chairperson
	Danny Boultinghouse	Vice-Chairperson
	Carolina Civarolo	Member
	Melissa S. Knerr	Member
	Marc Millis	Member
Absent:	Trisha Scott	Member
Staff Present:	Evaristo Garcia	Assistant City Attorney III
	Edgar Garcia	Planning Director
	Adriana Solis	Planner II
	Samantha Trevino	Planner I
	Jessica Puga	Technician II
	Carmen White	Administrative Assistant

CALL TO ORDER – Dr. Jaclyn Miller - Chairperson

1. Minutes

- a) Approval or Disapproval of Minutes held on May 6, 2024

Vice-Chairperson Danny Boultinghouse **moved** to approve the minutes. Ms. Carolina Civarolo **seconded** the motion. Motion approved with four board members present and voting.

2. Public Hearing:

- a) Request of Marc Millis on behalf of Almondine Properties, LLC., Inc. for a Certificate of Appropriateness for architectural alterations that will include repainting, re-roofing and driveway modifications to the existing City Landmark Designation located at Block 58, McAllen Addition Subdivision, Hidalgo County, Texas; 1619 Galveston Avenue. **(CLM2024-0002)**

Ms. Solis stated the property was located along the south side of Galveston Avenue, between South 17th Street and South 16th Street. The lot size is approximately 84,000 square feet. The property was currently zoned C-3 (general business) District. The style of architecture of the building was Mission Revival Style and contains Aztec ornamentation.

The applicant was proposing to make architectural alterations such as painting exterior walls, trim and window grids – Oyster White and Black Magic color swatches are included within the packet. The applicant is also proposing to add concrete walkway from the west side entrance to the parking lot as depicted on the site plan. The proposal also includes re-roofing of the existing flat roof hidden by parapet walls. The applicant also seeks to relocate the driveway entrance on 17th Street, north 33 feet and closing exit. However, relocation of the driveway and accesses must be processed and approved by the Traffic Department.

The property, also known as the Old Theodore Roosevelt Elementary School Building was designated as a City Landmark on June 8, 2009. The building was constructed in 1921 serving the residents of McAllen's Mexican Ward. The current applicant is proposing to make additional exterior changes as previously mentioned.

The design review process for the Certificate of Appropriateness is critical for a designated Historic Landmark to ensure the unique and defining characteristics of the building are maintained according to McAllen's design standards.

1. *Consistency of Style* – New construction should not try to replicate the architectural styles of the past but should look to them for guidance on fenestration patterns, façade organization, level and extent of detailing, massing, roof forms and height, and materials used. New construction should reflect modern design but be sensitive to the historical architectural styles of the past.

The applicant submitted plans showing details of the architectural alterations. The plans submitted comply with the consistency of style design standards.

2. *Materials* – New construction should maintain the characteristics of existing exterior materials.
3. *Setbacks* – To ensure consistency, new construction should follow existing ordinance requirements.

The proposed paint swatches include Black Magic and Oyster White, which does comply with the Mission Revival Style – must be minimal and can be used as trim colors. Mission Revival Style key colors include warm shades such as terracotta, beige and ochre. This style also includes cool accent colors such as deep greens and blues, white or off-white walls.

The plans submitted comply with the design standards of a Historic Landmark for Block 58, McAllen Addition Subdivision and will be verified during the building permit review.

The proposal mentioned above is the only request being made by the applicant. There are no other changes being made to the exterior or interior of the Historic Landmark.

The plans submitted comply with the Historic Landmark Design Standards for the proposed building. Therefore, staff recommends approval of the Certificate of Appropriateness for the proposed architectural alterations as requested by the applicant.

Board member Marc Millis abstained from this case item, as he was the applicant.

Gabriel Ozuna, Hidalgo County Historical Commission. He stated he was glad to see that the building treated appropriately. He mentioned that if there was anything that they could be of assistance from the County Historical Commission or as a Liaison with Texas Historical Commission. Mr. Ozuna stated for the fully extent of the plan which Mr. Millis had for the property but if he was interested in pursuing a tax credit, State or Federal tax credit path for the project they would help them out.

Vice-Chairperson Boultinghouse commented his gratitude for Mr. Millis on the project for the building use.

Board member Civarolo asked Mr. Millis if the white was for the façade or repainting the warm orangey adobe look or was the white and black for trim. Mr. Millis stated the white paint was for the walls and the black paint for the trim and doors. He stated when looking back at the earlier photos the Aztec design it was not accentuated within the colors wanted to go back to the original look.

Board member Knerr arrived during the meeting. Overlooking the layout, she asked if it would be consistent with the area. Staff stated yes, for the mission revival style included warm shades. Terra Cotta, beige, ochre. Even colors as deep greens and blues, white or off-white walls. Board member Knerr asked staff if the driveway was going to be modified. Staff stated that would be reviewed by the Traffic Department.

Following discussion, Ms. Carolina Civarolo **moved** to approve staff's recommendation for the bus tours. Mr. Boultinghouse **seconded** the motion. The board voted to approve the item with four board members present and voting.

Chairperson Miller stated she had one item to mention. The Conference for Real Places that she attends had been sending out calls for presentation proposals in the realm of Historic Preservation she would forward the information to the Board members.

3. **Adjournment**

Mr. Marc Millis made a **motion** to adjourn the meeting. Ms. Carolina Civarolo **seconded** the motion, which passed unanimously with four members present and voting. The meeting was adjourned at 9:24 a.m.

Dr. Jaclyn Miller- Chairperson

ATTEST _____
Carmen White

MEMO

TO: Historic Preservation Council

FROM: Planning Staff

DATE: July 26, 2024

SUBJECT: REQUEST OF MARIO LUIS GUERRA JR. FOR A CERTIFICATE OF APPROPRIATENESS FOR A PROPOSED SINGLE FAMILY RESIDENCE WITHIN THE LAS PALMAS HISTORIC DISTRICT AT LOT 11, BLOCK 12, NORTH MCALLEN SUBDIVISION, HIDALGO COUNTY, TEXAS; 604 NORTH 15TH STREET. (CLM2024-0003)

GOAL: A Certificate of Appropriateness is required for all proposed exterior alterations, new construction, and demolition within a local historic district. The goal of a Certificate of Appropriateness is to preserve historic, architectural, and cultural heritage by protecting character-defining features of the Las Palmas Historic District.

BACKGROUND: The property is located on the east side of N. 15th Street, north of Fir Avenue. The site plan indicates that the property has 50 feet of frontage along N. 15th Street and a depth of 140 feet for a lot size of 7,000 square feet. The lot have never been developed.

PROPOSAL: The applicant is proposing to construct a new residence with a storage room in the rear attached to the home in the Modern Spanish Mediterranean style.

ANALYSIS: The design review process for the Certification of Appropriateness is critical within a designated historic district to ensure that the unique and defining characteristics of the area are maintained according to the design standards of the Las Palmas Historic District.

1. **SITING:** Any new development should follow the zoning ordinance and maintain the setback of existing adjacent buildings. When setbacks on either front or back side of new construction vary, an average distance should be taken and used as a guideline for siting the new residence.
 - *Setbacks* – To ensure consistency in the historic district, new construction should follow existing ordinance requirements.

For the proposed new house, the applicant proposes a front setback of 40 feet, a rear setback of 10 feet, and a north side setback of 5 feet and south side setback of 7 feet. The plans submitted seem to comply with the design standards of a front yard setback of 40 feet or in line with existing for Block 12, North McAllen Subdivision and will be reviewed during the building permit process.

2. **SCALE OF BUILT ENVIRONMENT:** Existing homes within the historic district range from one to two stories in height. Roof forms and building footprints also vary but, most homes comprise only a small portion of their lot and do not exceed an average of more than 20 percent of the overall lot size.

- *Consistency of Style* – New construction should not try to mimic the architectural styles of the past but should look to them for guidance on fenestration patterns, façade organization, level and extent of detailing, massing, roof forms and height, and materials used. New construction should reflect modern design but be sensitive to the historical architectural styles of the past that are represented within the Las Palmas Historic District.

The applicant submitted plans for a two-story single family in the Modern Spanish Mediterranean style of architecture (see attached plans). The plans submitted comply with the consistency of style design standards.

- *Scale* – New construction should maintain a scale that mirrors and respects the scale of adjacent properties. Existing residences within the Las Palmas neighborhood are sited on approximately 15 to 20 percent of the overall lot.

The applicant proposes a two-story single family residence with a building footprint that is 4183 square feet or 59% of the total lot area.

The average building footprint of the Las Palmas Historic District is currently 24%. The plans submitted do not comply with the design standards of scale with a building footprint of 59% that is greater than the 20% as recommended in the standards but may be acceptable, as the Board has approved a greater percentage than the 20% maximum.

- *Materials* – Primary exterior materials used within the historic district include stucco and brick or stone masonry. Wood trim exists on a few examples. Primary roof materials include clay tile, composition shingle, and wood shingles. New construction should maintain the characteristics of existing exterior materials. Other exterior wall materials such as simulated stone, hardi-board or vinyl siding would detract from the cohesiveness of the neighborhood and should be avoided.

The applicant is proposing a combination of brick, stucco and wood siding for the exterior of the front façade. The stucco color is to be Snowball 10400L (75) and all fascia and soffit will be Sherwin Williams Snowfall white 2144-70. For the roof, the applicant proposes black clay tile.

3. SITE FEATURES: One of the most recognizable features of the Las Palmas Historic District is the palm-lined center median that extends the length of the district. Palm trees also line the street along each side of North 15th Street along the front yard of most lots. Well-manicured lawns with native plantings are typical of residences within the neighborhood.

- *Fencing* – Historically, fence enclosures at the perimeter of the Las Palmas Historic District, if they existed, were isolated to the rear yard. Low landscaping walls of stone or brick masonry construction can be seen along front patios or along the side property line in the district.

The applicant is not proposing a fence at this time, but would like to add one in the future. A COA will be required at the time of construction.

CONCLUSION: The design of the home is acceptable, but size may overwhelm the character of existing homes and detract from existing character. Staff is recommending for the home to be moved back to be in line with other homes in the area and for the footprint to be decreased.

Should the request be approved, it will be subject to conditions noted on the approved permit.

RECOMMENDATION: Staff recommends disapproval of the new home as currently proposed.

HPC
7/31/2024

CLM 2024-0003



Date Received

HISTORIC PRESERVATION COUNCIL CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Required Items: Site plan, legal description, building elevations, final building plans and specifications, samples of paint colors, roofing materials, color photographs of structures and sites where construction will take place. **NO CASE WILL BE SCHEDULED FOR A HEARING UNTIL ALL REQUIRED MATERIALS ARE RECEIVED.** (See check lists on pages 3-6)

Property Location (Street Address) 604 N. 15th McAllen, TX 78501

Historic District Name Las Palmas Historic District

Landmark Name _____

Legal Description Lot 11 Block 12 North McAllen Subdivision

Name of Property Owner: Mario Luis Guerra JR.

Mailing Address: 700 N 16th McAllen, TX Zip Code: 78501

Telephone: 956-451-7502 Fax No. _____

E-Mail Address: tamumlg@msn.com

(If different from Owner)
Name of Owner's Agent: _____

Address: _____ Zip Code: _____

Business/Home Telephone: _____ Fax No. _____

E-Mail Address: _____

Owner is requesting permission to: (describe clearly and in detail all architectural alterations to be made in addition to other requests. An additional sheet may be used.)

- Build new custom home on the property.
- _____
- _____
- _____

This completed form is to be submitted in person at the Planning Department Office

RECEIVED
JUL 1 2024

BY: Ad

APPROVAL BY THE HISTORIC PRESERVATION COUNCIL CONSTITUTES APPROVAL TO APPLY FOR A BUILDING PERMIT. BUILDING PERMITS MUST BE OBTAINED FROM THE CITY OF MCALLEN, PERMIT AND INSPECTIONS DEPARTMENT.

Owner understands the following:


1. If the Council fails to approve any portion of a request or recommends that changes be made in the plans and specifications, the owner will have five (5) days in which to inform the Historic Preservation Officer as to whether the owner agrees to the recommended changes.
2. Within ten (10) days from receipt of the recommendation, the Historic Preservation Officer shall notify the owner as to whether his request has been approved, conditionally approved or denied.
3. If the owner does not concur with the Council's recommendation, appeal to the Board of Commissioners may be made within the time specified in (Ord. Sec 138-419).

IF THE PROPERTY OWNER DOES NOT APPEAR PERSONALLY BEFORE THE COUNCIL, AN AUTHORIZATION SIGNED BY THE OWNER MUST BE PRESENTED TO THE HISTORIC PRESERVATION OFFICER, AUTHORIZING A REPRESENTATIVE TO APPEAR INSTEAD OR THE CASE WILL NOT BE HEARD.

I hereby authorize Gloria O. Henningsen of Home Henn Designs & Const.
(Name of representative) (Company or agency)

To represent me in matters pertaining to this case.

Owner's Name: MARIO L. GUERRA JR

Owner's Signature: 

Date 07/11/24



HISTORIC PRESERVATION COUNCIL

REQUIRED MATERIALS CHECK LIST

All background materials needed to support the applicant’s request must be submitted to the Historic Preservation Officer **PRIOR** to scheduling the case before the Council. **NO CASE** will be placed on the agenda if **ALL** materials are not on file by the deadline date. Any last minute changes must be shown on revised plans.

II. Check Where Applicable:

- Residence and/or Duplex
- Apartments and/or Commercial

III PROJECT TO INCLUDE (check where applicable):

- A ALTERATION/REPAIR/RESTORATION of an Existing Building or Structure
- B NEW CONSTRUCTION
- C ADDITION
- D DEMOLITION
- E SIGN REQUIREMENTS
- F FENCING
- G DRIVEWAY - SIDEWALKS & PARKING LOTS
- H REPAINTING (color change)
- I REROOFING (materials/color change)
- J SWIMMING POOLS - FISH PONDS & FOUNTAINS
- K GAZEBOS - BATH HOUSE & DECKING
- L WINDOWS

A ALTERATION/REPAIR/RESTORATION of an existing building or structure

- Scaled drawings, detailed architectural drawings may be required, dependent upon extent of work proposed.
- Photographs of the property and surrounding property, showing where work is to be done.
- A written list of proposed materials and colors, including manufacturer’s specification numbers.
- Actual samples of materials and colors should be presented at the meeting.
- Written narrative indicating the extent of the proposed alteration.
- Other information needed to illustrate the proposed alteration.

RECEIVED
 JUL 11 2024
 BY: 

B. NEW CONSTRUCTION

- Preliminary plans with building elevations
- Working scale drawings/specifications
- Drawing 8½" X 11" reproducible sheets
- Scale site plan with square footage of the building
- Photographs of building site for new construction
- Paint samples with brand name and number
- Roofing material sample
- Siding sample *N/A stucco - color listed in materials*

C. ADDITION

- Preliminary plans with building elevations
- Scale drawing of addition in relation to structure
- Working scale drawings/specifications
- Scale site plan
- Drawing 8½" X 11" reproducible sheets
- Photographs of structure showing current appearance
- Photographs of all exterior sides (include all four sides of building)
- Colors (sample)

D. DEMOLITION

- Photographs of structure (all exterior sides of structure)
- Scale site plan
- Proposed use after demolition (conceptual plan)
- Proof of economic hardship or unusual and compelling circumstances (required for demolition within a historic district or of a landmark)

E. SIGNAGE

- Working scale drawings/specifications
- Scale drawing of sign in relation to structure
- Scale site plan
- Drawing 8½" X 11" reproducible sheets
- Photograph of location of proposed signage on structure/property
- Photograph of structure and all exterior sides affected by proposed work
- Type of materials to be used for sign
- Colors (samples) as applied to sign
- Size/style of lettering
- Illumination Plan

F. **FENCING**

- Type/design of fence
- Scale of drawing of members with specifications
- Scale site plan
- Drawing 8½" X 11" reproducible sheets
- Photograph of structure and all exterior sides affected by proposed work

G. **DRIVEWAYS - SIDEWALKS & PARKING LOTS**

- Type/design of driveway/sidewalk
- Drawing 8½" X 11" reproducible sheets
- Scale site plan
- Photograph of structure, location and all exterior sides affected by proposed work
- Landscaping plans (if any)
- Colors (sample)

H. **REPAINTING (color change)**

- Type of material
- Colors (sample)
- Description of design
- Photographs of structure and all exterior sides affected by proposed work

I. **REROOFING (material/color change)**

- Type of material (sample or cut sheet)
- Colors (sample)
- Description of design
- Photographs of structure and all exterior sides affected by proposed work

J. **SWIMMING POOLS - FISH PONDS & FOUNTAINS**

- Working scale drawings/specifications
- Scale drawing in relation to structure
- Scale site plan
- Drawing 8½" X 11" reproducible sheets
- Type/design of swimming pool, fish pond and/or fountain
- Photographs of structure (all exterior sides) and area affected by proposed work
- Colors (sample)

K. GAZEBOS - BATH HOUSE & DECKING

- Working scale drawing/specifications
- Scale drawing in relation to structure
- Scale site plan
- Drawing 8½" X 11" reproducible sheets
- Photographs of structure (all exterior sides) and area affected by proposed work
- Colors (sample)

L. WINDOW REPLACEMENT

- Justification for replacement of windows
- Working scale drawings/specifications (material and color)
- Sample of proposed window (manufacturer brochure)
- Scale site plan designating number of windows to be replaced
- Drawing 8½" X 11" reproducible sheets
- Photographs of structure (all exterior sides) and area affected by proposed work

PLEASE BE ADVISED THAT THE COUNCIL HAS A POLICY OF ONLY HEARING A CASE WHEN THE OWNER OR THE OWNER'S REPRESENTATIVE IS PRESENT TO PRESENT THE CASE.

NOTE: PLEASE BE ADVISED THAT A STAFF MEMBER FROM THE PLANNING DEPARTMENT MAY VIDEOTAPE OR PHOTOGRAPH YOUR PROPERTY FOR THE HISTORIC PRESERVATION COUNCIL MEETING

602 N 15th McAllen TX New Construction Material List



Windows to be Black Exterior in color. Brand will be Pella Lifestyle Windows. Windows and doors to be similar to picture above.



Example of concrete roof tile. Brand to be Boral or Equal. Color to be black



Stucco to be white in color. Picture of proposed home above to show black windows, Black roofing, and white stucco exterior.



3D RENDERING
FOR ILLUSTRATION ONLY NO SCALE

DATE: 7/11/2024
DRAWN BY:
DISTINCTIVE
PLAN E.056.24

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1206 H. ISMAITE 2ND
SOUTH 43RD ST. 775
BOX W. LANE SWAY 93
HARLINGEN, TX 77557
OFFICE: (956) 427-9960

DISTINCTIVE
DRAFTING & DESIGN LLC



MEMBER
AI
BD
AMERICAN INSTITUTE OF ARCHITECTS
MEMBER DESIGNER

SHEET NUMBER

1

© 2024

GENERAL NOTES:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCE SHALL MAINTAIN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

INDEX OF DRAWINGS

TITLE	SHEET
PROJECT SUMMARY	1
SITE PLAN	2
DIMENSIONED 1ST LEVEL FLOOR PLAN	3
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PLUMBING PLAN	14
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FOUNDATION PLAN	17


CONSTRUCTION ANALYSIS

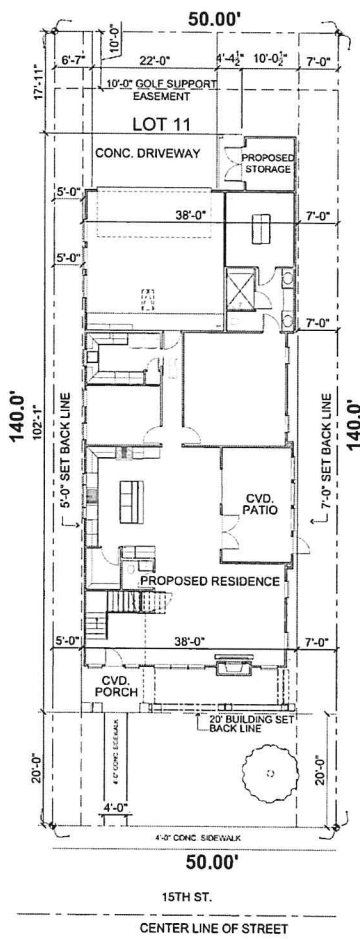
CONSTRUCTION TYPE	TWO STORY RESIDENCE
NUMBER OF LEVELS	2
FRAME TYPE (EXT. WALLS)	2"x4" WOOD STUDS W/ 6" BLOCK
FRAME TYPE (INT. WALLS)	2"x4" WOOD STUDS
FRAME TYPE (ROOF)	2"x6" WOOD RAFTERS
FRAME TYPE (FLR. / CLG.)	18" PRE. ENG TRUSS SYS.
VENEER TYPE	STUCCO
FOUNDATION TYPE	SLAB ON GRADE
ROOF TYPE	CLAY TILE
ROOF PITCH	4:12, 6:12, 7:12
PLATE HEIGHT (MIN.)	9'-0"
PLATE HEIGHT (MAX.)	21'-6"

AREA TABULATION

LIVING 1ST. LEVEL AREA:	2,302.0'
LIVING 2ND. LEVEL AREA:	608.0'
TOTAL LIVING AREA:	2,910.0'
PORCH:	265.0'
PATIO:	241.0'
2 CAR GARAGE:	630.0'
STORAGE	99.0'
STORAGE PORCH	38.0'
TOTAL NON LIVING	1,273.0'
TOTAL AREA	4,183.0'

RECEIVED
 7/11/2024

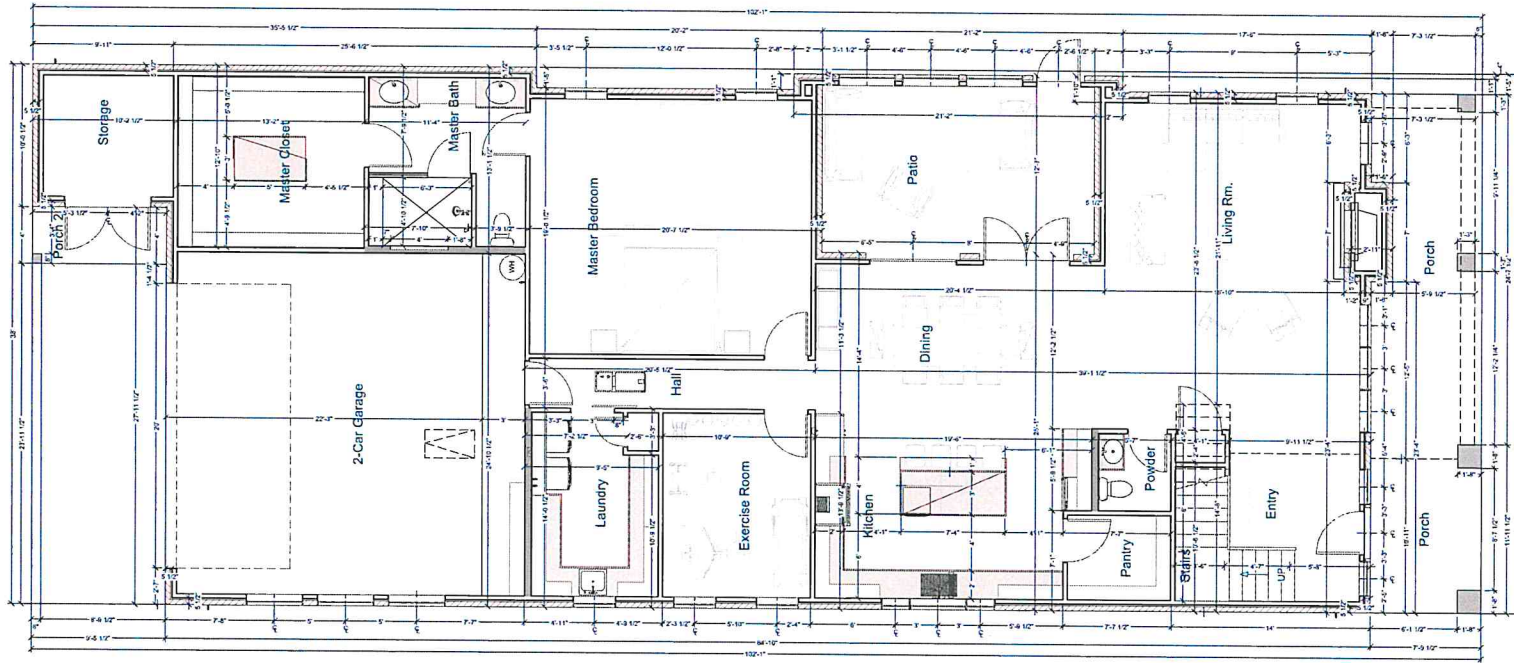
LANDSCAPE LEGEND (REQUIRED)	
TREE REQUIRED: 1	
TOTAL SQUARE FEET OF PROPERTY PROPOSED	7,000.0'



1. VERIFY JOINT LAYOUT FOR SIDEWALKS WITH CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL SITE WORK, INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION WAREHOUSES, TEMPORARY CONSTRUCTION TRUCKS, CLEARING PROCEDURE, GRADING AND DRAINAGE, CONFORMANCE TO POLLUTION AND PREVENTION CONTROL, AND TEMPORARY UTILITY FACILITIES, ETC. SHALL BE IN ACCORDANCE WITH THE CITY AS WELL AS SUBDIVISION PROPERTY OWNERS ASSOCIATION GUIDELINES.
3. BUILDER AND OWNER SHALL BE RESPONSIBLE FOR ALL TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING ONLY. OWNER SHALL PROVIDE ALL LANDSCAPING, EOD, AND IRRIGATION SYSTEM.

LEGAL DESCRIPTION	
LOT	11
BLOCK	12
SUBDIVISION	NORTH McALLEN
CITY	McALLEN, TX
ADDRESS	602 N 15TH ST.
CONC. DRIVE (SQ. FT.)	
TOTAL CONCRETE	878.0
NORTH ARROW	

1 **SITE PLAN**
 SCALE: 1"=10'-0"



1 DIMENSIONED 1ST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

DATE: 7/11/2024
 DRAWN BY:
 DISTINCTIVE
 PLAN # 05624

Guerra Residence
 Lot 11 Block 12 North McAllen Subd.
 602 N. 15th St., McAllen, Tx.

12500H 40 SOUTH RD
 SUITE 200
 DOWNSIDE DRIVE 275
 504 W. EXPEDITION RD
 WARRINGER, TX 78553
 OFFICE: (361) 425-7588

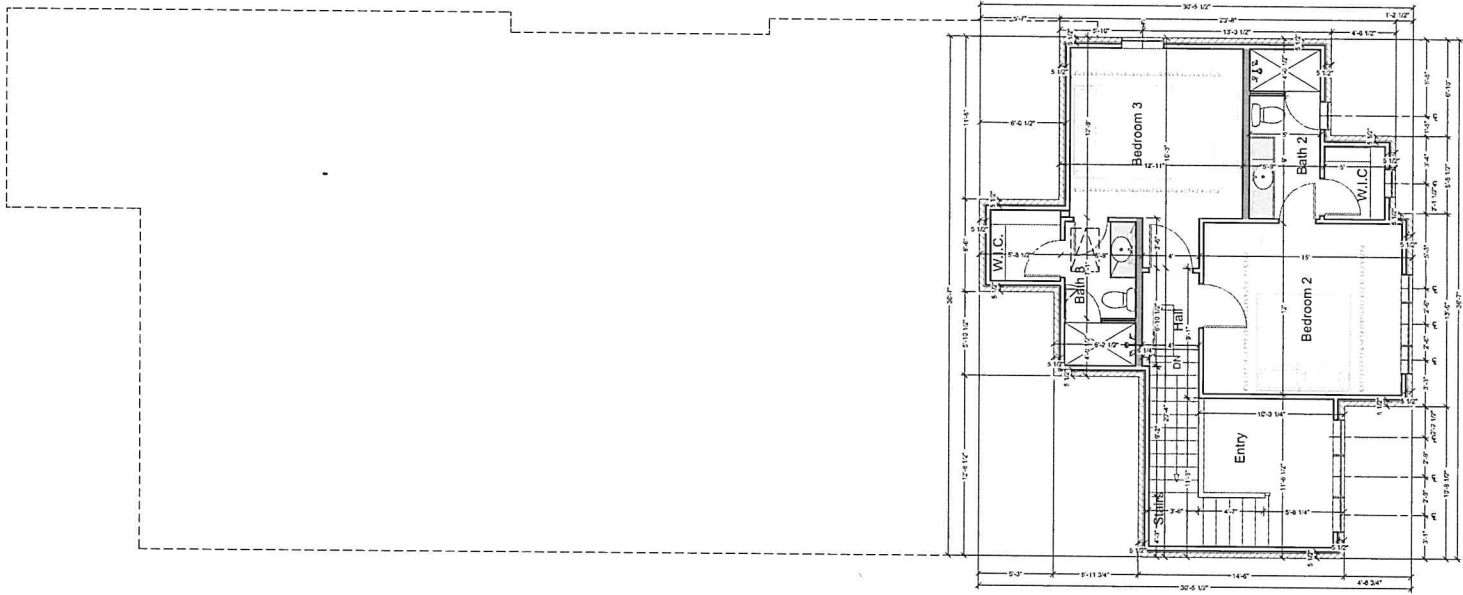
D DISTINCTIVE
 DRAFTING & DESIGN LLC.



MEMBER
A I B D
 ARCHITECTS & INTERIORS
 BY BUILDING DESIGN

SHEET NUMBER

3
 © 2024



1 DIMENSIONED 2ND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

DATE: 7/11/2024
 DRAWN BY:
 DISTINCTIVE
 PLAN # 056-24

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1306 III - SUITE 200
 OFFICE: 361.275
 3014 W. TAMERSON WAY #3
 BARBANTON, TEXAS 77515
 OFFICE: 361.275

D DISTINCTIVE
 DRAFTING & DESIGN L.L.C.



MEMBER:
A I B D
 ASSOCIATION OF
 BUILDING DESIGNERS

SHEET NUMBER

4

© 2024

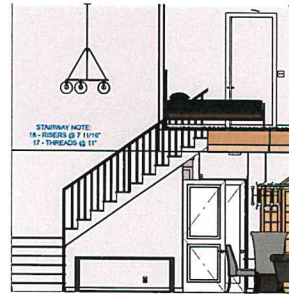
DOOR SCHEDULE				
NUMBER	QTY	SIZE	TYPE	COMMENTS
01	1	20060	GARAGE	
02	1	2080	HINGED	
03	1	2480	HINGED	
04	2	2680	SHOWER	
05	3	2680	HINGED	
06	1	2880	HINGED	
07	1	3050	SHOWER	
09	1	3050	BARN	
09	10	3080	HINGED	
10	1	3050	HINGED	EXT.FRENCH DR.
11	1	6080	DOUBLE HINGED	EXT.FRENCH DR.
12	2	6080	DOUBLE HINGED	EXT.FRENCH DR.

WINDOW SCHEDULE				
NUMBER	QTY	SIZE	TYPE	COMMENTS
W01	2	2080FX	FIXED GLASS	
W02	2	2050FX	FIXED GLASS	MULLED
W03	2	2050FX	FIXED GLASS	MULLED
W04	2	2650FX	FIXED GLASS	MULLED
W05	2	2650FX	FIXED GLASS	MULLED
W06	1	3040SH	SINGLE HUNG	
W07	1	3050FX	FIXED GLASS	MULLED
W08	3	3050FX	FIXED GLASS	MULLED
W09	3	3050FX	FIXED GLASS	MULLED
W10	5	3050SH	SINGLE HUNG	
W11	1	3050SH	SINGLE HUNG	MULLED
W12	3	4016FX	FIXED GLASS	
W13	1	4050SH	SINGLE HUNG	MULLED
W14	3	4070SH	SINGLE HUNG	

WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	6" CMU BLOCK -4
	6" CMU BLOCK -6
	INTERIOR-4
	INTERIOR-6
	ROOM DIVIDER

NOTES:

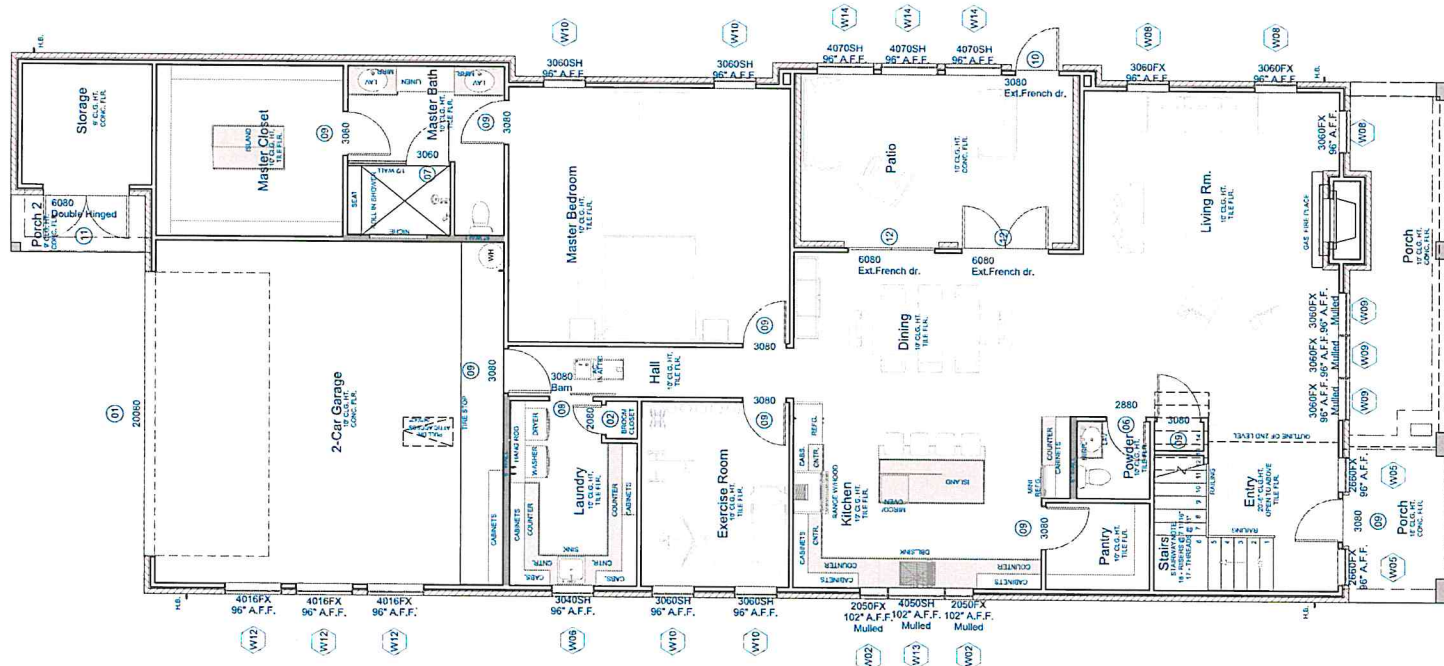
1. OPENING (ATTIC) IN GARAGE WALL SHALL COMPLY WITH 2018 IRC SECTION R302.6 TABLE DWELLING-GARAGE SEPARATION.



3 STAIRWAY DETAIL
SCALE: 1/4"=1'-0"



2 KITCHEN PERSPECTIVE VIEW
SCALE: N.T.S.



1 NOTED 1ST. LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

DATE: 7/1/2024
DRAWN BY:
DISTINCTIVE
PLAN # 05624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

5200 W. 45th Street, Ste. 200
P.O. Box 212127
9011 W. Lakeshore Way
Dallas, Texas 75221
Office: 972.421.1500

DISTINCTIVE
DRAWING & DESIGN L.L.C.

TEXAS REGISTERED
TBD
BUILDING DESIGN, INC.

MEMBER
AIA
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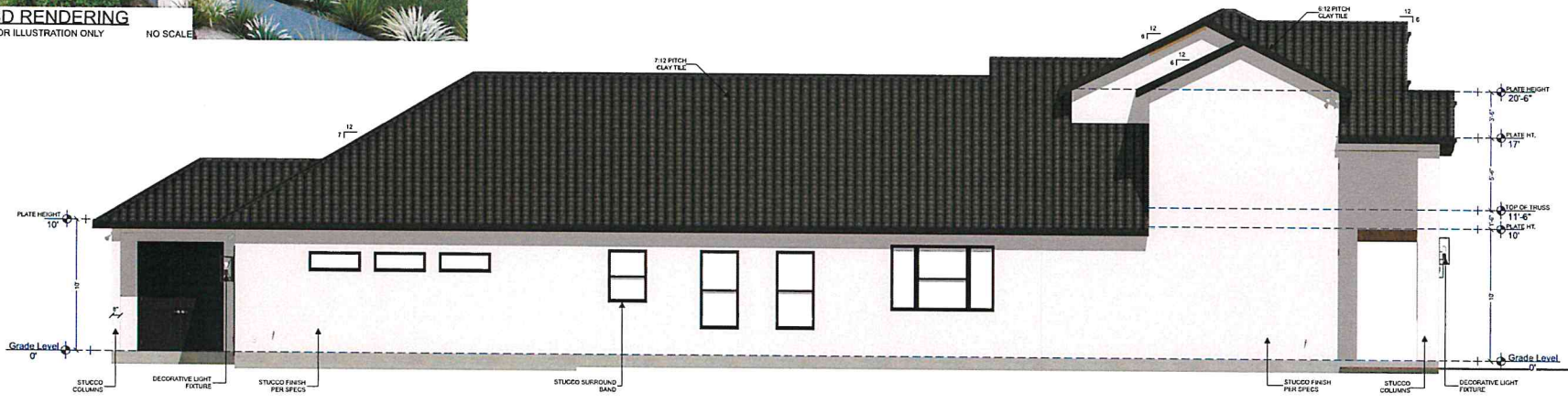
1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



3D RENDERING
FOR ILLUSTRATION ONLY
NO SCALE



3D RENDERING
FOR ILLUSTRATION ONLY
NO SCALE



2 LEFT ELEVATION
SCALE: 1/4"=1'-0"

DATE: 7/11/2024
DRAWN BY:
DISTINCTIVE
PLAN #166524

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

OWNER: GUERRA RESIDENCE
ADDRESS: LOT 11 BLOCK 12 NORTH
MCALLEN SUBDIVISION
602 N. 15TH ST. MCALLEN, TX 78501
DATE: 7/11/2024

DISTINCTIVE
DRAFTING & DESIGN L.L.C.

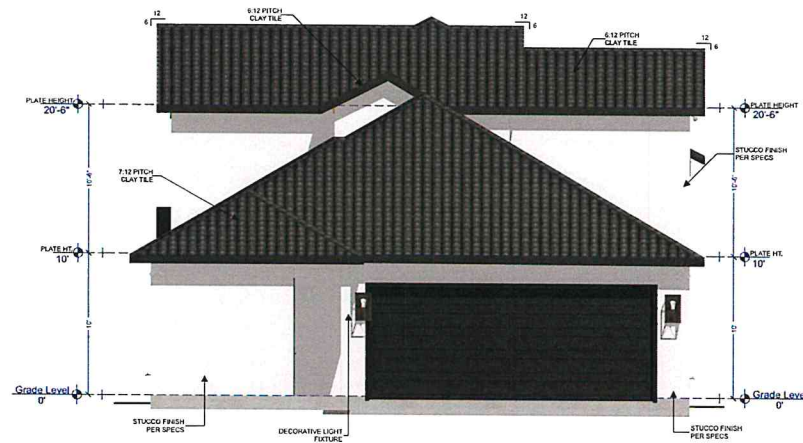
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TIBD
BUILDING DESIGN

MEMBER
AIBD
ASSOCIATION OF ILLUSTRATORS & BUILDING DESIGNERS

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1 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

DATE: 7/11/2024
DRAWN BY:
DISTINCTIVE
PLANS 08/24

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

DRIVER: 45 STATE 205
507 FCE 210 213-2750
308 W. EXPLORERWAY #1
HARLINGEN, TX 79163
OFFICE: 957-62-5966

DISTINCTIVE
DRAFTING & DESIGN LLC.

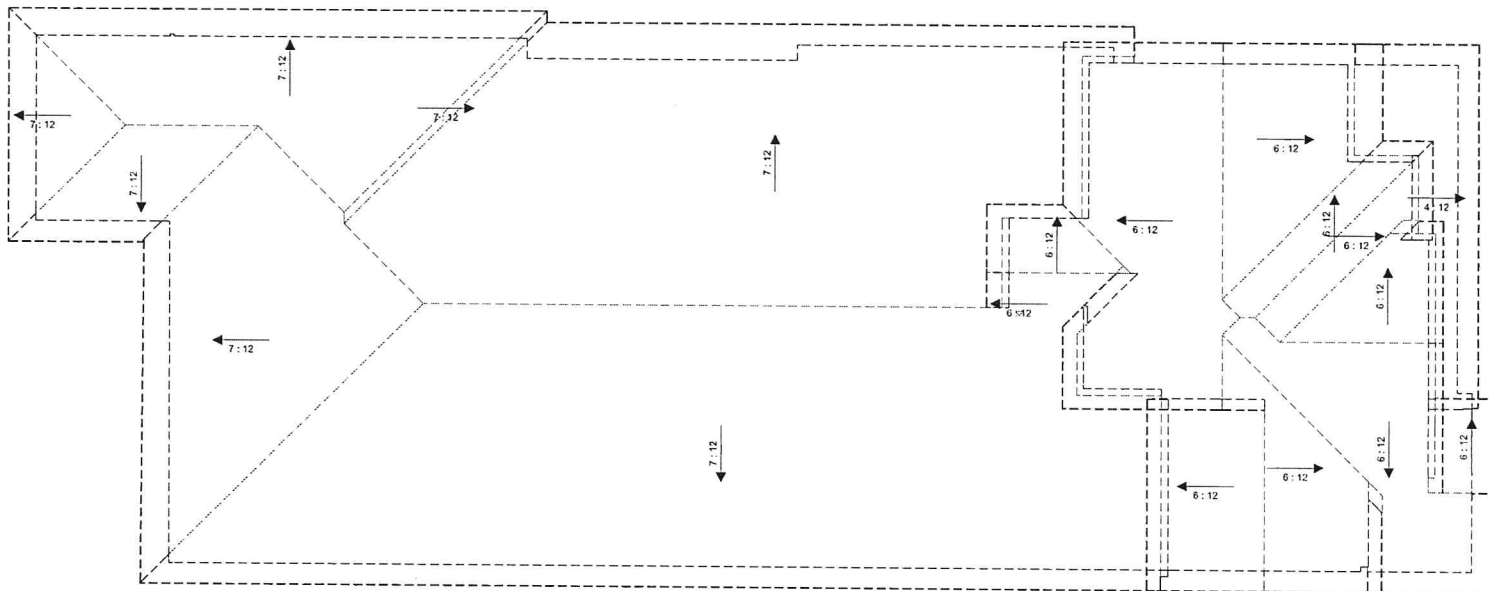


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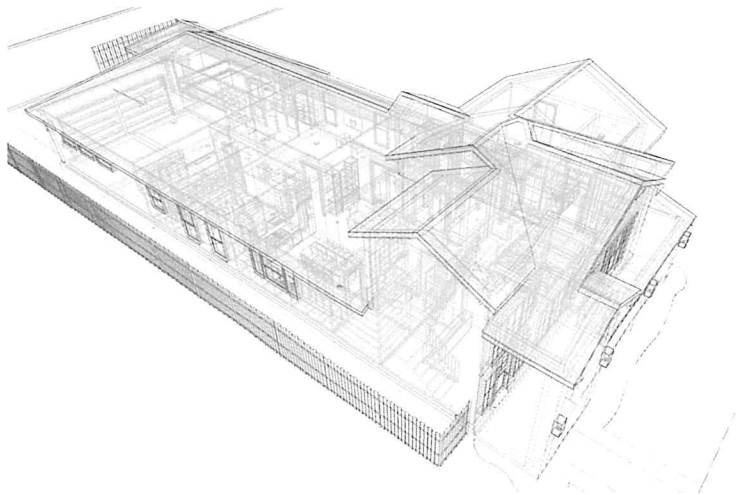
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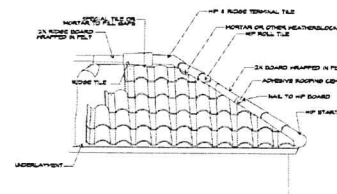
1 ROOF PLAN
SCALE: 1/4"=1'-0"



2 ROOF OVERVIEW
SCALE: N.T.S.

ROOF NOTES

- 01. CLAY TILE ROOF
- 02. 6:12, 7:12 ROOF PITCH
- 03. 18" OVERHANG



A TYPICAL TILE RIDGE & HP BOARD
NOT TO SCALE

DATE: 7/11/2024
DRAWN BY: DBAWAN.BYC
DISTINCTIVE
PLAN # D5624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1800 W. US 90, SUITE 100
DALLAS, TEXAS 75241
800 W. LAMAR BLVD. #100
DALLAS, TEXAS 75207
HARRINGTON, TEXAS
OFFICE (972) 421-7086

D **DISTINCTIVE**
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MEMBER
ATBD
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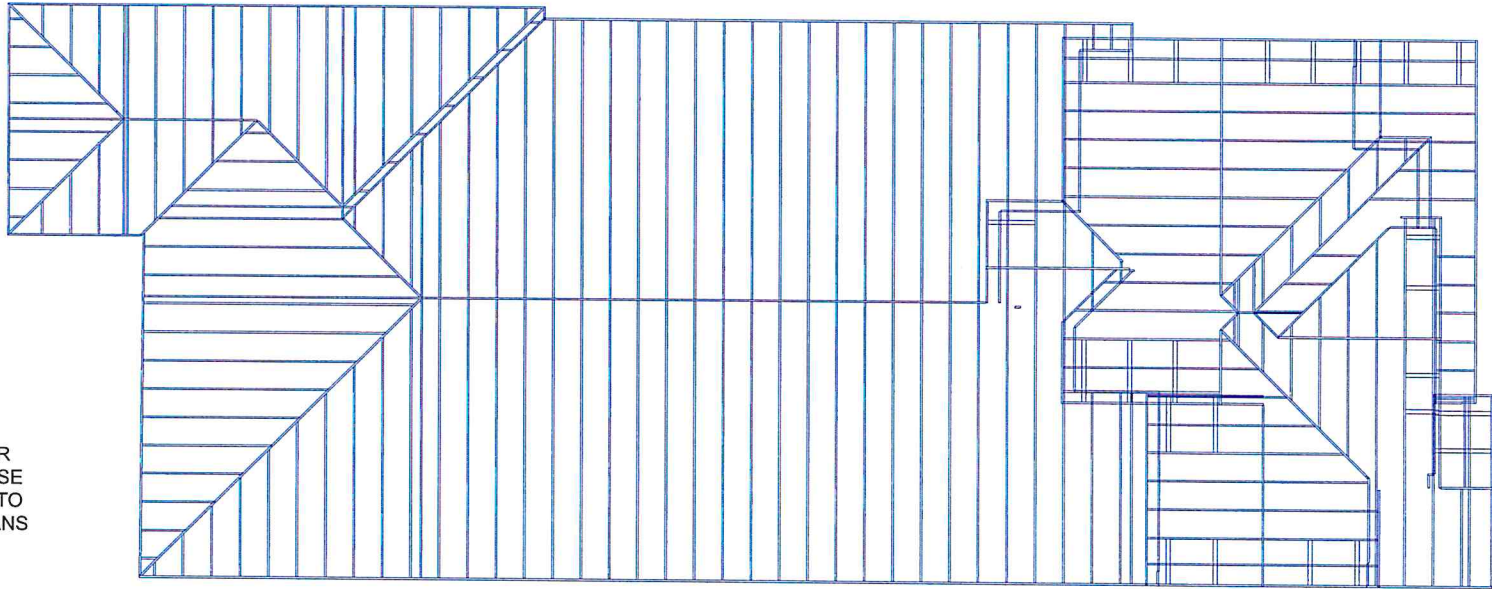
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NOTES
RAFTER DIAGRAM FOR
ILLUSTRATION PURPOSE
ONLY. PLEASE REFER TO
ENGINEER FRAME PLANS
FOR DETAILS



1 FRAMING PLAN
SCALE: 1/4"=1'-0"



2 FRAMING OVERVIEW
SCALE: N.T.S.

DATE: 7/1/2024
DRAWN BY:
DISTINCTIVE
PLAN # 05624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1506 W. 15th St.
McAllen, TX 78501
904 W. Lakeview Dr
McAllen, TX 78501
Office: 361.651.5086

D **DISTINCTIVE**
DRAFTING & DESIGN L.L.C.

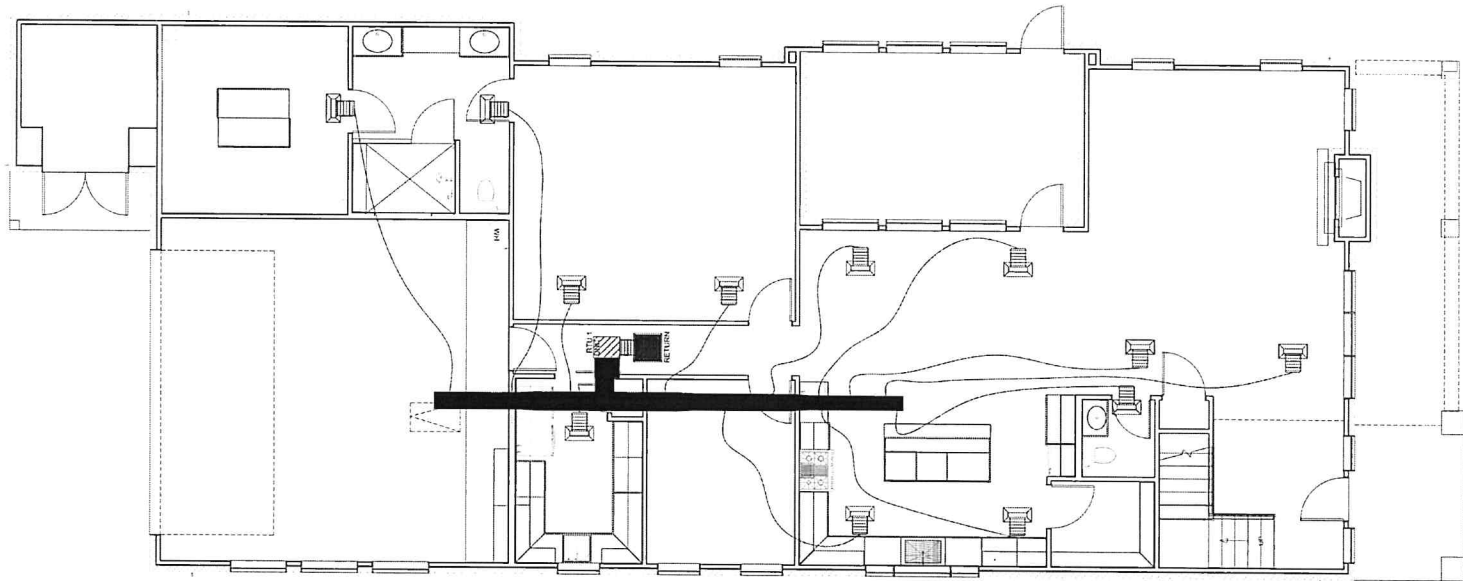


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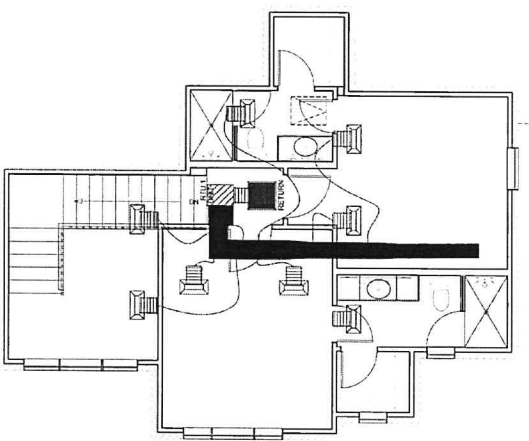
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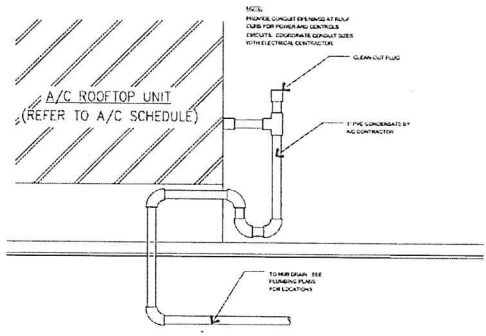
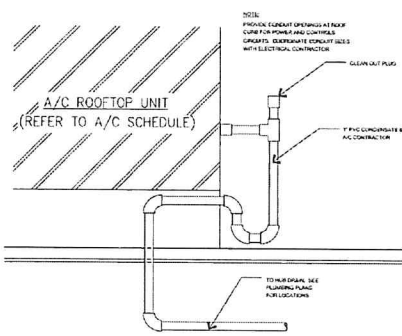
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1 1ST LVL. MECHANICAL PLAN
SCALE: 1/4"=1'-0"



2 2ND LVL. MECHANICAL PLAN
SCALE: 1/4"=1'-0"



MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	EXHAUST FAN
	CEILING DIFFUSER SUPPLY AIR
	SUPPLY AIR DUCT

MECHANICAL LEGEND		
SYMBOL	DESCRIPTION	COOLING
RTU 1	HVAC UNIT #1	60,000 BTUH (5.0 TONS) 2,000 CFM HEAT/ COOL

NOTES UNLESS NOTED OTHERWISE (U.N.O.)

01. ALL CONDENSATE DRAIN WILL BE CONNECTED TO SINK OR SEWER DRAIN ABOVE THE CEILING OR WATER HEATER DRAIN WILL BE THROUGH OUTSIDE WALL.

DATE: 7/11/2024
DRAWN BY: DISTINCTIVE
PLAN # 05624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1500 HILL COUNTRY
DRIVE, SUITE 100
BOH W. LAKESWAY #2
DARIEN, ILLINOIS 60018
TEL: 630.329.1900

DISTINCTIVE
DRAFTING & DESIGN L.L.C.

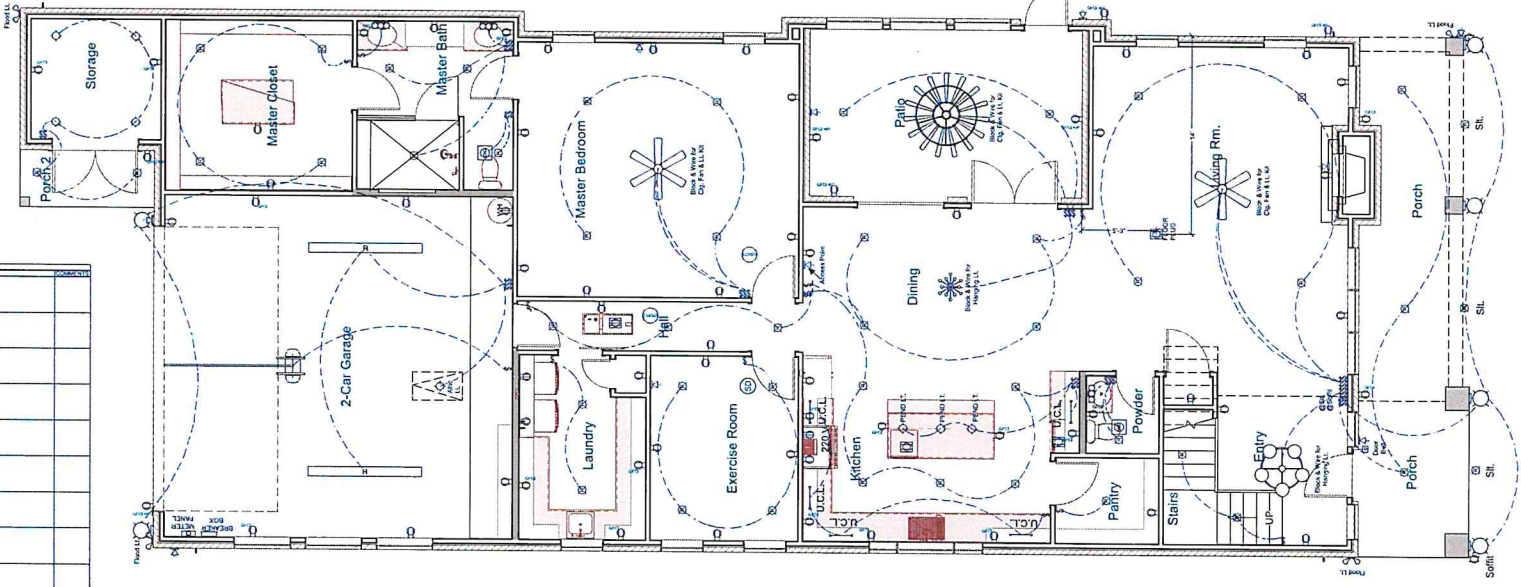
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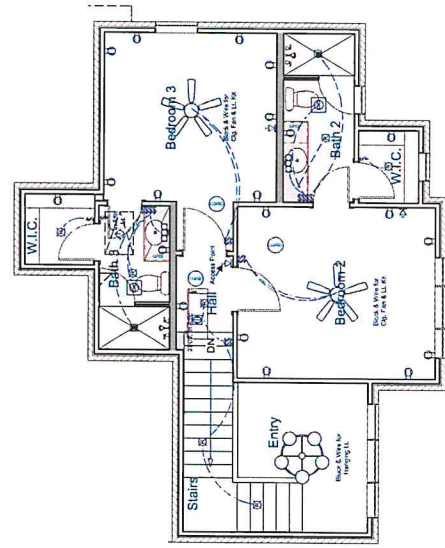
SHEET NUMBER

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1 1 LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



2 2 LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

NOTES:
1. BREAKER BOX AND METER SERVICE PANEL MUST COMPLY WITH 2018 IRC CODE SECTION 3405.5 EQUIPMENT AND CLEARANCE LOCATION.

SYMBOL	DESCRIPTION
[Symbol]	AREA DIMENSION
[Symbol]	CEILING FAN
[Symbol]	RECESSED DOWN LIGHT
[Symbol]	STAIRS LIGHT VANITY
[Symbol]	HALL SMOKE
[Symbol]	DUPLEX
[Symbol]	SWITCH
[Symbol]	ROTLINKER PENDANT
[Symbol]	HANDY HAND LIGHT
[Symbol]	WINDUP FAN
[Symbol]	RECESSED TUBE LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	HALLWAY WALL SMOKE
[Symbol]	1 GANG SWITCH
[Symbol]	2 GANG SWITCH
[Symbol]	2 GANG SWITCH
[Symbol]	DUPLEX CEILING MOUNTED
[Symbol]	SWITCH 2
[Symbol]	SWITCH
[Symbol]	2 GANG
[Symbol]	2 GANG
[Symbol]	TUBE
[Symbol]	DUPLEX FLOOR MOUNTED
[Symbol]	THREE WAY
[Symbol]	CEILING FLOOR LIGHT
[Symbol]	PUSH BUTTON SWITCH

[Symbol]	FRAME FLUSH DIMM LIGHT
[Symbol]	PUSH BUTTON SWITCH
[Symbol]	FAN/CEILING FAN
[Symbol]	DOORBELL
[Symbol]	SWITCH
[Symbol]	2 GANG FLOOR MOUNTED
[Symbol]	ELECTRICAL PANEL - SURFACE MOUNTED
[Symbol]	ELECTRIC METER BASKET
[Symbol]	SMOKE DETECTOR 1

DATE: 7/1/2024
DRAWN BY:
DISTINCTIVE
PLAN # 0524

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1500 W. UNIVERSITY DR.
OFFICE 632-2777
101 W. LAMAR BLVD. #100
HARLINGEN, TEXAS 77931
OFFICIAL REG. NO. 194

DISTINCTIVE
DRAFTING & DESIGN LLC.

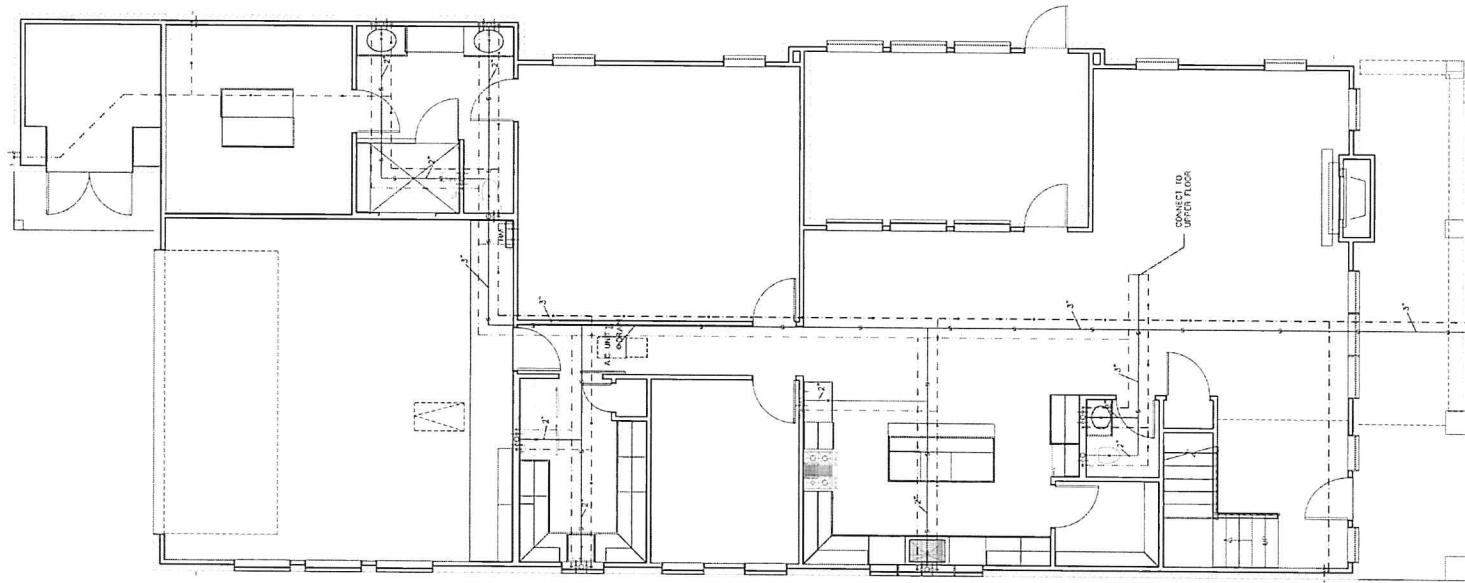
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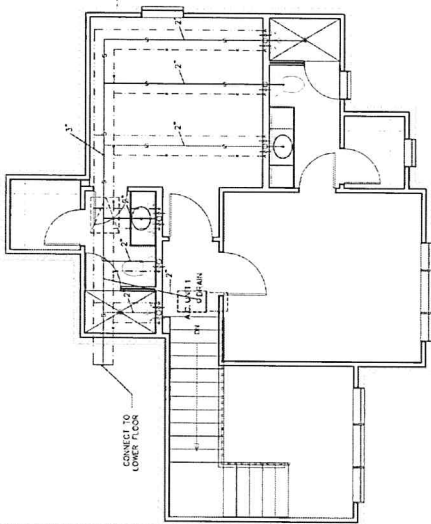
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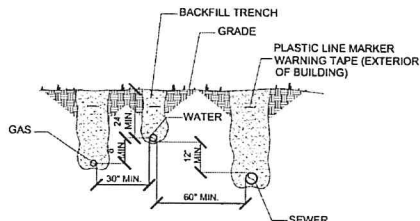
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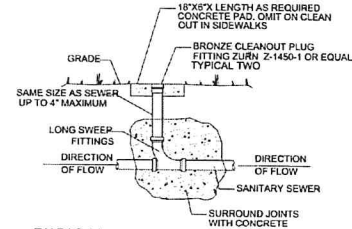
1 1ST LVL. PLUMBING PLAN
SCALE: 1/4"=1'-0"



2 2ND LVL. PLUMBING PLAN
SCALE: 1/4"=1'-0"



PLUMBING TRENCHING DETAIL
SCALE: N.T.S.



TYPICAL YARD CLEANOUT DETAIL
SCALE: N.T.S.

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
—S—	SANITARY SEWER PIPING
—SV—	SANITARY VENT PIPING
—C—	COLD WATER PIPING
—H—	HOT WATER PIPING
—G—	GAS LINE

GENERAL NOTES:

- A. VERIFY ALL PLUMBING SIZING AND ROUTING WITH PLUMBING CONTRACTOR & GENERAL CONTRACTOR.
- B. PROVIDE TRAP PRIMERS ON ALL FLOOR DRAINS- FLOOR SINKS & HUB DRAINS, AS REQUIRED BY CODE.
- ① 2" HUB DRAIN ABOVE CEILING, CROSSHATCH LOCATION AND HUB DRAIN HEIGHT WITH HVAC CONTRACTOR.
- ② PROVIDE A DOUBLE CHECK VALVE ASSEMBLY AT BUILDING ENTRANCE INSIDE BUILDING AS PER CITY REQUIREMENTS.
- ③ BUILDING MAIN SHUT-OFF VALVE ABOVE CEILING. PROVIDE RED TACK AT UNDERSIDE OF CEILING AT VALVE LOCATION, IF REQUIRED VERIFY WITH CONTRACTOR.
- ④ 2" VENT GRADE ROUTED TO GREASE INTERCEPTOR AND CONNECTED TO BUILDING VENT SYSTEM.

DATE: 7/11/2024
DRAWN BY:
DISTINCTIVE
PLAN # 05624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1500-BB-BUSINESS CENTER
OFFICE 201
601 W. LAMAR BLVD. SUITE 201
DARIEN, IL 60551
OFFICE 1001 02-1000

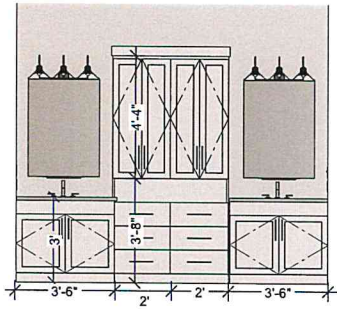
DISTINCTIVE
DRAFTING & DESIGN LLC.

MEMBER
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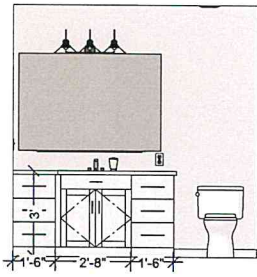
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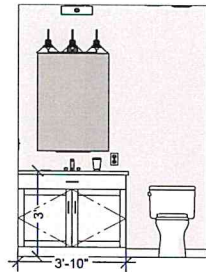
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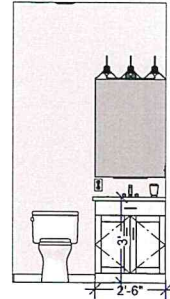
**MASTER BATH
ELEVATION**
SCALE: 1/2"=1'-0"



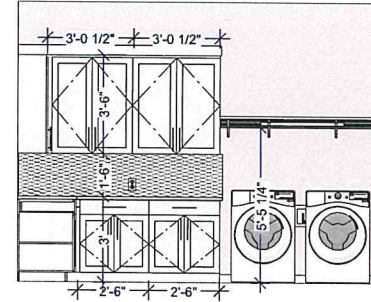
**BATH #2
ELEVATION**
SCALE: 1/2"=1'-0"



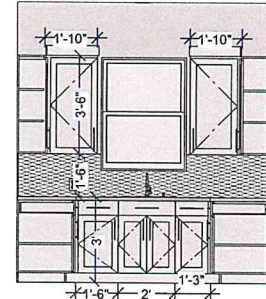
**BATH #3
ELEVATION**
SCALE: 1/2"=1'-0"



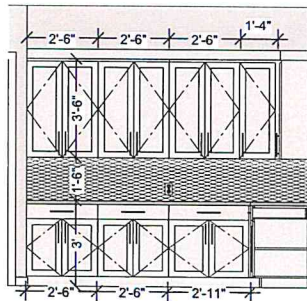
**POWDER
ELEVATION**
SCALE: 1/2"=1'-0"



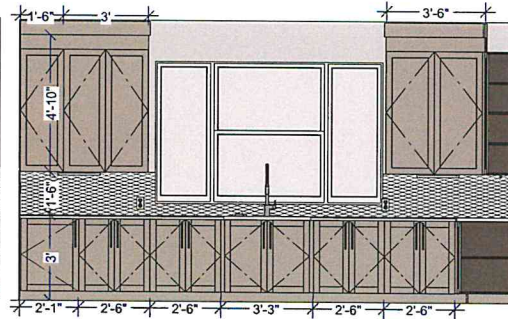
**LAUNDRY
ELEVATION**
SCALE: 1/2"=1'-0"



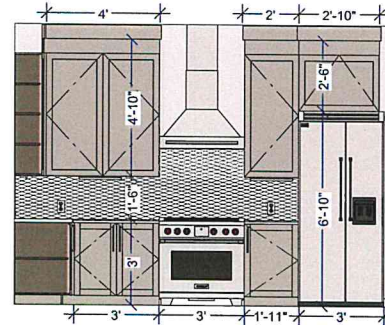
**LAUNDRY
ELEVATION**
SCALE: 1/2"=1'-0"



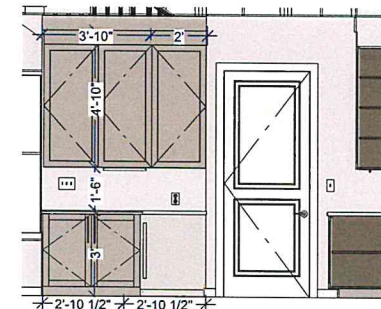
**LAUNDRY
ELEVATION**
SCALE: 1/2"=1'-0"



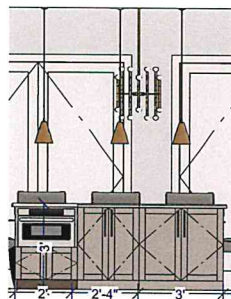
**KITCHEN
ELEVATION**
SCALE: 1/2"=1'-0"



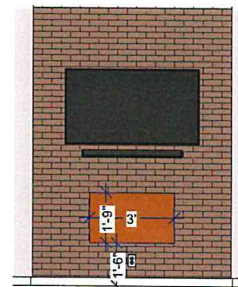
**KITCHEN
ELEVATION**
SCALE: 1/2"=1'-0"



**KITCHEN
ELEVATION**
SCALE: 1/2"=1'-0"



**KITCHEN ISLAND
ELEVATION**
SCALE: 1/2"=1'-0"



**FIREPLACE
ELEVATION**
SCALE: 1/2"=1'-0"

DATE: 7/11/2024
DRAWN BY:
DISTINCTIVE
PLAN # 0524

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

5206 HILLCREST LANE
OFFICE 78217
1814 W. LINDENWAY RD.
DARLINGTON, TEXAS
75845-1206

**DISTINCTIVE
DRAWING & DESIGN LLC.**

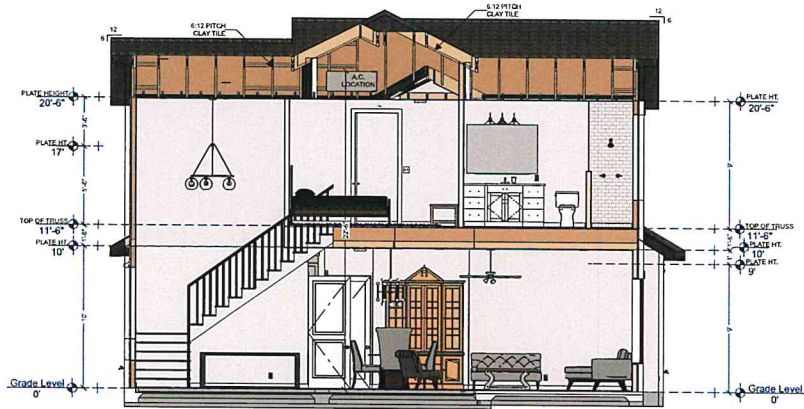
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1 CROSS SECTION
SCALE: 1/4"=1'-0"



2 CROSS SECTION
SCALE: 1/4"=1'-0"

DATE: 7/11/2024
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PLANNING

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

1000 H. UNIVERSITY
S.A.S. OFFICE
1000 H. UNIVERSITY
S.A.S. OFFICE
1000 H. UNIVERSITY
S.A.S. OFFICE

DISTINCTIVE
DRAWING & DESIGN L.L.C.

TEXAS DISTRICT
ATBD
BUILDING DESIGN

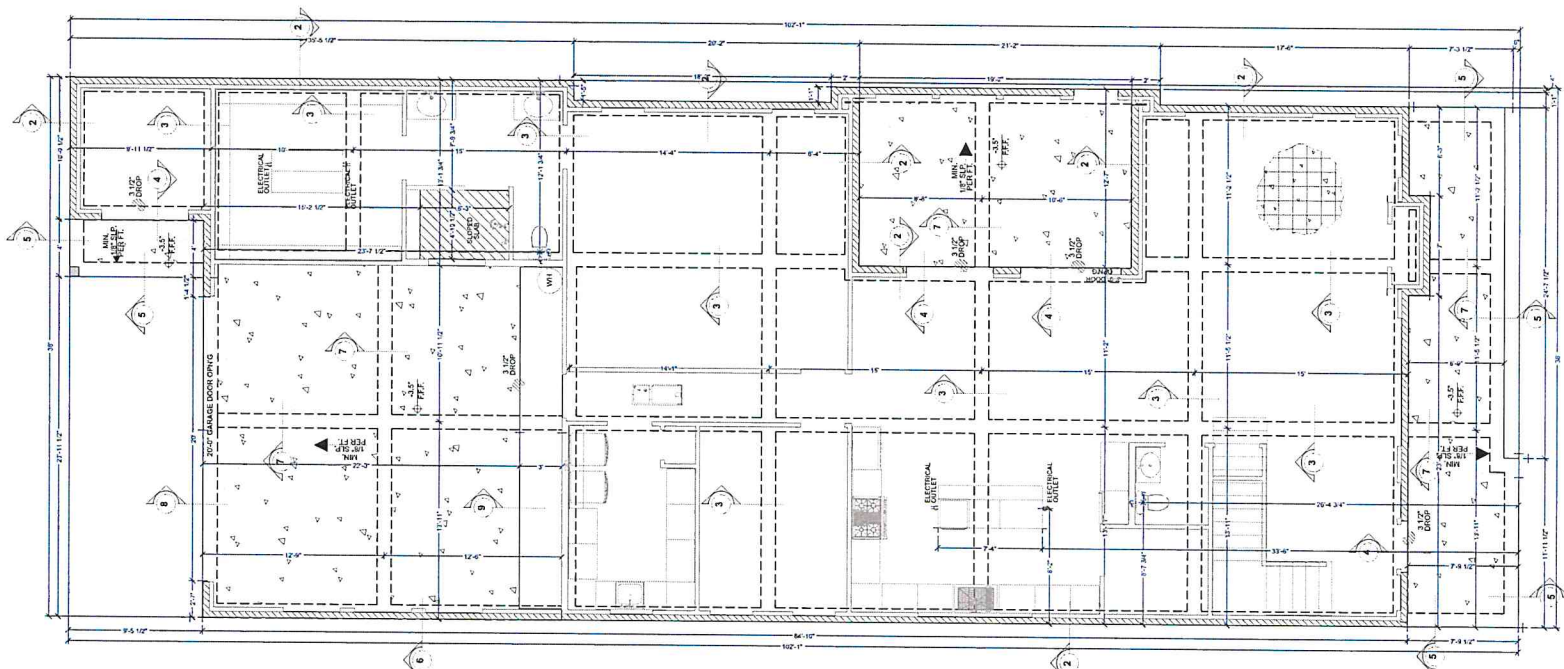
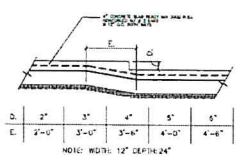
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- 2 EXTERIOR BEAM
SCALE: 1/2"=1'-0"
- 3 INTERIOR BEAM
SCALE: 1/2"=1'-0"
- 4 ELEVATION TRANSITION BEAM
SCALE: 1/2"=1'-0"
- 5 EXT. PORCH & PATIO BEAM
SCALE: 1/2"=1'-0"
- 6 EXT. GARAGE BEAM
SCALE: 1/2"=1'-0"
- 7 INT. SLOPE BEAM
SCALE: 1/2"=1'-0"
- 8 GARAGE DR. OPEN'G BEAM
SCALE: 1/2"=1'-0"



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"

- FOUNDATION NOTES**
1. DIMENSIONS & SPECIFICATION ARE FOR GUIDELINES. ENGINEER DRAWINGS OR SPECIFICATIONS OVERRIDE ALL.
 2. 4" CONCRETE SLAB @ 3,000 PSI W/ #3 RBAR 12" O.C., B.W.
 3. 30" DEEP EXTERIOR & 24" INTERIOR BEAMS.

DATE: 7/11/2024
DRAWN BY: DISTINCTIVE
PLANS/16624

Guerra Residence
Lot 11 Block 12 North McAllen Subd.
602 N. 15th St., McAllen, Tx.

REGISTERED ARCHITECT
BOB LAW LATHAM, P.A.
DALLAS, TEXAS
OFFICE: 214-343-1000

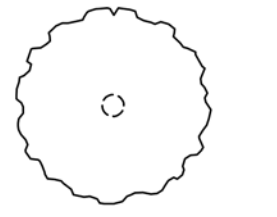
DISTINCTIVE
DRAFTING & DESIGN LLC.

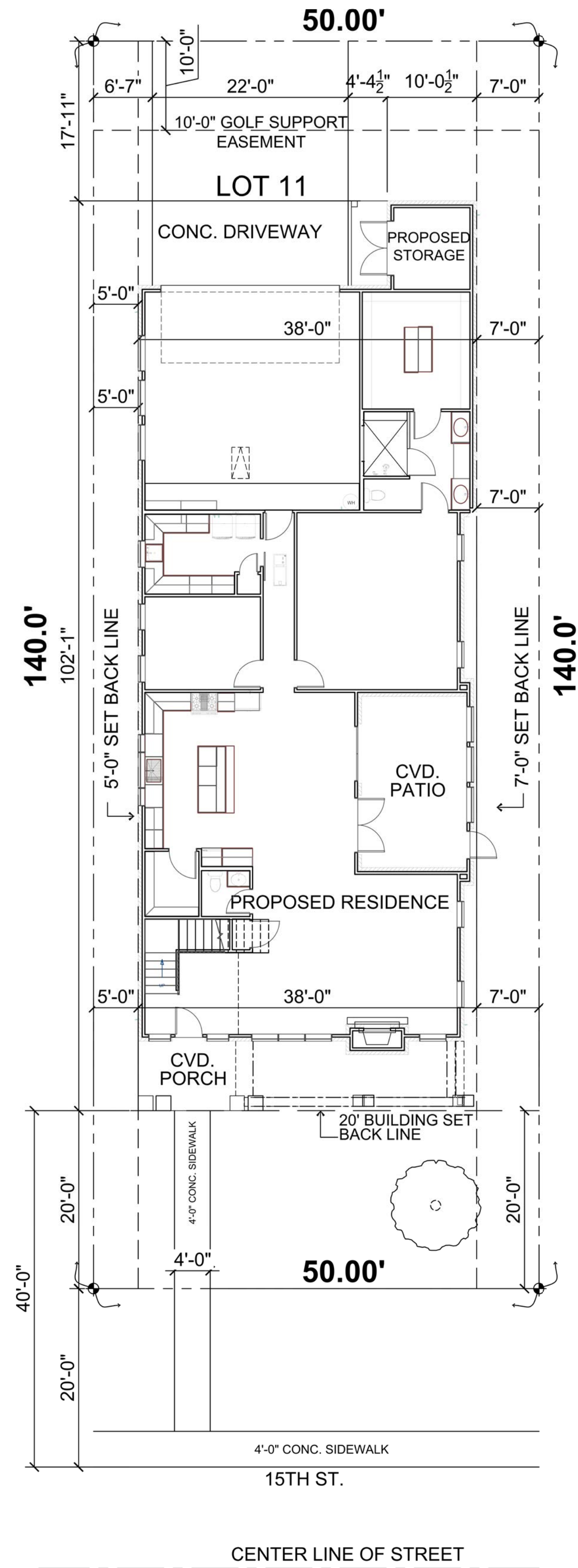
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ARCHITECTS IN BUILDING DESIGN

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LANDSCAPE LEGEND (REQUIRED)	
TREE REQUIRED: 1	
TOTAL SQUARE FEET OF PROPERTY PROPOSED	1,000.0



1. VERIFY JOINT LAYOUT FOR SIDEWALKS WITH CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL SITE WORK; INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION BARACADE/FENCING CONSTRUCTION TRAILER, CLEARING PROCEDURE GRADING AND DRAINAGE, CONFORMANCE TO POLLUTION AND PREVENTION CONTROL, AND TEMPORARY UTILITY FACILITIES, ETC. SHALL BE IN ACCORDANCE WITH THE CITY AS WELL AS SUBDIVISION PROPERTY OWNERS ASSOCIATION GUIDELINES.
3. BUILDER AND OWNER SHALL BE RESPONSIBLE FOR ALL TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING ONLY. OWNER SHALL PROVIDE ALL LANDSCAPING, SOD, AND IRRIGATION SYSTEM.

LEGAL DESCRIPTION

LOT	11
BLOCK	12
SUBDIVISION	NORTH MCALLEN
CITY	MCALLEN, TX
ADDRESS:	602 N 15TH ST.

CONC. DRIVE	(SQ. FT.)
TOTAL CONCRETE	878.0'

NORTH ARROW

1 SITE PLAN
 SCALE: 1"=10'-0"



MIRROR ARE
THEY APPEAR



CITY OF McALLEN
PLANNING DEPARTMENT

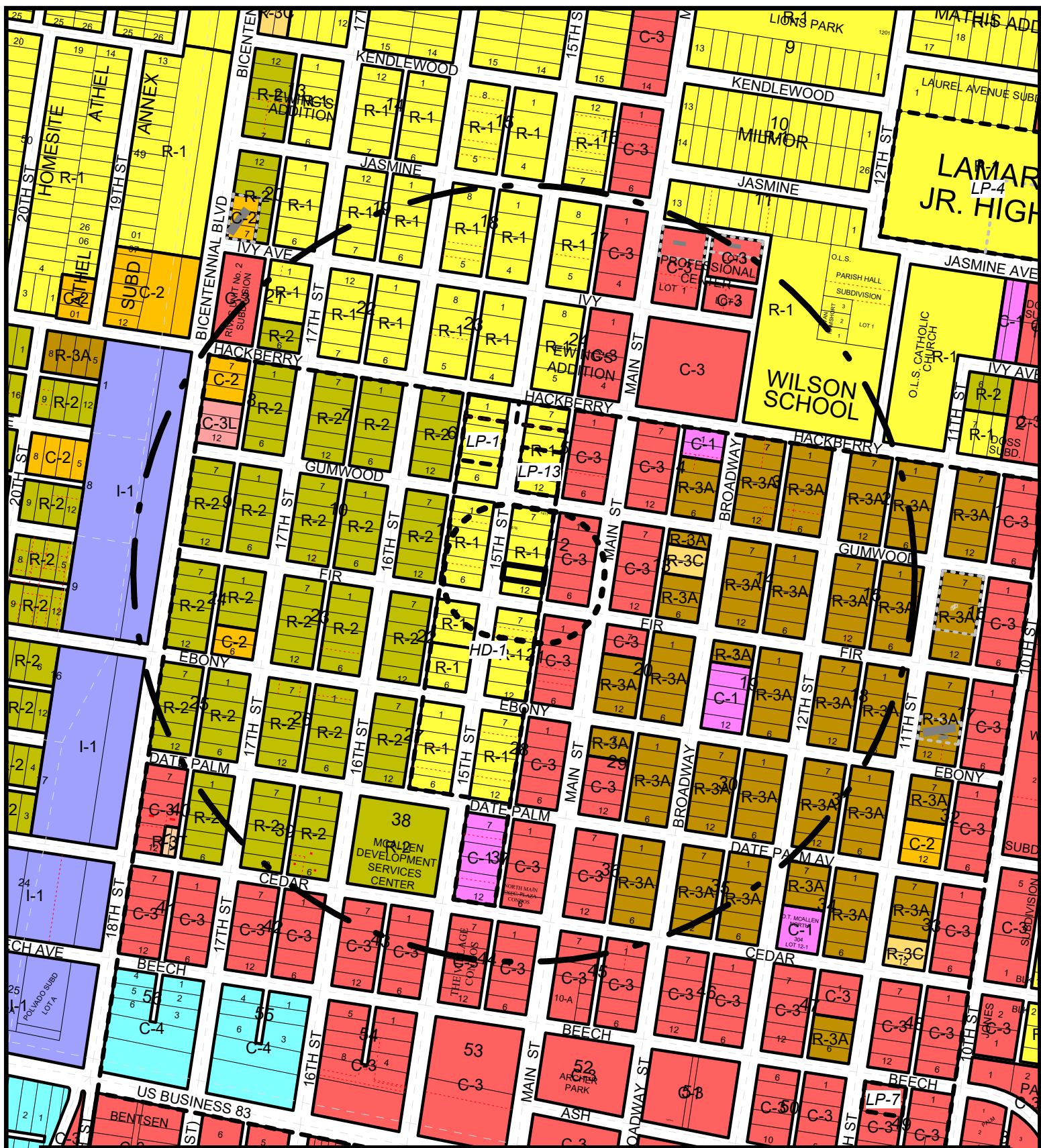
AERIAL MAP
SCALE: N.T.S.

 SUBJECT PROPERTY

 200 FT. NOTIFICATION BOUNDARY



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



CITY OF McALLEN
PLANNING DEPARTMENT

AREA MAP

LEGEND
SCALE: N.T.S.



SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

ZONING LEGEND

A-0 (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3/ECOD (GENERAL BUSINESS/ECOD)	I-1 (LIGHT INDUSTRIAL)	
R-2 (DUPLICATE-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)	

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



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