

AGENDA
PLANNING & ZONING COMMISSION REGULAR MEETING
TUESDAY, FEBRUARY 18, 2025 - 3:30 PM
MCALLEN DEVELOPMENT CENTER, 311 N. 15TH STREET
EXECUTIVE CONFERENCE ROOM #3, McALLEN, TEXAS

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of minutes for the November 19, 2024 meeting.

2) PUBLIC HEARING

a) **CONDITIONAL USE PERMITS:**

1. Request of Vincent Gerard & Associates Inc. (Vertical Bridge) on behalf of Thomas M. Townsend Jr. (QOT Inc.), for a Conditional Use Permit, for life of the use, and adoption of an Ordinance for a personal wireless service facility at a 50 feet x 50 feet lease space (as surveyed) containing 0.057 acres (2,500 square feet) more or less, out of Lot 7, Block 4, Hidalgo Canal Company Subdivision, Hidalgo County, Texas, 6275 South 10th Street. **(CUP2025-0002)**
2. Request of Ruben Martinez on behalf of Luis Muro, for a Conditional Use Permit, for one year, for a Bar at South 28 feet of Lot 6 and all of Lots 7 & 8 & all of Ash Avenue, Lying South of Lot 8, Block 54, North McAllen Subdivision, Hidalgo County, Texas; 110 North 16th Street, Suite B. **(CUP2025-0004)**
3. Request of Habinadi Pacheco on behalf of Norben LLC, for a Conditional Use Permit, for one year, and adoption of an ordinance, for an automotive service and repair (Engine Repair) at Lot 1, Deluxe Auto Subdivision, Hidalgo County, Texas; 2600 South 23rd Road, Suite, J. **(CUP2025-0005)**
4. Request of Victor H. Arteaga, for a Conditional Use Permit, for one year, for a Portable Food Concession Stand, at Lots 25-28 & W14.92' Lot 29, Betty-Rose Subdivision, Hidalgo County, Texas; 600 East Highway 83. **(CUP2025-0001)(TABLED SINCE 2/4/2025)**

b) **REZONING:**

1. Rezone from C-3 (General Business) District to R-2 (Medium Density Residential) District: 3.656 acres, more or less, being all of Lot 2, Nolana Retail Subdivision, Hidalgo County, Texas; 3900 North "K" Center Street. **(REZ2025-0001)**
2. Rezone from R-3C (Multifamily Residential Condominium) District to R-2 (Medium Density Residential) District: 5.565 acres (gross) out of Lot 47, McAllen First Suburban Citrus Groves Subdivision, Hidalgo County, Texas; 4313 Colbath Avenue. **(REZ2025-0002)**

c) SUBDIVISION:

1. Taj Plaza Storage Subdivision, 4108 North 10th Street, 3BU Family Limited Partnership **(SUB2025-0011) (FINAL) M&H**

3) SITE PLAN:

- a) Site plan approval for Lot 4, Rooth Road Center Subdivision, Hidalgo County, Texas; 4012 North 29th Street. **(SPR2025-0005)**
- b) Site plan approval for Lot 5, The District Phase I-A Subdivision, Hidalgo County, Texas; 7701 North 10th Street. **(SPR2024-0048)**

4) CONSENT:

- a) Fenix Estates Subdivision, 1000 East El Rancho Road, Mata G. Construction Inc. **(SUB2023-0109) (FINAL SIX-MONTH EXTENSION) OIM**
- b) AFG Plaza Subdivision, 5520 North McColl Road, Suzie An **(SUB2024-0115) (FINAL) SEA**

5) SUBDIVISIONS:

- a) Villas at Tres Lagos Phase I Subdivision, 5300 Tres Lagos Boulevard, Rhodes Development, Inc. **(SUB2025-0006) (FINAL) M&H**
- b) Villas at Las Palmas Phase I Subdivision (Previously Villas at Tres Lagos B Phase I Subdivision), 15200 North Shary Road, Rhodes Development, Inc. **(SUB2025-0021) (REVISED PRELIMINARY) M&H**
- c) Enclave on Jackson Subdivision, 2613 North Jackson Road, Vista Property Investment, LLC **(SUB2024-0117) (REVISED PRELIMINARY) M&H**
- d) Sprague Waterfalls Apartments Subdivision, 2520 Sprague Road, Arqcarpa & Krystal Luxury Homes, LLC **(SUB2024-0050) (REVISED PRELIMINARY) BIG**
- e) Amistad McAllen Subdivision, 4120 North Taylor Road, Amistad McAllen **(SUB2025-0013) (PRELIMINARY) BIG**
- f) Plaza Muzquiz Subdivision, 2900 Trenton Road, Arqcarpa Design & Construction, LLC **(SUB2025-0014) (PRELIMINARY) BIG**
- g) Premier Estates Subdivision, 4232 South Ware Road, Premier Asset Holdings, LLC **(SUB2025-0012) (PRELIMINARY) SEA**

6) DISCUSSION:

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, November 19, 2024 at 3:30p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek	Chairperson
	Gabriel Kamel	Vice Chairperson
	Jose Saldana	Member
	Marco Suarez	Member
	Emilio Santos Jr	Member
	Jesse Ozuna	Member
	Reza Badiozzamani	Member
Staff Present:	Evaristo Garcia	Assistant City Attorney III
	Michelle Rivera	Assistant City Manager
	Edgar Garcia	Planning Director
	Luis Mora	Deputy Director
	Omar Sotelo	Development Coordinator
	Rodrigo Sanchez	Senior Planner
	Samuel Nunez	Senior Planner
	Kaveh Forghanparast	Planner III
	Eduardo Garza	Planner III
	Julio Constantino	Planner III
	Hilda Tovar	Planner II
	Adriana Solis	Planner II
	Natalie Moreno	Planner II
	Samantha Trevino	Planner I
	Noah Del Bosque	Planner Technician I
	Even Gonzalez	Development Engineer
	Magda Ramirez	Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION- Mr. Marco Suarez

1) MINUTES:

a) Approval of Minutes for September 25, 2024 Meeting

The minutes for the regular meeting held on September 25, 2024 Regular Meeting was approved as submitted by Mr. Marco Suarez. Seconding the motion was Mr. Jose Saldana which carried unanimously with six members present and voting.

** Mr. Emilio Santos Jr. arrived at the meeting at 3:31p.m after minutes were voted on. He began his voting on item 2a1.

2) PUBLIC HEARING:

a) CONDITIONAL USE PERMITS:

- 1) Request of Hayley Sorenson on behalf of Verizon Wireless, for a Conditional Use Permit, for life of the use, and adoption of an Ordinance for a personal wireless service facility at a 40 feet x 40 feet lease space (as surveyed) containing 0.04 acres, more or less, and 30 feet ingress/egress and utility/fiber easement (as surveyed) containing 0.11 acres, more or less, out of the west one-half of Lot 3, Block 17, Steele & Pershing Subdivision, Hidalgo County, Texas, 158 El Rancho Road. **(CUP2024-0041)**

Ms. Samantha Trevino stated that the subject property is located along the south side of El Rancho Road between South 2nd Street and South Burns Drive. The 40 feet x 40 feet square foot lease area is an interior tract that is part of a parcel that has a zoning designation of A-O (agricultural and open space) District. Surrounding zoning are C-3 (general business) District to the south west, A-O District to the north and south, and R-1 (single-family residential) District to the west and east, and R-3A (apartments) District the the West. A personal wireless service facility is allowed in an A-O District with a Conditional Use Permit and in compliance with requirements.

The 40 feet x 40 feet square foot lease area in question is described by metes and bounds, and is located on the northwest portion of the tract that is owned by Hidalgo County Water District # 2.

The applicant is proposing to place a 80 foot monopole located on the center of the lease area. The proposal will need to meet all building permit requirements. Federal Aviation Administration (FAA) approval must be obtained prior to beginning construction. In addition, the request must comply with requirements set forth in Section 138-118(11) of the zoning ordinance as follows:

- a. Maximum height of pole or tower structure of 80 feet within commercial zones or within 200 feet of an existing residential structure;
 - o The applicant is not locating within a commercial zone;
- b. Maximum height of pole or tower structure of 120 feet within industrial zones for measuring distance purposes, the leasehold interest area boundary or compound area boundary, whichever is greater shall be utilized;
 - o The applicant is proposing to construct a 80 foot in height monopole
- c. Only one pole or tower structure-allowed per lot or tract within a commercial or industrial zone;
 - o There is no other pole structure on property;
- d. The applicant shall attempt to locate the proposed facility on an existing structure, or base station, as per subsections k—m of this section. If collocation of the proposed wireless facility is not possible (as per subsections k—m of this section) then the applicant for a personal wireless service facility must submit at least two alternatives designs for antenna and supporting structure, pole or tower design (including the equipment shelter, as per subsection h, below) that is treated with an architectural material (e.g., "stealth" design) so as to conform to the predominant architectural environment in the area of the facility. Such "stealth" personal wireless service facility shall blend into its proposed surroundings such as a tree, flag pole or other feature, to be approved. When a

- tree-type stealth design is used, one live and growing tree of the same variety or species one-half the height of the proposed tower shall be planted at the time of installation;
 - o Collocation for proposal is not possible;
- e. Minimum spacing between poles and tower structures within commercial or industrial zones of 1,000 feet measured in a direct line of another tower;
 - o There are no co-locatable towers within 1,000 feet;
- f. Must comply with applicable setbacks;
- g. A masonry wall shall be required as a buffer if pole or tower structure is located within the front or side yard, or adjacent to a residential use or zone;
- h. The transmission equipment structure installed at the base of the proposed tower shall be not greater than 180 square feet and constructed to conform to the predominant architectural environment;
- i. A landscaped buffer area to soften the visual impact shall commence along the perimeter of the lease area or the property line. At least one row of shrubs shall be installed as well as trees as appropriate shall be included. Materials shall be of a variety which can be expected to grow to form a continuous hedge at least six feet in height within two years of planting;
 - o An 8ft concrete block wall will be built surrounding the lease space;
- j. The pole or tower structure will be constructed or installed with the capabilities of locating thereon additional personal wireless service facilities when tower or pole is greater than 80 feet in height. The applicant agrees to cooperate with other personal wireless service facility providers in collocating additional facilities on permitted support structures;
- k. A permittee shall exercise good faith in collocating with other providers and sharing the permitted structure, provided such shared use does not give rise to a substantial technical level impairment of the ability to provide the permitted use (i.e., a significant interference in broadcast or reception capabilities as opposed to a competitive conflict or financial burden). Such good faith shall include sharing technical information to evaluate the feasibility of co-location. In the event a dispute arises as to whether a permittee has exercised good faith in accommodation other users, the city may require a third party technical study at the expense of either or both the applicant and permittee;
- l. All conditional use applicants shall demonstrate good-faith, reasonable efforts in developing a collocation alternative for their proposed personal wireless service facility site, which efforts shall be documented to the city and shall include, but not be limited to, providing technical details sufficient to determine co-locations efforts. If the applicant asserts that co-location is not possible, the applicant must provide, in addition to the foregoing, an affidavit in a form provided by the city stating that all efforts to collocate the personal wireless facility at an existing facility have been exhausted and that there is no possibility of co-location on the existing towers;
- m. Failure to comply with the collocation requirements of this section may result in the denial of a permit request or revocation of an existing permit;
- n. If any applicant provides false or misleading information on their application, or in the application process to obtain a permit for a personal wireless facility, then their application may be denied or revoked at the expense of the applicant or the permittee;

- o. If property is leased, term of conditional use permit shall be co-terminus with that term of lease of property;
- p. Construction of tower and equipment facilities shall meet applicable building codes and wind loads;
- q. Notwithstanding the above conditions, to the extent an applicant is fully qualified as an eligible facilities request under Section 6409, in the event of a conflict between the above conditions in this subsection and those criteria and conditions in section 138-1.A., above, and the 2014 Infrastructure Order, then section 138-1.A., and the 2014 Infrastructure Order control, subject to the city reservation of rights, as set forth in the preface to section 138-1.A.

Staff has not received any phone calls, emails, or letters in opposition to the request.

Staff recommends approval of the request subject to Section 138-118(11) of the zoning ordinance, compliance with co-location conditions, FAA approval, and building permit requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the conditional use permit subject to Section 138-118(11) of the zoning ordinance, compliance with co-location conditions, FAA approval, and building permit requirements. Mr. Marco Suarez second the motion with seven members present and voting.

- 2) Request of Tanya De la Rosa, for a Conditional Use Permit, for one year, and adoption of an Ordinance for an event center at S 35' of Lot 5 and all of Lot 6 and the N 40' of Lot 7, Block 1, Highland Center Subdivision, Hidalgo County, Texas, 2300 North 10th Street, Suite C (**CUP2024-0125**)

Ms. Samantha Trevino stated that the property is located on the east side of North 10th Street and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south and west, and R-2 (duplex-four plex) District to the east. Surrounding land uses include single family residences, an institutional use day care, an event center, and an empty suite located in the plaza. An event center is permitted in a C-3 District with a Conditional Use Permit and in compliance with requirements.

This is the initial application for a conditional use permit for an event center at this location. The current application for the event center was submitted October 24, 2024 for one year.

The applicant is proposing to operate an event center from an existing 1,344 square foot suite. Currently, there are several multi-tenant commercial buildings to the south of the proposed event center. The building that the event center is proposed at currently has a child daycare, an event center, and a vacant suite. The proposed hours of operation are from 7 a.m. to 2:00 a.m. Monday through Sunday.

The Health and Fire Departments conducted their inspections and have approved for the CUP process to continue. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. There are several apartment complexes to the east of the establishment;
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on North 10th Street, and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The multi-tenant building is a mix of commercial businesses; there are approximately 27 parking spaces on site. The event center requires 13 parking spaces.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

There have been no phone calls, emails, or letters of opposition to the conditional use permit request.

Staff recommends disapproval of the request due to non-compliance with requirement A (distance to a residence or residentially zoned property) and requirement C (parking requirement) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

After a brief discussion regarding parking with the applicant Ms. Tanya De La Rosa (2300 N. 10th St Ste. C). Mr. Marco Suarez moved to disapprove the conditional use permit with favorable recommendation due to non-compliance with requirement A (distance to a residence or residentially zoned property) and requirement C (parking requirement) of Section 138-118(a)(4) of the Zoning Ordinance Mr. Jose Saldana second the motion with seven members present and voting.

- 3) Request of Juan C. Hernandez on behalf of Omar Cavazos, for a Conditional Use Permit, for life of use, and adoption of an ordinance, for an Automotive Service and Repair at the North 50 feet of Lots 13 and 14, Block 36, Hammond Addition Subdivision, Hidalgo County, Texas; 213 South 23rd Street. **(CUP2024-0124)**

Ms. Adriana Solis stated that the property is located along the east side of South 23rd Street, approximately 95.3 feet north of Chicago Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the south and east. The surrounding land uses include car lots, other commercial uses, and single family residences. An automotive service and repair shop is permitted as a primary use within a C-3 District with a Conditional Use Permit and in compliance with all other requirements.

An application for a Conditional Use Permit (CUP) for a mechanic/tire shop for this location was submitted on October 23, 2024. The subject property was initially approved for a CUP (mechanic/tire shop) on October 21, 2020 by the City Commission, however the permit expired in 2021.

The applicant is requesting to continue operating J&E Tires and Services from a 1,584 square foot building with a garage, waiting room, storage rooms, restrooms, and a lounge. However, the applicant is proposing to include car sales as part of the current business. The hours of operation for the business are Monday through Saturday from 8:00 A.M. to 8:00 P.M., except Tuesdays and Saturdays from 8:00 A.M. to 6:00 P.M., and closed on Sundays. Based on the total square footage of the existing building, 12 parking spaces are required; five parking spaces are being provided. The applicant is also proposing to sell three vehicles on site.

The Fire Department has conducted their necessary inspection and approved the CUP process to continue. The mechanic/tire shop must comply with the following special conditions set forth for automotive repair as a primary use in Section 138-281 of the Zoning Ordinance:

- 1) A minimum lot size of 10,000 square feet is required. According to Hidalgo County Appraisal District records, the subject property's total lot size is 4,850 square feet.
- 2) All service, repair, maintenance, painting, and other work shall take place within an enclosed area.
- 3) Outside storage of materials is prohibited.
- 4) The building where the proposed work is to take place shall be at least 100 feet from the nearest residence.
- 5) A 6-foot opaque fence to buffer the proposed use from any residential use or residentially zoned area is required. No opaque fence would be required since the lot's property lines are not immediately adjacent to any residential uses or zones.
- 6) New buildings and all conversions of existing buildings to such uses shall meet current Building Code and Fire Code requirements in terms of separation of high hazard uses from other occupancy use classifications, etc.

If approval is granted, the oil change facility must comply with all other Zoning Ordinances, Building Codes, and Fire Department requirements that will be requested during the building permitting process.

Staff has not received any phone calls, emails, or letters in opposition to this request.

Staff recommends disapproval of the request subject to noncompliance with requirement #1 (minimum lot size), requirement #4 (distance) and parking requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson, Mr. Gabriel Kamel moved to disapprove the conditional use permit with favorable recommendation subject to noncompliance with requirement #1 (minimum lot size), requirement #4 (distance) and parking requirements. Mr. Emilio Santos Jr. second the motion with seven members present and voting.

b) REZONING:

- 1) Rezone from C-3 (General Business) District to R-1 (Single Family Residential) District: 8.332 acres out of Blocks 1, 2, 3, 4 and 5 and out of Streets and Alleys between Blocks, Racquet Club Subdivision, Hidalgo County, Texas; 11201 North 10th Street (Tract 1). **(REZ2024-0052)**

**** The board members decided Item #'s 2b1-2b6 should be discussed together and voted unanimously together.**

Ms. Adriana Solis stated that the subject property is located along the west side of North 10th Street and approximately 630 feet north of Sprague Road. The subject property is 668.96 feet wide and 584.01 feet in depth, for a total 8.332 acres. The property is zoned C-3 (General Business) District.

The applicant is proposing to rezone the property to R-1 (Single Family Residential) District in order to develop a tract of land for a single family subdivision proposed as Villages at Park West Subdivision. A feasibility plan has not been submitted.

The adjacent zoning is R-3T (Multifamily Residential Townhouses) District to the south, C-3 District to the east, and R-2 (Duplex Fourplex Residential) District to the west and north.

The subject property currently has commercial structures, which will be demolish as part of the proposed development. Surrounding land uses include single family residences, vacant land, Ramos BBQ and Catering, and commercial businesses.

The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

The development trend for this area along North 10th Street is general business. The development trend along Sprague Road is a mix of agricultural and residential (single and multifamily residential).

The subject property was annexed on October 1, 1981 and initially zoned A-O (Agricultural and Open Space) District. The property was rezoned from A-O District to C-3 District in 2015. An application requesting to rezone the property from C-3 District to R-1 District was submitted on October 14, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision

McAllen Future Land Use Plan. However, it is compatible with the current zoning and development trend along Bicentennial Boulevard and Sprague Road.

The subdivision process will be required prior to building permit issuance to include parking, landscaping, and buffer/masonry screen requirements, as applicable.

Staff has not received any calls, emails, or letters in opposition to the zoning request.

Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District as the zoning request is compatible with the current development trend along Bicentennial Boulevard and Sprague Road.

- 2) Rezone from R-3T (Multifamily Residential Townhouses) District to R-1 (Single Family Residential) District: 8.728 acres out of Lot 13, Section 227, Texas-Mexican Railway Company's Survey Subdivision, Hidalgo County, Texas; 11201 North 10th Street (Tract 2). (REZ2024-0053)**

The subject property is located along the west side of North 10th Street and adjacent to Sprague Road. The subject property is 668.96 feet wide and 651.02 feet in depth, for a total 8.728 acres. The property is zoned R-3T (Multifamily Residential Townhomes) District.

The applicant is proposing to rezone the property to R-1 (Single Family Residential) District in order to develop a tract of land for a single family subdivision proposed as Villages at Park West Subdivision. A feasibility plan has not been submitted.

The adjacent zoning is R-3T District to the west, C-3 (General Business) District to the north and east, and A-O (Agricultural and Open Space) District to the south.

The subject property is currently vacant. Surrounding land uses include single family residences, vacant land, Ramos BBQ and Catering, and commercial businesses.

The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential development of any kind are considered inappropriate for this area.

The development trend for this area along North 10th Street is general business. The development trend along Sprague Road and Bicentennial Boulevard is a mix of agricultural and residential (single and multifamily residential).

The subject property was annexed on October 1, 1981 and initially zoned A-O District. The subject property was rezoned from A-O District to R-3T District in 2015. An application requesting to rezone the property from R-3T District to R-1 District was submitted on October 14, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the current zoning and development trends along Bicentennial Boulevard and Sprague Road.

The subdivision process will be required prior to building permit issuance to include parking, landscaping, and buffer/masonry screen requirements, as applicable.

Staff has not received any calls, emails, or letters in opposition to the zoning request.

Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District as the zoning request is compatible with the current development trend along Bicentennial Boulevard and Sprague Road.

- 3) Rezone from R-3T (Residential Townhomes) District to C-3 (General Business) District: 0.314 acres of one acre out of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 11201 North 10th Street (Tract 3). **(REZ2024-0055)**

The subject property is located along the north side of Sprague Road, in between North 10th Street and North Bicentennial Boulevard. The property is zoned R-3T (Residential Townhomes) District.

The applicant is requesting to rezone the property to C-3 (General Business) District for a commercial development. The property is currently vacant and a feasibility plan has not been submitted yet.

The adjacent properties are zoned C-3 (general business) District to the east and north, R-3T (townhouse residential) District to the west, and A-O (agricultural and open space) District to the south across Sprague Road.

The property is currently vacant. Surrounding uses include single family and multifamily residences, commercial uses, and vacant land.

The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

The development trend on the east side of the property along North 10th Street is general business. On the west side along Bicentennial Boulevard, the development trend is mostly multifamily residential, single family residential and light industrial.

During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District.

A rezoning application was submitted on October 11th, 2024.

The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. Commercial development mixed with residential are compatible with existing uses and development trends.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

Staff recommends approval of the rezoning request to C-3 (general business) District.

- 4) Rezone from C-3 (General Business) District to R-3A (Multifamily Residential Apartments) District: 5.123 acres, out of Blocks 3, 4 and 5 and out of streets and alleys between blocks, Racquet Club Subdivision, Hidalgo County, Texas; 1400 Sprague Road (Tract 1). **(REZ2024-0054)**

The subject property is located in between North 10th Street and North Bicentennial Boulevard, 660 feet north of Sprague Road. The property is zoned C-3 (General Business) District.

The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District for a multifamily residential development. The property is currently vacant and a feasibility plan has not been submitted yet.

The adjacent properties are zoned R-2 (duplex-fourplex residential) District to the north and west, R-3T (townhouse residential) District to the south, and C-3 (general business) District to the east.

The property is currently vacant. Surrounding uses include single family and multifamily residences, light industrial uses, and vacant land.

The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

The development trend of this area of North Bicentennial Boulevard is a mix of commercial, industrial, and residential uses.

During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District. The property was rezoned to C-3 District in 2015.

A rezoning application was submitted on October 11th, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the surrounding zoning districts and development trend along Bicentennial Boulevard.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily residential apartments) District. Since it aligns with the existing uses and development trend for this area.

- 5) Rezone from R-2 (Duplex-Fourplex Residential) District to R-3A (Multifamily Residential Apartments) District: 9.687 acres, out of Blocks 6, 7 and 8 and out of streets and alleys between blocks, Racquet Club Subdivision, Hidalgo County, Texas; 1400 Sprague Road (Tract 2). **(REZ2024-0056)**

The subject property is located on the east side of North Bicentennial Boulevard, 660 feet north from Sprague Road. The property is zoned R-2 (duplex-fourplex residential) District.

The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District for a multifamily residential development. The property is currently vacant and a feasibility plan has not been submitted yet.

The adjacent properties are zoned R-2 (duplex-fourplex residential) District to the north, I-1 (light industrial) District to the west across Bicentennial Boulevard, R-3T (multifamily residential townhouse) District to the south, and C-3 (general business) District to the east.

The property is currently vacant. Surrounding uses include single family and multifamily residences, light industrial uses, and vacant land.

The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

The development trend of this area of North Bicentennial Boulevard is a mix of commercial, industrial, and residential uses.

During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District.

A rezoning application was submitted on October 11th, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the surrounding zoning districts and development trend along Bicentennial Boulevard.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily residential apartments) District. Since it aligns with the existing uses and development trend for this area.

- 6) Rezone from R-3T (Multifamily Residential Townhouse) District to R-3A (Multifamily Residential Apartments) District: 13.556 acres out of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 1400 Sprague Road (Tract 3). **(REZ2024-0057)**

The property is located on the northeast corner of Bicentennial Boulevard and Sprague Road.

The applicant is proposing to rezone the property to an R-3A (multifamily residential apartments) District for a multifamily residential development. A feasibility plan has not been submitted, however a survey of the portion tract has been provided.

The adjacent properties are currently zoned C-3 (General Business) District and R-2 (Duplex-Fouplex) District to the north, which are currently being requested to be rezoned to R-1 (Single Family Residential) District and R-3A (Apartments) District. There is also R-3T (Multifamily Residential Townhouse) District to the east, which is currently being requested to be rezoned to R-1 District and C-3 District. R-3A, A-O (Agriculture and Open Space), and R-1 District to the south, and I-1 (Light industrial) District to the west.

The property is currently vacant. Surrounding land uses include agricultural, single family homes, City of McAllen's water plant, and general business.

The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

The development trend along Sprague Road and Bicentennial Boulevard include apartments, agricultural use, residential uses, and commercial uses.

The subject property was annexed on October 1, 1981 and initially zoned A-O District. The subject property was rezoned from A-O District to R-3T District in 2015. An application requesting to rezone the property from R-3T District to R-1 District was submitted on October 14, 2024.

The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses and the development trend for the area.

A subdivision and site plan review will be required prior to building permit issuance for any future developments for this property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (apartments) District since it aligns with the existing uses and development trend for this area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning requests. There was none.

After a short discussion regarding zoning of the overall view of property, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request for item #'s 2b1 – 2b6. Chairperson Mr. Michael Fallek requested to come back to the item once other items were presented and more clarification was presented.

Returning to the public hearing, Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed zoning requests for items 2b1 -2b6. There were none.

Being no further discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request for item #'s 2b1 – 2b6. Mr. Marco Suarez second the motion with seven members present and voting.

- 7) Rezone from R-3A (Multifamily Residential Apartments) District to R-1 (Single Family Residential) District: 19.587 acres tract being the west one half of Lot 12, Section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2701 West State Highway 107. **(REZ2024-0058)**

Ms. Natalie Moreno stated that the property is located along the south side of State Highway 107, approximately 160 feet east of North Rooth Road (North 29th Street).

The applicant is proposing to rezone the subject property to R-1 (Single Family Residential) District for a single-family residential development.

The property is zoned R-3A (Multifamily Residential Apartments) District. The adjacent zoning is a C-3 District and R-1 District to the east and west, and R-3A District to the south.

The property is currently vacant, however a single-family residence was recently demolished. Surrounding land uses include agricultural uses, single-family residences, and vacant land.

The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

The development trend along State Highway 107 include commercial uses with multifamily residential uses.

June 15, 2023, we received two rezoning request for the subject property. The north 3.830-acre tract was rezoned from C-3 (General Business) District to R-3A District and was approved by the Planning and Zoning Commission Board. The south 15.757-acre tract was rezoned from R-1 (Single Family Residential) District to R-3A District which was also approved by the Planning and Zoning Commission Board.

The application for this request was submitted on October 18, 2024.

The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses to the east and west side of the subject property.

A recorded subdivision plat is required prior to any building permit issuance.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District since it aligns with the existing uses for this area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

After some discussion regarding the current zoning and the conformity of the Envision McAllen Land use, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request. Mr. Marco Suarez second the motion which was approved with seven members present and voting.

c) ORDINANCE:

Consideration of an ordinance designating existing fireworks stands as non-conforming uses and permitting ongoing operations unless and until development occurs within the designated proximity.

Mr. Edgar Garcia spoke regarding the proposed ordinance to have development either 300ft or 150ft in proximity. Mr. Garcia stated staff recommends 150ft distance from development.

After a lengthy discussion, Mr. Reza Badiozzamani motioned to approve proposed ordinance. No other member voted for or against the motion. Vote died. After more discussion and clarification, Vice Chairperson motioned to second the vote. Mr. Marco Suarez voted nay and Mr. Fallek voted nay. Vote again, dies. To be taken to city commission for vote.

3) SITE PLAN

- a) Site Plan approval for LOT 2A, WAL-MART Subdivision NO. 2, Hidalgo County, Texas; 1300 East Jackson Avenue. (SPR2024-0045)**

Ms. Adriana Martinez stated that the subject property is located along the south side of East Jackson Avenue. The subject property is zoned C-3 (General Business) District. Adjacent properties are zoned C-3 District all around. Surrounding land uses include a Walmart, a Whataburger, Lacks Furniture Store, and other commercial uses.

The applicant is proposing to construct a 5,385 square foot building to operate as a car wash.

Access to the site is from an existing curb cut on East Jackson Avenue shared by lots 2A and 2B, as well as an existing access easement on the east. No alley exists or is proposed.

Based on 5,385 square feet that will be used for the proposed car wash, four parking spaces are required for the site. Four parking spaces are proposed. Moreover, one of the proposed regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

3,997 square feet of green area is required for the new development and 6,352 square feet is proposed. The tree requirement is as follows: 14 two-and-a half-inch-caliper trees, 7 four-inch caliper trees, 4 six-inch caliper trees, or 4 palm trees. A minimum 10 foot wide landscaped strip is required inside the front

property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

There is a 50-foot front yard setback and 10 foot utility easement along East Jackson Avenue, the rear yard setback and side yard setbacks as per Zoning Ordinance or greater for approved site plan or easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot-wide minimum sidewalk is required along East Jackson Avenue.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, Subdivision and Zoning Ordinances.

Being no discussion, Chairperson Mr. Gabriel Kamel moved to approve the site plan request. Mr. Emilio Santos Jr. second the motion which was approved with seven members present and voting.

4) SUBDIVISIONS:

- a) The Family Church at Tres Lagos Subdivision, 14500 North Shary Road, The Family Church of McAllen (SUB2024-0123) (FINAL) M&H**

Mr. Julio Constantino stated that the property located on N. Shary Road: 120 ft. R.O.W. existing Paving: min. 65 ft. Curb & gutter: Both Sides. Please provide R.O.W. documents for staff review prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Tres Lagos Blvd.: 100 ft. ROW existing Paving: min. 65 ft. Curb & gutter: both sides. Please provide R.O.W. documents for staff review prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Front: Tres Lagos Blvd.: Proposing 50 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Corner: N. Shary Road: Proposing 60 ft. or greater for easements. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Shary Road and Tres Lagos Blvd. Revisions Needed: Proposing: "A 4 foot minimum wide sidewalk is required on Tres Lagos Boulevard and N. Shary Road. As per sidewalk plan filed with the City by Registered engineer designing the unit of development." Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Common Areas must be maintained by the lot owners and not

the City of McAllen, as may be applicable and/or per agreement. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Zoning Ordinance: Section 138-356. Existing: C-4 Proposed: Institutional Use. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. TG Approved, No TIA required. Traffic Impact Analysis (TIA) required prior to final plat. TG approved, no TIA required. Need to provide copies of documents for the abandoned R.O.W. easement that goes from North-South located on the plat for staff review prior to final/recording. Need to provide plat note regarding the Min. 24 ft. wide private service drive easements as required by Traffic department prior to recording. Update location map with updated parcel maps. Conditional Use Permit (CUP2024-0050) was approved by the Planning & Zoning Commission on 10/22/24 and was approved by the City Commission on 11/11/24. *Disclaimer: The surveyors seal has a misspelling, it currently read seal as "Registered". The Subdivision was approved in preliminary form at the P&Z meeting of May 7, 2024, subject to conditions noted, drainage & utilities approvals. Must comply with City's Access Management Policy and access spacing as specified by the Traffic Department. Additional notes as needed prior to recording regarding maintenance responsibilities of any common areas. Must comply with Fire, Public Works and other departments as may be applicable at time of Conditional Use Permit review, including site plan requirements related to the C.U.P.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Marco Suarez moved to approve in final form, subject to the conditions noted. Mr. Jose Saldana seconded the motion, which was approved with seven members present and voting.

b) Vargas Patrimony Subdivision, 307 South 29th Street, Miguel A. Vargas and Johana E. Vargas (SUB2022-0142) (REVISED PRELIMINARY) MAS

Mr. Julio Constantino stated that the property located on S. 29th Street: Dedication as needed for 50 ft. from centerline for 100 ft. total R.O.W. Paving: 65 ft. Curb & gutter: both sides. Revisions needed: Need to provide documents of all R.O.W./U.E. presented on the plat along S. 29th Street, for staff review prior to final. Need to clarify with staff on the shown 29.99 ft. Existing R.O.W. & U.E. on the plat. Subdivision Ordinance: Section 134-105 & COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. R.O.W.: 20 ft. Paving: 16 ft. Revisions needed: As per document shown on the east side of plat, there is a 20 ft. utility easement to the City of McAllen; adjacent subdivision to the north provided for a 20 ft. alley dedication. Alley R.O.W. dedication requirement is under review and will be established prior to final. Alley/service drive easement required for commercial properties. Variance application submitted on October 25, 2024 (VAR2024-0046) to be presented at the Planning & Zoning commission meeting of November 13, 2024. Consideration of the variance request is to not require the 20 ft. alley R.O.W. dedication nor to escrow for alley improvements. Subdivision Ordinance: Section 134-106. Front: 40 ft. or greater for easements or inline with existing structures, whichever is greater. Zoning Ordinance: Section 134-106 (d)(a)(1). Zoning Ordinance: Section 138-356. Proposing: Rear: 10 ft. or greater for easements. Revisions needed: 12.5ft. Utility Easement presented on plat, please clarify proposed setback prior to final. Setback will be established once alley requirements is finalized prior to final. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements, whichever is greater. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Revisions Needed: Plat note needs to state as what is mentioned above. Proposing: "18 ft. except where greater setback applies" Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on South 29th Street. 5 ft. wide sidewalk might be required by the Engineering Department prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required 6 ft. opaque

buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy and Variance Request to Access Management approval letter. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions needed: Missing plat note as shown above. Need to clarify plat note #7 prior to final, wording proposed by plat note applies to private subdivisions. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Revisions needed: Please clarify plat note #7 prior to final. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-2 Proposed: R-2 Revisions needed: Provide number of dwelling units to determine if in compliance with zoning requirement. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Provide number of dwelling units to determine if in compliance with zoning requirement. Zoning Ordinance: Article V. Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of dwelling units prior to final. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Please provide number of dwelling units prior to final. Pending review by the City Manager's Office. As per Traffic Department, Trip Generation for a 8 unit multifamily apartments is waived. As per Traffic Department, no Traffic Impact Analysis (TIA) is required. Missing the P.O.B. to be shown on the Plat. Revise Plat note #7, subdivision is proposed to be public. Add a 2nd signature line for the 2nd owner of the property being Johana Elizabeth Vargas. Needs to provide Owner's signature information on the plat (i.e. address). Would need to provide an additional notary signature for the additional signature. Provide copies of R.O.W. / U.E. documents for staff review prior to final. Verify acreage of the properties, as the application mentions 0.495 acres while the application mentions both a 0.23 & 0.24 acre properties. Missing the Legend Table. M+B provided does not match the plat bearings shown. Need to clarify dotted lines along the North and South boundary lines of each lot, and provide width and use. Need to provide number of dwelling units to determine if in compliance with Zoning Ordinance. At the Planning and Zoning Commission meeting of March 19, 2024, the board approved the subdivision for a preliminary 6-month extension, subject to the conditions noted, drainage, and utility approvals. The Subdivision and variance is scheduled to be heard the Planning & Zoning Commission meeting of November 19, 2024 in revised preliminary form, subject to the conditions noted, drainage & utility approvals. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form and recommends disapproval of the variance request to not provide for the 20 ft. Alley R.O.W dedication and to not escrow for alley improvements for the subdivision.

Mr. Marco Suarez questioned Project Developer Mr. Miguel Vargas on the development with the variances that staff are recommending disapproval.

Mr. Marco Suarez stepped out of the meeting. He did not vote on this item.

After a lengthy discussion, Mr. Jesse Ozuna moved to approve in revised preliminary form and recommends disapproval of the variance request to not provide for the 20 ft. Alley R.O.W dedication and to not escrow for alley improvements for the subdivision until a later time for legal to create a license agreement to. Mr. Jose Saldana second the motion, which was approved with six members present and voting.

- c) Vacate a Portion of Racquet Club and Replat to Villages at Park West Subdivision, 1400 Sprague Road, Domain Development, Corp. **(SUB2024-0075) (REVISED PRELIMINARY) M&H (TABLED ON 11/05/2024)**

Chairperson Mr. Michael Fallek requested to remove the item from table. Vice Chairperson Mr. Gabriel Kamel motioned to remove from table. Mr. Jose Saldana second the motion with six members present and voting.

Mr. Julio Constantino stated that the property located on North Bicentennial Boulevard: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: 65 ft. - 105 ft. Curb & gutter: both sides. Provide a copy of R.O.W. documents shown on the plat for staff review as applicable, prior to final. Clarify the dashed lines shown on the North and South sections of N. Bicentennial Blvd. Clarify Document labeled as "Deed Without Warranty." The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal to dedicate 15 ft. of additional R.O.W. for 70 ft. from centerline for 140 ft. total R.O.W. instead of the required 20 ft. of R.O.W. dedication for 75 ft. from centerline for 150 ft. of R.O.W. Variance to be presented at the P&Z meeting of November 5, 2024. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Sprague Road: Dedication as required for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: both sides. Provide a copy of R.O.W. documents shown on the plat for staff review as applicable, prior to final. Clarify southwest corner of subdivision as it appears that a portion of Sprague won't be dedicated. Label the distance from centerline to the dedicated R.O.W. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Interior Streets: Dedication as required for 60 ft. total R.O.W. Paving: 40 ft. Curb & gutter: both sides. Street names to be finalized, prior to final. Additional ROW may be required at the gate area. Provide gate details for staff review. The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for 50 ft. of R.O.W. with 40 ft. of paving with a 10 ft. utility and sidewalk easement on both sides of streets, instead of the required 60 ft. of R.O.W. with 40 ft. of paving for multi-family properties. Variance to be presented at the P&Z meeting of November 5, 2024. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for the maximum allowable 1,200 ft. block length, of which the subdivision block length is currently 1,317 ft. Variance to be presented at the P&Z meeting of November 5, 2024. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial/multi-family properties Subdivision layout is proposing a 24 ft. alley for interior lots only. The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for a 24ft private alley for internal blocks ONLY. Variance to be presented at the P&Z meeting of November 5, 2024. Subdivision Ordinance: Section 134-106. Front: 20 ft. or greater for easements or approved site plan. Once zoning is finalized, final setbacks will be established but not less than ordinance requirements. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements or approved site plan. Once

zoning is finalized, final setbacks will be established but not less than ordinance requirements. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements or approved site plan. Once zoning is finalized, final setbacks will be established but not less than ordinance requirements. Revisions Needed Proposing: "5 ft. or greater for easements or approved site plan." Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North Bicentennial Boulevard, Sprague Road, and on both sides of all interior streets. Subdivision Ordinance: Section 134-1201. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Bicentennial Boulevard and Sprague Road. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North Bicentennial Boulevard and Sprague Road. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Submit a site plan or clarify to determine requirement, prior to final. Zoning Ordinance: Section 138-210. Common/Detention Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revise plat note #14 as shown above, prior to final. If Lot 91 is a common lot, please label it according (e.g. Common Lot A), add as a plat note to clarify it. Lot 91/Common Area "A" needs to front onto the interior streets. 25 ft. of frontage is allowed for detention lots. The initial plat submitted had frontage onto the interior street. No Curb Cuts are allowed onto Bicentennial. Please clearly label detention areas and label them accordingly. A lot may only have one letter / number. Revise the lot name prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revise Plat note # 15 with the Full Subdivision Plat Name. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Revise Plat note # 15 with the Full Subdivision Plat Name. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Lot 91/Common Area "A" needs to front onto the interior streets. 25 ft. of frontage is allowed for detention lots. The initial plat submitted had frontage onto the interior street. No Curb Cuts are allowed onto Bicentennial. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Please verify lot widths for lots: 14,15,24 and 38 so that they meet minimum 50 ft. width requirement. Verify all lots meet minimum 50 ft. frontage requirements, update curve table accordingly. Zoning Ordinance: Section 138-356. Existing: R-2, R-3T, C-3 Proposed: R-3A. Applications for zoning change received, to be presented at the P&Z meeting of 11/19/24. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Applications for zoning change received, to be presented at the P&Z meeting of 11/19/24. Zoning Ordinance: Article V. As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800)

based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19. As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800) based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19. As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800) based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. TG approved, TIA Level 1 triggered. Please contact traffic department to resolve pending items prior to final. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonments must be done by separate document, not by plat, must be finalized prior to recording. Location will require a secondary access that must meet Fire Department requirements. Clarify if 15.3 ft. Waterline Easement is still currently existing as it isn't shown on the plat. Submit a master plan for overall development to determine compliance with subdivision requirements, streets, etc and any additional requirements that may be needed. Subdivision name will need to be changed/finalized, prior to final. Vacating portion must be redone as it includes a portion that is outside of the original subdivision boundary. Application would need to be corrected to reflect the finalized name of the subdivision. - Verify the Lot Area tables match the acreage shown for the lots on this plat. Lot 91 needs to be clarified of its status as either common lot A or lot 91. Lot 91/Common Area "A" must front and have areas for maintenance onto their interior streets. Access cannot be by curb cut on Bicentennial. Minimum 25 ft frontage allowed for detention lots. Initial plat submitted had lot 91 fronting an interior street. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form, subject to the conditions noted, drainage, and utility approval, and board's decision on the variances.

Being no discussion, Mr. Reza Badiozzamani moved to approve in revised preliminary form, subject to the conditions noted, drainage, and utility approval, and board's decision on the variances. Mr. Jesse Ozuna seconded the motion, which was approved with six members present and voting.

**** Chairperson Mr. Michael Fallek requested to open the public hearing again and discuss item #'s 2b1-2b6.**

After voting on 2b1 -2b6, public hearings were closed again and board continued to item 4d.

**d) Enclave on Jackson Subdivision, 2613 North Jackson Road, Vista Property Investment, LLC
(SUB2024-0117) (PRELIMINARY) M&H**

Mr. Kaveh Forghanparast stated that the property located on N. Jackson Road: Dedication needed for 75 ft. from centerline for 150 ft. total ROW Paving: By State Curb & gutter: by State Revisions needed: Label Centerline and show and label existing ROW on both sides with document number on the plat and provide a copy for staff review prior to final. Show and label ROW from centerline including the dedication, and total ROW including the dedication, complying with ROW dedication requirement as shown above prior to final. Clarify 10 ft. S.W.S.C. shown on the ROW dedicated by this plat. Clarify the reference to "See note #5" and add the document number on the plat. ROW dedication may not overlap an existing easement to another entity. Clarify/revise prior to final. Ensure that ROW complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. N/S quarter mile collector (on the west side): Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Show ROW dedication for a N/S quarter mile collector. The ROW dedication may not overlap any other entities easements, including Irrigation Easement. Name of the street will be finalized prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Interior Street: Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Label the ROW dedicated by this plat prior to final to verify compliance. If there is any range of ROW, show ROW at multiple points. Show ROW at the Cul-de-Sac. Minimum 116 ft. diameter is required to comply with 96 ft. minimum paving for Fire Department and 10 ft. additional ROW around the curb. Show the street on the east side of N. Jackson Road and the distance between the centerline of the proposed interior street and the existing street on the east side. As per Sec. 134-105, Street jogs with centerline offsets of less than 125 feet shall be avoided. Name of the street will be finalized prior to final. As per the submitted application, the subdivision will be private but not gated. Add "(Private Street)" label under the name of the interior street when finalized. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 900 ft. Block Length for R-3T & R-3C Zone Districts. Revise the layout to comply with the maximum block length requirement. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Revise the layout to comply with the maximum Cul-de-Sac length. Show ROW at the Cul-de-Sac. Minimum 116 ft. diameter is required to comply with 96 ft. minimum paving for Fire Department and 10 ft. additional ROW around the curb. If a variance to the maximum Cul-de-Sac length is requested and approved, it will be subject to 40 ft. paving. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. As per Public Works Department curbside collection was approved by Public Works Director subject to conditions. Contact Public Works Department to finalize the requirements. Alley/service drive easement required for commercial and multifamily properties. Subdivision Ordinance: Section 134-106. Front: 10 ft. or greater for easements. Clarify or revise the setback note as shown above prior to final. Proposing: 20 ft. or greater for easement or approved site plan. Except 10 ft. front setback for unenclosed carports only for Lots 1-15 and Lots 44-62. Submit rezoning request and finalize it to finalize the setback note prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the zoning ordinance or greater for easements. Clarify or revise the setback note as shown above prior to final. Proposing: In accordance with the zoning ordinance or greater for easements or approved site plan. Submit rezoning request and finalize it to finalize the setback note prior to final. Zoning Ordinance: Section 138-356. Sides: In accordance with the zoning ordinance or greater for easements or approved site plan. Clarify/revise the setback note as shown above prior to final. Proposing: 5 ft. or greater for easements or approved site plan. Submit rezoning request and finalize it to finalize the

setback note prior to final. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Clarify or revise the setback note as shown above prior to final. Proposing: 10 ft. or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Submit rezoning request and finalize it to finalize the setback note prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. ft. wide minimum sidewalk required on N. Jackson Road and 4 ft. wide minimum sidewalk required on both sides of all interior streets and N/S quarter mile collector as applicable. Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses AND along N. Jackson Road and the quarter mile collector as applicable. Finalize the ROW dedication to finalize the plat note wording prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Jackson Road and the quarter mile collector as applicable. Clary the proposed note. Finalize the ROW dedication to finalize the plat note prior to final. Proposing: No curb cut, access, or lot frontage permitted along N. Jackson Road, E. Jonquil Avenue, and N. "K Center Street. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance for five or more attached dwelling units. Section 138-210 requires that any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. A site plan is recommended to be submitted prior to final to verify compliance with city codes including parking, landscaping, etc. Common Areas, any private streets/drives, etc. must be maintained by the lot owners/HOA and not the City of McAllen. Based on the submitted application, the subdivision is private but not gated. Clarify/remove any reference regarding gate areas from plat note #11 prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Submit a copy of the draft HOA document prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. The proposed lots do not meet the minimum Lot width and size requirement for the current zone (A-O and C-3). Submit and finalize the zoning and provide the irregular lots square footages to determine compliance prior to final. Zoning Ordinance: Section 138-356. Existing: A-O & C-3 Proposed: R-3T. The rezoning must be finalized prior to final. Zoning Ordinance: Article V Required. Rezoning Needed Before Final Approval. Submit rezoning and finalize prior to final. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted

to the Planning Director and reviewed by the City Manager prior to final. Pending review by the City Manager's Office. If park fee in lieu of park land dedication is proposed, it must be reviewed by the City Manager's Office. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. A secondary access is required by Fire Department and Subdivision ordinance for private subdivisions. Revise the layout to comply with the requirement prior to final. Revie the label of the common lots from "Outparcel A" and "Outparcel B" to "Common Lot A" and "Common Lot B" prior to final. No utility easements have been dedicated by this plat. Clarify if no easement is needed prior to final. A portion of the subdivision on the west of Lots 39 & 40 is not clear if it is a separate lot. Revise the plat to clarify prior to final. Add the document number for HCID #2 easements shown on the plat and clarify why it has been cross hatched prior to final. The HCID #2 easement references "See Note 6,9, & 10." Clarify/revise prior to final. Any abandonment must be done by a separate process, not by plat. Clarify 10 ft. S.W.S.C. shown on the ROW dedicated by this plat. Clarify the reference to "See note #5" and add the document number on the plat. ROW dedication may not overlap an existing easement to another entity. Clarify/revise prior to final. Legal Description of all adjacent lots on all sides, including the east side of N. Jackson Road is needed prior to final. There are some double lines on the plat with no label, e.g. on the east and west side of the property. Clarify/revise prior to final. Clarify/remove/revise notes #14 and #15 prior to final must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Marco Suarez moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Jesse Ozuna second the motion, which was approved with seven members present and voting.

e) The Woodlands at Bentsen Subdivision, 2900 South Bentsen Road, Jesus Solis-Gomez (SUB2024-0118) (PRELIMINARY) M&H

Mr. Kaveh Forghanparast stated that the property located on S. Bentsen Road: ROW dedication as needed for 30 ft. from centerline for total 60 ft. ROW on the South side of Neuhaus Drive and 40 ft. from centerline for total 80 ft. ROW on the north side of Neuhaus Drive Paving: 40 ft. Curb & gutter: both sides Revisions needed: Show Neuhaus Drive on the plat to finalize the ROW dedication requirement prior to final. A transition from 80 ft. ROW to 60 ft. maybe required prior to final. Label the centerline and the existing ROW on both sides with the document number prior to final. Show and label the ROW dedicated by this plat, ROW from centerline with the dedication, and total ROW, to verify required dedication, prior to final. Provide a turnaround on the south side with 116 ft. ROW for 96 ft. paving as needed by Fire Department and 10 ft. additional ROW around the curb prior to final. S. Bentsen Road is an 80 ft. Collector on the north side of Neuhaus Drive as per the thoroughfare map. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Neuhaus Drive (north side): Dedication as applicable for 30 ft. ROW from centerline for total 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Show existing Neuhaus Drive ROW and centerline on the east side of S. Bentsen Road prior to final. Once the existing ROW is shown on plat, staff will review and finalize ROW requirement as applicable on the north side, prior to final. Staff is reviewing the applicability of Neuhaus Drive ROW dedication requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Front: 45 ft. or greater for easements. Clarify/revise the setback note as shown above prior to final. Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. Proposing: Front

Setback: 20 ft. or easement, whichever is greater. Based on Sec. 134-106: In residential subdivisions which have lots abutting major or minor arterials or major collectors, the residences on such lots shall not face the major or minor arterial or major collector, unless: There shall be provided, in addition to any front setback, a 20-foot planting area (as defined in chapter 110, article II, Landscaping) between such lot and the major or minor arterial or major collector; Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Clarify/revise the setback note as shown above prior to final. Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Clarify/revise the setback note as shown above prior to final. Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. Proposing Side Setback: 5 ft. or easement, whichever is greater. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Once the ROW requirement for Neuhaus Drive is finalized, the setback notes will be finalized prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Clarify/revise the setback note as shown above prior to final. Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. Proposing: Garage Setback: 18 ft. or easement, whichever is greater. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on S. Bentsen Road and Neuhaus Drive as applicable prior to final. Finalize the ROW dedication to finalize the the plat note prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Neuhaus Drive as applicable. Finalize the ROW dedication to finalize the the plat note prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Finalize the ROW dedication to finalize the the plat note prior to final. Must comply with City Access Management Policy. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. As per the application, the subdivision is private and gated. An HOA is required for private subdivisions. Add plat note to reference the HOA prior to final. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. The lot boundaries and the frontage dimensions are not clear. Revise the plat to verify compliance prior to final. As per the application, the subdivision is private and gated. Clarify if any private streets is proposed. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. The lot boundaries and the frontage dimensions are not clear. Revise the plat to verify compliance prior to final. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per the application 2 single-family lots are proposed; therefore, \$1,400 park fees will be required prior to final. As per Traffic Department, Trip Generation for a 2-Lot Single Family subdivision is waived. As per the application, the subdivision is private and gated. Clarify if any private streets is proposed. Reference "(Private Subdivision)" under the name if the subdivision prior to final as applicable. Submitted survey shows that a floodway easement covers most of the property, which is not labeled on the plat. Clarify/revise prior to final. Any abandonment must be done by a separate process, not by plat. Use a bold line to show the subdivision boundary and solid line for the lot lines prior to final. There are many solid lines on the plat without labels. Clarify/revise prior to final. Use a light shade of grey for the original lot line to avoid confusion

with the new lot lines. Remove any fences, electric lines or meters, etc. from the plat. Show and reference any exiting or dedicated ROW and easement on the plat. A shared access easement is labeled on the plat but not clearly shown with dashed lines. Include the document number for any existing easements and provide a copy for staff review prior to final. Legal Description of all adjacent lots on all sides, including the east side of S. Bentsen Road, is needed on the plat prior to final. Clarify/remove plat note #7 through #10 and #13 prior to final. Provide a copy of the referenced documents, including the document mentioned in plat note #12 prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Jesse Ozuna moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Jose Saldana second the motion, which was approved with seven members present and voting.

- f) Suarez Subdivision, 2600 North 24th Street, Suarez Brothers, LLC **(SUB2024-0121)**
(PRELIMINARY) JHE

Mr. Marco Suarez abstained from voting on this item.

Mr. Eduardo Garza stated that the property North 24th Street: 25 ft. from centerline for 50 ft. total ROW Paving: 32 ft. Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established at part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revise note as shown above prior to final. Proposing: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revise note as shown above prior to final. Proposing: In accordance with zoning ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revise note as shown above prior to final. Proposing In accordance with zoning ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 24th Street. Proposing: A 5 ft. sidewalk shall be required along the east side of N. 24th Street. Sidewalk requirements may increase to 5 ft. per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revise plat note #8 as shown above, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development

Departments prior to building permit issuance. Common Areas, any access/service drive easements must be maintained by the lot owners and not the City of McAllen. Plat note wording to be finalized, prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonments must be done by separate process, not by plat, prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kemal moved to approve in preliminary form subject to the conditions noted, drainage, and utility approval. Mr. Jose Saldana seconded the motion, which was approved with seven members present and voting with one member abstaining his vote.

g) Erie Marketplace Subdivision, 421 South Ware Road, Southmost Solutions, LLC (SUB2024-0122) (PRELIMINARY) SE

Mr. Eduardo Garza stated that the property located on South Ware Road: 60 ft. from centerline for 120 ft. total ROW Paving: by the state Curb & gutter: by the state. Provide copies of ROW documents referenced on plat for staff review, prior to final. Label centerline on plat, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Erie Avenue: 25 ft. from centerline for 50 ft. total ROW Paving: approximately 30 ft. Curb & gutter: both sides. Provide document number for existing ROW dedication and provide a copy for staff review, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. South 35th Street: Dedication as needed for 30 ft. from centerline for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides. Label centerline and provide a copy of existing ROW dedication for staff review, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Proposing: A minimum 24 ft. private service drive easement will be established at part of the site plan and will be maintained by the lot owners and not the City of McAllen. Engineer must get with property to the north to determine service drive location to provide for extension and internal circulation as required by Traffic Department. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: (South Ware Road): In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revise plat note as shown above, wording to be finalized prior to final. Lot 2 has frontage on 3 streets and must clarify setbacks, prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on South Ware Road, Erie Avenue, and South 35th Street. Sidewalk requirements may increase to 5 ft. per Engineering Department, plat note wording to be finalized, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and

industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private service drives, access easements, etc. must be maintained by the lot owners and not the City of McAllen. Revise plat note as shown above, prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Any abandonments must be done by separate process, not by plat. Engineer must clarify access easement agreement with the property to the north to determine location to establish internal connection and access maintenance responsibility. Engineer must clarify annotation of 60 ft. roadway on Lot 2 and use. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

Being no discussion, Mr. Jose Saldana moved to approve in preliminary form subject to the conditions noted, drainage, and utility approval. Vice Chairperson Mr. Gabriel Kamel second the motion, which was approved with seven members present and voting.

*A discussion and brief summary regarding UDC was had.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Marco Suarez adjourned the meeting at 4:27p.m. with Mr. Jose Saldana seconding the motion with seven members present and voting.

Michael Fallek, CHAIRPERSON

ATTEST: _____
Magda Ramirez, ADMINISTRATIVE ASSISTANT

Memo

TO: Planning and Zoning Commission

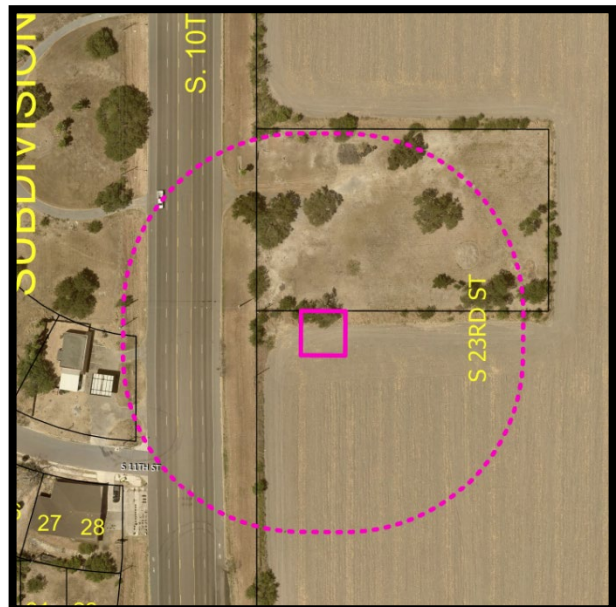
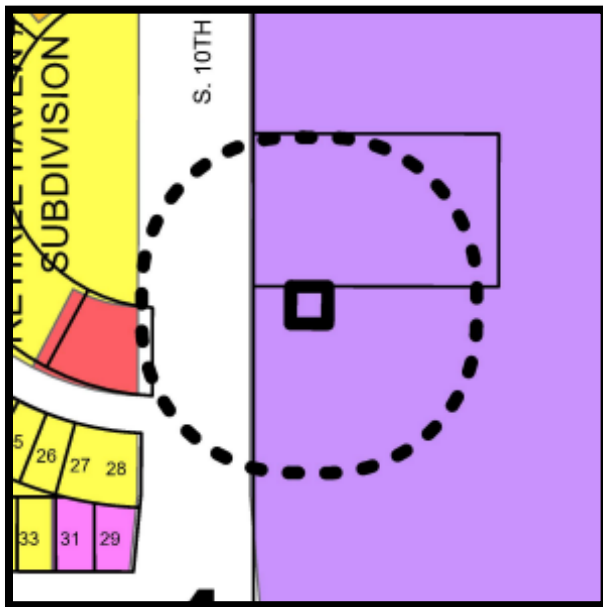
FROM: Planning Staff

DATE: February 10, 2025

SUBJECT: REQUEST OF VINCENT GERARD & ASSOCIATES INC. (VERTICLE BRIDGE) ON BEHALF OF THOMAS M. TOWNSEND JR.(QOT INC), FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE FOR A PERSONAL WIRELESS SERVICE FACILITY AT A 50 FEET X 50 FEET LEASE SPACE (AS SURVEYED) CONTAINING 0.057 ACRES(2,500 SQUARE FEET) MORE OR LESS, OUT OF LOT 7, BLOCK 4, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS, 6275 SOUTH 10TH STREET. (CUP2025-0002)

BRIEF DESCRIPTION:

The subject property is located along the east side of South 10th Street approximately 1,390 feet south of Military Highway. The 50 feet x 50 feet square foot lease area is an interior tract that is part of a larger tract that has a zoning designation of I-1 (Light Industrial) District. The adjacent zoning is I-1 District in all directions. A personal wireless service facility is allowed in an I-1 District with a Conditional Use Permit and in compliance with requirements.



The 50 feet x 50 feet square foot lease area in question is described by metes and bounds, and is located at the midwest portion of Lot 7, Block 4.

PROPOSAL:

The applicant is proposing to place a 120 foot monopole located on the center of the lease area. The proposal will need to meet all building permit requirements. Federal Aviation Administration (FAA) approval must be obtained prior to beginning construction. In addition, the request must comply with requirements set forth in Section 138-118(11) of the zoning ordinance as follows:

- a. Maximum height of pole or tower structure of 80 feet within commercial zones or within 200 feet of an existing residential structure;
 - o The applicant is not locating within a commercial zone;
- b. Maximum height of pole or tower structure of 120 feet within industrial zones for measuring distance purposes, the leasehold interest area boundary or compound area boundary, whichever is greater shall be utilized;
 - o The applicant is proposing to construct a 120 foot in height monopole
- c. Only one pole or tower structure-allowed per lot or tract within a commercial or industrial zone;
 - o There is no other pole structure on property;
- d. The applicant shall attempt to locate the proposed facility on an existing structure, or base station, as per subsections k—m of this section. If collocation of the proposed wireless facility is not possible (as per subsections k—m of this section) then the applicant for a personal wireless service facility must submit at least two alternative designs for antenna and supporting structure, pole or tower design (including the equipment shelter, as per subsection h, below) that is treated with an architectural material (e.g., "stealth" design) so as to conform to the predominant architectural environment in the area of the facility. Such "stealth" personal wireless service facility shall blend into its proposed surroundings such as a tree, flag pole or other feature, to be approved. When a tree-type stealth design is used, one live and growing tree of the same variety or species one-half the height of the proposed tower shall be planted at the time of installation;
 - o Collocation for proposal is not possible;
- e. Minimum spacing between poles and tower structures within commercial or industrial zones of 1,000 feet measured in a direct line of another tower;
 - o There are no towers within 1,000 feet;
- f. Must comply with applicable setbacks;
- g. A masonry wall shall be required as a buffer if pole or tower structure is located within the front or side yard, or adjacent to a residential use or zone;
- h. The transmission equipment structure installed at the base of the proposed tower shall be not greater than 180 square feet and constructed to conform to the predominant architectural environment;
- i. A landscaped buffer area to soften the visual impact shall commence along the perimeter of the lease area or the property line. At least one row of shrubs shall be installed as well as trees as appropriate shall be included. Materials shall be of a variety which can be expected to grow to form a continuous hedge at least six feet in height within two years of planting;
 - o A 6ft masonry wall to be built along the perimeter of the lease space;
- j. The pole or tower structure will be constructed or installed with the capabilities of locating thereon additional personal wireless service facilities when tower or pole is greater than 80 feet in height. The applicant agrees to cooperate with other personal wireless service facility providers in collocating additional facilities on permitted support structures;

- k. A permittee shall exercise good faith in collocating with other providers and sharing the permitted structure, provided such shared use does not give rise to a substantial technical level impairment of the ability to provide the permitted use (i.e., a significant interference in broadcast or reception capabilities as opposed to a competitive conflict or financial burden). Such good faith shall include sharing technical information to evaluate the feasibility of co-location. In the event a dispute arises as to whether a permittee has exercised good faith in accommodation other users, the city may require a third party technical study at the expense of either or both the applicant and permittee;
- l. All conditional use applicants shall demonstrate good-faith, reasonable efforts in developing a collocation alternative for their proposed personal wireless service facility site, which efforts shall be documented to the city and shall include, but not be limited to, providing technical details sufficient to determine co-locations efforts. If the applicant asserts that co-location is not possible, the applicant must provide, in addition to the foregoing, an affidavit in a form provided by the city stating that all efforts to collocate the personal wireless facility at an existing facility have been exhausted and that there is no possibility of co-location on the existing towers;
- m. Failure to comply with the collocation requirements of this section may result in the denial of a permit request or revocation of an existing permit;
- n. If any applicant provides false or misleading information on their application, or in the application process to obtain a permit for a personal wireless facility, then their application may be denied or revoked at the expense of the applicant or the permittee;
- o. If property is leased, term of conditional use permit shall be co-terminus with that term of lease of property;
- p. Construction of tower and equipment facilities shall meet applicable building codes and wind loads;
- q. Notwithstanding the above conditions, to the extent an applicant is fully qualified as an eligible facilities request under Section 6409, in the event of a conflict between the above conditions in this subsection and those criteria and conditions in section 138-1.A., above, and the 2014 Infrastructure Order, then section 138-1.A., and the 2014 Infrastructure Order control, subject to the city reservation of rights, as set forth in the preface to section 138-1.A.

Staff has not received any phone calls, emails, or letters in opposition to the request.

RECOMMENDATION:

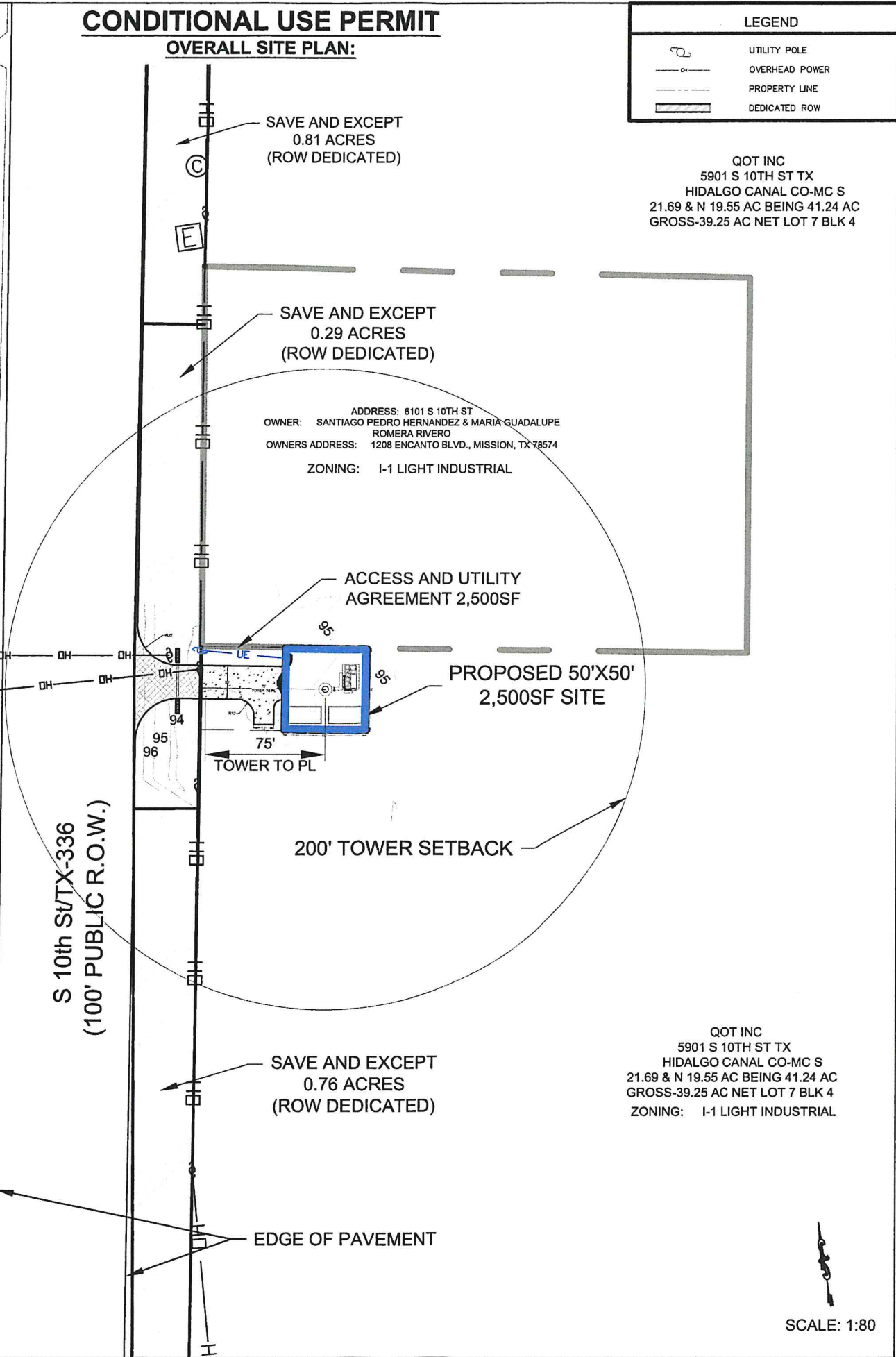
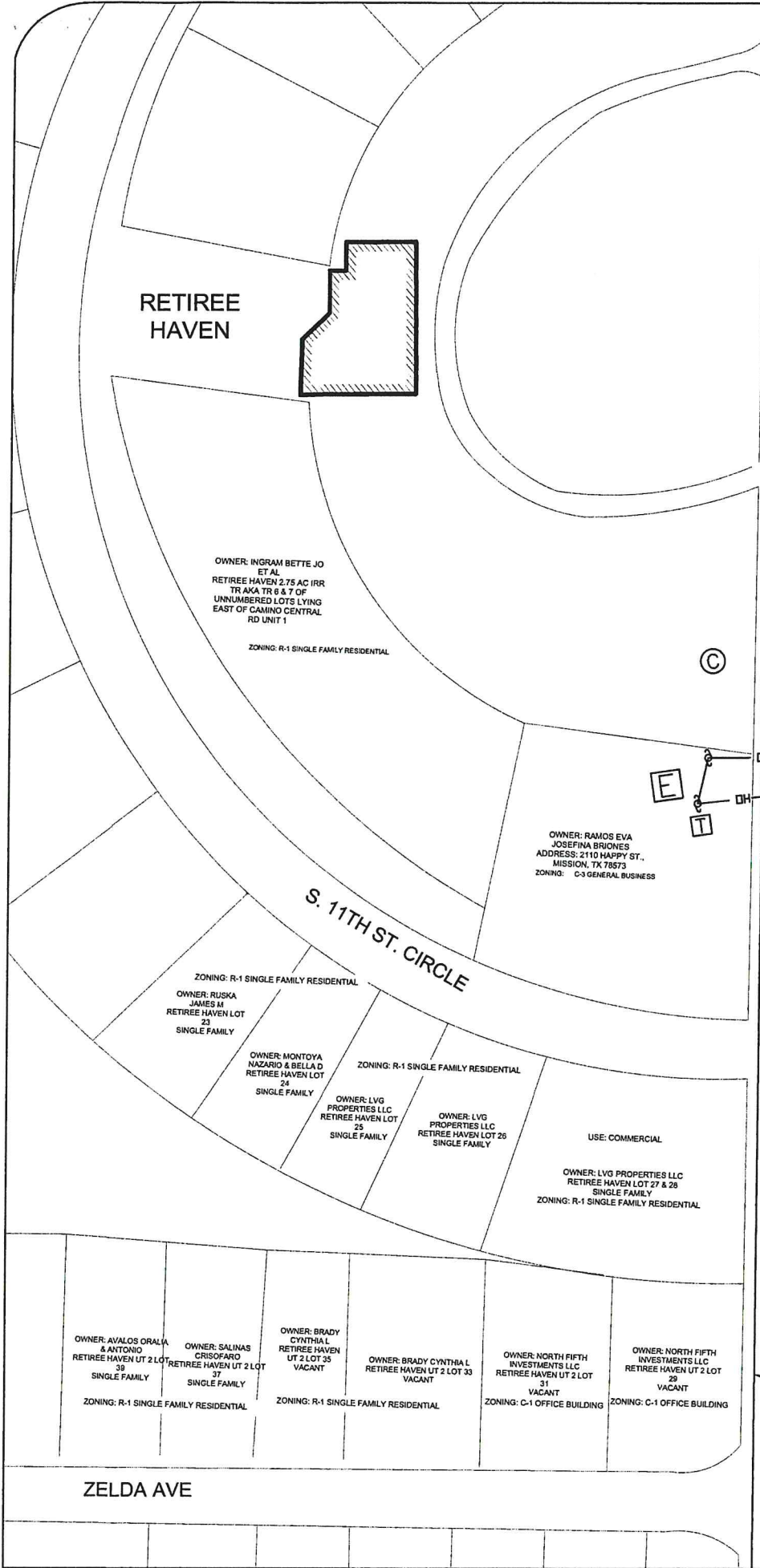
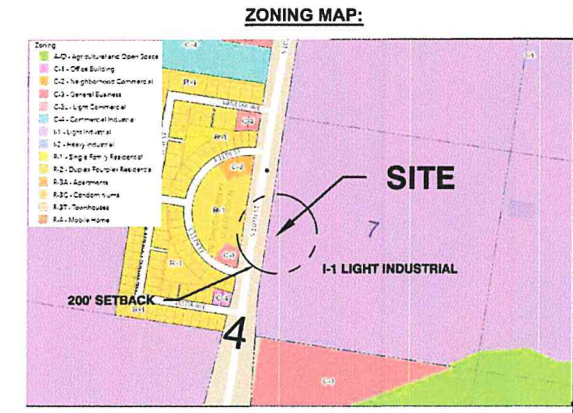
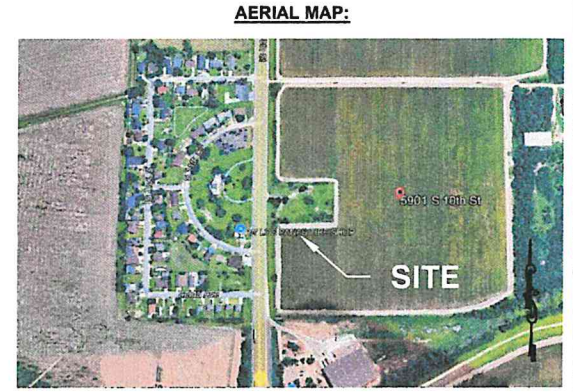
Staff recommends approval of the request subject to Section 138-118(11) of the zoning ordinance, compliance with co-location conditions, FAA approval, and building permit requirements.

CONDITIONAL USE PERMIT

OVERALL SITE PLAN:

LEGEND

- UTILITY POLE
- OVERHEAD POWER
- PROPERTY LINE
- DEDICATED ROW



QOT INC
5901 S 10TH ST TX
HIDALGO CANAL CO-MC S
21.69 & N 19.55 AC BEING 41.24 AC
GROSS-39.25 AC NET LOT 7 BLK 4

QOT INC
5901 S 10TH ST TX
HIDALGO CANAL CO-MC S
21.69 & N 19.55 AC BEING 41.24 AC
GROSS-39.25 AC NET LOT 7 BLK 4
ZONING: I-1 LIGHT INDUSTRIAL

SHEET INDEX:

- SHEET 1: OVERALL SITE PLAN
- SHEET 2: TOWER COMPOUND LAYOUT AND TOWER ELEVATION
- SHEET 3: SURVEY
- SHEET 4: FIELD NOTES

PROJECT INFORMATION:

TOWER OWNER: VERTICAL BRIDGE, 750 PARK OF COMMERCE DR, BOCA RATON, FL 33487

LANDOWNER: QOT, INC., A TEXAS CORPORATION, 15969 CUTTYSARK ST CORPUS CHRISTI TX 78418-6445

ONE-CALL TEXAS: CONTRACTOR TO CALL BEFORE DIGGING, PHONE 811 OR 1.800.545.6000

UTILITIES: ELECTRIC PROVIDER, AEP, PHONE: 888-223-5508

APPLICANT: VINCENT GERARD & ASSOCIATES, 5524 BEE CAVE RD., UNIT K4, AUSTIN TEXAS 78746

CONTACT: VINCE HUEBINGER, PHONE: 512.326.2693

PROJECT TYPE: NEW 120' MONOPOL/TREE UNMANNED TELECOMMUNICATION FACILITY, CONSISTING OF FUTURE EQUIPMENT PLATFORMS, SHELTERS, DIRECTIONAL AND GPS ANTENNAS

PERMITTING: COUNTY: HIDALGO COUNTY, JURISDICTION: CITY OF MCALLEN - FULL PURPOSE: VACANT, ZONING: I-1 (LIGHT INDUSTRIAL), OCCURRANCE: WET FARM, BUILDING CODE: 2012 IBC, USE: AGRICULTURE / PUBLIC TELECOMMUNICATION FACILITY

SITE LOCATION: NEW 120' MONOPOL/TREE (LAT: 28.147329 N (NAD 83), LONG: -98.239119 W (NAD 83))

ADDRESS: 6275 S 10TH ST, MCALLEN, TEXAS 78503

LEGAL DESCRIPTION: HIDALGO CANAL CO-MC S 21.69 & N 19.55 AC BEING 41.24 AC GROSS-39.25 AC NET LOT 7 BLK 4

ZONING: I-1 LIGHT INDUSTRIAL

NOTE: SITE COMPLIES WITH SEC. 138-118 - REQUIREMENTS FOR CONDITIONAL USE CODE FOR SETBACKS.

CITY OF MCALLEN, TEXAS

VB HIDALGO NORTH

CASE NUMBER: #####

SUBMITTAL DATE: #####

NO	REVISION DATE	DESCRIPTION	SHEETS REVISED/ADDED	NET CHANGE IN IMPERVIOUS COVER	TOTAL IMPERVIOUS COVER	% IMPERVIOUS COVER FOR THE ENTIRE SITE	STAFF APPROVAL SIGNATURE	STAFF APPROVAL DATE

verticalbridge

VINCENT GERARD & ASSOCIATES
LAND PLANNING & ZONING CONSULTANTS
15969 CUTTYSARK ST, UNIT K4
AUSTIN, TEXAS 78746
(512) 326-2693 • vincent@vgerard.com

SITE INFORMATION: 6275 S 10TH ST TX, MCALLEN, TX 78503, 911 ADDRESS - (6275 SOUTH 10 ST)

PROPERTY OWNER: QOT, INC., A TEXAS CORPORATION, 15969 CUTTYSARK ST, CORPUS CHRISTI, TX 78418-6460

TOWER OWNER: VERTICAL BRIDGE, 750 PARK OF COMMERCE DR, BOCA RATON, FL 33487

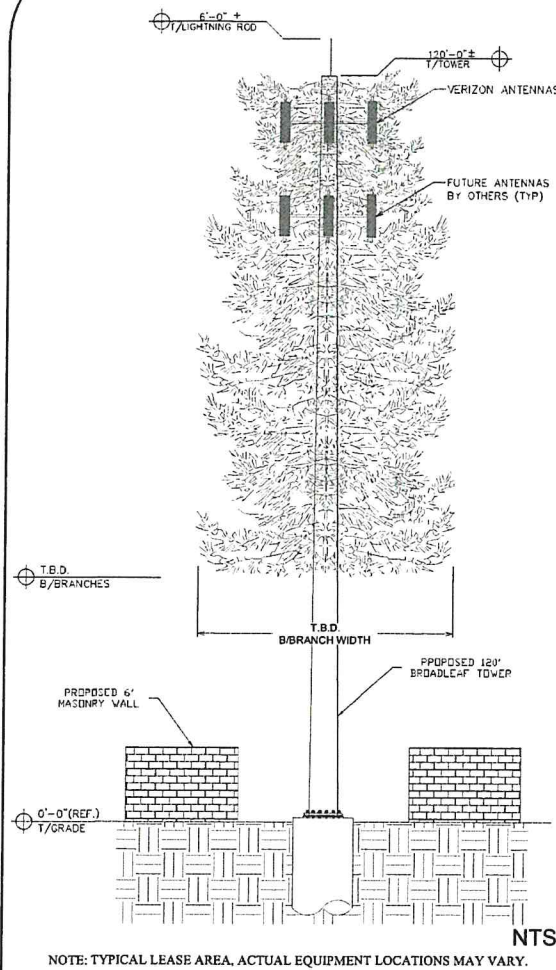
JAN 14 2025

BY:

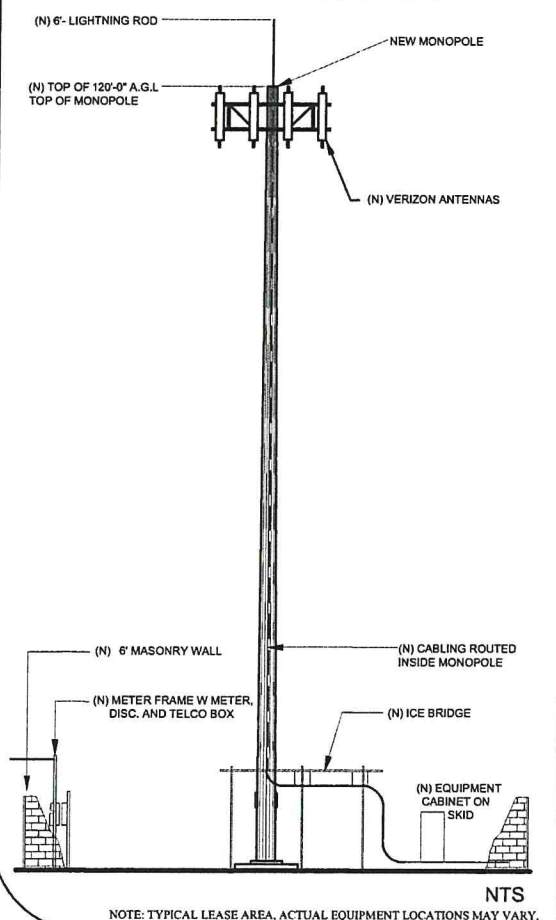
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1 of 4

BROADLEAF TOWER ELEVATION

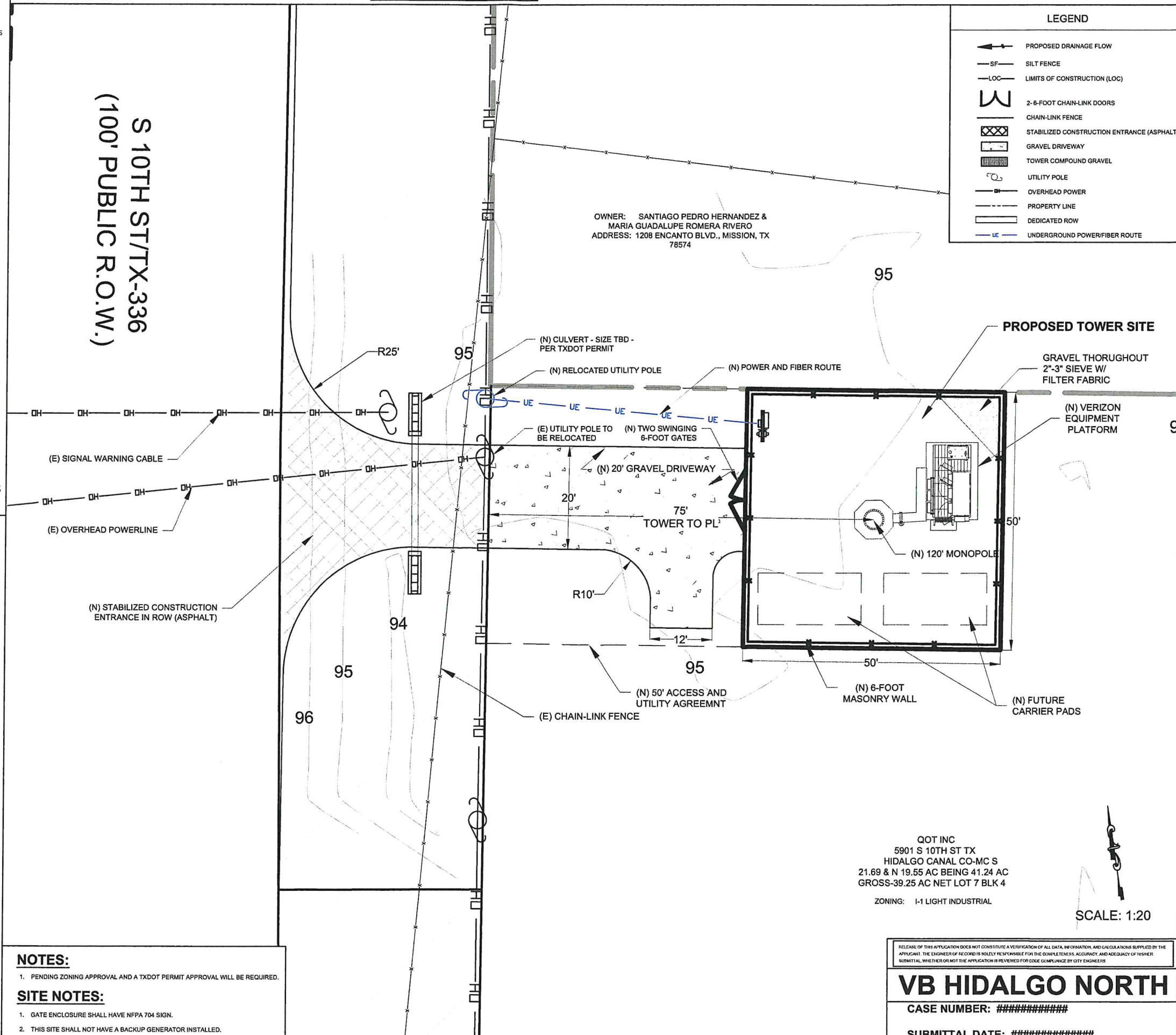


MONOPOLE ELEVATION



CONDITIONAL USE PERMIT

TOWER COMPOUND LAYOUT



LEGEND

- PROPOSED DRAINAGE FLOW
- SILT FENCE
- LIMITS OF CONSTRUCTION (LOC)
- 2-6-FOOT CHAIN-LINK DOORS
- CHAIN-LINK FENCE
- STABILIZED CONSTRUCTION ENTRANCE (ASPHALT)
- GRAVEL DRIVEWAY
- TOWER COMPOUND GRAVEL
- UTILITY POLE
- OVERHEAD POWER
- PROPERTY LINE
- DEDICATED ROW
- UNDERGROUND POWER/FIBER ROUTE

- NOTES:**
- PENDING ZONING APPROVAL AND A TXDOT PERMIT APPROVAL WILL BE REQUIRED.
- SITE NOTES:**
- GATE ENCLOSURE SHALL HAVE NFPA 704 SIGN.
 - THIS SITE SHALL NOT HAVE A BACKUP GENERATOR INSTALLED.

QOT INC
 5901 S 10TH ST TX
 HIDALGO CANAL CO-MC S
 21.69 & N 19.55 AC BEING 41.24 AC
 GROSS-39.25 AC NET LOT 7 BLK 4
 ZONING: I-1 LIGHT INDUSTRIAL

SCALE: 1:20

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

VB HIDALGO NORTH

CASE NUMBER: #####

SUBMITTAL DATE: #####



SITE INFORMATION

6275 S 10TH ST TX
 MCALLEN, TX 78503
 911 ADDRESS - (6275 SOUTH 10 ST)

PROPERTY OWNER

QOT, INC., A TEXAS CORPORATION
 15988 CUTTYSARK ST
 CORPUS CHRISTI, TX 78418-6460

TOWER OWNER

VERTICAL BRIDGE
 750 PARK OF COMMERCE DR, BOCA RATON, FL, 33487



NOTICE
PERSONS WHO ENTER
SERVE NOTICE
ON THIS PROPERTY
CUP 2025-0002

Memo

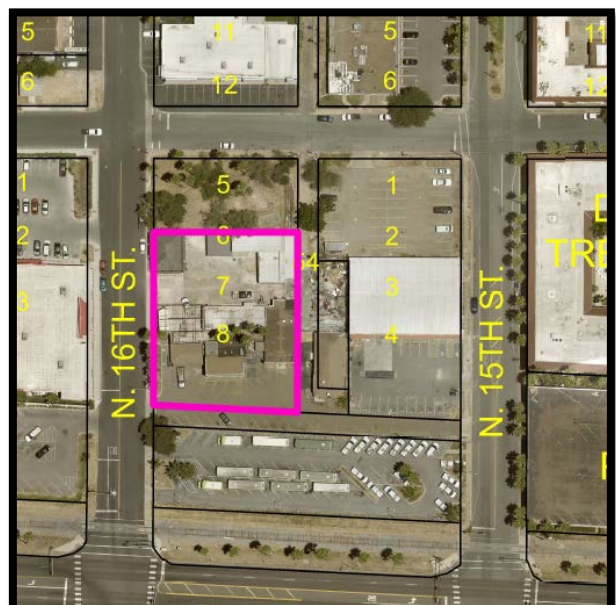
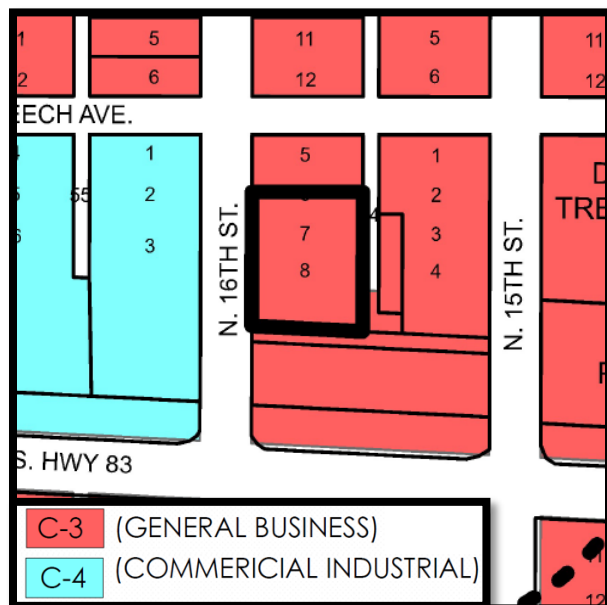
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 30, 2025

SUBJECT: REQUEST OF RUBEN MARTINEZ ON BEHALF OF LUIS MURO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AT SOUTH 28 FEET OF LOT 6 AND ALL OF LOTS 7 & 8 & ALL OF ASH AVENUE, LYING SOUTH OF LOT 8, BLOCK 54, NORTH MCALLEN SUBDIVISION, HIDALGO COUNTY, TEXAS; 110 NORTH 16TH STREET, SUITE B. (CUP2025-0004)

BRIEF DESCRIPTION: The property is located along the northeast corner of U.S. Highway Business 83 and North 16th Street. It is zoned C-3 (General Business) District. The adjacent zoning is C-3 District in all directions except to the west across North 16th street there is C-4 (Commercial Industrial) District. Surrounding land uses are restaurants, commercial uses, and a parking facility for the McAllen Central Station. A Bar is allowed in a C-3 district with a Conditional Use Permit (CUP) and in compliance with requirements.



HISTORY: A Conditional Use Permit for a bar at this location was approved by City Commission on February 13, 2024. An application for the same bar has been applied for on January 17, 2025.

SUMMARY/ANALYSIS: The applicant is requesting to continue operating La Bonita Bar

from a 1,255 square foot building. The hours of operation are from Tuesday through Saturday from 5 P.M. to 2 A.M. Required parking for the proposed bar is 13 parking spaces and 10 are provided. The area location contains 30 parking spaces. The applicant does have a parking agreement to accommodate parking requirements and overflow parking, which does not expire until November 2028.

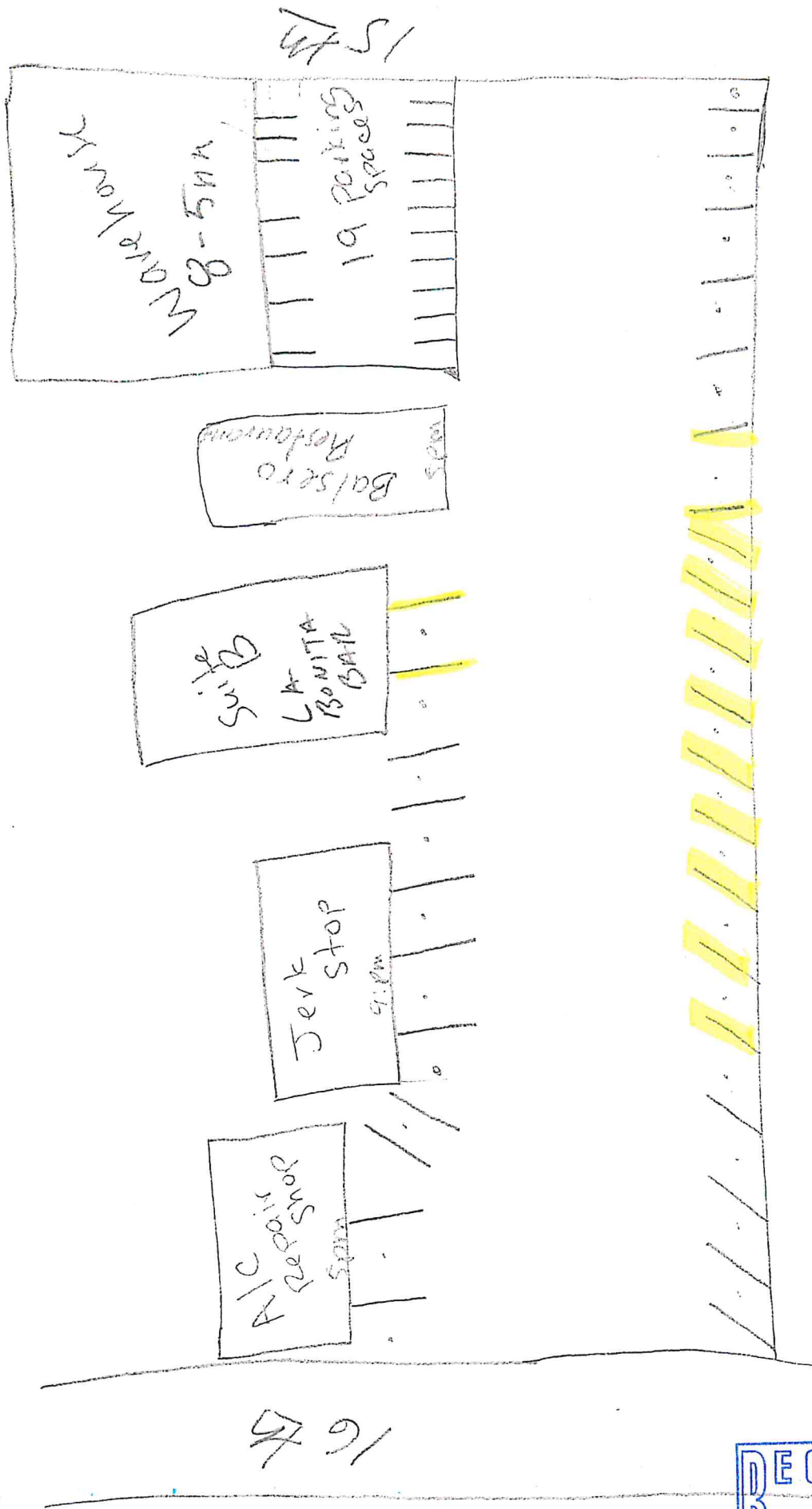
The Fire Department is pending their necessary inspection, the Health Department has allowed the CUP process to continue. The Planning Department has received no inquiries regarding this proposed establishment. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the Lot of the above-mentioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 feet from a publicly owned property to the north and adjacent to the south.
- 2) The business must be as close as possible to a major arterial and not generate traffic onto residential sized streets.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The 1,255 sq. ft. bar would require 13 parking spaces; and 10 parking spaces are provided for a deficiency of three parking spaces. However, a parking agreement has been provided.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement listed above as #1 (distance to a publicly owned property) of Section 138-118(a)(4)(a) of the Zoning Ordinance.



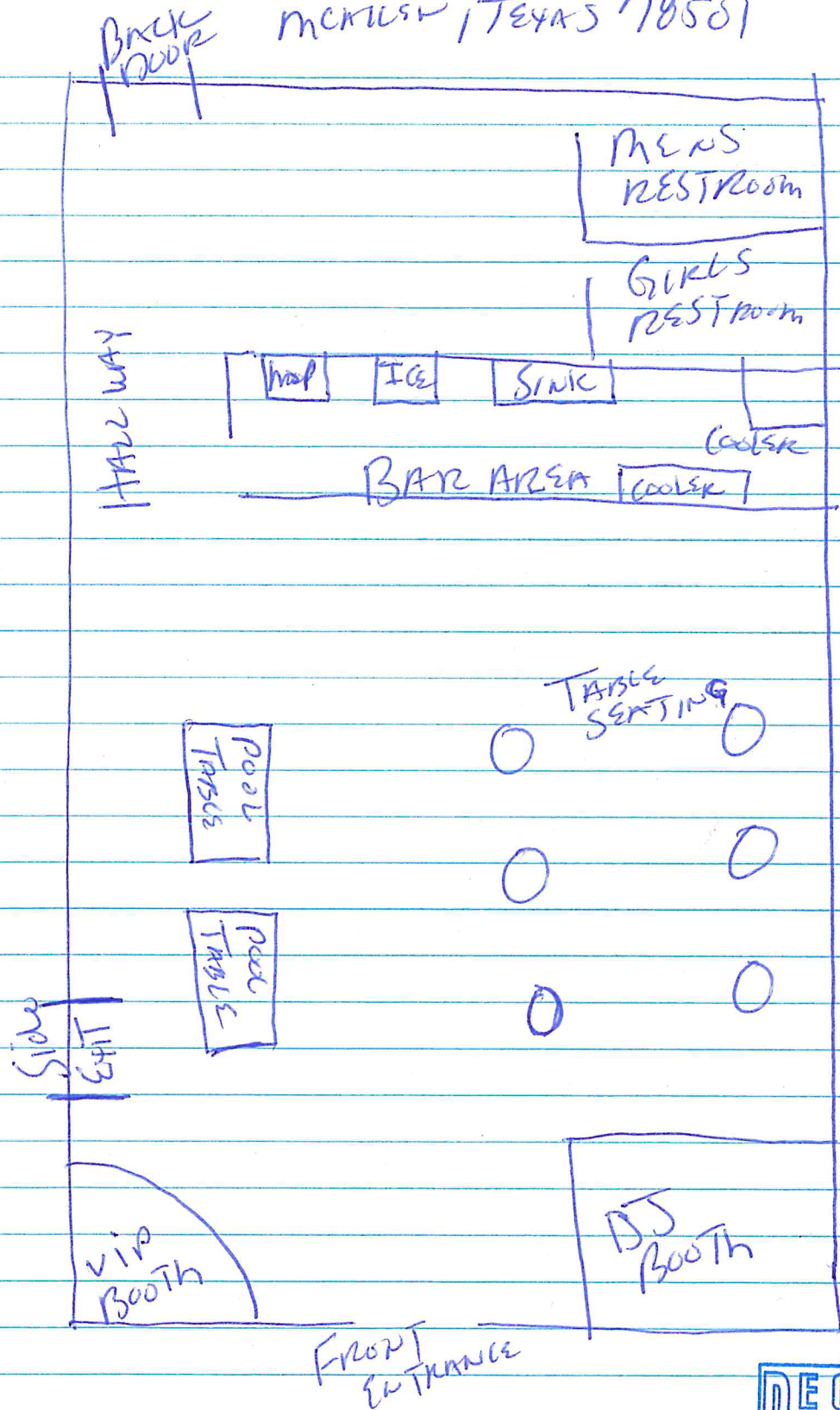
30 parking spaces



R	E C E I V E
	JAN 17 2025
By	OL

Site plan

LA BONITA BAR
110 N. 16th ST. Suite B
McAllen, TEXAS 78501



RECEIVED
JAN 17 2025
By OC

Site plan remains the same as previous year



Memo

TO: Planning and Zoning Commission

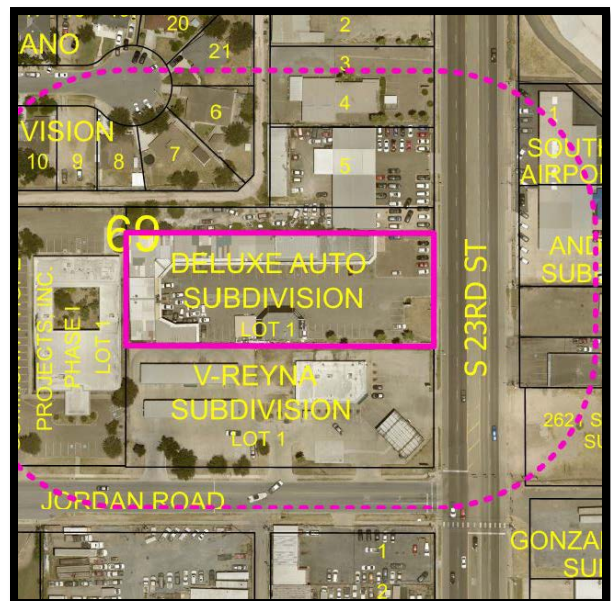
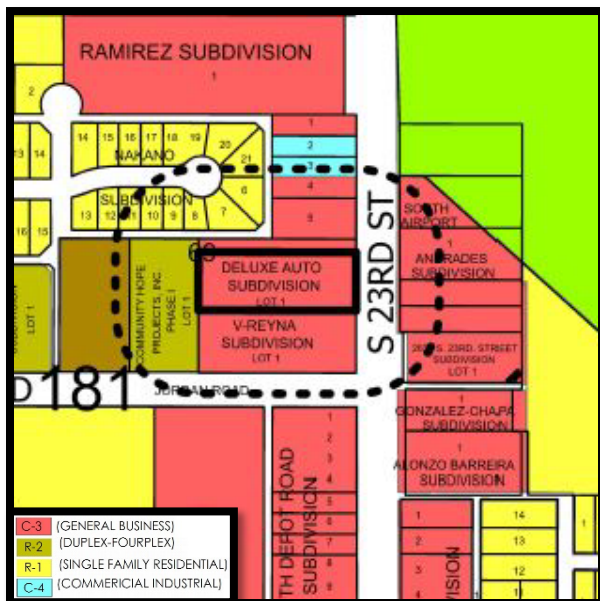
FROM: Planning Staff

DATE: February 1, 2025

SUBJECT: REQUEST OF HABINADI PACHECO ON BEHALF OF NORBEN LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR AN AUTOMOTIVE SERVICE AND REPAIR (ENGINE REPAIR) AT LOT 1, DELUXE AUTO SUBDIVISION, HIDALGO COUNTY, TEXAS; 2600 SOUTH 23RD ROAD, SUITE J. (CUP2025-0005)

BRIEF DESCRIPTION:

The property is located on the west side of 23rd street. The property is zoned C-3 (general business) District. Adjacent zoning is C-3 and R-1 (single family residential) District to the north, C-3 to the east, south and R-2 (duplex-fourplex residential) District to the west. Surrounding land uses include United Drive- In, City Motors, TJ appliances, Angel Auto Mart and Window Tinting. An automotive service and repair shop is allowed in the C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY:

This is the initial application for an automotive service and repair at this location. The applicant applied for a conditional use permit for one year on January 23, 2025.

REQUEST/ANALYSIS:

The applicant is requesting to operate an automotive service and repair. The applicant will be repairing motor engines. As per the applicant, no installation of engine motors will be done at this location. Customers will be picking up and dropping off the motor engines for service. The proposed days and hours of operations are Monday through Friday from 8:00 AM to 5:00 PM and closed on Saturdays and Sundays.

Fire Department has inspected the location and has allowed the Conditional Use Permit to continue. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 square feet is required. The property is 49,345 square feet.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The motor engines will be repaired indoors.
- 3) Outside storage of materials is prohibited; no outside storage is proposed.
- 4) The building where the work is to take place shall be at least 100 feet. from the nearest residence. The building is within 100 feet from the nearest residence.
- 5) A 6 feet opaque fence may be required to buffer residential uses or districts.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

Staff has not received any calls in opposition to the CUP request.

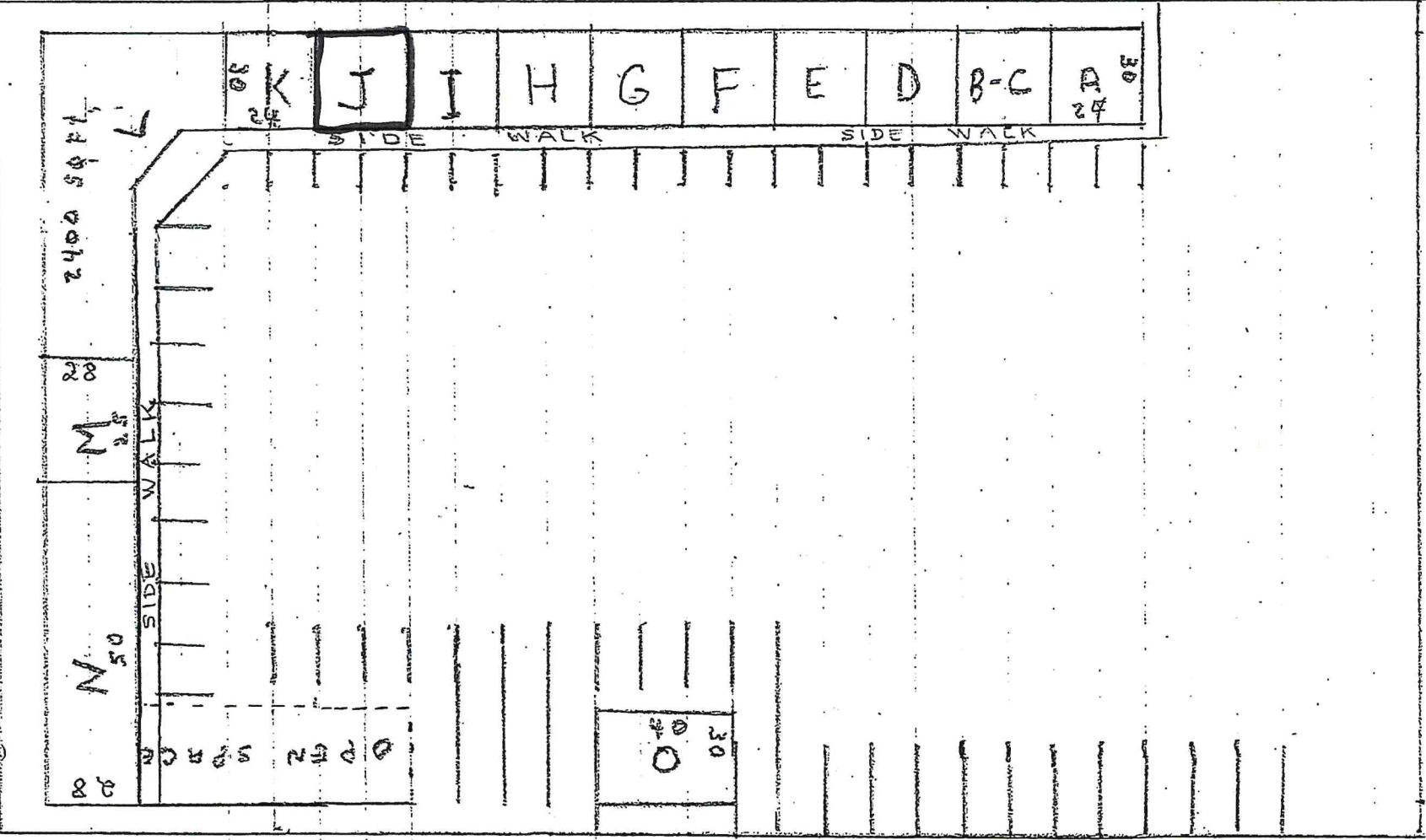
RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #4 (distance to the nearest residence) of Section 138-281 of the Zoning Ordinance.

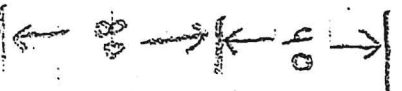
← N
140'

SITE PLAN
2000 S. 23rd
McAllen, TX

352.5

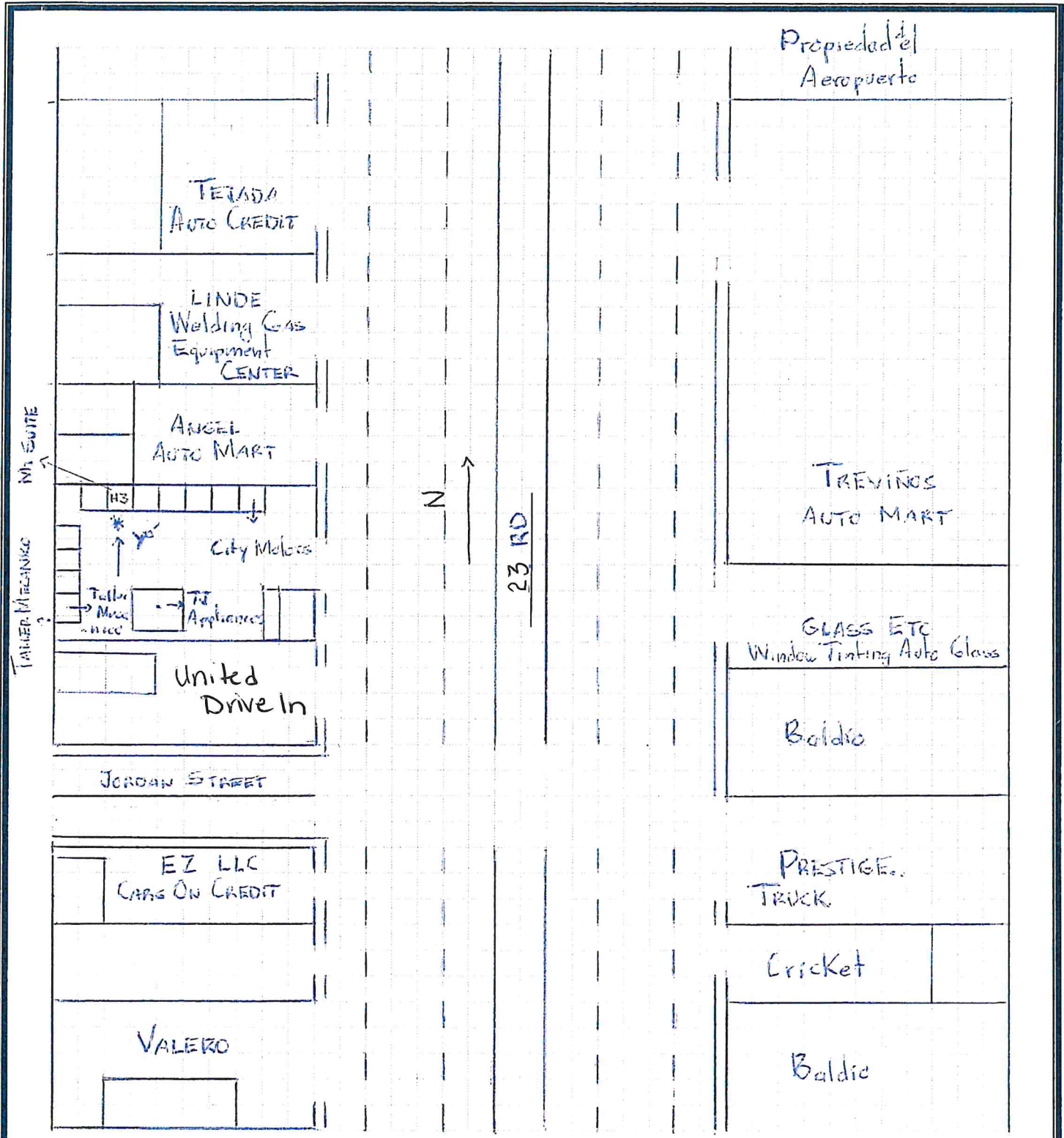


- A. 24 x 30
- B. 24 x 30
- D. 24 x 30
- E. 24 x 30
- F. 24 x 30
- G. 24 x 30
- H. 24 x 30
- I. 24 x 30
- J. 24 x 30
- K. 24 x 30
- L. 2405 x 21
- M. 25 x 28
- N. 50 x 28
- O. 40 x 30






50+ PARKING SPACES







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JAN 23 2025
By OC



Wall Legend:

- Existing 
- Proposed 
- Demolition 

Symbol Legend:

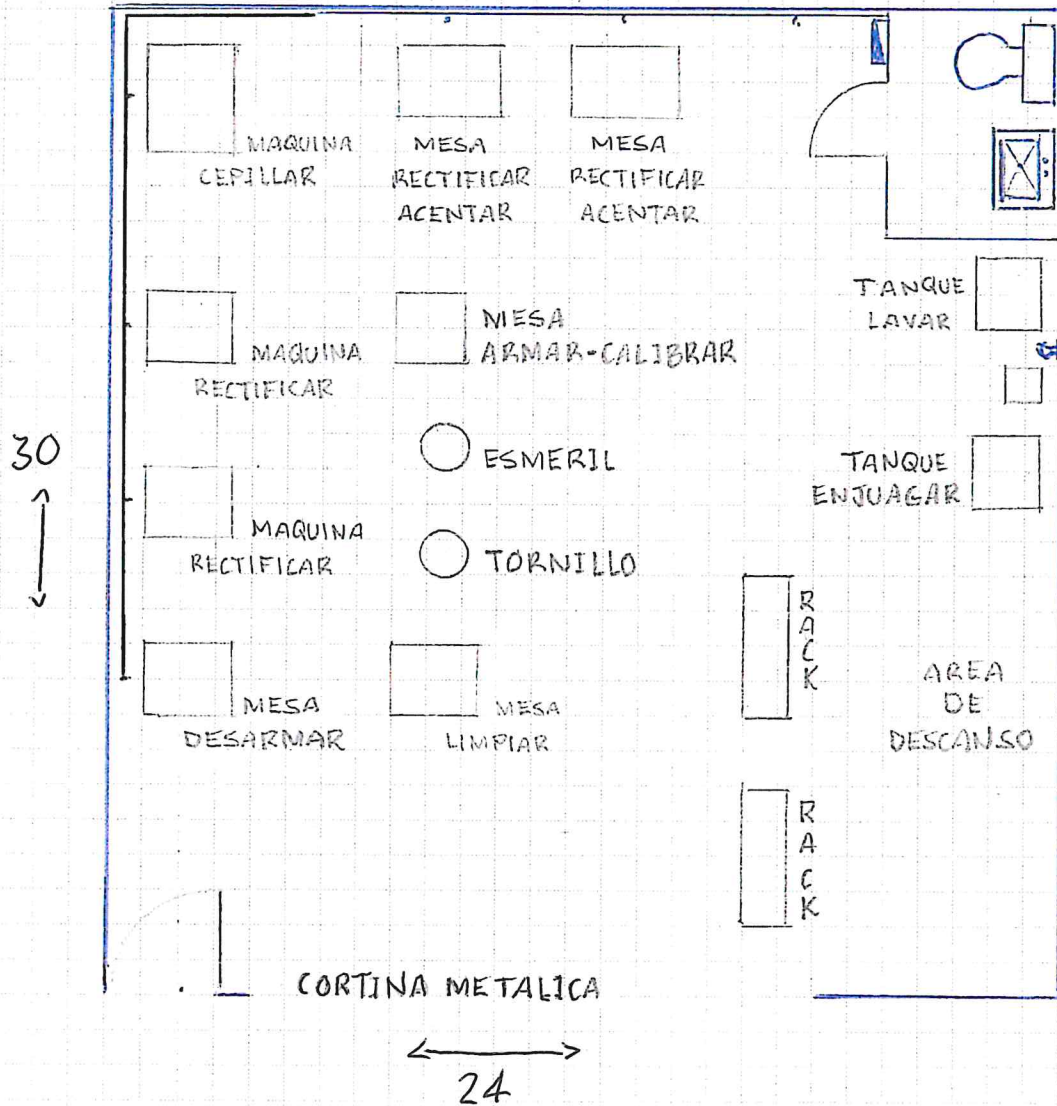
-  Door
-  Window
-  Electrical Panel
-  A/C Unit
-  Toilet
-  Sink

Application and documents can be submitted electronically to
BLDGPERMITS@MCALLEN.NET

R E C E I V E D
 JAN 23 2025
 By OC

24 X 30

MECHANIC SHOP FLOOR PLAN



Wall Legend:

- Existing
- Proposed
- Demolition

Symbol Legend:

- Door
- Window
- Electrical Panel
- A/C Unit
- Toilet
- Sink

Application and documents can be submitted electronically to BLDGPERRITS@MCALLEN.NET



By



[Blank sign]

J

NO PARKING

4x4



**NOTICE
AUTO SERVICE
FOR
THIS PROPERTY
CUP2025-0005**

CITY OF MCALLEN PLANNING DEPT.
956-661-1250
WWW.MCALLEN.NET

**DELUXE
GLAZES**
2600 S. 23rd

**CITY MOTORS
SE FIA**
682-0068

Alcoholicos
Acuminos

**CARWASH
SUPPLIES**

WASH ALL
DISGREASER
SHAMPOO
WAX
WHEEL CLEANER

**CITY
MOTORS**

956
974
1793

T & APPLIANCES

MAYTAG

Whirlpool

Memo

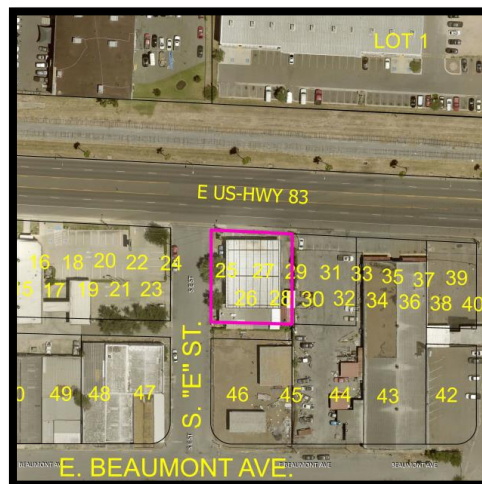
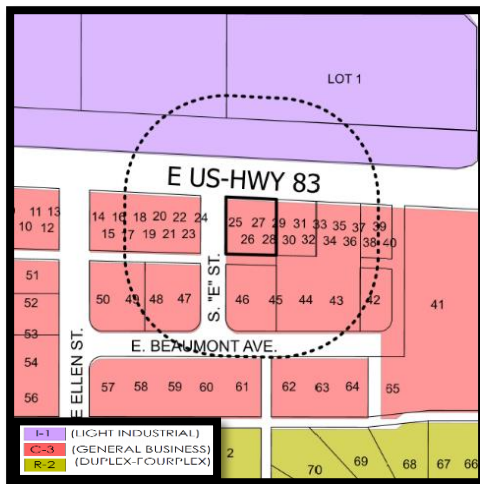
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 5, 2025

SUBJECT: REQUEST OF VICTOR H. ARTEAGA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A PORTABLE FOOD CONCESSION STAND, AT LOTS 25-28 & W14.92' LOT 29, BETTY-ROSE SUBDIVISION, HIDALGO COUNTY, TEXAS; 600 EAST HIGHWAY 83. (CUP2025-0001)

BRIEF DESCRIPTION: The property is located at the Southwest corner of East Business Highway 83 and South “E” Street. The property is zoned C-3 (General Business) District. The adjacent zoning is I-1(Light Industrial) District to the north and C-3 District. Surrounding land uses include residential homes, Frontera Collision Auto Parts, office uses, Vital Church, and Falcon bank. A portable food concession stand is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: The applicant proposes to operate a portable food concession stand measuring 26 feet by 8 feet as part of an existing business known as Taqueria El Vagoncito Chilango. The proposed hours of operation are Monday through Sunday from 10:00 a.m. to 2:00 a.m.

ANALYSIS: The McAllen Zoning Ordinance Section 138-395 subsection (14) states that a restaurant, nightclub, cafe or similar recreation or amusement establishment request one parking space for each 100 square feet of floor area, or one space for each five seats, whichever is greater. Based on the submitted site plan, three areas make up this establishment. An enclosed structure (1,118.25 square feet in floor area) used as a dining

area, the main building of the property (1,440 square feet in floor area), and lastly, the portable food concession stand. The required parking for this establishment is 26 parking spaces. There are 16 proposed parking spaces as per the site plan, 10 are provided within the subject property and six are being proposed as part of a parking agreement with the neighboring business "Frontera Collision Auto Parts". The applicant has stated that he will obtain additional parking spaces as necessary. Parking agreement document(s) have not been submitted. According to the applicant, no drive-thru services are available.

On December 28, 2024, Code Enforcement Department issued a stop work order for construction of an enclosed structure without a building permit. An application for a building permit has been submitted and is pending, the CUP request determination. The application for a conditional use permit for a portable food concession stand was submitted on January 6, 2025.

The Fire and Health Department inspections are still pending. The Planning Department has not received any calls in opposition to the request. The portable building must also meet the requirements set forth in Section 138-118(9) of the Zoning Ordinance as follows:

- 1) The proposed use shall not be located in a residentially zoned area. Betty-Rose Subdivision is zoned C-3 District.
- 2) The proposed use must be inspected by Building Inspection Department staff and meet applicable building codes.
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent; 26 parking spaces are required, however, only 16 parking spaces are being provided on the site plan resulting in a deficiency of 10 parking spaces to meet requirement. Section 138-400 of the Zoning Ordinance, states that the parking lot must be properly striped and free of potholes;
- 4) Portable building must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewer facilities shall be required to the tract and may be required to the proposed use.

RECOMMENDATION:

Staff recommends approval of the request subject to obtaining a parking agreement that fulfills compliance with parking requirements of 26 parking spaces.

AT THE PLANNING AND ZONING MEETING OF FEBRUARY 4, 2025: The item was requested to be tabled by the applicant in order to allow more time in obtaining proper documentation for a parking agreement between businesses near the subject property.



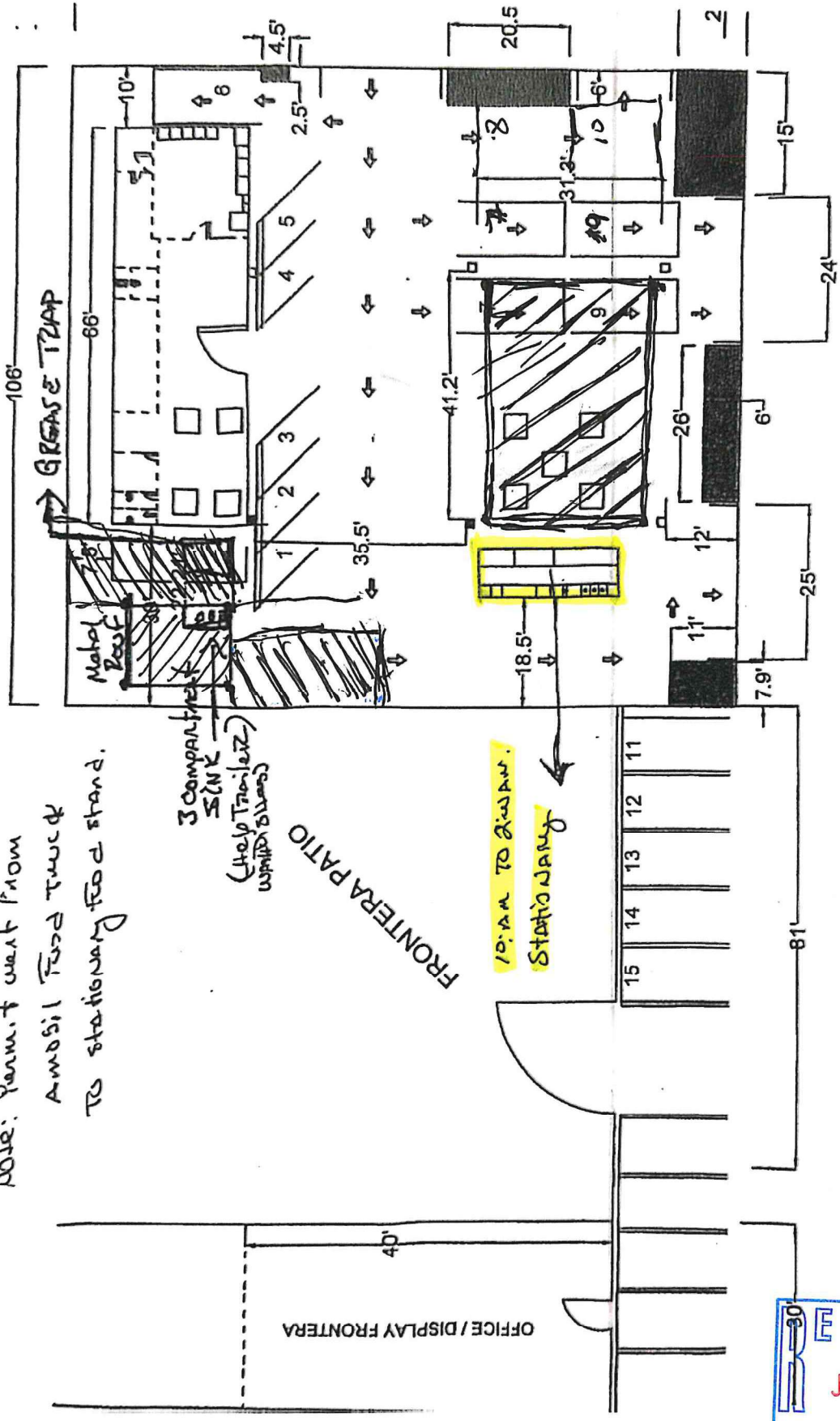
Samantha

600 E. Business B3, McAllen.

RECEIVED
R 13/22/21

Note: Permit went from
Amobil Food truck
to stationary food stand.

3 COMPARTMENT
SINK
(Help Trailer)
WATER SINKS



RECEIVED
JAN 08 2025
By OC

ERIA EL VAGONCITO CHILANGO



NOTICE
PORTABLE
FOOD
FOR
THIS PROPERTY

Memo

TO: Planning and Zoning Commission

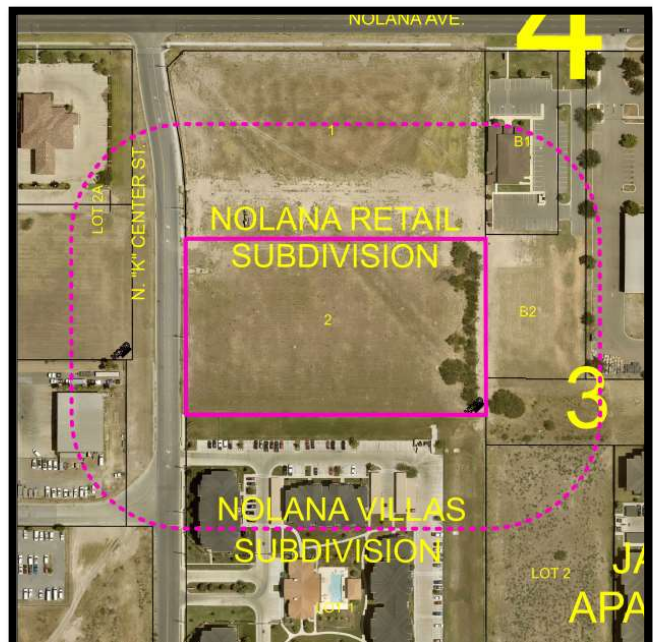
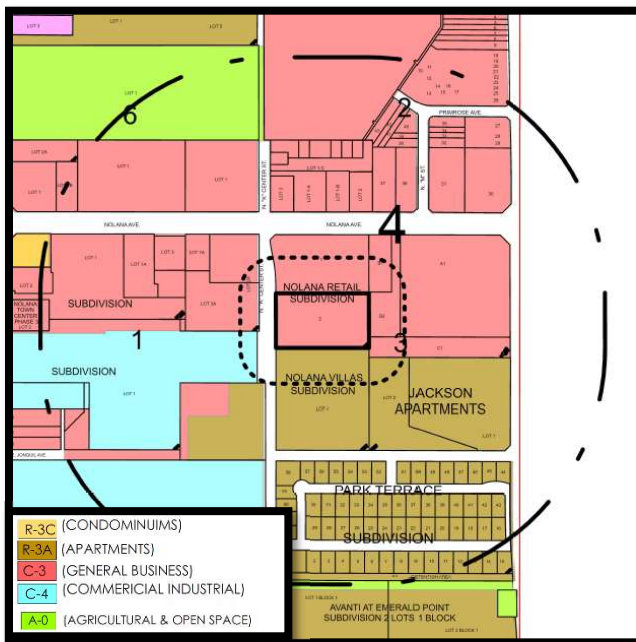
FROM: Planning Staff

DATE: February 6, 2025

SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-2 (MEDIUM-DENSITY RESIDENTIAL) DISTRICT: 3.656 ACRES, MORE OR LESS, BEING ALL OF LOT 2, NOLANA RETAIL SUBDIVISION, HIDALGO COUNTY, TEXAS; 3900 NORTH "K" CENTER STREET. (REZ2025-0001)

LOCATION: The subject property is located along the east side of North "K" Center Street, approximately 328 feet South of Nolana Avenue. The subject property is zoned C-3 (General Business) District.

PROPOSAL: The applicant is proposing to rezone the property to R-2 (Medium-Density Residential) District in order to construct a townhouse development. A feasibility plan has been submitted showing a proposed 34-Lot townhome development. A subdivision plat has not been submitted for review.



ADJACENT ZONING: The adjacent zoning is C-3 (General Business) District to the north, east, and west, R-3A (Multifamily Residential Apartment) District to the south, and C-4 (Commercial Industrial) District across North "K" Center Street to the west.

LAND USE: The subject property is vacant. Surrounding land uses include Texas Community Bank, Freedom Bank, Rio Grande Valley Orthopedic Center, Nolana Villas Apartment

Complex, L&F Distributors Corporate Office, medical offices, and vacant land.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Employment Center, which is a land use designation for light manufacturing, medical centers, and supportive retail. Residential developments of any kind are not considered appropriate for this area.

DEVELOPMENT TRENDS: The development trend for this area along North “K” Center Street is commercial and multifamily residential uses.

HISTORY: The subject property was zoned C-3 (General Business) District in 2014 and Nolana Retail Subdivision was established. The application for a rezoning request to R-2 District was submitted on January 17, 2025.

ANALYSIS: The requested rezoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, the proposed townhouse development would be compatible with the existing development trend for this area of North “K” Center Street that has an established multifamily residential uses to the south. This proposal will allow for residents to have access to compatible commercial and or personal services within a walkable distance.

Subdivision and site plan review will be required prior to building permit issuance.

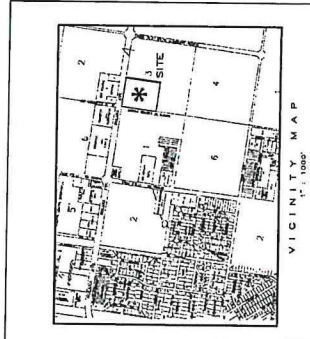
Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-2 (Medium-Density Residential) District since it conforms to the rezoning and development trends for this area.



*** NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0001**

CITY OF WILLOW SPRING, ILLINOIS
PLANNING & ZONING DEPARTMENT
WWW.CITYOFWS.IL.GOV



METES AND BOUNDS DESCRIPTION

THE METES AND BOUNDS DESCRIPTION OF THE SUBDIVISION IS AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE INTERSECTION OF THE EAST RIGHT-OF-WAY OF THE 60' SOUTH RIGHT-OF-WAY AND THE WEST LINE OF THE 17904.07 SQ FT 4.02 ACRES TRACT, THENCE S89°04'37\"

DATE TIME

DATE	TIME	DESCRIPTION	REMARKS
01	12:47	12:47	12:47
02	13:07	13:07	13:07
03	13:27	13:27	13:27

7-19-23

GENERAL PLAT NOTES

1. THE SUBDIVISION IS IN CONFORMANCE WITH THE CITY OF HOUSTON, TEXAS, SUBDIVISION MAP ACT AND THE HOUSTON SUBDIVISION MAP ACT. THE SUBDIVISION IS SUBJECT TO THE CITY OF HOUSTON, TEXAS, SUBDIVISION MAP ACT AND THE HOUSTON SUBDIVISION MAP ACT.

LEGEND

0 - 1/8" = 1/8" HOUSING

1 - 1/8" = 1/8" HOUSING

2 - 1/8" = 1/8" HOUSING

RECORDED PROFESSIONAL SERVANT

STATE OF TEXAS
COUNTY OF HOUSTON

[Signature]
RECORDED PROFESSIONAL SERVANT

Nolana Retail Subdivision

768 ACRES
OF LOT 3, BLOCK 3, BECKER COUNTY, TEXAS
VOLUME 2, PAGE 588, H.C.C.R.
JOB # 1141-023
Issue Date: FEBRUARY 3, 2023
Drawn by: R. HERNANDEZ
A Texas Registered Engineering Firm F-48888

ENGINEERING, LLC

11118 GOTH AVENUE, HOUSTON, TX 77036
PHONE: (281) 358-0808 www.rhengineering.com

GENERAL PLAT NOTES

1. THE SUBDIVISION IS IN CONFORMANCE WITH THE CITY OF HOUSTON, TEXAS, SUBDIVISION MAP ACT AND THE HOUSTON SUBDIVISION MAP ACT. THE SUBDIVISION IS SUBJECT TO THE CITY OF HOUSTON, TEXAS, SUBDIVISION MAP ACT AND THE HOUSTON SUBDIVISION MAP ACT.

RECORDED PROFESSIONAL SERVANT

STATE OF TEXAS
COUNTY OF HOUSTON

[Signature]
RECORDED PROFESSIONAL SERVANT

LEGEND

0 - 1/8" = 1/8" HOUSING

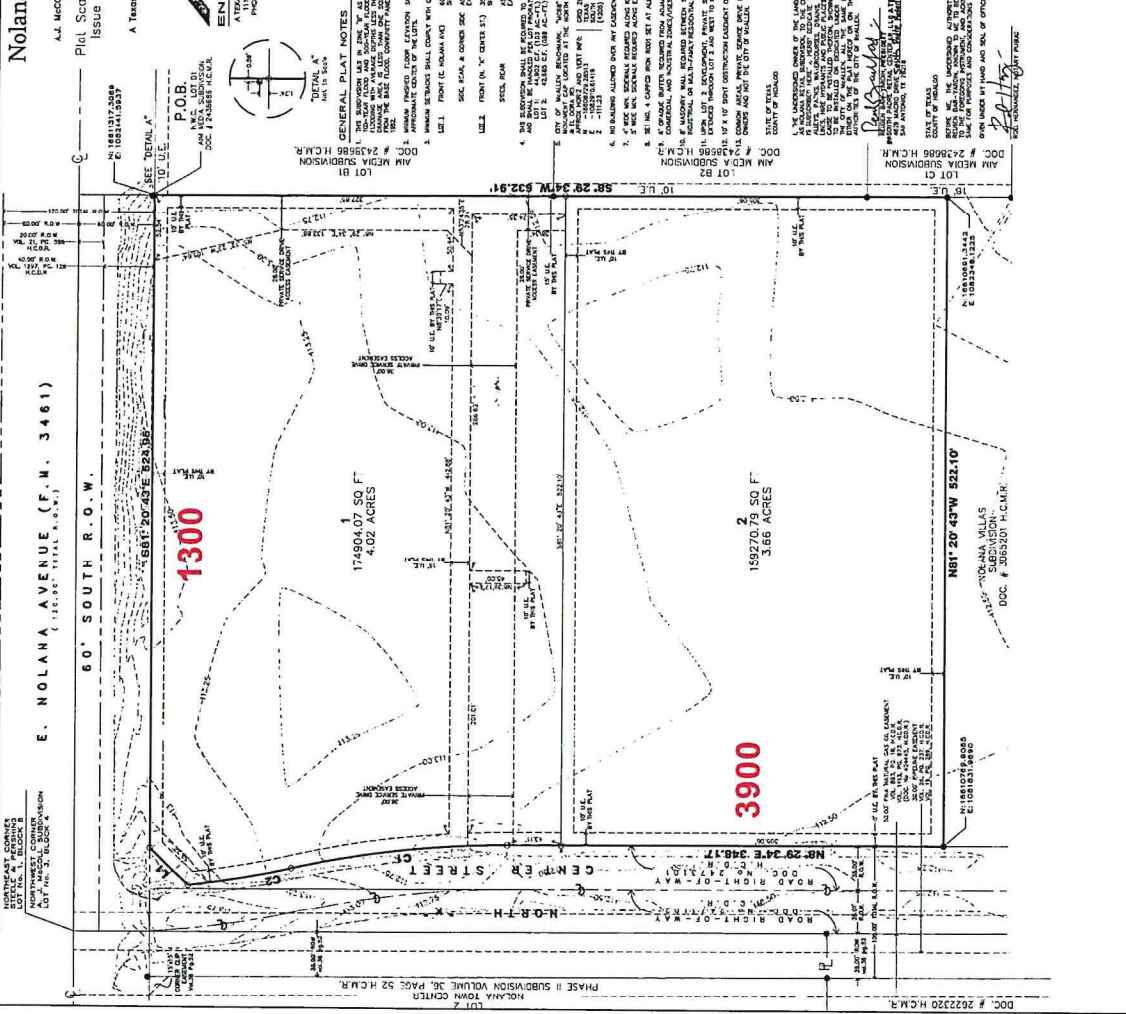
1 - 1/8" = 1/8" HOUSING

2 - 1/8" = 1/8" HOUSING

RECORDED PROFESSIONAL SERVANT

STATE OF TEXAS
COUNTY OF HOUSTON

[Signature]
RECORDED PROFESSIONAL SERVANT



PHASE 1 SUBDIVISION VOLUME 36, PAGE 52 H.C.M.R.

DOC # 2022320 H.C.M.R.

1300

3900

17904.07 SQ FT 4.02 ACRES

159270.79 SQ FT 3.66 ACRES

198120.43 SQ FT 4.52 ACRES

METES AND BOUNDS
Lot 2: 2.656-ACRE TRACT
(Continue)

Bearing basis as per NAD 1983 State Plane Coordinates Texas South FIPS 4205 Feet

THE STATED DESCRIPTION WAS SURVEYED ON THE GROUND UNDER MY DIRECTION ON SEPTEMBER 20, 2024. FOR REFERENCE SEE ACCOMPANIED SURVEY PLAT OF SAID LOT 2, 3.656-ACRE TRACT.



Homero Luis Gutierrez

December 27, 2024

Homero Luis Gutierrez – R.P.L.S. # 2791

Date

JAN 17 2025

BY: _____

EXHIBIT "A"

METES AND BOUNDS

LOT 2, NOLANA RETAIL SUBDIVISION: 3.656-ACRE TRACT

A 3.656-ACRE (3.66 ACRES RECORDED) (158,271.83 SQUARE FEET CALCULATED, 159,270.79 SQUARE FEET RECORDED) TRACT OF LAND, MORE OR LESS, BEING ALL OF LOT 2, NOLANA RETAIL SUBDIVISION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 3466948, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS (REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE), LOCATED ON THE EAST SIDE OF NORTH "K" CENTER STREET APPROXIMATELY 390 FEET SOUTH OF EAST NOLANA AVENUE, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE **POINT OF COMMENCEMENT (P.O.C.)** BEING AT A NO. 4 REBAR FOUND FOR THE APPARENT SOUTHEAST CORNER OF LOT 1 OUT OF SAID NOLANA RETAIL SUBDIVISION AND THE NORTHEAST CORNER OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT, ALSO BEING THE **POINT OF BEGINNING (P.O.B.)** OF SAID 3.656-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08°29'34" W, WITH THE APPARENT EAST LOT LINE OF SAID NOLANA RETAIL SUBDIVISION, AND OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT, A DISTANCE OF 12.30 FEET PAST A NO. 4 REBAR FOUND WITH PLASTIC CAP AT 1.46 FEET TO THE RIGHT, CONTINUING FOR A TOTAL DISTANCE OF 305.06 FEET TO A NO. 4 REBAR FOUND WITH PLASTIC CAP, BEARING S 08°29'34.2" W A DISTANCE OF 0.97 OF A FOOT FROM AN EXISTING WROUGHT IRON FENCE WITH BRICK COLUMNS CORNER, FOR THE APPARENT SOUTHEAST CORNER OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 81°28'14" W, ALONG AN EXISTING WROUGHT IRON FENCE WITH BRICK COLUMNS VARYING FROM 0.87 OF A FOOT TO 0.61 OF A FOOT TO THE LEFT OF, AND WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT, A DISTANCE OF 522.10 FEET TO A NO. 4 REBAR FOUND WITH PLASTIC CAP ON THE APPARENT EXISTING EAST RIGHT-OF-WAY LINE OF SAID NORTH "K" CENTER STREET FOR THE SOUTHWEST CORNER OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 08°29'34" E, WITH THE SAID NORTH "K" CENTER STREET EXISTING EAST RIGHT-OF-WAY LINE, THE APPARENT WEST LOT LINE OF SAID NOLANA RETAIL SUBDIVISION, AND OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT, A DISTANCE OF 305.06 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791, BEARING S 08°29'34" W A DISTANCE OF 2.81 FEET FROM A NO. 4 REBAR FOUND, FOR THE APPARENT NORTHWEST CORNER OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81°28'14" E, ALONG AN EXISTING CHAINLINK FENCE VARYING FROM 1.52 FEET TO 1.48 FEET TO THE LEFT OF, AND WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 1, AND THE NORTH LOT LINE OF SAID LOT 2 AND OF SAID 3.656-ACRE TRACT, A DISTANCE OF 522.10 FEET TO THE SAID NO. 4 REBAR FOUND FOR THE NORTHEAST CORNER OF SAID 3.656-ACRE TRACT OF LAND HEREIN DESCRIBED, ALSO BEING THE **POINT OF BEGINNING**, CONTAINING A GROSS OF 3.656 ACRES OF LAND, MORE OR LESS.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 10, 2025

SUBJECT: REZONE FROM R-3C (MULTIFAMILY RESIDENTIAL CONDOMINIUM) DISTRICT TO R-2 (MEDIUM - DENSITY RESIDENTIAL) DISTRICT 5.565 ACRES (GROSS) OUT OF LOT 47, MCALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION, HIDALGO COUNTY, TEXAS; 4313 COLBATH AVENUE. (REZ2025-0002)

LOCATION: The vacant tract is located at the southeast corner of Colbath Avenue and South Bentsen Road. The subject property is zoned R-3C (Multifamily Residential Condominium) District.

PROPOSAL: The applicant is proposing to rezone the property to R-2 (Medium-Density Residential) District in order to construct a townhouse development. A feasibility plan has been submitted showing a proposed 52-Lot townhome development.



ADJACENT ZONING: The adjacent zoning is C-3 (General Business) District to the north across Colbath Avenue. There is R-3C (Multifamily Residential Condominium) District to the east and R-1 (single family residential) District to the south and west. There is also R-3A (Multifamily Residential Apartments) District to the southwest.

LAND USE: Surrounding land uses include Kingdom Hall of Jehovah's Witnesses, Palm Villas Apartment Complex, single-family residences, and vacant land.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use category for this property as Complete Communities, which is a land use designation primarily for single family residential use. Although less appropriate, townhomes, duplex-fourplex and small multifamily may be encouraged to create diversity in housing choices. This future land use designation is appropriate in that it provides for retail, at a scale supportive of surrounding neighborhoods.

DEVELOPMENT TRENDS: The development trend for this area along Colbath Avenue is single-family residential and multifamily residential condominium along the south side. There is vacant land along the north side.

HISTORY: The property was rezoned from R-3A (Multifamily Residential Apartments) District to R-3C (Multifamily Residential Condominium) District in 2008 and has yet to be developed. The application for the current rezoning request was submitted on January 22, 2025.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. Townhomes may add to the diversity of home choices as encouraged by the Land use Plan. Furthermore, this type of development is encouraged especially when retail services are nearby. Properties on the north side of Colbath Road are zoned C-3 (General Business) District which allows for retail/services.

Subdivision and site plan review will be required prior to building permit issuance.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-2 (Medium-Density Residential) District since the land use designation encourages similar types of uses.



* NOTICE *
REZONING
FOR
THIS PROPERTY
REZ2025-0002

P.O.C.
N.W. COR.
LOT 47

P.O.B.

COLBATH ROAD
70.0' R.O.W.
S 81° 24' 12" E 243.52'

S BENTSEN ROAD
70.0' R.O.W.

MILIMEX DEVELOPMENT, LLC
A TEXAS LIMITED LIABILITY COMPANY
WARRANTY DEED WITH VENDORS LIEN
DOC No. 3001718
H.C.O.R.

5.565 Ac. GROSS
0.237 Ac. COLBATH Rd. R.O.W.
5.328 Ac. NET

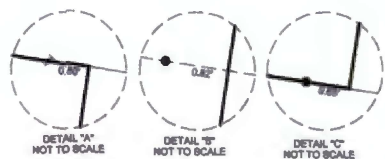


THE PALMS TOWER PHASE I SUBDIVISION
DOC No. 2002244
H.C.M.R.

Line #	Direction	Length
1.1	N 81° 24' 12" E	36.58
1.2	N 08° 35' 48" E	615.01
1.3	S 08° 34' 58" W	660.00
1.4	N 81° 24' 12" E	243.52

LEGEND

- FOUND No 4 REBAR
- FOUND PK NAIL
- SET No 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC
- POWER POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- UNDERGROUND CABLE MARKER
- SINGLE POST SIGN
- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- TYPE "A" VALET
- GAS MARKER
- ELECTRIC BOX
- COLUMN
- ▨ ASPHALT AREA
- ▨ CONCRETE AREA
- ▨ WOOD FENCE
- ▨ 1' WIDE BLOCK FENCE
- OH — OVERHEAD POWER LINE
- S — SPOTTED GAS LINE (APPROXIMATE LOCATION)
- A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
- B-B - BACK OF CURB TO EDGE OF ASPHALT
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING



NOTES:

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. BEARING BASIS IS FROM THE NAIL FOUND AT THE NORTHEAST CORNER AND THE No. 4 REBAR FOUND AT THE SOUTHEAST CORNER OF SAID TRACT.
3. ALL BEARINGS AND DISTANCES AS PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205, GRID COORDINATES.
4. SURVEY WAS PREPARED WITH THE BENEFIT OF ENCORE TITLE, LLC INSURANCE COMMITMENT OF NO. 108460 EFFECTIVE DATE AUGUST 1, 2024 (ISSUED AUGUST 13, 2024)

EASEMENTS LISTED IN SCHEDULE B:

- 10.b. RIGHT OF WAY EASEMENT GRANTED TO COUNTY OF HIDALGO, BY NICHOLAS G. REISS AND WIFE, HELEN L. REISS, DATED JUNE 18, 1978, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 1596, PAGE 143, DEED RECORDS HIDALGO COUNTY, TEXAS (AFFECTS SUBJECT TRACT PLOTTED AND SHOWN HEREON)
- 10.c. RIGHT OF WAY EASEMENT GRANTED TO SOUTH TEXAS NATURAL GAS GATHERING COMPANY, BY J.M. DANIELS AND WIFE, JESSIE C. DANIELS, DATED APRIL 14, 1969, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 946, PAGE 360, DEED RECORDS HIDALGO COUNTY, TEXAS (AFFECTS SUBJECT TRACT PLOTTED AND SHOWN HEREON)
- 10.d. RIGHT OF WAY EASEMENT GRANTED TO SOUTHWESTERN BELL TELEPHONE CO. BY EVANSVILLE COLLEGE, DATED SEPTEMBER 28, 1940, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS IN VOLUME 474, PAGE 436, DEED RECORDS HIDALGO COUNTY, TEXAS. (AFFECTS SUBJECT TRACT PLOTTED AND SHOWN HEREON)
- 10.e. UTILITY EASEMENT GRANTED TO CITY OF McALLEN, BY AT3 DEVELOPMENT, LLC, A LIMITED LIABILITY COMPANY, DATED JULY 1, 2009, FILED FOR RECORD ON JULY 10, 2009 IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, UNDER CLERK'S DOCUMENT NO. 2015072. (AFFECTS SUBJECT TRACT PLOTTED AND SHOWN HEREON)
- 10.f. EASEMENTS AND CONDITIONS AS SHOWN ON THE MAP OR PLAT THEREOF, FILED FOR RECORD IN VOLUME 8, PAGES 20 AND 25, MAP RECORDS HIDALGO COUNTY, TEXAS. (NO EASEMENTS OR SETBACK LINES SHOWN ON RECORDED PLAT. ORIGINAL RIGHT-OF-WAY IS WITHIN EXISTING RIGHT-OF-WAY)
- 10.g. EASEMENTS, RIGHTS, RULES AND REGULATIONS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1.

**PLAT SHOWING
5.565 OUT OF LOT 47
McALLEN FIRST SUBURBAN
CITRUS GROVES SUBDIVISION
VOLUME 5, PAGE 25, H.C.M.R.
CITY OF McALLEN
HIDALGO COUNTY, TEXAS**

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON, WAS MADE ON THE GROUND ON 08/21/2024 UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCRoACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.



ROBERTO H. TAMEZ, RPSS No. 6238 DATE: 01/17/2025

RECEIVED
MELDEN & HUNT INC
CONSULTANTS ENGINEERS & SURVEYORS
JAN 22 2025

REVISED: 01/17/2025
DWG: 7-1228_P3_22
DATE: 09/03/2021
JOB No. 24825.00.08
SCALE: 3/3200.00
DRAWN: J.S. & J.S.

115 W. McINTYRE
EDINBURG, TX 78641
PH: (806) 381-0981
FAX: (806) 381-1839
ESTABLISHED 1947

NS

© 2025 PROPERTY OF MELDEN & HUNT, INC. ALL RIGHTS RESERVED.

**METES AND BOUNDS DESCRIPTION
5.565 ACRES OUT OF LOT 47
McALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION
HIDALGO COUNTY, TEXAS**


A tract of land containing 5.565 acres situated in the County of Hidalgo, Texas, being out of Lot 47, McAllen First Suburban Citrus Groves Subdivision, according to the plat thereof recorded in Volume 5, Page 25, Hidalgo County Map Records, said 5.565 acres is out of a certain tract conveyed to Milimex Development, LLC, a Texas Limited Liability Company, by virtue of a Warranty Deed with Vendors Lien, recorded under Document Number 3001718, Hidalgo County Official Records, said 5.565 acres also being more particularly described as follows:

COMMENCING at the Northwest corner of said Lot 47;

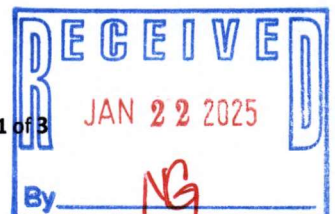
THENCE, S 81° 24' 12" E along the North line of said Lot 47 and within the existing right-of-way of Colbath Road, a distance of 35.00 feet to a Nail found for the Northwest corner and POINT OF BEGINNING of this herein described tract.

1. THENCE, S 81° 24' 12" E (S 81° 24' 00" E deed call) within the existing right-of-way of said Colbath Road, at a distance of 342.72 feet pass a PK Nail found in line, continuing a total distance of 343.52 feet (342.72 feet deed call) to a point, for the Northeast corner of this tract;
2. THENCE, S 08° 34' 58" W (S 08° 35' 10" W deed call) at a distance of 30.00 feet to a No. 4 rebar set at the existing South right-of-way of said Colbath Road, continuing a total distance of 660.00 feet to a point, for the Southeast corner of this tract;
3. THENCE, N 81° 24' 12" W (N 81° 24' 12" W deed call) along the North line of Paseo Del Rio Subdivision, as per map recorded in Volume 49, Page 160, Hidalgo County Map records, at a distance of 0.65 feet pass a No. 4 rebar found in line, continuing a total distance of 368.52 feet (367.87 feet deed call) to a No. 4 rebar found for the Southwest corner of this tract;
4. THENCE, N 08° 35' 48" E (N 08° 36' 00" E deed call) along the existing East right-of-way of S. Bentsen Road, a distance of 615.01 feet to a No. 4 rebar found for an outside corner of this tract;
5. THENCE, N 53° 35' 48" E (N 53° 36' 00" E deed call) a distance of 35.35 feet to a No. 4 rebar found for an inside corner of this tract;
6. THENCE, N 08° 35' 48" E (N 08° 36' 00" E deed call) within the existing right-of-way of said Colbath Road, a distance of 20.00 feet to the POINT OF BEGINNING and containing 5.565 acres, of which 0.237 of one acre lies within the existing right-of-way of Colbath Road, leaving a net of 5.328 acres of land, more or less.

I, ROBERTO N TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 08/21/2024 UNDER MY DIRECTION AND SUPERVISION.


ROBERTO N TAMEZ, R.P.L.S. #6238

01/17/2025
DATE:

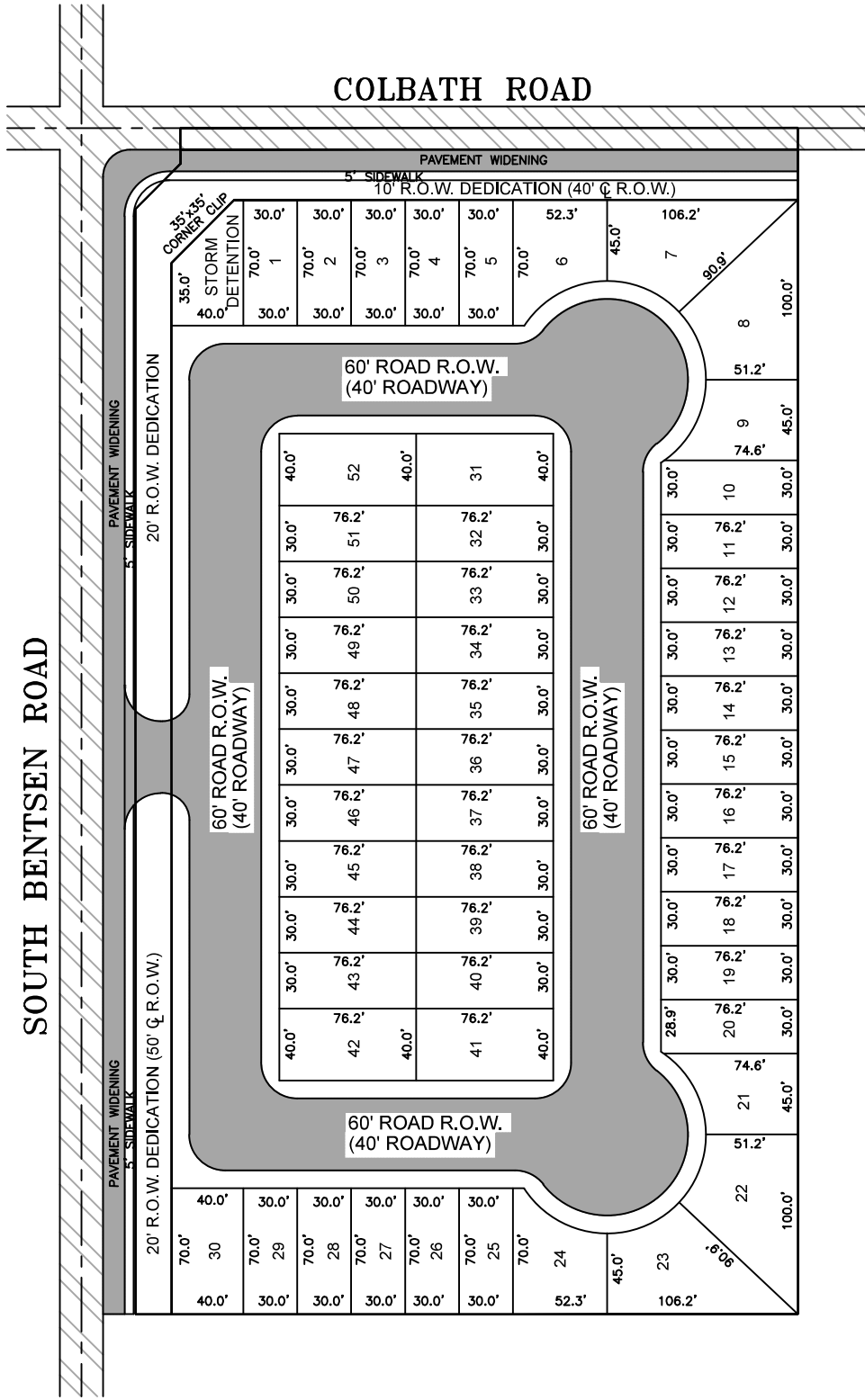


PROPOSED TOWNHOME DEVELOPMENT

5.57 ACRE TRACT OUT OF LOT 47 ADDITION TO MCALLEN FIRST SUBURBAN
CITRUS GROVES SUBDIVISION (VOLUME 5, PAGE 25, H.C.M.R.)



1"=100'



BARRERA INFRASTRUCTURE GROUP, INC.
3525 W. Freddy Gonzalez Ave, Suite B2
Edinburg, Texas 78539
956-687-3355
FAX: 956-992-8801

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM No. 6435

SUB2024-0081

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name TAJ PLAZA STORAGE SUBDIVISION

Legal Description 5.285 acres, consisting of 2.785 acres being all of Lot "A" Arapaho Subdivision according to the plat recorded in Vol 3, Page 178B and 2.500 acres being out of Lot 15, Section 11, Hidalgo Canal Company, according to the plat recorded in Vol Q, Page 175-177, H.C.D.R. H.C.M.R.

Location Approximately 425 feet nfrom ortheast corner of North 10th Street and Nolana Avenue

City Address or Block Number 4108 N. 10th Street

Total No. of Lots 1 Total Dwelling Units n/a Gross Acres 5.285 Net Acres _____

Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No

For Fee Purposes: Commercial (5.285 Acres) / Residential (_____ Lots) Replat: Yes / No

Existing Zoning C-3 Proposed Zoning C-3 Applied for Rezoning No / Yes: Date _____

Existing Land Use Commercial Plaza & Vacant Proposed Land Use Commercial Storage Units

Irrigation District # HCID#1 Water CCN: MPU / Sharyland Water SC Other _____

Agricultural Exemption: Yes / No Parcel # 189744 & 556622

Estimated Rollback Tax Due N/A Tax Dept. Review NPG 7-26-24

Owner

Name 3BU Family Limited Partnership Phone c/o (956) 381-0981
c/o Art Ortega

Address 201 South Bales Road, Unit 10 E-mail mario@meldenandhunt.com, beto@meldenandhunt.com
and drobles@meldenandhunt.com

City McAllen State TX Zip 78503

Developer

Name 3BU Family Limited Partnership Phone (c/o) (956) 381-0981
c/o Art Ortega

Address 201 South Bales Road, Unit 10 E-mail mario@meldenandhunt.com / beto@meldenandhunt.com
drobles@meldenandhunt.com

City McAllen State TX Zip 78503

Contact Person Mario A Reyna, Beto De La Garza & Della Robles

Engineer

Name Melden & Hunt, Inc. Phone (956) 381-0981

Address 115 West McIntyre Street E-mail mario@meldenandhunt.com, beto@meldenandhunt.com
and drobles@meldenandhunt.com

City Edinburg State TX Zip 78541

Contact Person Mario A Reyna, P.E., Beto De La Garza, and Della Robles

Surveyor

Name Melden & Hunt, Inc. Phone (956) 381-0981

Address 115 West McIntyre Street E-mail robert@meldenandhunt.com

City Edinburg State TX Zip 78541

KF

RECEIVED
JUL 26 2024
By N9

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

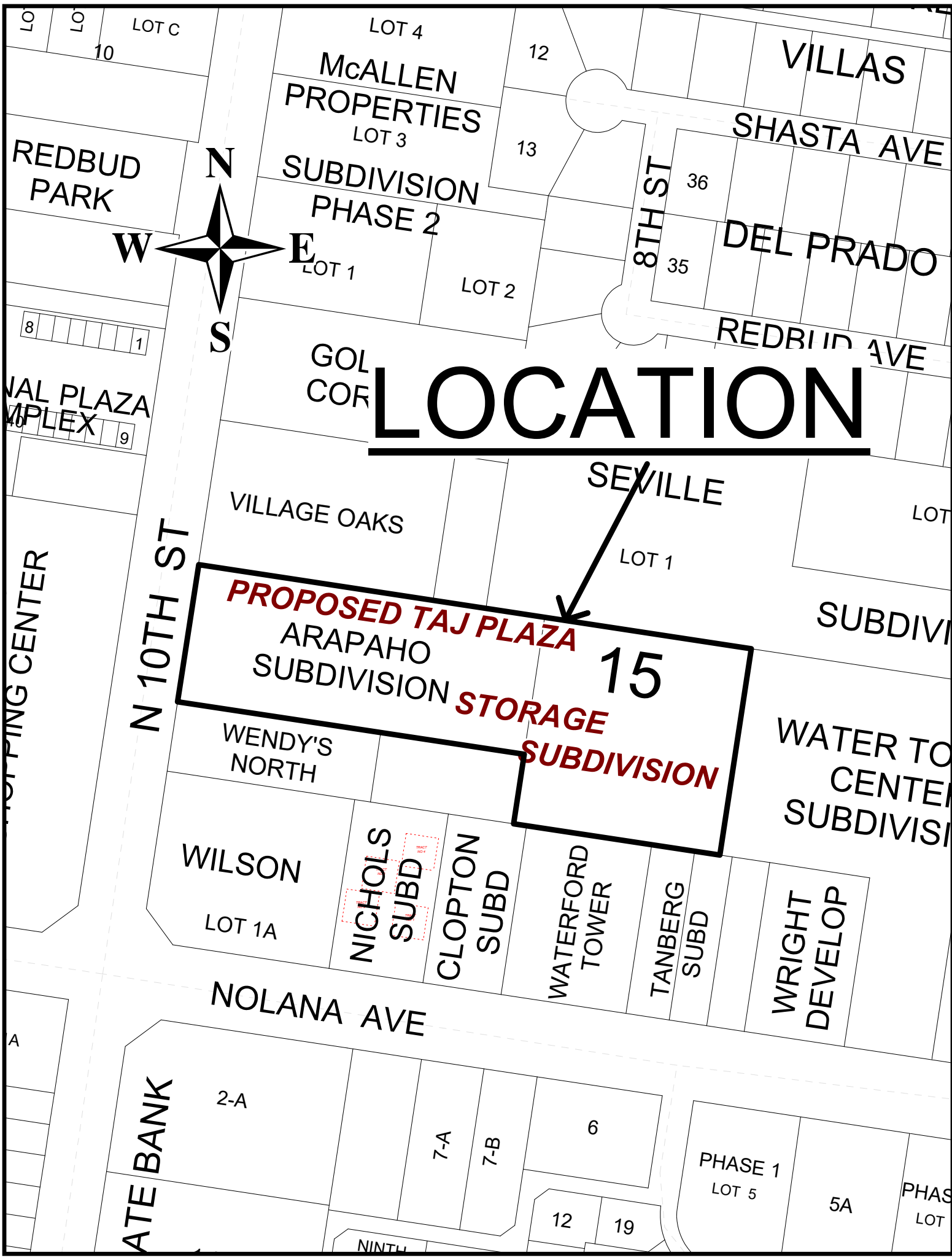
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.25.2024

Print Name Mario A Reyna, P.E.

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

PROPOSED TAJ PLAZA
ARAPAHO
SUBDIVISION **STORAGE**
SUBDIVISION **15**

SEVILLE

LOT 1



LOT 4
McALLEN
PROPERTIES
LOT 3
SUBDIVISION
PHASE 2

VILLAS

SHASTA AVE

DEL PRADO

REDBUD AVE

8TH ST

GOL
COR

VILLAGE OAKS

SUBDIVI

WATER TO
CENTER
SUBDIVISI

WENDY'S
NORTH

WILSON

NICHOLS
SUBD

CLOPTON
SUBD

WATERFORD
TOWER

TANBERG
SUBD

WRIGHT
DEVELOP

NOLANA AVE

ATE BANK

2-A

7-A

7-B

6

PHASE 1
LOT 5

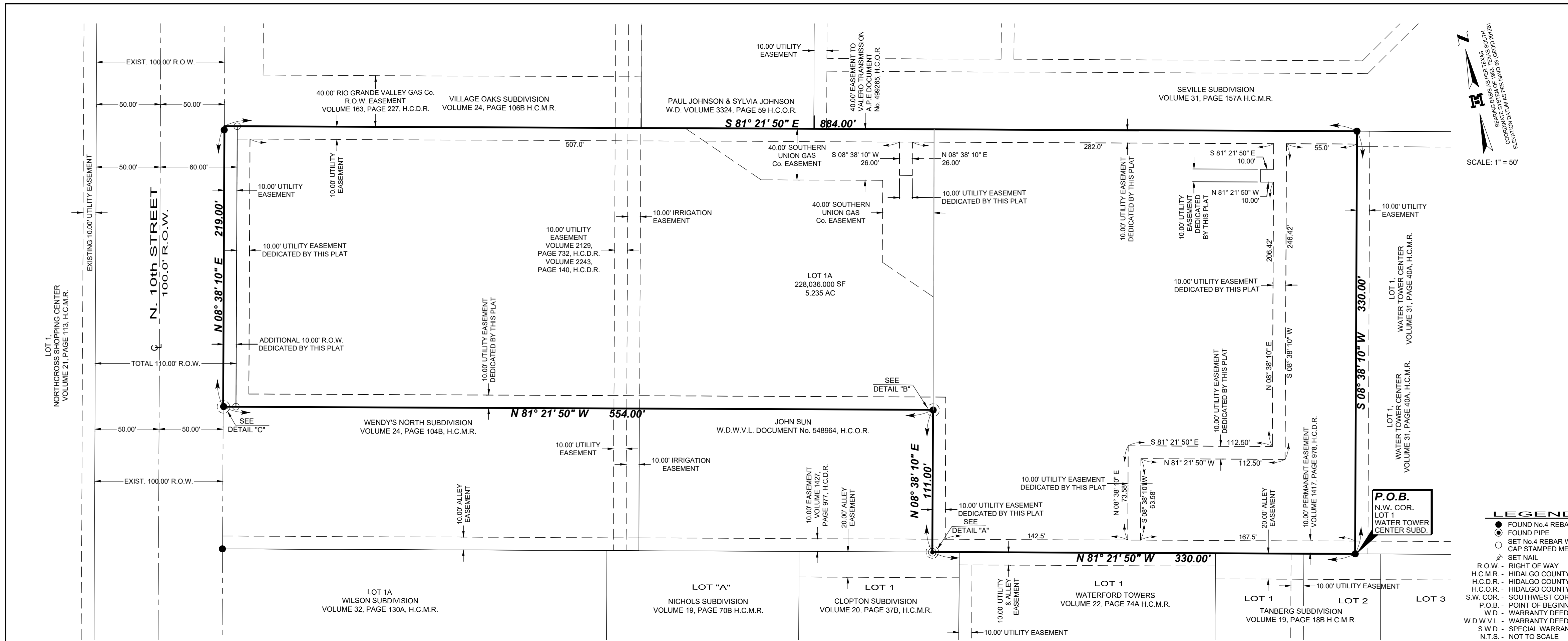
5A

PHAS
LOT

12

19

NINTH



LEGEND

- FOUND No.4 REBAR
- FOUND PIPE
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- ⚡ SET NAIL
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- S.W. COR. - SOUTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- W.D. - WARRANTY DEED
- W.D.V.L. - WARRANTY DEED WITH VENDORS LIEN
- S.W.D. - SPECIAL WARRANTY DEED
- N.T.S. - NOT TO SCALE

SUBDIVISION MAP OF TAJ PLAZA STORAGE SUBDIVISION

BEING A SUBDIVISION OF 5.285 ACRES
CONSISTING OF:
2.785 ACRES BEING ALL OF LOT "A"
ARAPAHO SUBDIVISION,
VOLUME 30, PAGE 178B, H.C.M.R.
2.500 ACRES BEING OUT OF
LOT 15, SECTION 11,
HIDALGO CANAL COMPANY,
VOLUME Q, PAGES 175-177, H.C.D.R.
CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS

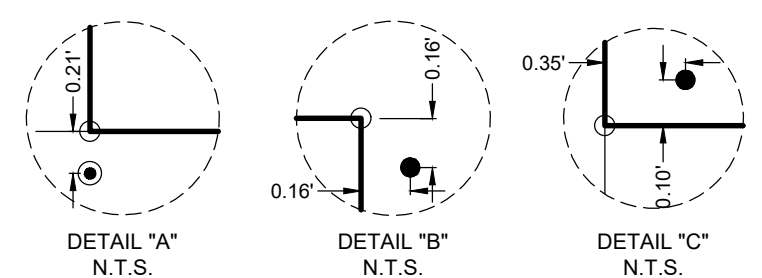
METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 5.285 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, SAID 5.285 ACRES CONSISTING OF: 2.785 ACRES BEING ALL OF LOT "A", ARAPAHO SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 30, PAGE 178B, HIDALGO COUNTY MAP RECORDS, 2.500 ACRES BEING OUT OF LOT 15, SECTION 11, HIDALGO CANAL COMPANY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME Q, PAGES 175-177, HIDALGO COUNTY DEED RECORDS, SAID 5.285 ACRES OUT OF A CERTAIN TRACT CONVEYED TO ULTIMATE INVESTMENTS, INC. BY VIRTUE OF A WARRANTY DEED WITH VENDORS LIEN RECORDED UNDER DOCUMENT NUMBER 433240 AND A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2448700, HIDALGO COUNTY OFFICIAL RECORDS, SAID 5.285 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- BEGINNING AT A NO. 4 REBAR FOUND ON THE SOUTHWEST CORNER OF LOT 1, WATER TOWER CENTER SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 31, PAGE 40A, HIDALGO COUNTY MAP RECORDS, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
1. THENCE, N 81° 21' 50" W A DISTANCE OF 330.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHERNMOST SOUTHWEST CORNER OF THIS TRACT;
 2. THENCE, N 08° 38' 10" E A DISTANCE OF 111.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
 3. THENCE, N 81° 21' 50" W ALONG THE SOUTH LINE OF SAID LOT "A", ARAPAHO SUBDIVISION, A DISTANCE OF 554.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS TRACT;
 4. THENCE, N 08° 38' 10" E ALONG THE WEST LINE OF SAID LOT "A" AND THE EAST RIGHT-OF-WAY LINE OF N. 10TH STREET, A DISTANCE OF 219.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
 5. THENCE, S 81° 21' 50" E ALONG THE NORTH LINE OF SAID LOT "A", AT A DISTANCE OF 554.00 FEET PASS THE NORTHEAST CORNER OF SAID LOT "A", CONTINUING A TOTAL DISTANCE OF 884.00 FEET TO A NO. 4 REBAR FOUND AT THE NORTHWEST CORNER OF SAID LOT 1, FOR THE NORTHEAST CORNER OF THIS TRACT;
 6. THENCE, S 08° 38' 10" W ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.285 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES :

1. THIS SUBDIVISION IS IN FLOOD ZONE "B" IS DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY PANEL NUMBER: 480343 005 C MAP REVISED: NOVEMBER 2, 1992.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:
N. 10TH STREET: 50 FT.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN.
4. CITY OF MCALLEN BENCHMARK: NUMBER MC 60, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP NORTHEAST CORNER OF THE INTERSECTION OF 10TH STREET & VIOLET STREET. GEOELECTRIC S.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N-16615056 2795, E=1017274 53569, ELEV=116.23
5. REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 16,705.00 C.F. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS.
6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
7. NO BUILDING ALLOWED OVER ANY EASEMENT.
8. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH 10TH STREET.
9. A 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONUSES.
10. A 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONUSES.
11. MINIMUM 24' PRIVATE SERVICE DRIVE EASEMENT TO BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
12. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
13. SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMIT.



LOCATION MAP SCALE: 1" = 500'



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: E.M. DATE 07-22-2024
SURVEYED, CHECKED DATE
FINAL CHECK DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT, OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

O.E. BRAND JR., PRESIDENT _____ MARK FREELAND, SECRETARY _____

APPROVED BY DRAINAGE DISTRICT:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER _____ DATE _____

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE TAJ PLAZA STORAGE SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

3BU FAMILY LIMITED PARTNERSHIP

ARTURO ORTEGA, MANAGING MEMBER _____ DATE _____
201 S. BALES RD UNIT 10
MCALLEN, TX 78503

THE STATE OF TEXAS
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARTURO ORTEGA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

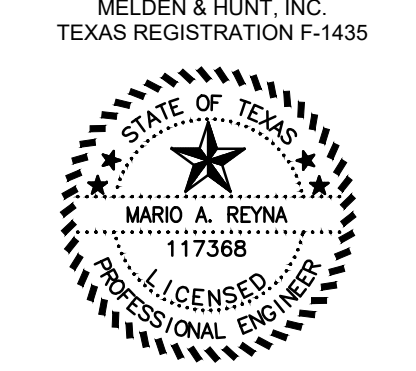
STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF _____, 20____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 07/22/24
ENGINEERING JOB # 24089.00



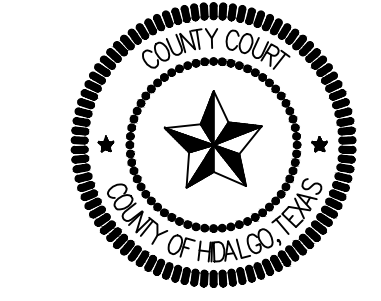
THE STATE OF TEXAS §
COUNTY OF HIDALGO §

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY ME OR UNDER MY SUPERVISION.

DATED THIS THE _____ DAY OF _____, 20____.

ROBERTO N. TAMEZ P.L.S. # 6238
STATE OF TEXAS

DATE SURVEYED: 02-25-2023
T-1149, PGS. 15-18
SURVEYING JOB NO. 22356.08



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.,
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

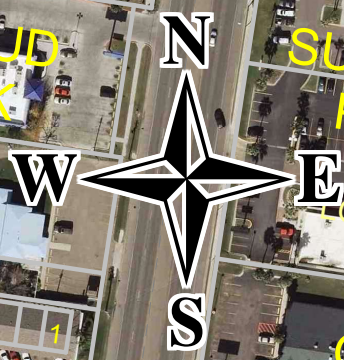
Reviewed On: 2/14/2025

SUBDIVISION NAME: TAJ PLAZA STORAGE SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 10th Street: ROW dedication for 60 ft. from centerline for 120 ft. total ROW Paving: By State Curb & gutter: By State Revisions needed: - Provide the document number on the plat and provide a copy for staff review prior to final/recording. - Clarify/remove the 10 ft. U.E. shown on the west side of N. 10th Street ROW prior to final/recording. Provide the document if the easement is by a separate document. If the easement is to any other entity, it must be abandoned prior to final/recording and referenced on the plat prior to recording. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Required
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties * Proposing plat note #11. **Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front (N. 10th Street): 50 ft. - The proposed subdivision includes a replat of Arapaho Subdivision. The setback must be the same as the recorded plat. If a different setback is requested, a vacate and replat will be required. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner **Zoning Ordinance: Section 138-356</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Garage **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN - Remove the verbiage as shown above from the plat prior to recording, as it is not a required plat note.</p>	NA
<p>SIDEWALKS</p>	Required
<p>* 4 ft. wide minimum sidewalk required on N. 10th Street. - Sidewalk requirement may increase to 5 ft. as per the Engineering Department prior to final/recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
<p>BUFFERS</p>	Required
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, or industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
<p>NOTES</p>	Applied
<p>**Must comply with City Access Management Policy * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. * Common Areas, any private drives, etc. must be maintained by the lot owners and not the City of McAllen. - Add a plat note as shown above prior to final/recording. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Applied
<p>LOT REQUIREMENTS</p>	Applied
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	Required
<p>ZONING/CUP</p>	Applied
<p></p>	NA
<p></p>	NA

* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. - Based on the subdivision application, the proposed development will be commercial. Park land dedication or fees in lieu of land dedication is not required for commercial developments.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Based on the subdivision application, the proposed development will be commercial. Park land dedication or fees in lieu of land dedication is not required for commercial developments.	NA
* Pending review by the City Manager's Office. - Based on the subdivision application, the proposed development will be commercial. Park land dedication or fees in lieu of land dedication is not required for commercial developments.	NA
TRAFFIC	
* As per Traffic Department, TIA Level I will be waived with conditions. Must comply with conditions prior to recording.	Applied
* As per Traffic Department, TIA Level I will be waived with conditions. Must comply with conditions prior to recording.	Applied
COMMENTS	
Comments: - Some easements shown on the plat do not reference a document number or a wording to indicate that they are being dedicated by this plat. Add the wordings or document number as applicable prior to final/recording. - Any abandonment must be done by a separate process, not the plat. - Clarify/remove the 10 ft. U.E. shown on the west side of N. 10th Street prior to final/recording. - Legal Description of all adjacent lots on all sides are needed prior to final/recording. - Show the boundary of Lot "A" Arapaho Subdivision with a very light shade of grey prior to final/recording. Currently it looks like a regular lot line. Review and revise prior to recording. - Plat note #2 (finished floor elevation) seem to be different from the required elevation as recorded in Arapaho Subdivision. Clarify/review and revise as applicable prior to recording. - Provide a copy of the referenced documents for staff review prior to recording. * Must comply with City's Access Management Policy. ** The proposed subdivision includes all of Lot "A" Arapaho Subdivision. All originally recorded plat notes and restrictions for Arapaho Subdivision apply.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



LOCATION

PROPOSED TAJ PLAZA
ARAPAHO SUBDIVISION
15
STORAGE SUBDIVISION

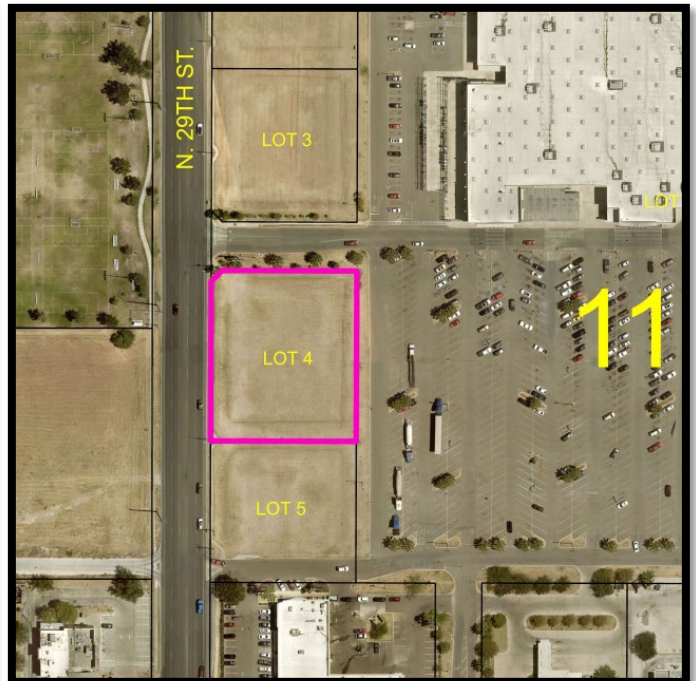
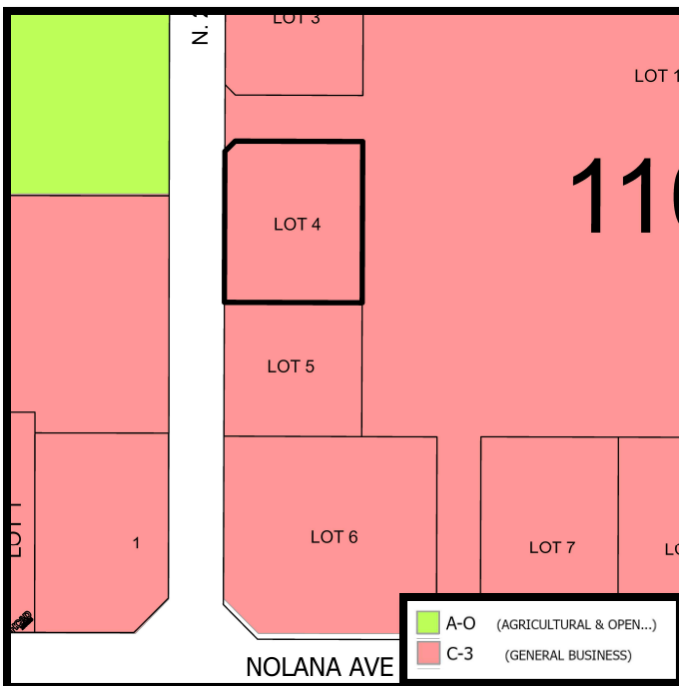
REDBUD PARK
 SHASTA AVE
 8TH ST
 DEL PRADO
 REDBUD AVE
 GOLDEN CORRAL
 SEVILLE
 VILLAGE OAKS
 CENTER
 N 10TH ST
 WENDY'S NORTH
 WILSON
 NICHOLS SUBD
 CLOPTON SUBD
 WATERFORD TOWER
 TANBERG SUBD
 WRIGHT DEVELOP
 WATER TOWER CENTER SUBDIVISION
 NOLANA AVE
 AS STATE BANK
 EL CAZADOR
 PHASE 1
 PHASE 2

Memo

TO: Planning and Zoning Commission
FROM: Planning Staff
DATE: February 6, 2025
SUBJECT: SITE PLAN APPROVAL FOR LOT 4, ROTH ROAD CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 4012 NORTH 29TH STREET. (SPR2025-0005)

LOCATION: The subject property is located along the northeast corner of North 29th Street and Nolana Avenue. The subject property is zoned C-3 (General Business) District. Adjacent zoning includes C-3 District in all directions. Surrounding land uses include Walmart Supermarket, commercial plazas, and vacant land.

PROPOSAL: The applicant is proposing to construct a 2,900 square foot building to operate a drive-thru restaurant (Zaxby's).



ANALYSIS:

Access:

Access to the site is from a private drive shared with Walmart Supermarket. There is no alley proposed.

Parking Requirements:

Based on 2,900 square feet that will be used for the proposed Zaxby's, 29 parking spaces are required for the site and 39 parking spaces are being proposed. Moreover, two of the proposed regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The

applicant is meeting parking requirements for the new development.

Landscape Requirements:

4,679.8 square feet of green area is required for the new development and 8,327 square feet is proposed. The tree requirement is as follows: 15 two-and-a half-inch-caliper trees, 8 four-inch caliper trees, 4 six-inch caliper trees, or 6 palm trees. A minimum 10-foot wide landscaped strip is required inside the front property line, North 29th Street. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

There is a 40-foot front yard setback and 15 foot utility easement along North 29th Street and a 60-foot setback along Nolana Avenue. The rear yard setback and side yard setbacks are as per Zoning Ordinance or greater for approved site plan or easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot-wide minimum sidewalk is required along North 29th Street and Nolana Avenue.

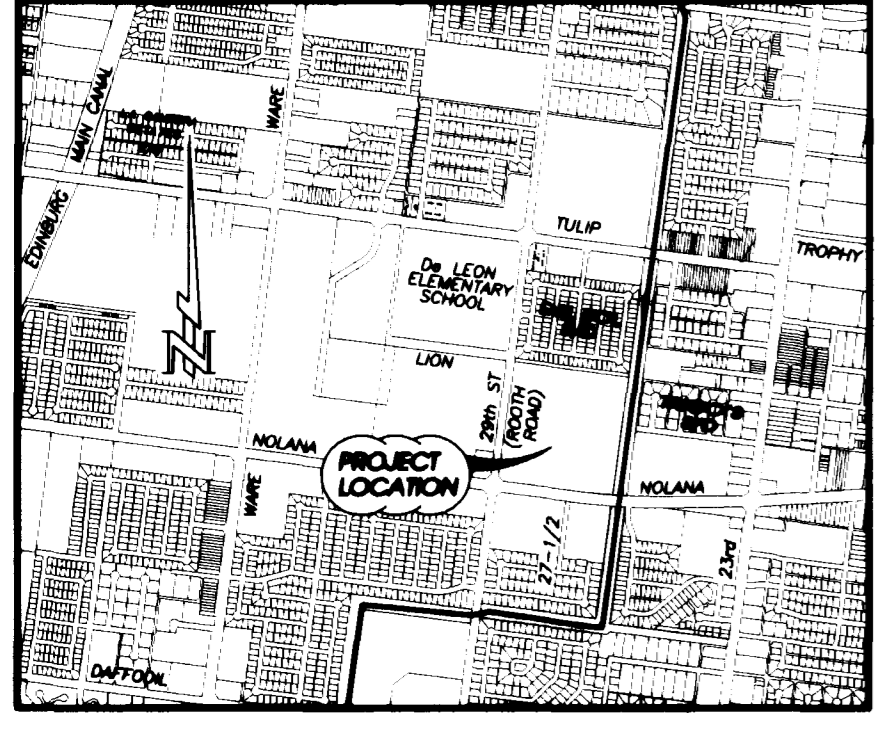
The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

RECOMMENDATION: Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, Subdivision and Zoning Ordinances.

METES AND BOUND DESCRIPTION:

ALL THAT CERTAIN TRACT OR PARCEL CONTAINING 38.894 ACRES OF LAND BEING PART OF LOT 107 AND LOT 110 OF LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, A SUBDIVISION OF RECORD IN VOLUME 34, PAGE 68, HCDR. DEED RECORDS (HCDR) SAID 38.894 ACRES HAVING BEEN CONVEYED TO JAMES W. COLLINS, TRUSTEE, IN HIS INDIVIDUAL CAPACITY BY INSTRUMENT OF RECORD IN VOLUME 2602, PAGE 129, HCDR, AND (2) 2.27 ACRE PART OF LOT 107 AND LOT 110 FROM HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 BY AN INSTRUMENT OF RECORD IN VOLUME 2602, PAGE 129, HCDR, SAID 38.894 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: TO WIT: BEGINNING AT THE SOUTHWEST CORNER OF LOT 110, BEING THE INTERSECTION OF THE CENTERLINE OF NOLANA AVENUE, 120' WIDE WITH THE CENTERLINE OF 29TH STREET, 60' WIDE; THENCE N 08°36'17" E, 1396.46 FEET ALONG THE CENTERLINE OF 29TH STREET AND WEST LINE OF LOT 110 AND LOT 107 TO A POINT FOR NORTHWEST CORNER;

VICINITY MAP N.T.S.



COORDINATE TABLE

POINT	X (Easting)	Y (Northing)
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ZAXBY'S
MCALLEN FH56



4012 N 29TH ST,
MCALLEN, TX
78504

CLIENT:
Zaxby's
Franchising

REVISION:

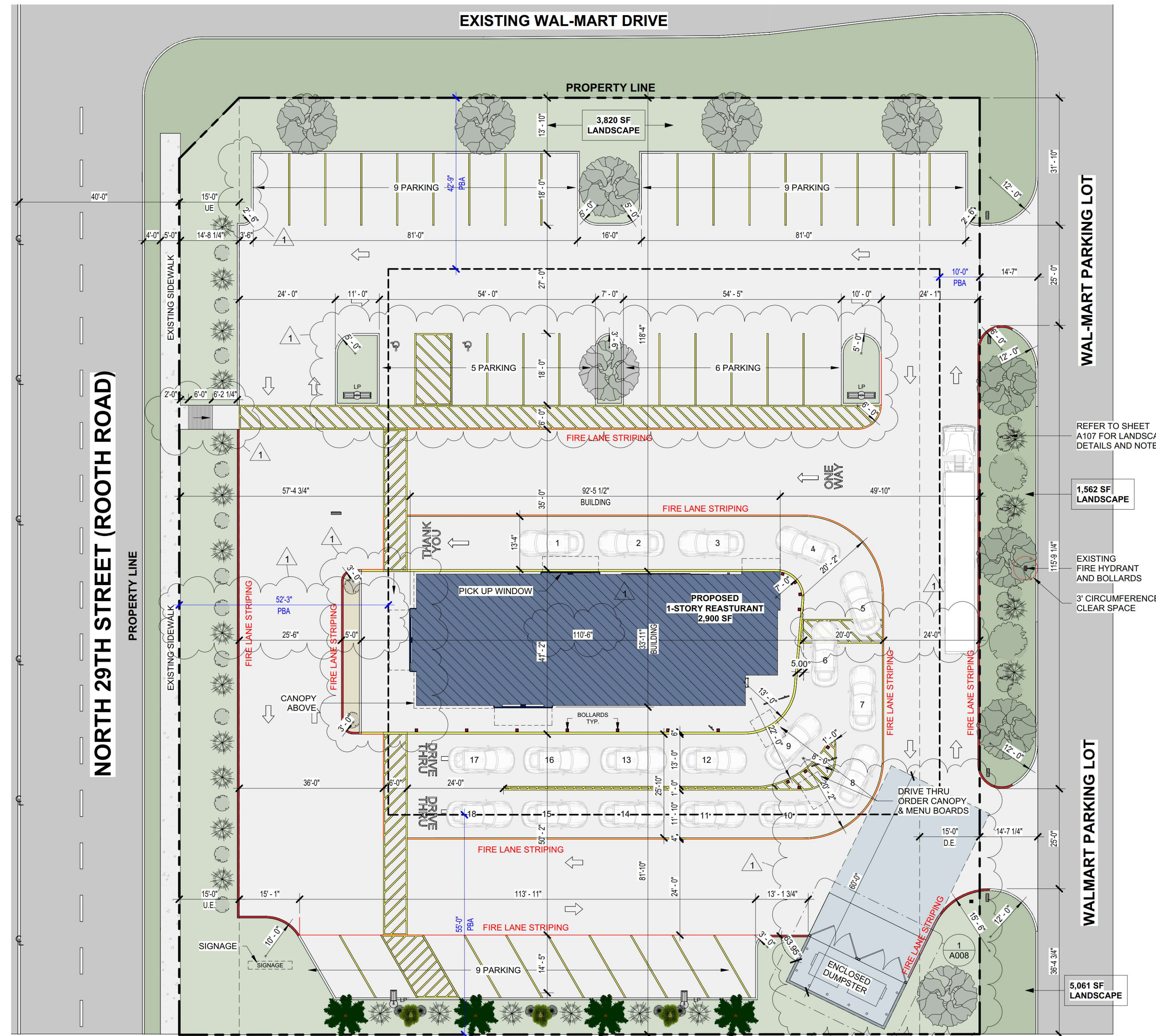
No.	Description	Date
1	COMMENTS	1-28-2025

PROJECT #: 240906
DRAWN BY: DAM
CHECKED BY: CG3
DATE: 01/28/2025

SITE PLAN

A005

FOR REVIEW



GENERAL NOTES:

- OWNER WILL PROVIDE SOILS TESTS PRIOR TO FOUNDATION WORKS.
- PROVIDE SIDEWALK AS PART OF BASE BID.
- FOR UTILITIES, RE: MEP
- WARNING: CONTACT AEP FOR ELECTRICAL SERV. & CITY OF MCALLEN FOR WATER & SEWER UTILITIES.
- ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE, GRADING AND PAVING TO BE IN ACCORD WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL FOR CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PAYING ANY FEES FOR PERMITS AS REQUIRED FOR THIS CONSTRUCTION.
- CONTRACTOR TO SET CONTROL GRADES AT 25' INTERVALS ALONG ALL PAVING FLOW LINES.
- PROVIDE JOB SIGN
- ALL SOIL PLACED ONTO SITE IS TO BE COMPACTED TO 80% DENSITY, EXCEPT UNDER ANY PAVING COMPACTION IS TO BE 95%, U.N.O.
- ALL PIPES SLEEVES SHALL BE SCH 40 PVC, AND FURNISHED IN PLACE BY THE CONTRACTOR BEFORE PAVING.
- 6" CONC. CURB & 12" GUTTER

SITE NOTES:

- MAXIMUM SLOPE AT SIDEWALK IS NOT TO EXCEED 1:20 (5%) ALONGSIDE AND 1:50 (2%) ACROSS.
- SITE DRAINAGE SHALL NOT BE DIRECTED TOWARD ADJACENT PROPERTIES.
- BUILDING PAD ELEVATION TO BE SET BASED ON THE AREA SURVEY AND THE APPLICABLE FLOOD ZONE.
- VERIFY LOCATION OF SITE IMPROVEMENTS IN RELATION TO BUILDING, PROPERTIES TO BUILDING, PROPERTY LINES AND EASEMENTS.

ADA NOTES:

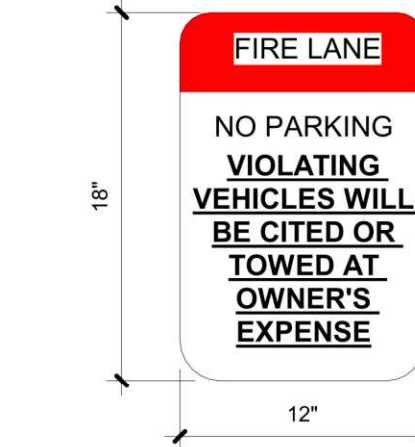
- ALL SIDEWALKS AND COVERED WALKWAYS SHALL HAVE 1:50 MAXIMUM CROSS SLOPE SIDEWALKS OR COVERED WALKWAYS THAT MUST HAVE SLOPES GREATER THAN 1:20 SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL BE 34" TO TOP A.F.F. THERE SHALL BE NO ABRUPT CHANGE IN ELEVATION ALONG ACCESSIBLE ROUTES AT SIDEWALKS AND COVERED WALKWAYS.
- CURB RAMP SLOPE SHALL BE 1:20 MAXIMUM WITH 1:10 FLARED SIDES AND SHALL BE TEXTURED, PAINT WITH A LIGHT REFLECTIVE PAINT, PARALLEL CURB RAMP SLOPE SHALL BE 1:12 MAXIMUM & TEXTURED, PAINT WITH A LIGHT REFLECTIVE PAINT. ALL CURB RAMPS HAVE A LANDING AT TOP & BOTTOM. LANDINGS SHALL HAVE A 1:50 MAXIMUM SLOPE IN ANY DIRECTION.
- STRIPED ACCESS AISLES AND ACCESSIBLE PARKING SHALL HAVE A MAXIMUM CROSS SLOPE IN ALL DIRECTIONS OF 1:50.
- ALL GRADING SHALL BE DONE TO DRAIN WATER AWAY FROM BUILDINGS.
- ALL EXTERIOR ALCOVES SHALL HAVE A 1:50 MAXIMUM SLOPE AND SHALL HAVE NO DROPS AT DOORS NOR AT CONNECTION SIDEWALKS.
- REFER TO CIVIL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR CONTRACTING ARCHITECT IN CASE OF DISCREPANCIES AND COORDINATING WITH CIVIL ENGINEER PRIOR TO PROCEEDING.
- ALL EXTERIOR DOORS SHALL HAVE A LEVEL AREA IN FRONT OF THE DOOR WITH A 1:50 MAXIMUM SLOPE IN ALL DIRECTIONS. THE AREA SHALL BE A MINIMUM OF 5 FT. IN THE DIRECTIONS OF TRAVEL BY THE WIDTH OF THE SIDEWALK.

LEGEND:

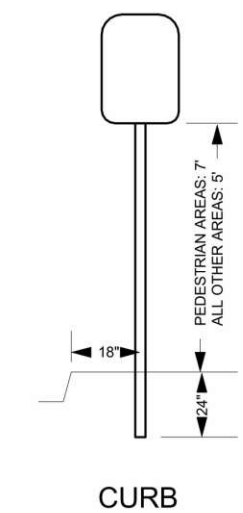
- NEW CONCRETE PAVING
- ROCKSCAPE
- GRASS

FIRE SUPPORT LEGEND

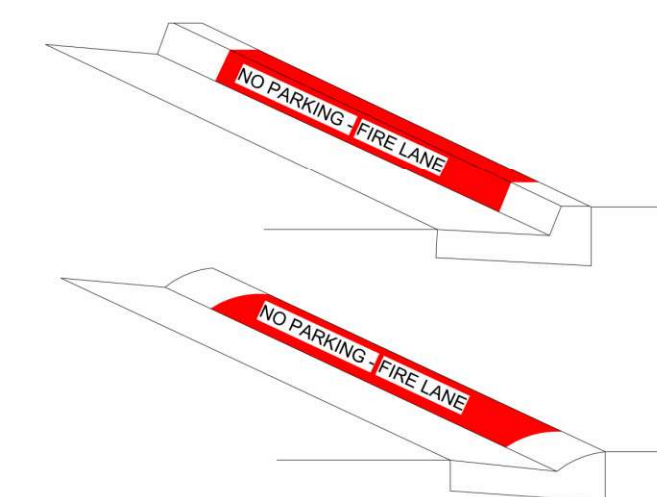
- PROVIDE RED PAINTED CURB OR TRAFFIC STRIPING TO IDENTIFY FIRE LANE, WITH WHITE LETTERS AT LEAST 3" TALL TO READ "FIRE LANE NO PARKING TOW AWAY ZONE" PERIODICALLY AT 25'-0" O.C. OR AS DIRECTED BY FIRE MARSHALL OR ARCHITECT
- IF NOT LOCATED AT ANY OTHER LOCATION OR ENTRY TO BUILDING - CONTRACTOR TO PROVIDE "KNOX BOX" AT LOCATION INDICATED, CONTRACTOR TO COORDINATE WITH OWNER AND FIRE DEPARTMENT FOR KEYING REQUIREMENTS. PROVIDE KNOXBOX 3200 SERIES RECESS MOUNT, BLACK
- FIRE ACCESS ROAD, ALL WEATHER



MOUNTING SPECIFICATIONS FOR FIRE LANE ENTRANCE AND NO PARKING SIGNS



3 FIRE LANE NO PARKING SIGN
1 1/2" = 1'-0"

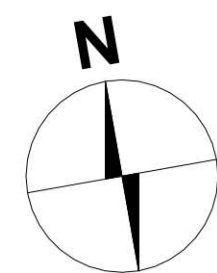


5 FIRE LANE NO PARKING 2
3/4" = 1'-0"



4 FIRE LANE NO PARKING DIMENSIONS
3/8" = 1'-0"

1 SITE PLAN
SCALE: 1/16" = 1'-0"



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CLIENT:
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REVISION:

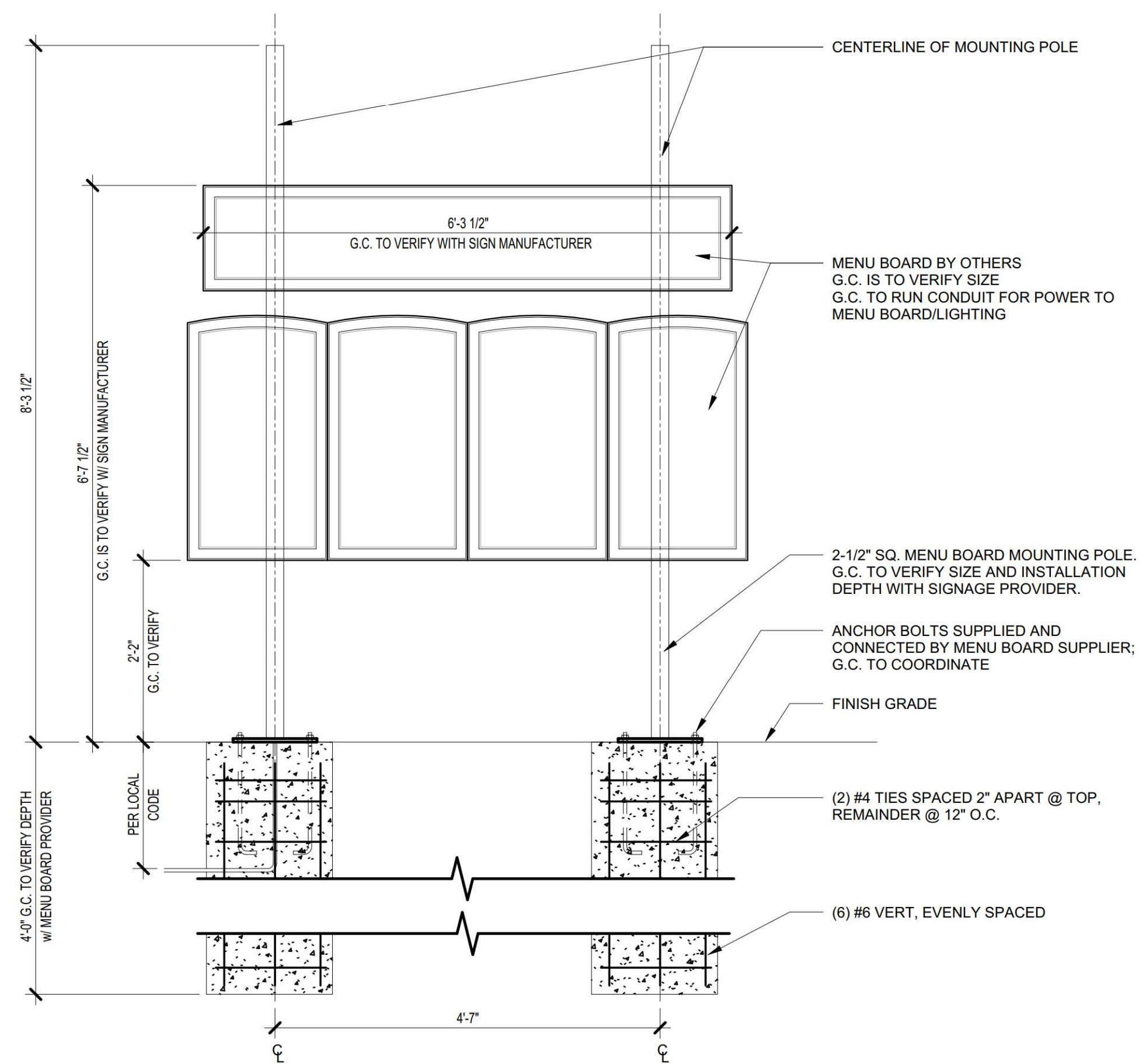
No.	Description	Date

PROJECT #: 240906
DRAWN BY: DAM
CHECKED BY: CG3
DATE: 01/28/2025

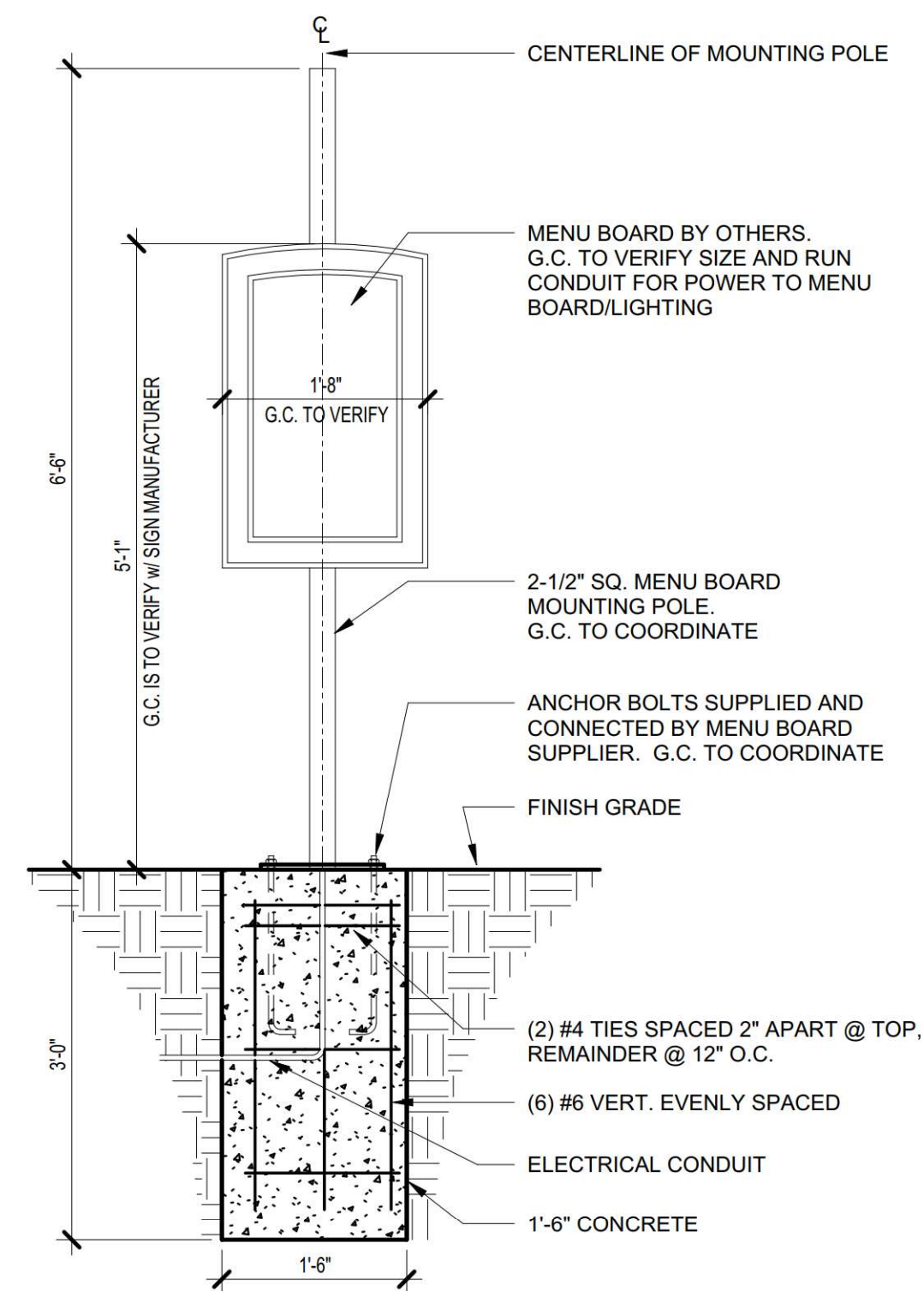
SITE DETAILS

A006

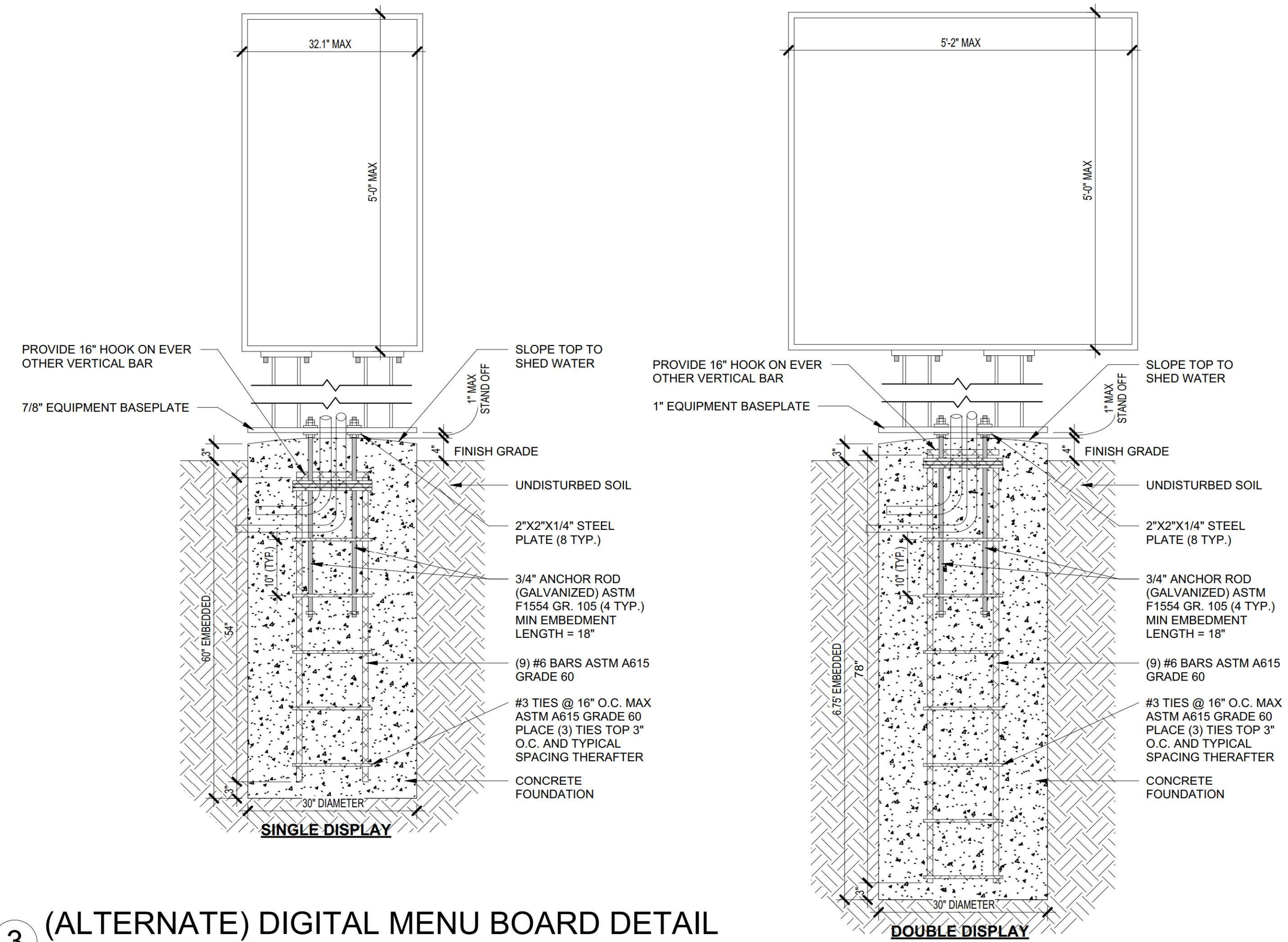
FOR REVIEW



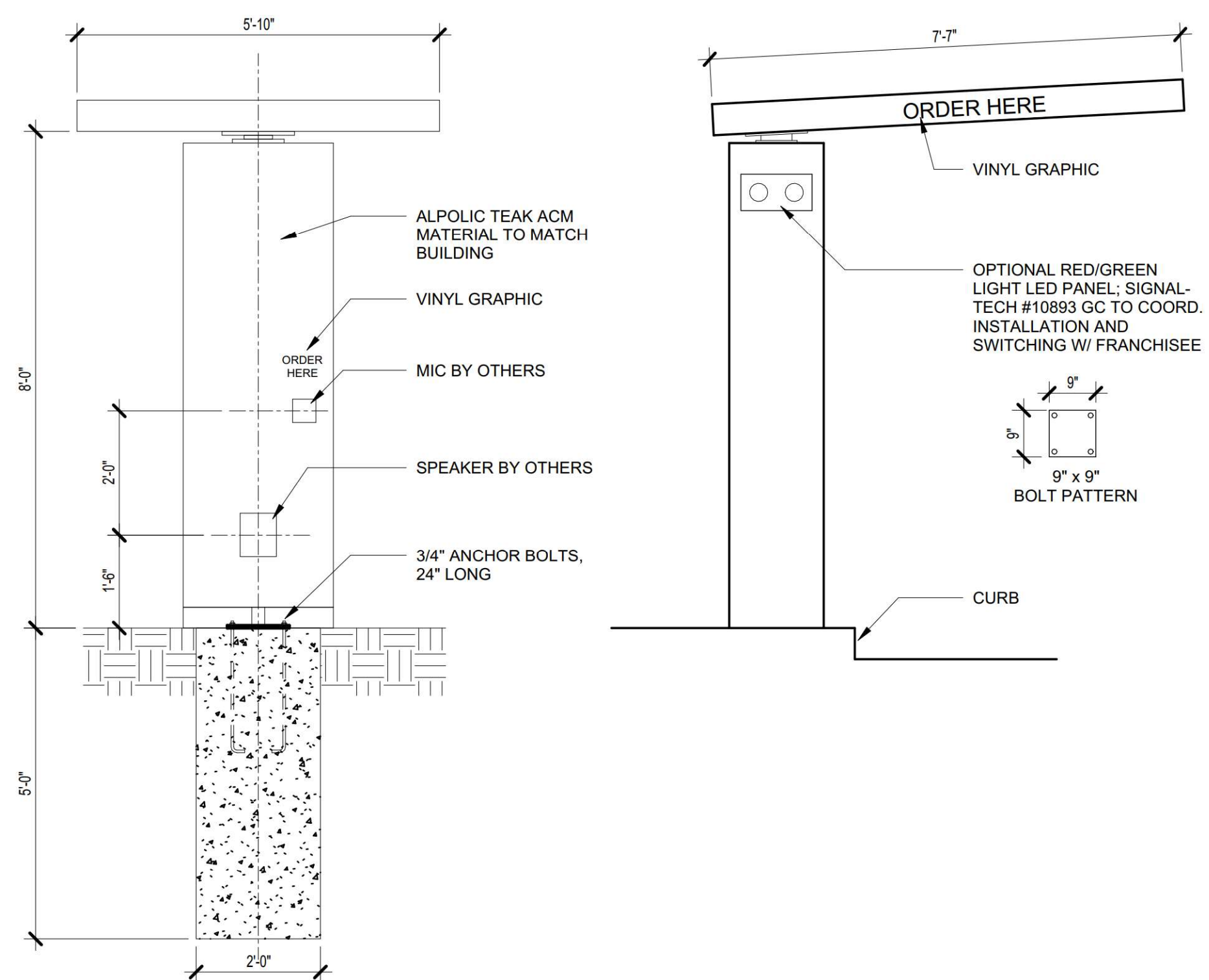
1 ELEVATION @ MENU BOARD SIGN
SCALE: 3/4" = 1'-0"



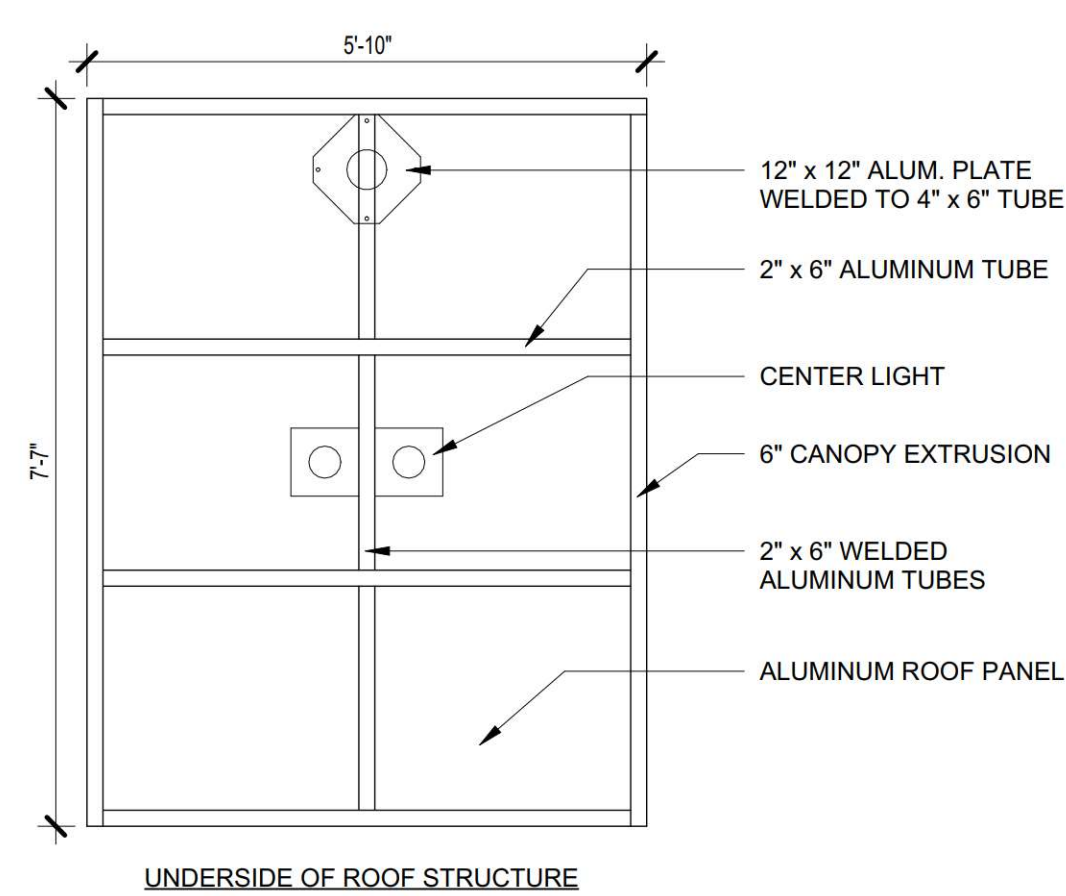
2 PRE-SELL
MENU BOARD SIGNAGE
SCALE: 3/4" = 1'-0"



3 (ALTERNATE) DIGITAL MENU BOARD DETAIL
SCALE: 3/4" = 1'-0"



22 DRIVE THRU ORDER CANOPY
SCALE: 1/2" = 1'-0"





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ZAXBY'S
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4012 N 29TH ST,
MCALLEN, TX
78504

CLIENT:
Zaxby's
Franchising

REVISION:

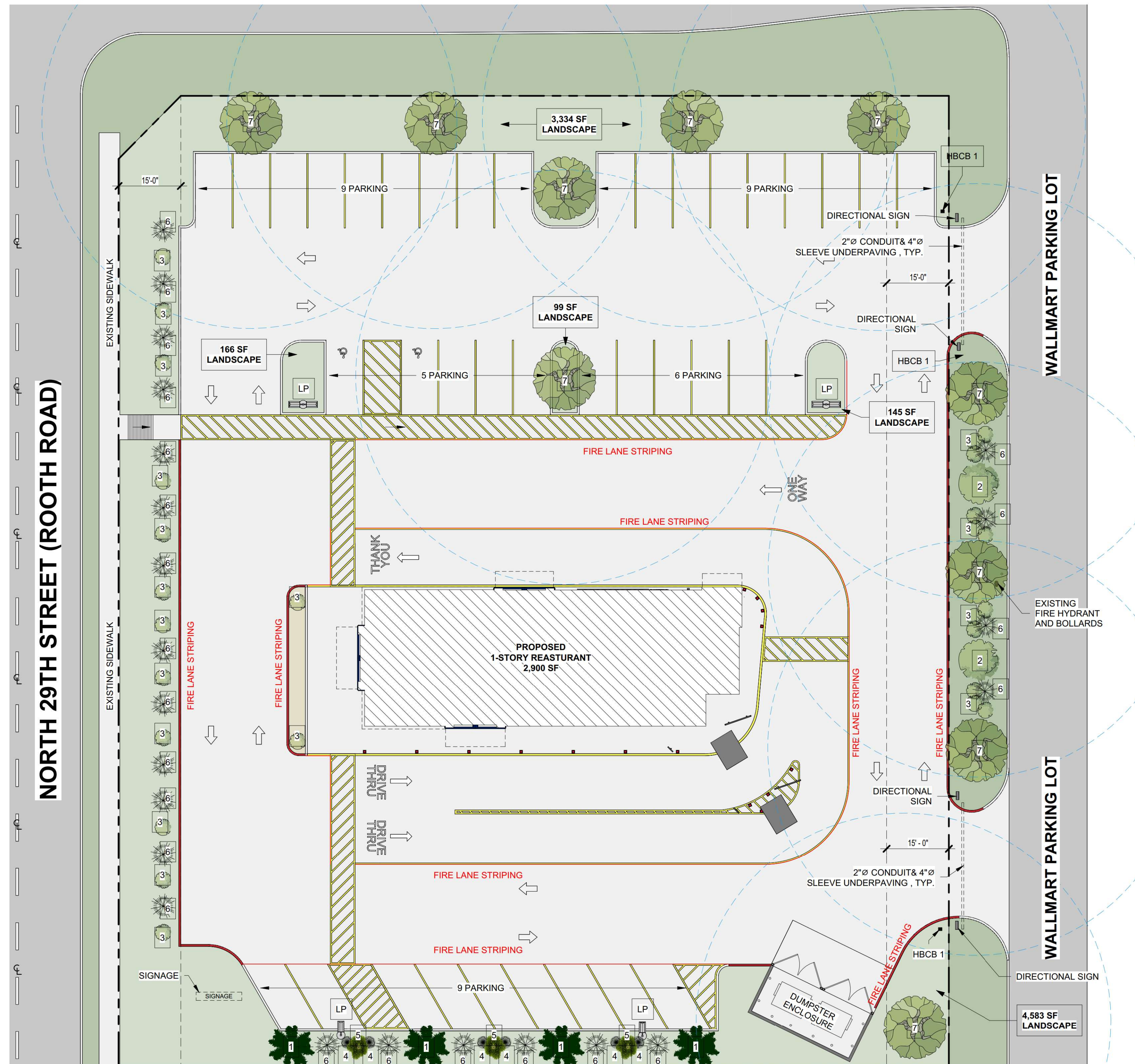
No.	Description	Date

PROJECT #: 240906
DRAWN BY: DAM
CHECKED BY: CG3
DATE: 01/28/2025

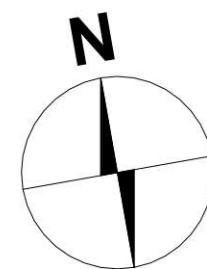
LANDSCAPING
PLAN

A007

FOR REVIEW



1 SITE PLAN
SCALE: 1/16" = 1'-0"



TAG	SYMBOL	SCIENTIFIC NAME	COMMON NAME	CHARACTERISTICS	QTY
1		WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	TREE-LIKE PALM; SLOW GROWTH	4
2		INGNADIA SPECIOSA	MEXICAN BUCKEYE+	4" CALIPAR DECIDUOUS; ROSE COLORED FLOWERS	2
3		SALVIA FARINACEA	MEALY BLUE SAGE+	EVERGREEN; BLUE FLOWERS	26
4		SALVIA GREGGII	AUTUMN SAGE+	EVERGREEN; FULL TO PART SUN; FLOWERS	6
5		SABAL MINOR	DWARF PALMETTO*	TRUNKLESS, BUSHY PALM	3
6		LEUCOPHYLLUM SP.	CENTRAL TEXAS SAGE**	EVERGREEN FOLIAGE; SUMMER FLOWERS	23
7		QUERCUS VIRGINIANA	LIVE OAK*	4" CALIPER EVERGREEN SHADE TREE	10
8		NEW GRASS MATCH EXISTING			
TOTAL:					74

IRRIGATION NOTES:

- LWM-1 PROPOSED LANDSCAPE IRRIGATION WATER METER LOCATION. CONNECT TO SITE WATER SUPPLY LINE AS REQUIRED BY IRRIGATION DESIGNER. SLEAVES INDICATED ON PLAN FOR CONVENIENCE, FINAL LOCATION AS PER LICENSED IRRIGATION DESIGNER. IRRIGATION PLAN, DETAILS, AND NOTES TO BE PROVIDED BY LICENSED IRRIGATOR.
- HBCB-1 HOSE BIBB CONNECTION BOX
- ALL LANDSCAPED AREAS WILL BE IRRIGATED. ALL LANDSCAPE AREAS LOCATED IN THE RIGHT-OF-WAY WILL HAVE DRIP IRRIGATION
- ALL TREES TO BE MINIMUM 10' IN HEIGHT WHEN PLANTED

LANDSCAPE PERCENTAGE AREA

46,696.32 SF TOTAL PROPERTY
38,369.32 SF PAVING AREA
8,327.00 SF LANDSCAPE AREA

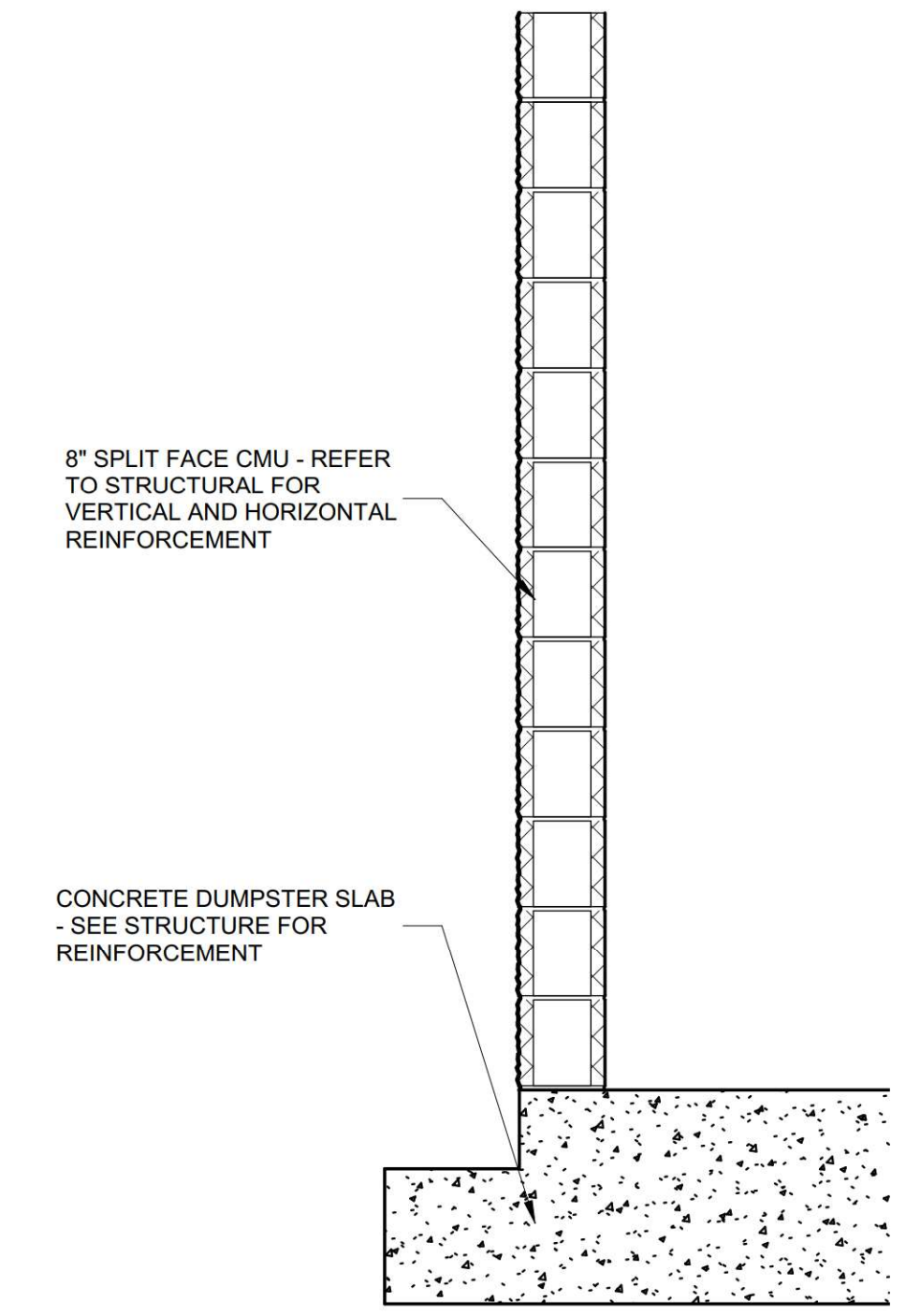
15% REQUIRED GENERAL COMMERCIAL ZONING
17.80% LANDSCAPE AREA PROVIDED

REVISION:

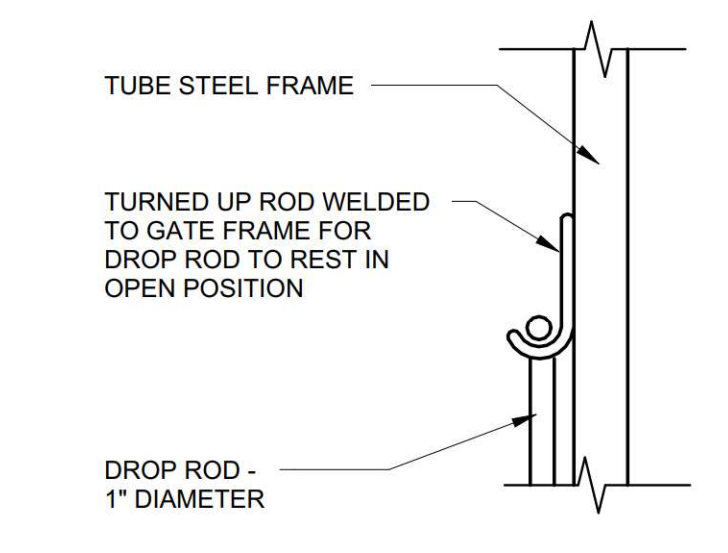
No.	Description	Date

FOR REVIEW

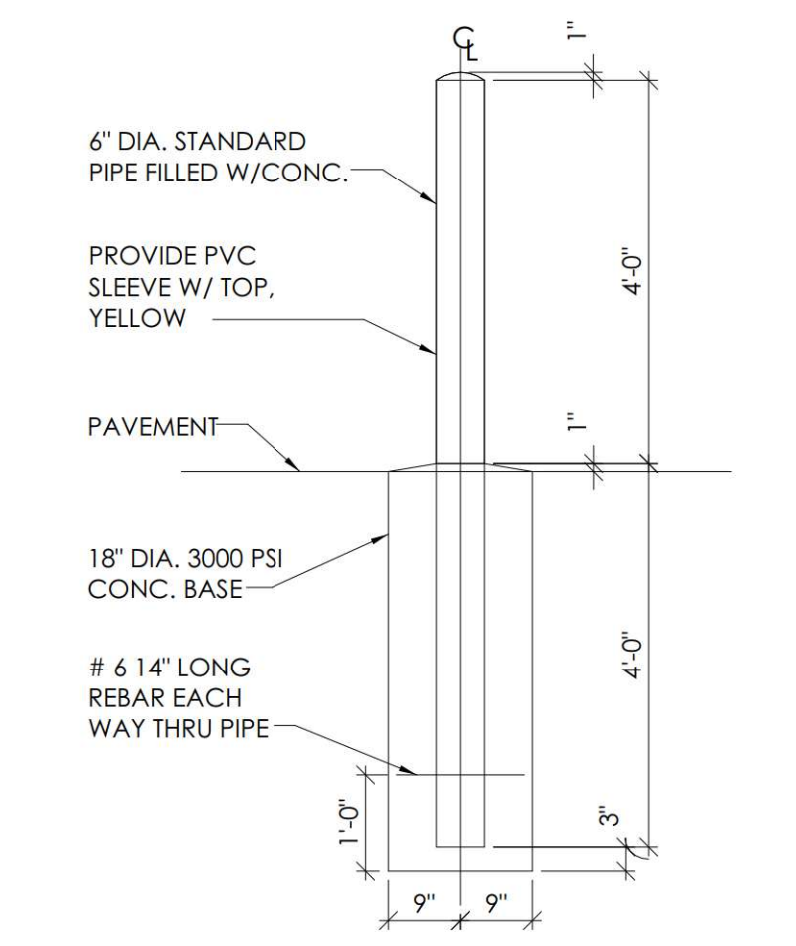
4 TRASH ENCLOSURE WALL
SCALE: 3/4" = 1'-0"



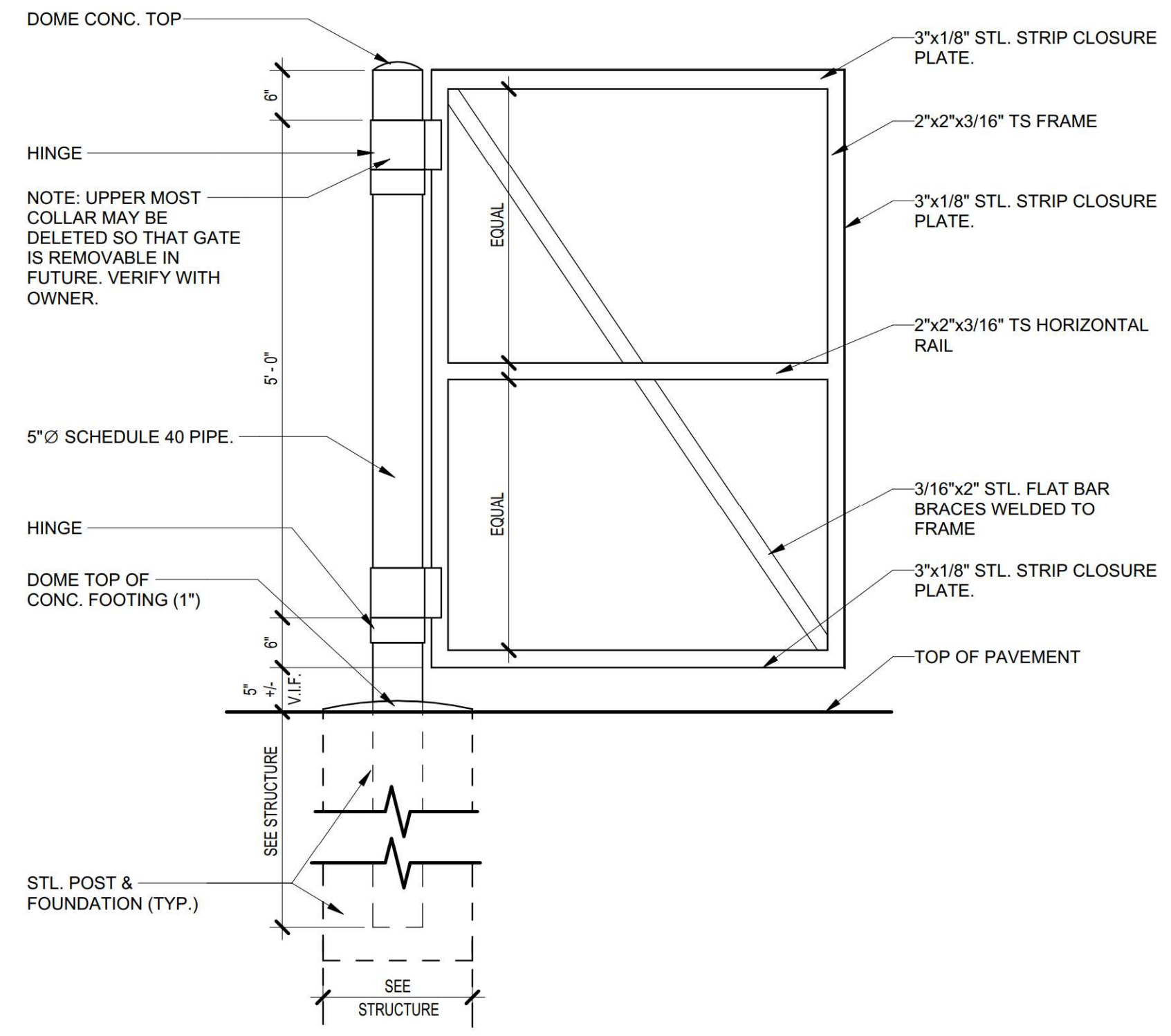
9 GATE DROP
SCALE: 3" = 1'-0"



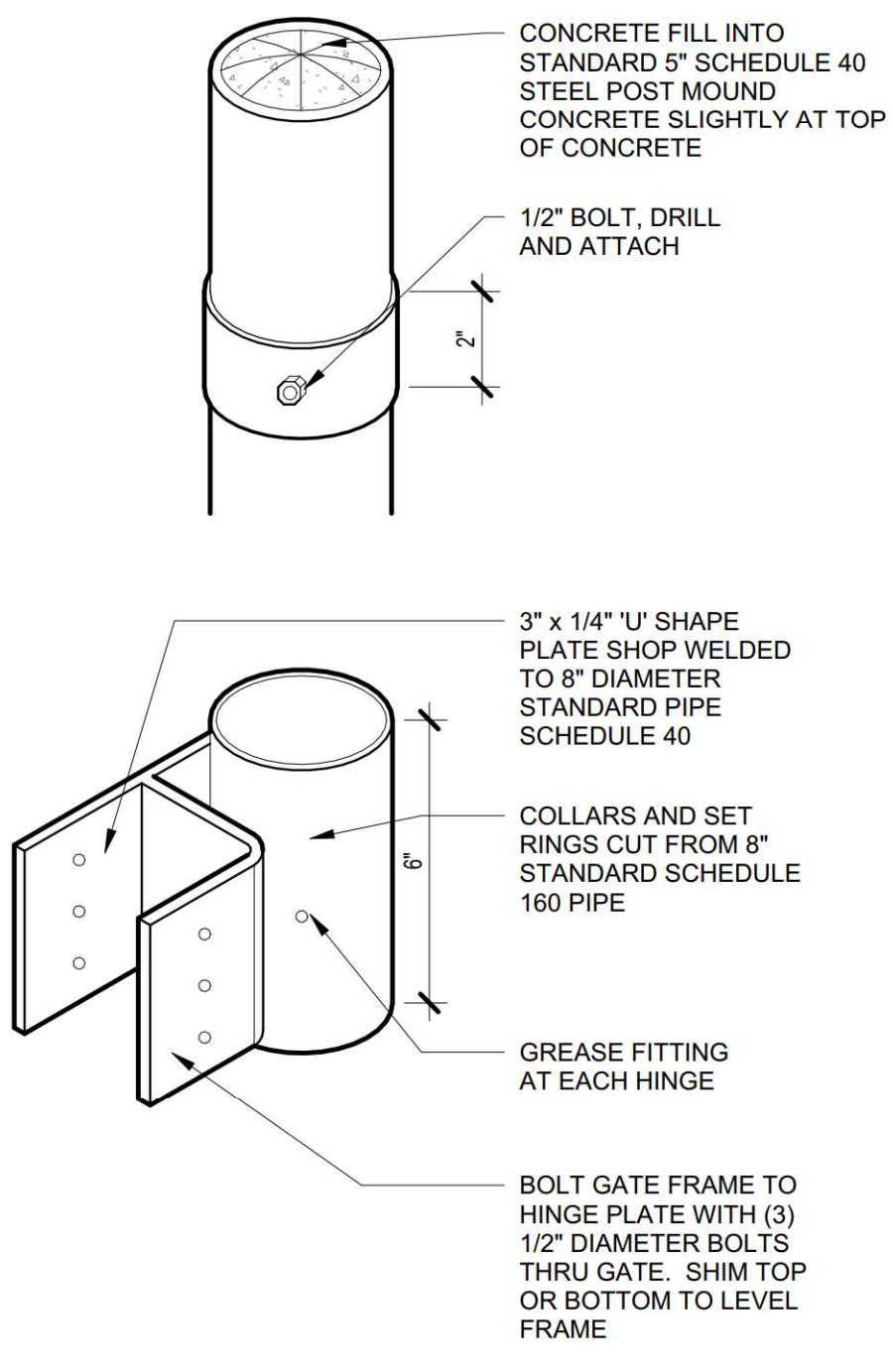
10 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



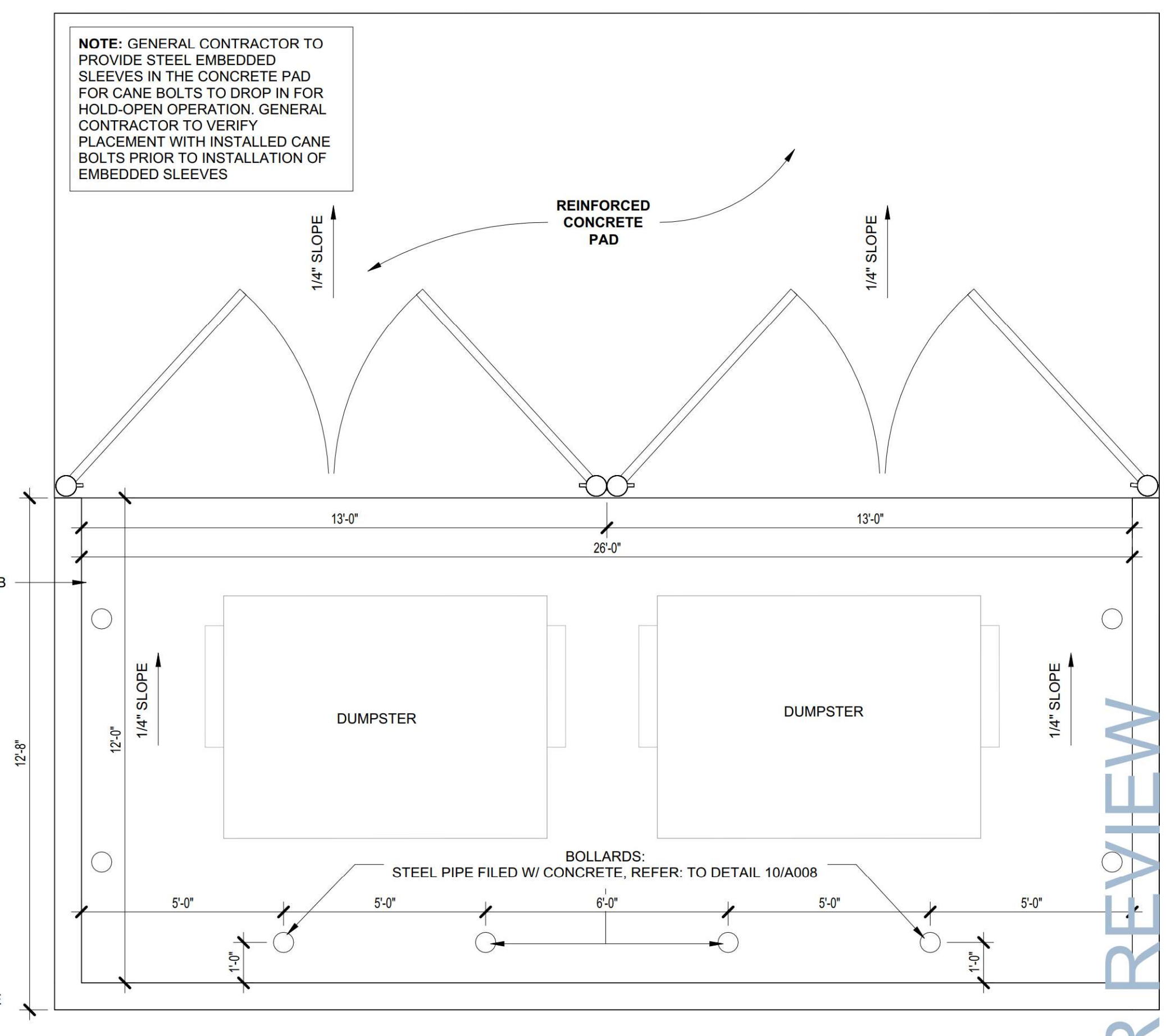
7 GATE DETAIL
SCALE: 3/4" = 1'-0"



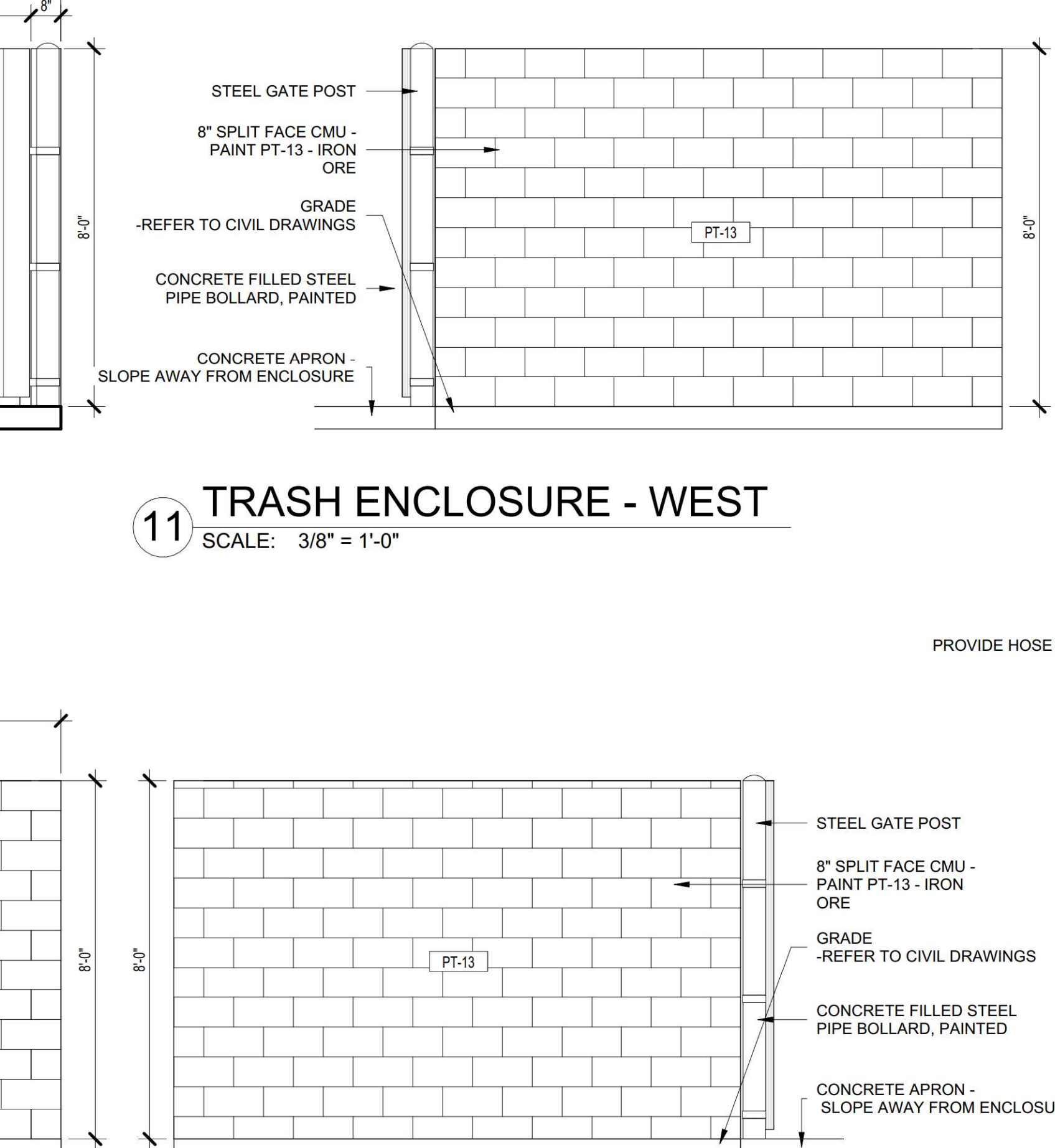
8 HINGE DETAIL
SCALE: 3" = 1'-0"



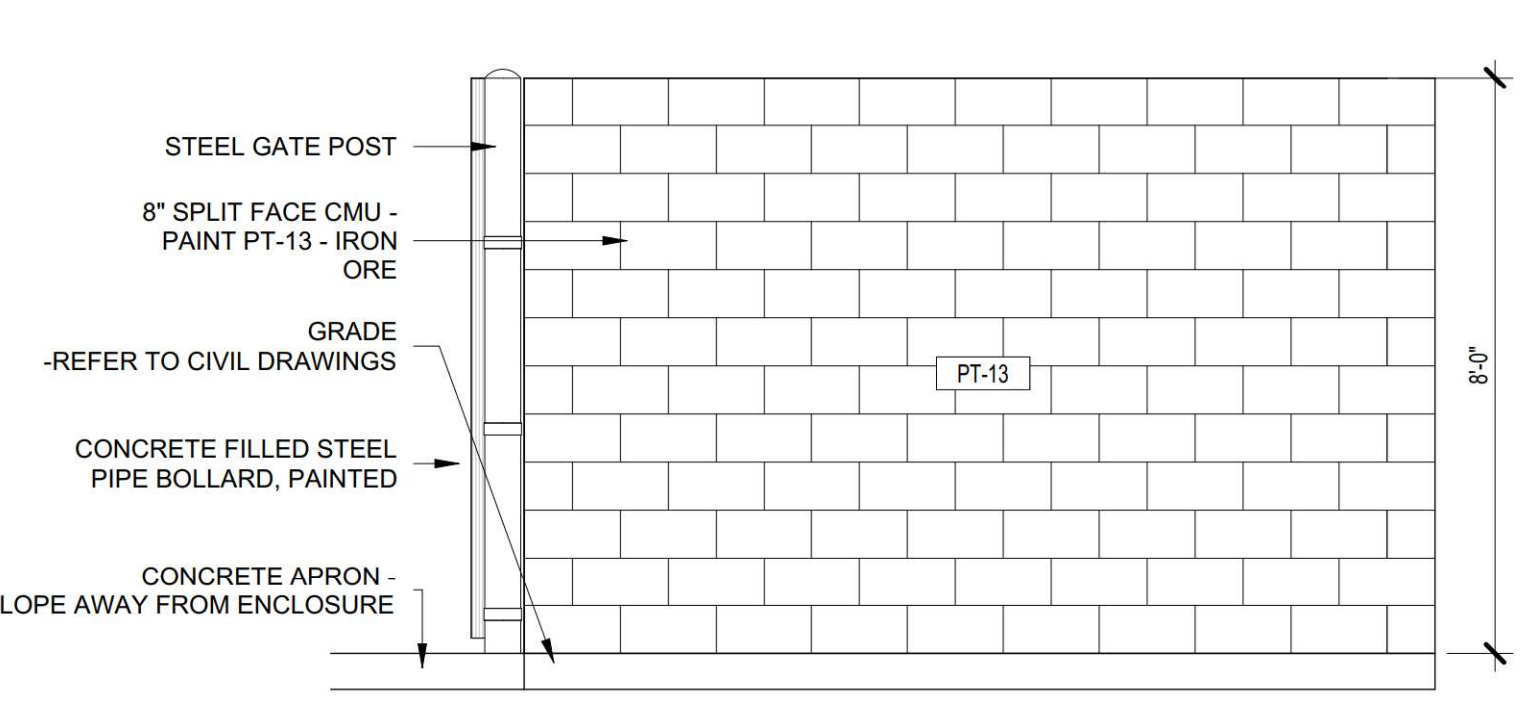
1 TRASH ENCLOSURE
SCALE: 3/8" = 1'-0"



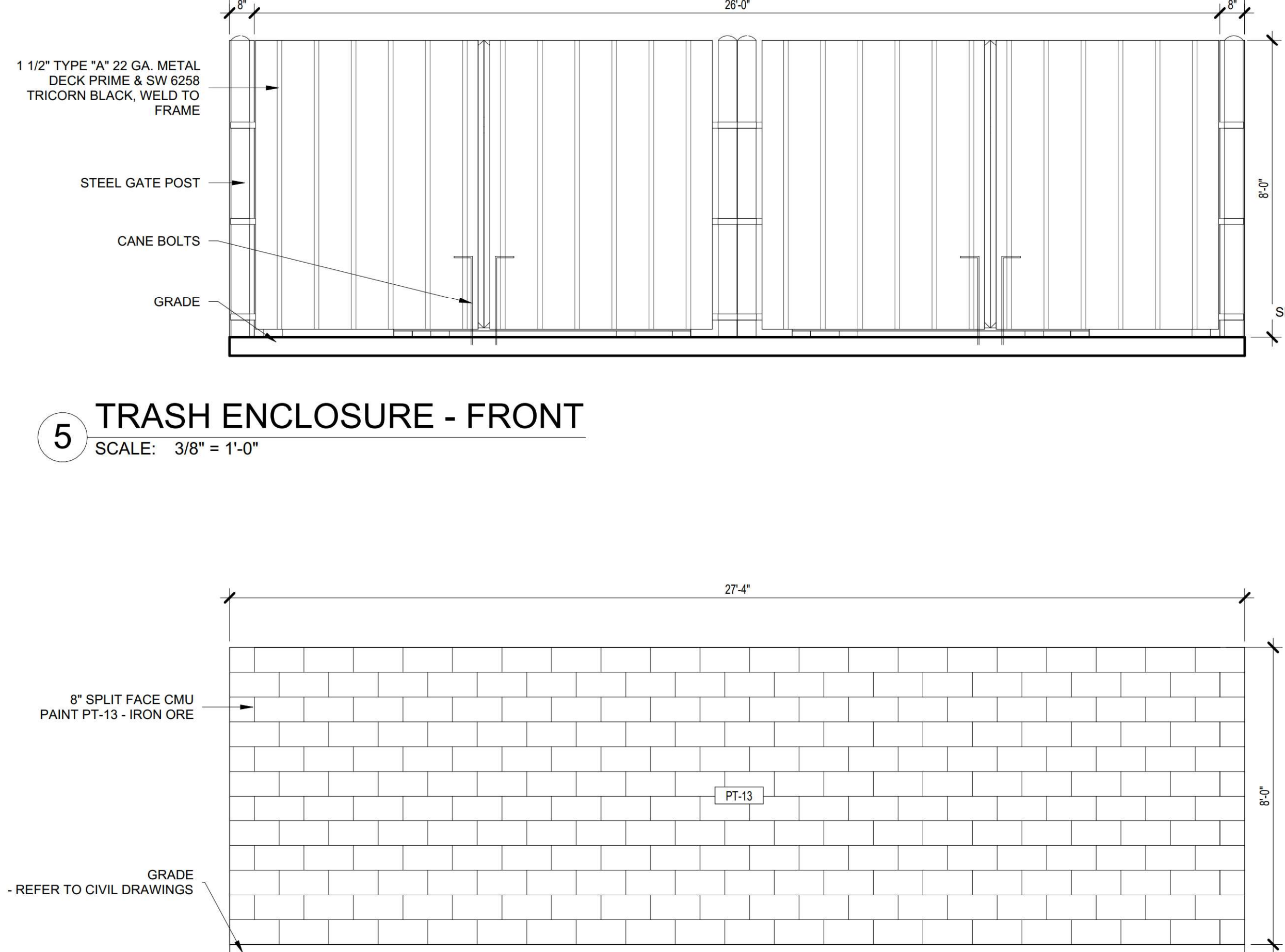
3 TRASH ENCLOSURE - EAST
SCALE: 3/8" = 1'-0"



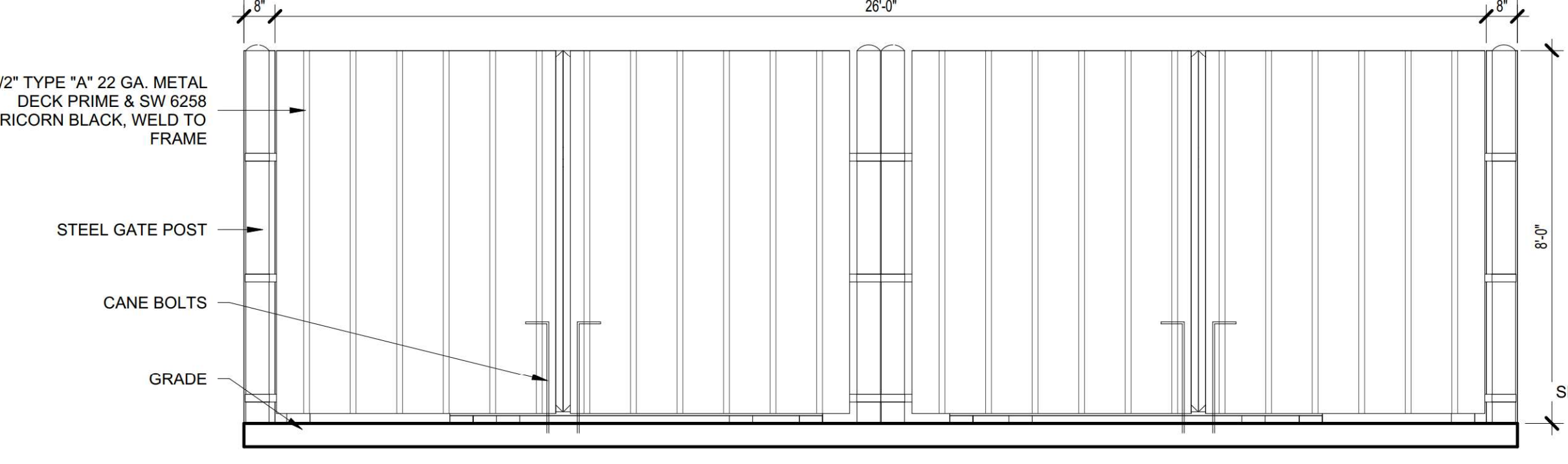
11 TRASH ENCLOSURE - WEST
SCALE: 3/8" = 1'-0"



2 TRASH ENCLOSURE - REAR
SCALE: 3/8" = 1'-0"



5 TRASH ENCLOSURE - FRONT
SCALE: 3/8" = 1'-0"

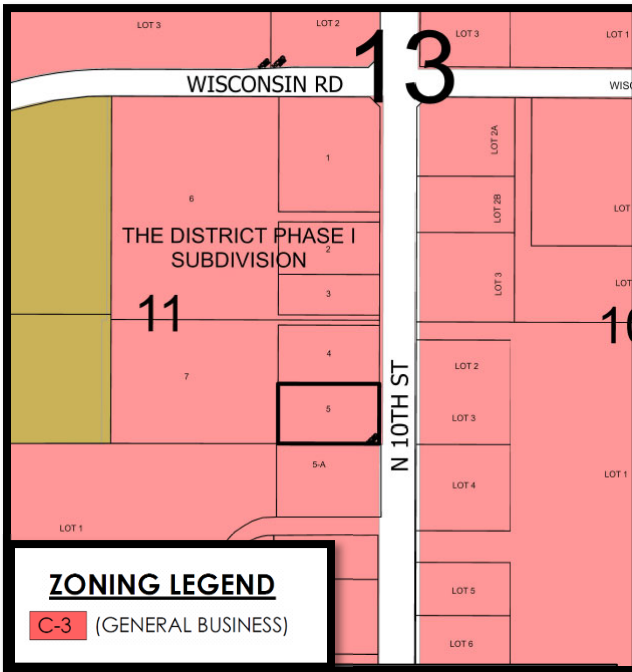


Memo

TO: Planning and Zoning Commission
FROM: Planning Staff
DATE: February 6, 2025
SUBJECT: SITE PLAN APPROVAL FOR LOT 5, THE DISTRICT PHASE I-A SUBDIVISION, HIDALGO COUNTY, TEXAS; 7701 NORH 10TH STREET. (SPR2024-0048)

LOCATION: The subject property is located along of west side of North 10th Street, approximately 850 feet south of Auburn Avenue. The subject property is zoned C-3 (General Business) District. Adjacent zoning includes C-3 District in all directions. Surrounding land uses include retail stores, restaurants, commercial plazas, and vacant land.

PROPOSAL: The applicant is proposing to construct a 6,181 Square foot building to operate a restaurant (Cheddar’s Scratch Kitchen).



ANALYSIS:

Access:

Access to the site is proposed is through a 26 feet wide shared access drive easement, connected from the lot north of the site. Second access is proposed south of the site along North 10th street. There is no alley proposed.

Parking Requirements:

Based on 6,181 square feet that will be used for the proposed restaurant, 62 parking spaces are required for the site and 112 parking spaces are being proposed. Moreover, 5 of the proposed

regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

6,532 square feet of green area is required for the new development and 8,701 square feet is proposed. The tree requirement is as follows: 19 two-and-a half-inch-caliper trees, 10 four-inch caliper trees, 5 six-inch caliper trees, or 5 palm trees. A minimum 10-foot wide landscaped strip is required inside the front property line, North 10th Street. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

There is a 79-foot front yard setback and 15 foot utility easement. Side yard setbacks from all lot sides shall be equal to one foot back for each feet in height, height of the building is 24.5 feet therefore side setbacks should be 12 feet. The proposed side setbacks exceed the requirements being, 69 feet on the north side setback, and 74 feet on the south side setback. The rear yard setback yard is as per Zoning Ordinance or greater for approved site plan or easements, the code specifies 5 feet for rear setback. The propose rear setback is 128 feet. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property. Engineering department may require additional conditions.

A 4-foot-wide minimum sidewalk is required along North 10th Street.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

RECOMMENDATION: Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, Subdivision and Zoning Ordinances.

RESUBDIVISION MAP OF THE DISTRICT PHASE I-A SUBDIVISION

BEING A RESUBDIVISION OF 18.083 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 1-5 AND BEING A PART OR PORTION OUT OF LOTS 6 AND 7, THE DISTRICT PHASE I SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3464751, HIDALGO COUNTY MAP RECORDS

STATE OF TEXAS
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE DISTRICT PHASE I-A SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

DOMAIN DEVELOPMENT CORP, A TEXAS CORPORATION
SHAVI MAHTANI, PRESIDENT
1200 AUBURN AVENUE, SUITE 250
MCALLEN, TEXAS 78504

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SHAVI MAHTANI KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20__.

NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, HOLDER(S), OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED REAL PROPERTY, BEING THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE DISTRICT PHASE I-A SUBDIVISION, OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE REAL PROPERTY AS PROVIDED FOR UNDER THE PLAT, AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED REAL PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

GEORGE CARDENAS, EXECUTIVE VICE PRESIDENT
VANTAGE BANK OF TEXAS
1801 S. 2nd STREET
MCALLEN, TX 78503

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GEORGE CARDENAS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20__.

NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

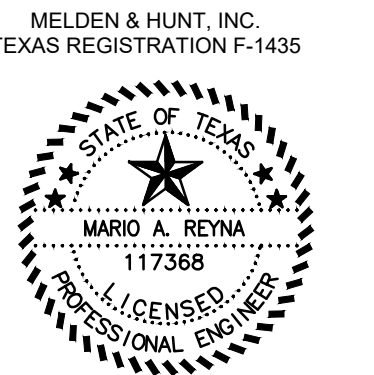
STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF _____, 20__.

MARIO A. REYNA, LICENSED PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 12/15/2023 DATE REVISED: _____
ENGINEERING JOB # 23197.00



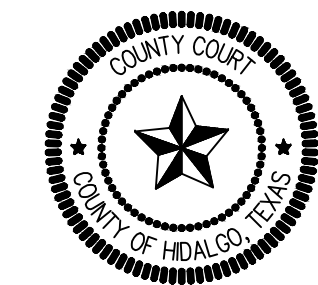
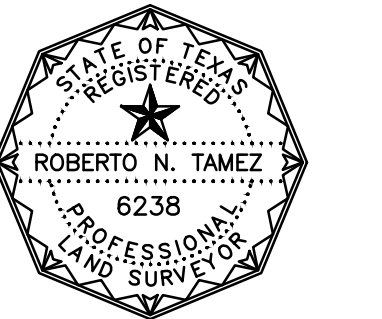
STATE OF TEXAS
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE _____ DAY OF _____, 20__.

ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS

DATE SURVEYED: 09-13-2021
T-1-127 PG. 58
SURVEY JOB # 21726.08



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 18.083 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 1-5 AND BEING A PART OR PORTION OUT OF LOTS 6 AND 7, THE DISTRICT PHASE I SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3464751, HIDALGO COUNTY MAP RECORDS, WHICH SAID 18.083 ACRES BEING OUT OF A CERTAIN TRACT CONVEYED TO DOMAIN DEVELOPMENT CORP, A TEXAS CORPORATION, BY VIRTUE OF A SPECIAL WARRANTY DEED WITH VENDOR'S LIEN, RECORDED UNDER DOCUMENT NUMBER 3297479 AND DOCUMENT NUMBER 3297480, HIDALGO COUNTY OFFICIAL RECORDS, SAID 18.083 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR SET ON THE NORTHERNMOST NORTHEAST CORNER OF SAID LOT 1, FOR THE NORTHERNMOST NORTHEAST CORNER AND POINT BEGINNING OF THIS HEREIN DESCRIBED TRACT:

1. THENCE, S 36° 20' 27" E ALONG A CLIP LINE OF SAID LOT 1, A DISTANCE OF 42.43 FEET TO A NO. 4 REBAR SET ON THE SOUTHERNMOST NORTHEAST CORNER OF SAID LOT 1, FOR THE SOUTHERNMOST NORTHEAST CORNER OF THIS TRACT;
2. THENCE, S 08° 39' 32" W ALONG THE EAST LINE OF SAID LOTS 1-5 AND THE WEST RIGHT-OF-WAY LINE OF N. 10th STREET, A DISTANCE OF 892.48 FEET TO A NO. 4 REBAR SET ON THE SOUTHWEST CORNER OF SAID LOT 5, FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 81° 24' 18" W ALONG THE SOUTH LINE OF SAID LOTS 5 AND 7, A DISTANCE OF 770.50 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, N 08° 39' 32" E ACROSS SAID LOTS 7 AND 6, A DISTANCE OF 1,023.33 FEET TO A NO. 4 REBAR SET ON THE NORTH LINE OF SAID LOT 6 AND THE SOUTH RIGHT-OF-WAY LINE OF AUBURN AVENUE, FOR THE NORTHWEST CORNER OF THIS TRACT;
5. THENCE, S 81° 20' 28" E ALONG THE NORTH LINE OF SAID LOTS 6 AND 1, AND THE SOUTH RIGHT-OF-WAY LINE OF AUBURN AVENUE, A DISTANCE OF 740.51 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.083 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES:

1. THIS SUBDIVISION IS IN FLOOD ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER 480334 0425 C MAP REVISED, NOVEMBER 16, 1982.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:
IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR FRONT:
APPROVED SITE PLAN, OR IN LINE WITH AVERAGE SETBACKS, WHICHEVER IS GREATER APPLIES.
REAR:
IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
INTERIOR SIDES:
IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
CORNER:
IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
4. CITY OF MCALLEN BENCHMARK: NUMBER MC 50_1, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT THE WEST BOUND OF 10TH STREET. THE MONUMENT IS 188 FEET SOUTH OF THE CENTERLINE OF FULLERTON AVE AND 12.8 FEET WEST OF THE B.C. OF 10TH STREET. GEODETIC G.P.S., TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16626260.81559, E=1076787.99709, ELEV.=106.511 FEET.
5. REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 221,703 C.F. - 5,090 AC.-FT. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREA. DETENTION WILL BE PROVIDED ON THE DISTRICT SUBDIVISION PHASE III - LOT 25, DESIGNATED FOR DETENTION.
6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
7. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
8. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON NORTH 10th STREET AND 4 FT. WIDE SIDEWALK REQUIRED ON AUBURN AVENUE.
9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
10. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
11. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
12. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
13. PRIVATE ACCESS/SERVICE DRIVE EASEMENT IS TO BE MAINTAIN BY THE LOT OWNER(S) AND NOT THE CITY OF MCALLEN.
14. ALL EASEMENTS ARE DEDICATED BY PLAT UNLESS STATED OTHERWISE.
15. PRIVATE SERVICES DRIVE / ACCESS EASEMENT TO BE EXTENDED WEST WHEN PROPERTY DEVELOPS.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

CITY SECRETARY

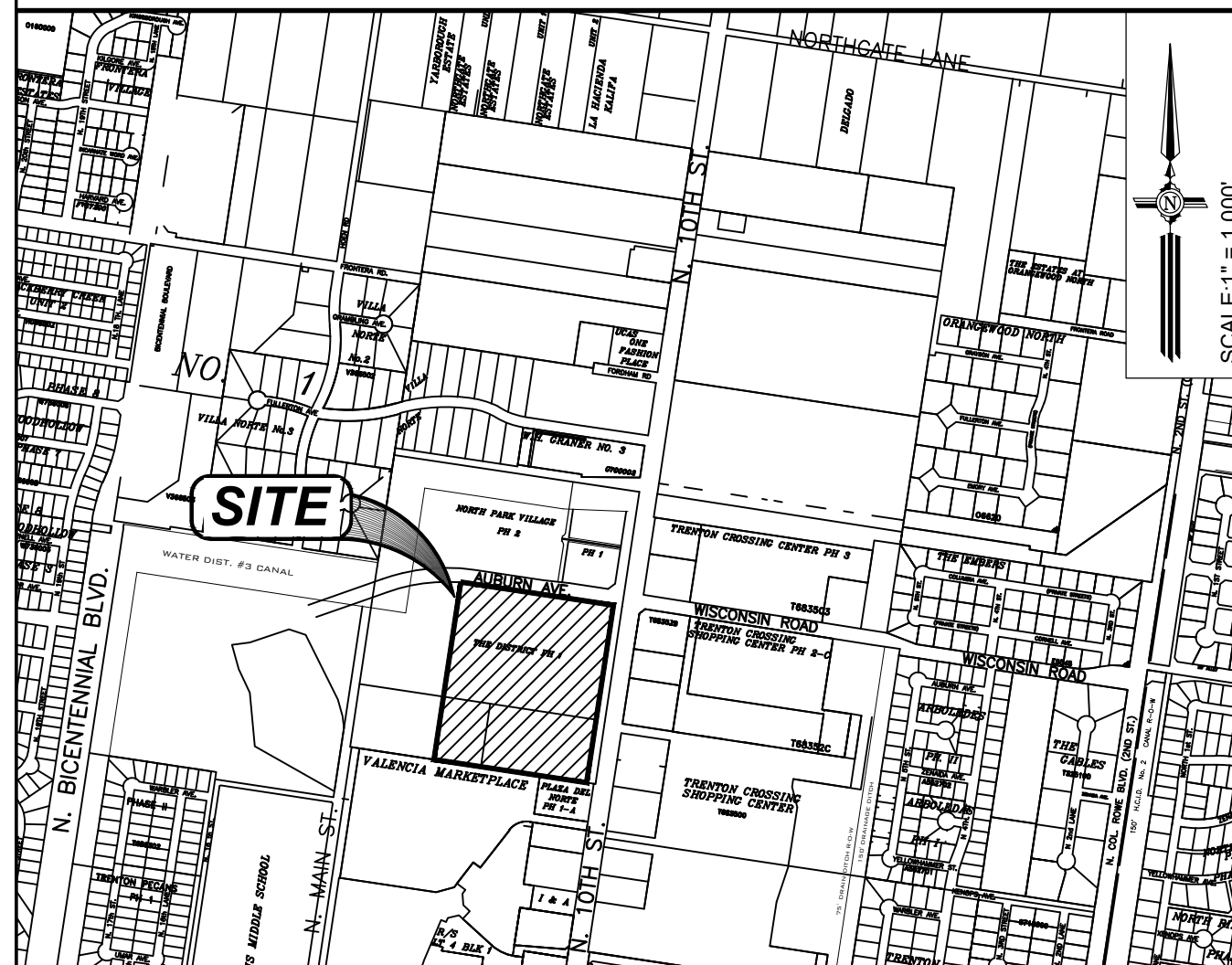
DATE

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

Line #	Direction	Length
*L1	S 36° 20' 27" E	42.43
L2	N 08° 39' 32" E	15.00'
L3	N 08° 39' 32" E	15.00'

LOCATION MAP



LEGEND

- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- SET NAIL
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- N.E. COR. - NORTHEAST CORNER
- EXIST - EXISTING
- S.F. - SQUARE FEET
- AC - ACRE
- EXIST - EXISTING
- D.B.P. - DEDICATED BY THIS PLAT
- ⊙ - CENTER LINE

DRAWN BY: C.P./EM DATE 01-22-2025
REVISED BY: A.A./EM DATE 01-22-2025
SURVEYED, CHECKED J.L.G. DATE 03-10-2023
FINAL CHECK DATE

M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

TR#2
J.C.
01.31.25

RESUBDIVISION MAP OF THE DISTRICT PHASE I A SUBDIVISION

BEING A RESUBDIVISION OF 18.083 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 1-5 AND BEING A PART OR PORTION OUT OF LOTS 6 AND 7, THE DISTRICT PHASE I SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3464751, HIDALGO COUNTY MAP RECORDS

METES AND BOUNDS DESCRIPTION:
A TRACT OF LAND CONTAINING 18.083 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING ALL OF LOTS 1-5 AND BEING A PART OR PORTION OUT OF LOTS 6 AND 7, THE DISTRICT PHASE I SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3464751, HIDALGO COUNTY MAP RECORDS, WHICH SAID 18.083 ACRES BEING OUT OF A CERTAIN TRACT CONVEYED TO DOMAIN DEVELOPMENT CORP., A TEXAS CORPORATION, BY VIRTUE OF A SPECIAL WARRANTY DEED WITH VENDOR'S LIEN, RECORDED UNDER DOCUMENT NUMBER 3297479 AND DOCUMENT NUMBER 3297480, HIDALGO COUNTY OFFICIAL RECORDS, SAID 18.083 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A NO. 4 REBAR SET ON THE NORTHERNMOST NORTHEAST CORNER OF SAID LOT 1, FOR THE NORTHERNMOST NORTHEAST CORNER AND POINT BEGINNING OF THIS HEREIN DESCRIBED TRACT:

1. THENCE, S 30° 30' 37" E ALONG A CLIP LINE OF SAID LOT 1, A DISTANCE OF 42.43 FEET TO A NO. 4 REBAR SET ON THE SOUTHERNMOST NORTHEAST CORNER OF SAID LOT 1, FOR THE SOUTHERNMOST NORTHEAST CORNER OF THIS TRACT;
2. THENCE, S 08° 39' 32" W ALONG THE EAST LINE OF SAID LOTS 1-5 AND THE WEST RIGHT-OF-WAY LINE OF N. 10TH STREET, A DISTANCE OF 992.48 FEET TO A NO. 4 REBAR SET ON THE SOUTHEAST CORNER OF SAID LOT 5, FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 81° 24' 18" W ALONG THE SOUTH LINE OF SAID LOTS 5 AND 7, A DISTANCE OF 770.50 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, N 08° 39' 32" E ACROSS SAID LOTS 7 AND 6, A DISTANCE OF 1,023.33 FEET TO A NO. 4 REBAR SET ON THE NORTH LINE OF SAID LOT 6 AND THE SOUTH RIGHT-OF-WAY LINE OF AUBURN AVENUE, FOR THE NORTHWEST CORNER OF THIS TRACT;
5. THENCE, S 81° 20' 28" E ALONG THE NORTH LINE OF SAID LOTS 6 AND 1, AND THE SOUTH RIGHT-OF-WAY LINE OF AUBURN AVENUE, A DISTANCE OF 740.51 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.083 ACRES OF LAND, MORE OR LESS

GENERAL NOTES :

1. THIS SUBDIVISION IS IN FLOOD ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER: 80334 0425 C MAP REVISED: NOVEMBER 16, 1982.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:
FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, OR IN LINE WITH AVERAGE SETBACKS, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
CORNER: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE
4. CITY OF MCALLEN BENCHMARK: NUMBER MC 50, 1, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT THE WEST BOUND OF 10TH STREET. THE MONUMENT IS 188 FEET SOUTH OF THE CENTERLINE OF FULLERTON AVE AND 12.8 FEET WEST OF THE B.C. OF 10TH STREET. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16626260.81559, E=1076787.99709, ELEV=-106.511 FEET.
5. REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 221,703 C.F. - 5,090 AC.-FT. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREA. DETENTION WILL BE PROVIDED ON THE DISTRICT SUBDIVISION PHASE III- LOT 25, DESIGNATED FOR DETENTION.
6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
7. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
8. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON NORTH 10th STREET AND 4 FT. WIDE SIDEWALK REQUIRED ON AUBURN AVENUE.
9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES.
10. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
11. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
12. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
13. PRIVATE ACCESS/SERVICE DRIVE EASEMENT IS TO BE MAINTAIN BY THE LOT OWNER(S) AND NOT THE CITY OF MCALLEN.
14. ALL EASEMENTS ARE DEDICATED BY PLAT UNLESS STATED OTHERWISE.
15. PRIVATE SERVICES DRIVE / ACCESS EASEMENT TO BE EXTENDED WEST WHEN PROPERTY DEVELOPS.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE DISTRICT PHASE I-A SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

DOMAIN DEVELOPMENT CORP., A TEXAS CORPORATION
SHAVI MAHTANI, PRESIDENT
1200 AUBURN AVENUE, SUITE 250
MCALLEN, TEXAS 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SHAVI MAHTANI KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, HOLDER(S), OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED REAL PROPERTY, BEING THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE DISTRICT PHASE I-A SUBDIVISION, OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE REAL PROPERTY AS PROVIDED UNDER THE PLAT, AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED REAL PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

GEORGE CARDENAS, EXECUTIVE VICE PRESIDENT
VANTAGE BANK OF TEXAS
1801 S. 2nd STREET
MCALLEN, TX 78503

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GEORGE CARDENAS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

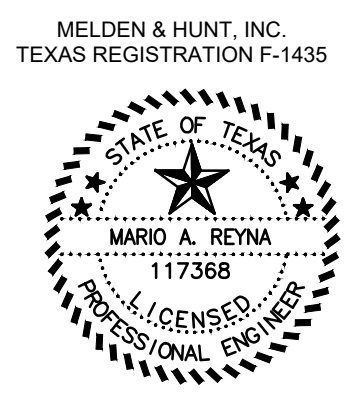
STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE ____ DAY OF _____, 20__.

MARIO A. REYNA, LICENSED PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 12/15/2023 DATE REVISED: _____
ENGINEERING JOB # 23197.00



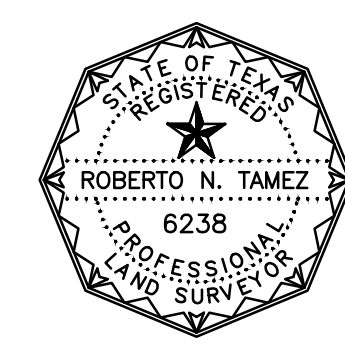
STATE OF TEXAS
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE ____ DAY OF _____, 20__.

ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS

DATE SURVEYED: 09-13-2021
T-1127 PG. 58
SURVEY JOB # 21726.08

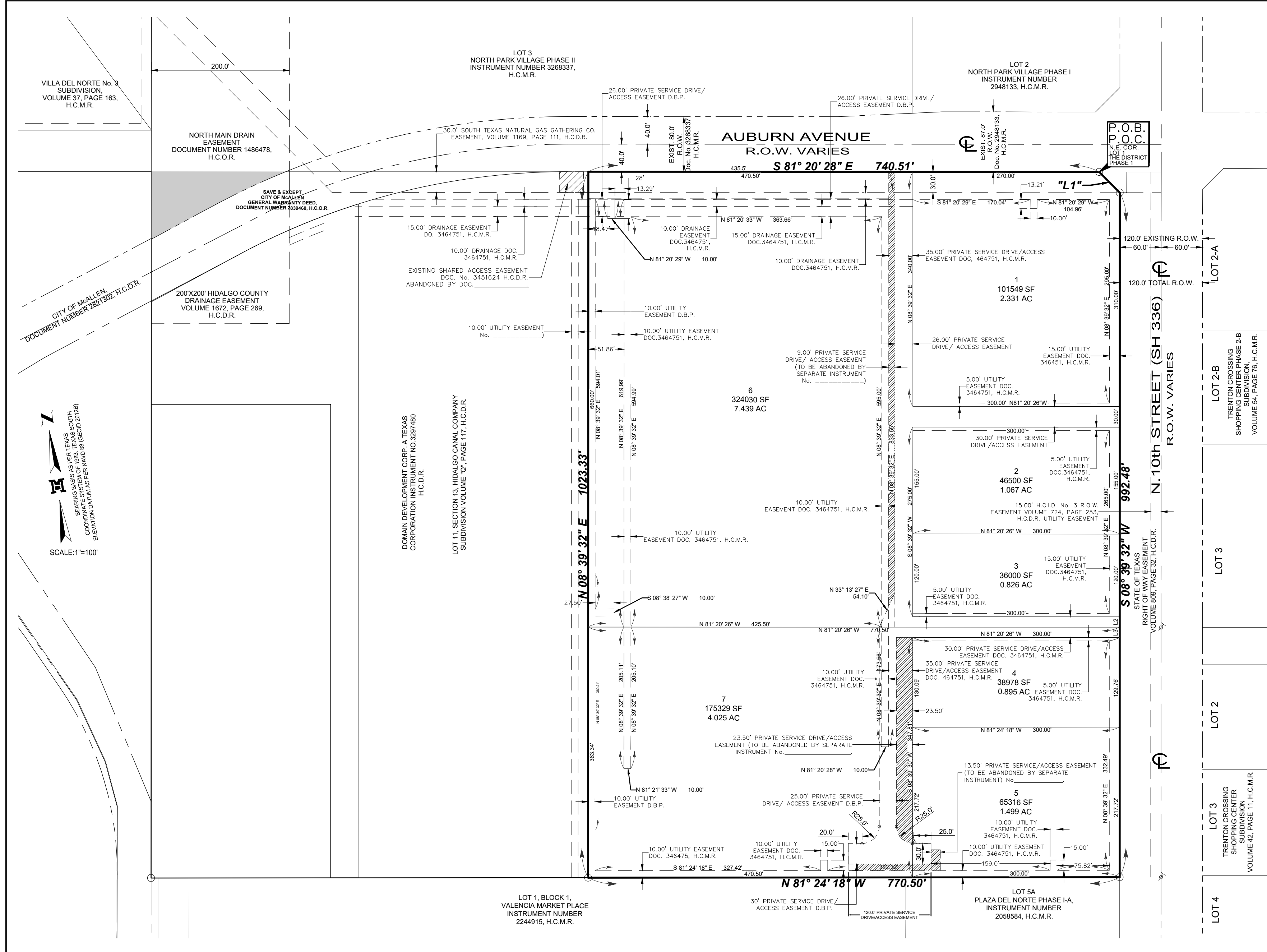


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



Line #	Direction	Length
L1	S 30° 30' 37" E	42.43
L2	N 08° 39' 32" E	15.00
L3	N 08° 39' 32" E	15.00

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

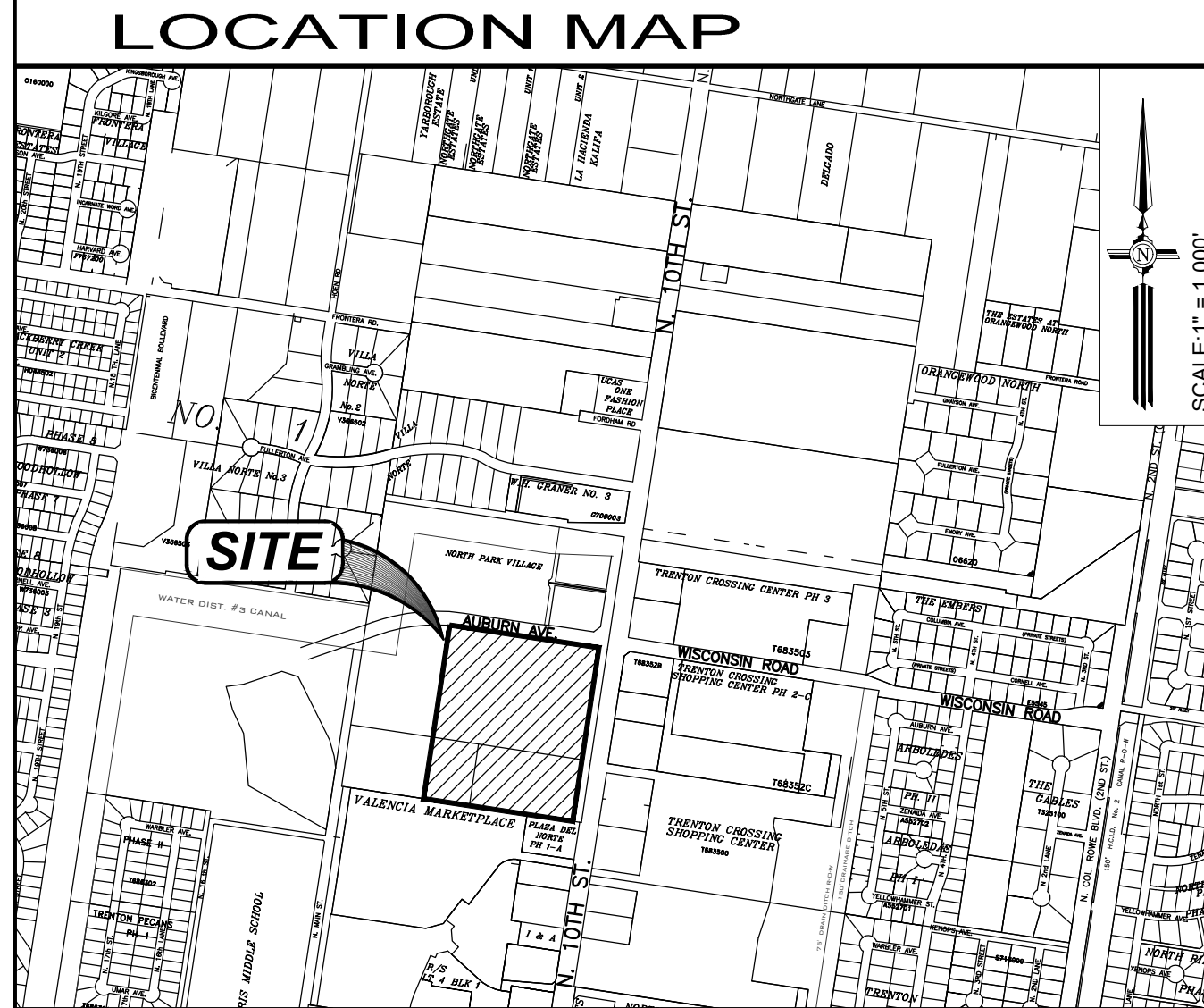
MAYOR, CITY OF MCALLEN

CITY SECRETARY

- LEGEND**
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - SET NAIL
 - R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - N.E. COR. - NORTHEAST CORNER
 - EXIST - EXISTING
 - S.F. - SQUARE FEET
 - AC - ACRE
 - EXIST - EXISTING
 - D.B.P. - DEDICATED BY THIS PLAT
 - CL - CENTER LINE

DRAWN BY: C.P. DATE 12-15-2023
REVISED BY: A.A. DATE 10-23-2024
SURVEYED, CHECKED J.L.G. DATE 03-10-2023
FINAL CHECK DATE

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
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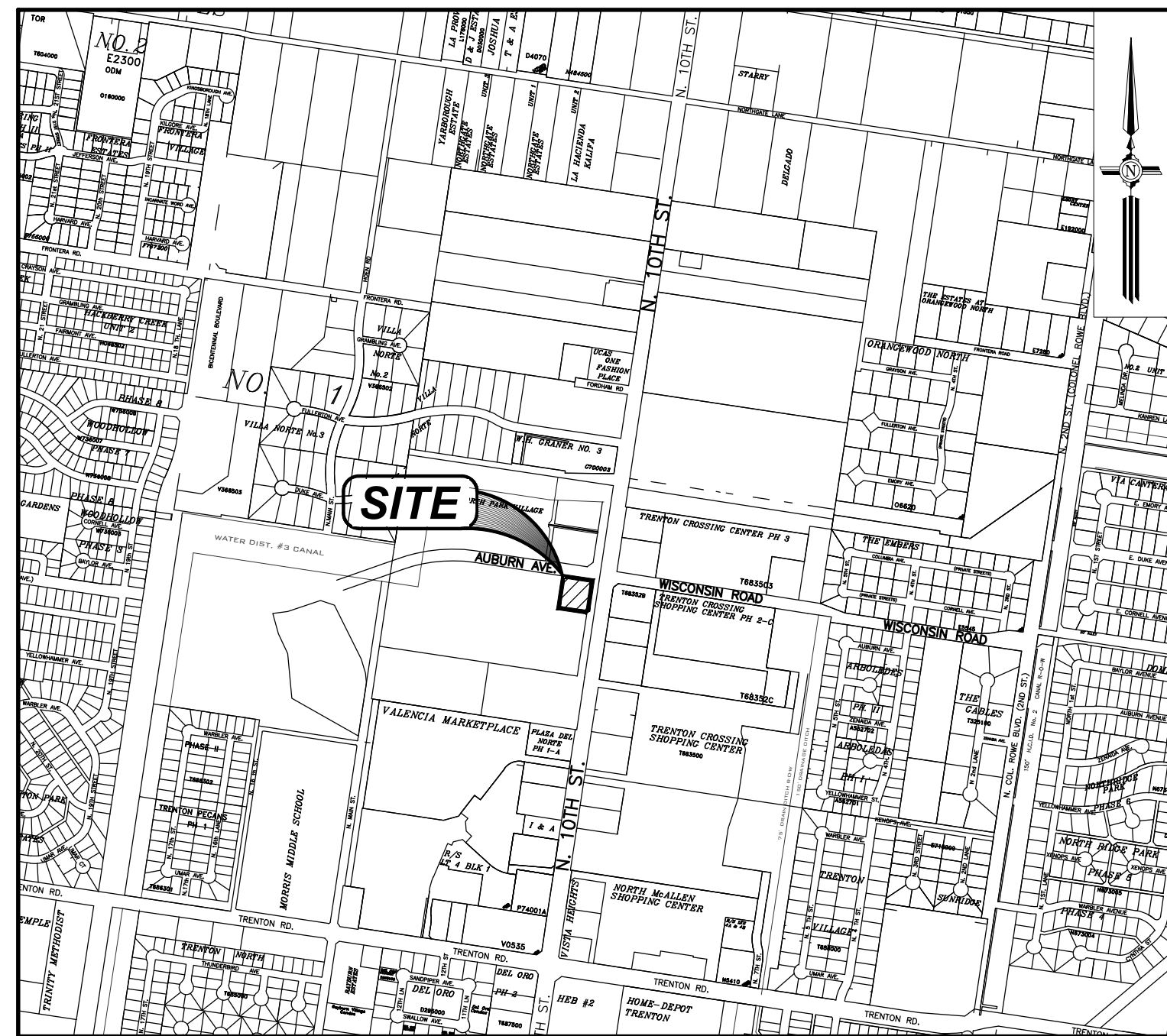


THE DISTRICT PHASE I SUBDIVISION, LOT 5

McALLEN, TEXAS HIDALGO COUNTY

GENERAL CONSTRUCTION NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE LOCATIONS AND SIZES HAVE BEEN TAKEN FROM FIELD WORK AND EXISTING RECORDS AND THE BEST AS-BUILT INFORMATION AVAILABLE; HOWEVER, IT IS EXPECTED THAT THERE MAY BE SOME DISCREPANCIES IN THE LOCATIONS, QUALITIES AND SIZES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE, SIZE AND LOCATION OF ALL UTILITIES AFFECTED BY THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE REPAIR AND RESTORATION OF CONTRACTOR DAMAGED UTILITIES. THE COST OF ANY REPAIR OR REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CURRENT LINE SPOTTING TOLL FREE NUMBER AND COORDINATE WITH ALL THE UTILITY COMPANIES FOR ACTUAL LOCATING AND UNCOVERING OF EXISTING LINES PRIOR TO EXCAVATION OPERATIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY UNREPORTED OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THIS PROJECT.
3. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPLICABLE STATE STATUTES AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS (OSHA). COPIES OF THE O.S.H.A. STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE OBTAINED FROM O.S.H.A. AT 611 EAST 6TH STREET, ROOM 303, AUSTIN, TEXAS.
4. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMAN LIKE MANNER AT ALL TIMES. JOB SAFETY SHALL NOT BE COMPROMISED. ANY UNSAFE OR UNATTRACTIVE NUISANCE SHALL BE REMOVED OR OTHERWISE TAKEN CARE OF BY THE CONTRACTOR WHEN DIRECTED BY THE OWNER OR PROJECT ENGINEER.
5. EXCAVATIONS, TRENCHES AND OTHER HAZARDOUS AREAS SHALL BE ADEQUATELY PROTECTED BY BARRICADES, FENCING, LIGHTS AND/OR OTHER PROTECTIVE DEVICES AT ALL TIMES.
6. CONSTRUCTION OF THIS PROJECT WILL BE SUBJECT TO INSPECTIONS AND TESTING AS DEEMED NECESSARY OR APPROPRIATE BY THE ENGINEER AND/OR THE CITY OF McALLEN. THE CONTRACTOR SHALL FURNISH INCIDENTAL LABOR AND EQUIPMENT TO ALLOW THE TESTING PERSONAL ACCESS TO THE WORK AND WILL COOPERATE FULLY WITH THE PERSONS CONDUCTING THE TESTING AND INSPECTION PROGRAM.
7. A PART OF THE WORK THAT IS NECESSARY OR REQUIRED TO MAKE EACH SYSTEM OR INSTALLATION SATISFACTORY AND OPERABLE FOR ITS INTENDED PURPOSE, EVEN THOUGH IT IS NOT SPECIFICALLY INCLUDED IN THE SPECIFICATIONS OR DRAWINGS, SHALL BE PERFORMED AS INCIDENTAL WORK AS IF IT WERE DESCRIBED IN THE SPECIFICATIONS AND SHOWN ON THE DRAWINGS.
8. THE DRAWINGS DO NOT ALWAYS INDICATE ALL VERTICAL BENDS AND TRANSITIONS. WHEN NECESSARY, MAKE VERTICAL TRANSITIONS BY A DEFLECTION AT THE JOINTS OR THE INSTALLATION OF FITTINGS. DO NOT DEFLECT PIPE JOINTS MORE THAN 80% OF THE MANUFACTURERS RECOMMENDATION.
9. ALL PIPING MUST BE INSTALLED WITH A MINIMUM OF 36-INCHES OF COVER UNLESS OTHERWISE NOTED ON THE PLANS.
10. ALL EXCAVATION FOR THIS PROJECT SHALL BE UNCLASSIFIED.
11. ALL UTILITIES WHICH ARE TO REMAIN AND WHICH ARE DAMAGED OR REMOVED WILL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
12. PIPE SHALL BE BACKFILLED WITH JOINTS EXPOSED FOR TESTING, BEFORE NEW JOINTS ARE COVERED. PRESSURE LINES ARE TO BE HYDROSTATICALLY TESTED AT NOT LESS THAN 150 PSIG FOR A PERIOD OF TWO HOURS. THE OWNER SHALL OBSERVE AND APPROVE OR REJECT THE TEST. REPAIRS, IF REQUIRED, SHALL BE MADE AND THE LINE SHALL BE RETESTED UNTIL APPROVED. TEST SHALL NOT BEGIN UNTIL THRUST BLOCKS HAVE AGED A MINIMUM OF 24 HOURS.
13. AS SOON AS PRACTICAL, ALL PORTIONS OF EXCAVATIONS NOT OCCUPIED BY THE PERMANENT STRUCTURE SHALL BE BACKFILLED.
14. WHERE WATER LINE INTERSECTS SANITARY SEWER SYSTEM MAINS AT LESS THAN 9.0 FEET SEPARATION, THE CONTRACTOR SHALL INSTALL A 20 FOOT SECTION OF C-900 PVC PRESSURE PIPE CENTERED ON THE POINT OF INTERSECTION.
15. CONTRACTOR SHALL REMOVE AND REINSTALL ALL SIGNS, MAILBOXES, FENCES, CULVERTS AND OTHER ITEMS IN WAY OF THE WORK.
16. CONTRACTOR SHALL REPAIR ALL OPEN CUTS OF PAVED AREAS BACK TO BETTER THAN "AS-IS" CONDITION WITH LIKE MATERIALS.
17. PROVIDE INTERIM DRAINAGE DURING CONSTRUCTION AS REQUIRED. USE PUMPS, TEMPORARY DITCHES, ETC. TO MAINTAIN A WELL DRAINED SITE FREE OF STANDING WATER AND WATER SOFTENED SOILS.
18. ANCHOR ALL UNDERGROUND PRESSURE PIPING AS NECESSARY TO PREVENT MOVEMENT UNDER PRESSURE TEST AND SERVICES.
19. ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A-165, GRADE 60 ALL BARS SHALL CONFORM TO ASTM SPECIFICATION A-305.
20. ALL CONCRETE AND FORM WORK SHALL CONFORM TO CURRENT ACI CODE REQUIREMENTS.
21. THE CONTRACTOR SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS, PIPELINES, UTILITIES, ETC., WHETHER PUBLICLY OR PRIVATELY OWNED.
22. UNTIL ACCEPTANCE BY THE ENGINEER OF ANY OR ALL OF THE CONSTRUCTION, AS PROVIDED FOR IN THE PLANS AND SPECIFICATIONS, AND ACCEPTANCE BY THE PROPER UTILITY PROVIDER, IT SHALL BE UNDER THE CHARGE AND CARE OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION AGAINST TO ANY PART OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD, AT HIS OWN EXPENSE, OF ALL THE DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS ACCEPTANCE.
23. NO OPEN TRENCHES OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT.
24. ALL WATERLINE TAPS AND WATER METERS SHALL BE INSTALLED BY CONTRACTOR, COORDINATE WITH THE CITY OF McALLEN BEFORE COMMENCING ANY UTILITY WORK.
25. COORDINATE ALL UTILITY WORK WITH THE PLUMBING PLANS BEFORE COMMENCING ANY UTILITY WORK. REFER TO PLUMBING PLANS FOR CONTINUATION.
26. COORDINATE WITH GRADING PLANS FOR WATER LINE, STORM AND SANITARY SEWER LINES INSTALLATION.
27. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING THOSE FROM THE CITY OF McALLEN, PRIOR TO START OF CONSTRUCTION.
28. THE TOP ELEVATIONS OF MANHOLES AND CLEANOUTS CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED PAVEMENT GRADE. THE TOP ELEVATIONS OF MANHOLES AND CLEANOUTS CONSTRUCTED IN GRASSSED AREAS SHALL BE SIX INCHES ABOVE FINISHED GRADE (UNLESS OTHERWISE NOTED ON PLANS).
29. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO VERIFY EXISTING CONDITIONS.
30. REFER TO GEOTECH REPORT BEFORE INSTALLATION OF DRIVES AND PARKING AREAS.
31. BOTH SITE AND BUILDING CONTRACTORS TO VERIFY EXISTING SITE ELEVATIONS PRIOR TO POURING CONCRETE TO VERIFY ACCESSIBILITY.
32. PERMIT NEEDED FROM CITY OF McALLEN BUILDING DEPARTMENT AND PRE-CONSTRUCTION CONFERENCE NEEDED WITH CITY OF McALLEN.
33. CONTRACTOR TO LEAVE OPENINGS IN CURB AT SIDEWALK RAMP LOCATIONS.
34. CONSULT WITH PROPERTY OWNER BEFORE RELOCATING EXISTING FENCES THAT MIGHT BE IN THE WAY OF THE CONSTRUCTION AREA AND/OR CONSTRUCTION PLANS.



LOCATION MAP

SCALE: 1" = 1,000'

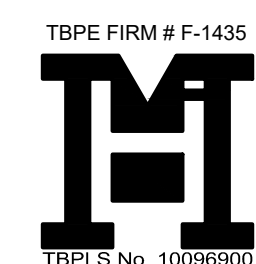
-2025-

INDEX

SHEET No.	DESCRIPTION
C1.	COVER SHEET
C2.	EXISTING SITE
C3.	SITE PLAN
C4.	WATER AND SEWER LAYOUT
C5.	WATER DETAILS
C6.	SEWER DETAILS
C7.	PAVING AND DRAINAGE PLAN
C8.	JOINTING PLAN
C9.	STORM DETAILS
C10.	EROSION

BENCHMARK DATA:

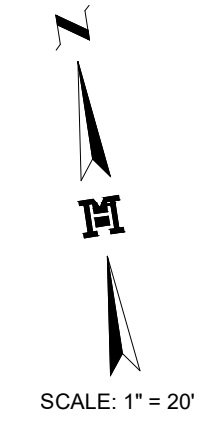
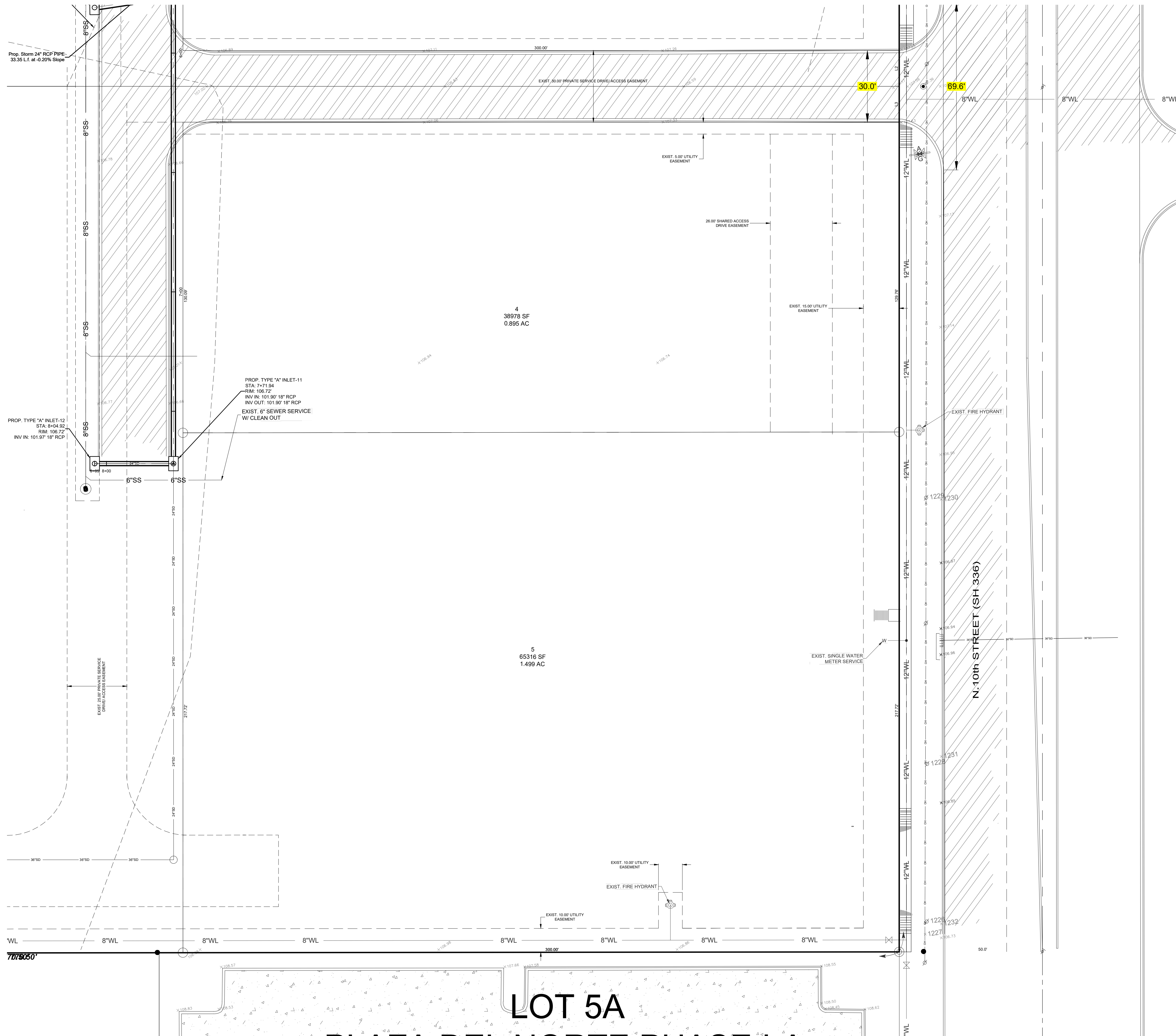
CITY OF McALLEN BENCHMARK: NUMBER MC 50, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT THE WEST BOUND OF 10TH ST. IN BETWEEN TRENTON ROAD & FULLERTON AVE. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16626258.4143, E=1076796.43038, ELEV.=106.63



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JOB No.
24120.00

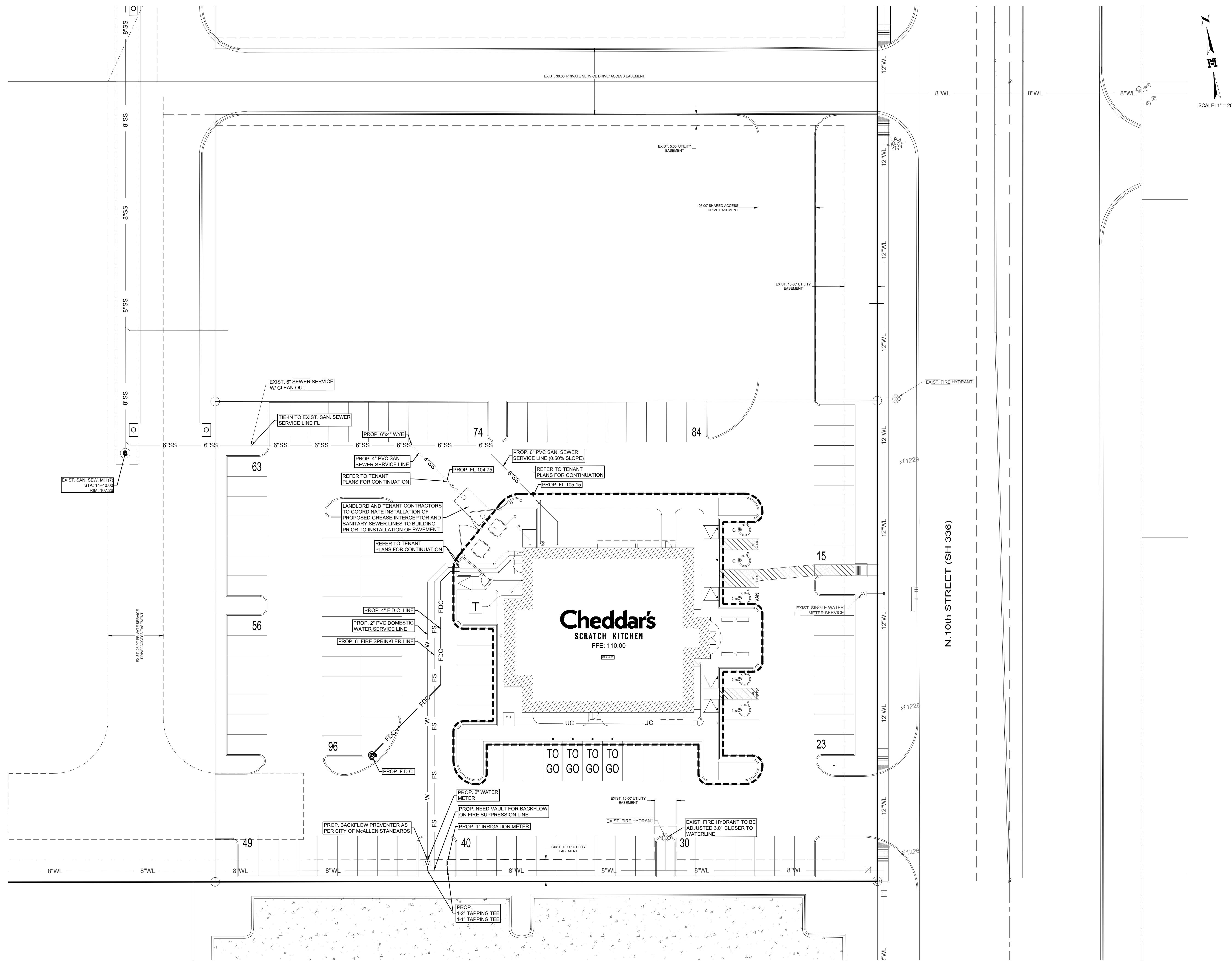
BY DATE
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ENG. TECH. EM	PROJECT ENG. M.A.R.
T-BOOK: . PG.	1. RELEASE DATE
	2. RELEASE DATE
	3. RELEASE DATE
	SCALE: AS SHOWN

THIS DOCUMENT IS RELEASED UNDER THE AUTHORITY OF MARCO A. REYNA, P.E. 117388 ON JANUARY 23, 2025. IT IS NOT TO BE USED FOR ANY OTHER BIDDING OR PERMIT PURPOSES.

THE DISTRICT
SUBDIVISION PHASE I
LOT 5
 McALLEN, TEXAS

EXISTING SITE



JOB No. 24120.00

BY DATE
MELDEN & HUNT INC
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ENG. TECH. EM	PROJECT ENG. M.A.R.
T.BOOK: PG	1. RELEASE DATE:
	2. RELEASE DATE:
	3. RELEASE DATE:
	SCALE AS SHOWN

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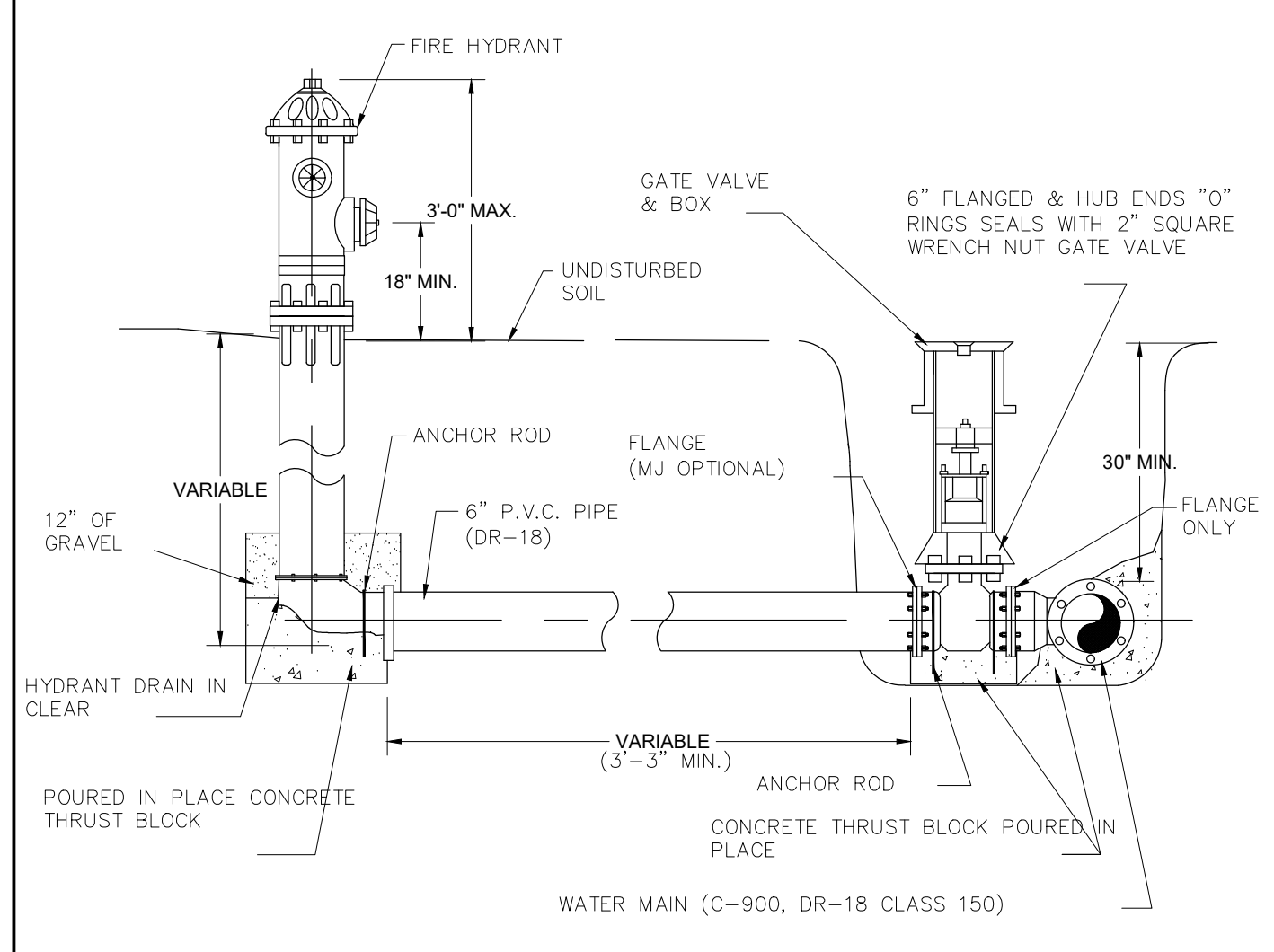
THE DISTRICT
SUBDIVISION PHASE I
LOT 5
 McALLEN, TEXAS

UTILITIES LAYOUT

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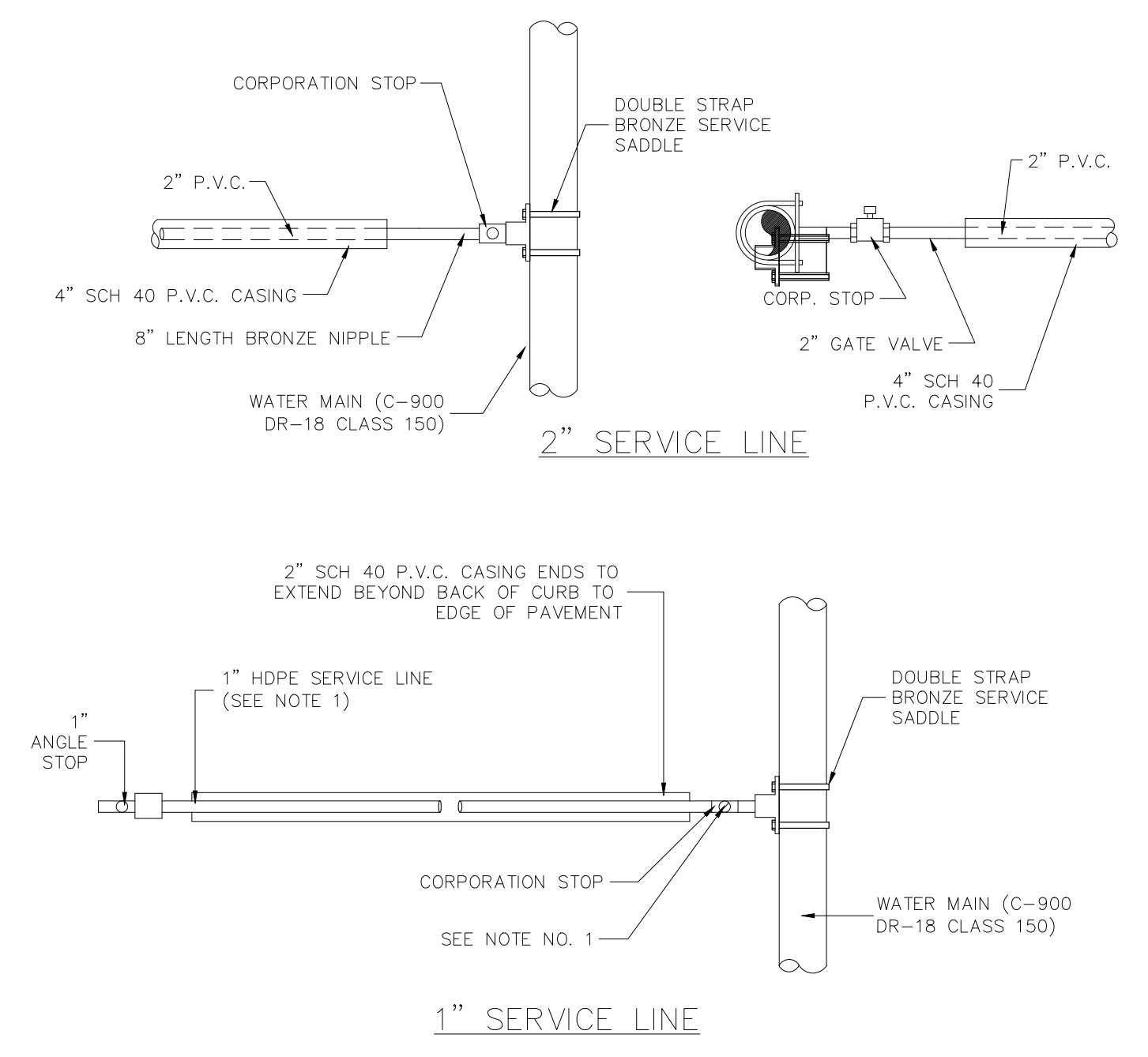
File Name: THE DISTRICT

SHEET 4 OF 10



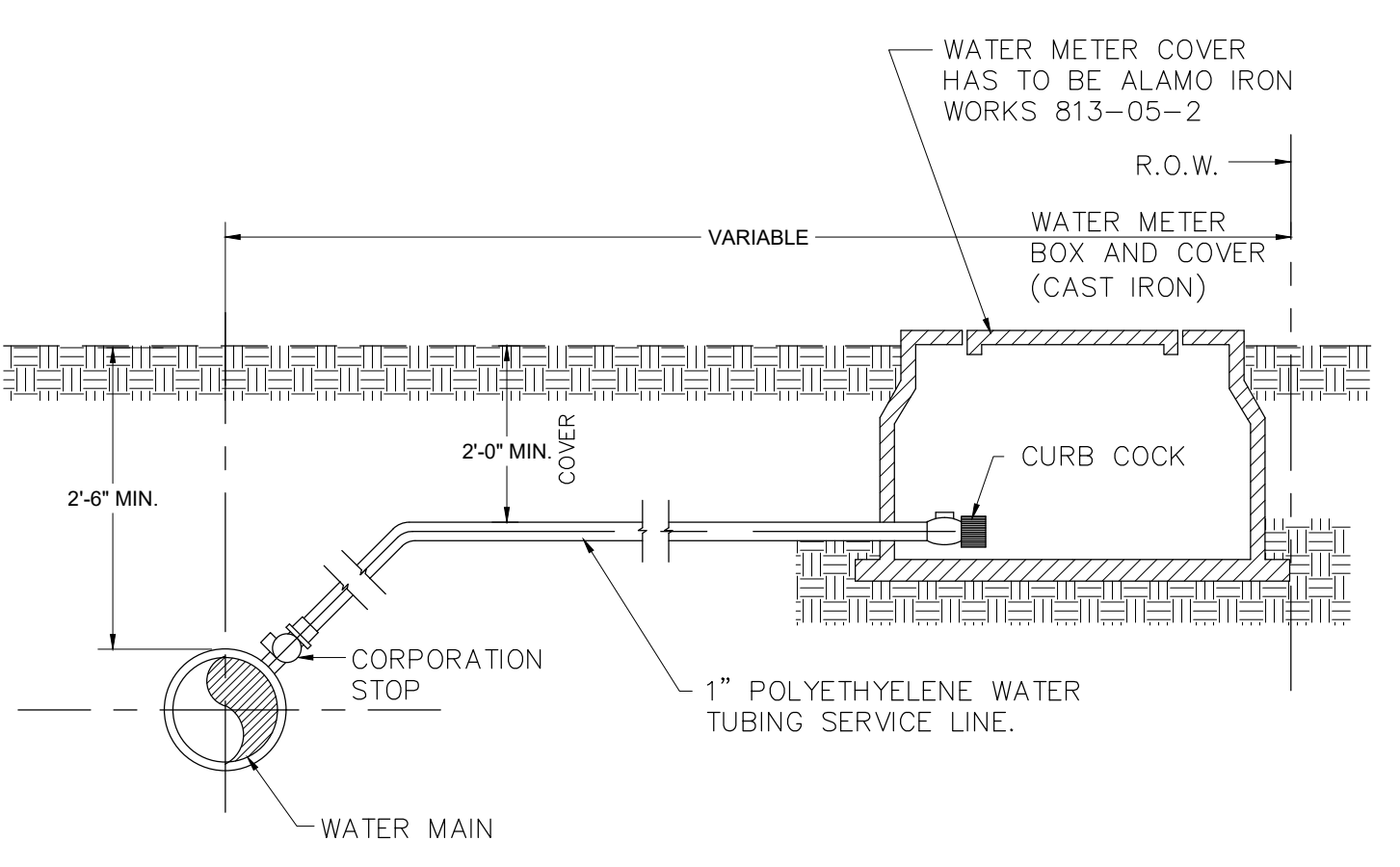
- GENERAL NOTES:**
- FIRE HYDRANT ELEVATIONS WILL BE SET BY THE ENGINEER.
 - FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE TOP OF CURB.
 - FLANGED GATE VALVE INSTALLATION TO BE USED WITH 10" WATER LINES OR GREATER.
 - BBF TEES TO BE USED WITH 10" WATER LINE OR GREATER BBF TEES TO BE USED WITH SMALLER DIA. PIPES.
 - ACCEPTABLE HYDRANT BRANDS ARE MUELLER, AMERICAN DARLING AND KENNEDY.

TYPICAL FIRE HYDRANT INSTALLATION
 N.T.S.



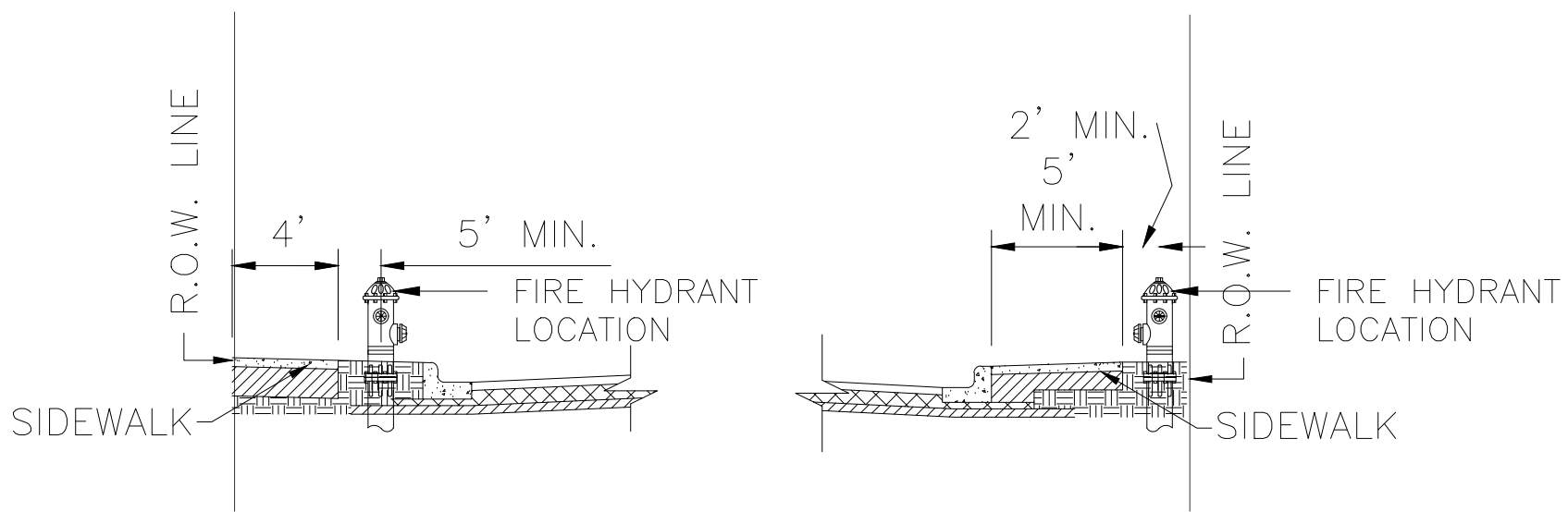
- NOTES:**
- SERVICE LINES GREATER THAN 1" REQUIRE P.V.C. SCHEDULE 40 PIPE. 1" SERVICE LINES SHALL BE SDR-9, HDPE, ASTM D-2737
 - 2" SERVICES REQUIRE BOTH CORP. STOP AND CAST IRON VALVE
 - ONE SERVICE REQUIRED FOR EACH LOT.
 - 2" ANGLE STOPS REQUIRED FOR 2" SERVICES AT METER LOCATION.
 - A U-BRANCH FITTING REQUIRED FOR 1" SERVICES AT METER LOCATION.

TYPICAL SERVICE CONNECTION
 N.T.S.



- GENERAL NOTES:**
- ALL SERVICE CONNECTIONS NEED TO HAVE A MIN. 2'-0" COVER FROM FINISHED GRADE.
 - WATER METER COVER SHALL BE ALAMO IRON WORKS 813-05-2.
 - ALL WATER MAINS HAVE 30 INCHES OF COVER FROM FINISHED GRADE.
 - METER BOX SHALL BE CAST IRON.
 - ALL CONCRETE TO HAVE A MIN. 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- CONSTRUCTION NOTES:**
- WATER VALVE COVER.
 - CURB COCK.
 - METER BOX & METER PROVIDED.
 - 3/4" POLYETHYLENE WATER TUBING SERVICE LINE.
 - CORPORATION STOP.
 - WATER MAIN. (C-900 DR-18 CLASS 150)

TYPICAL SERVICE CONNECTION WITH METER BOX
 N.T.S.



FIRE HYDRANT LOCATION SECTION
 N.T.S.

- GENERAL NOTES:**
- SAND BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6")
 - SAND BACKFILL PLACES AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 6" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER) OR PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
 - (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
 - (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY.

EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS II OR III WITH < 50% PASSING A NO.200 SIEVE AND PLASTICITY INDEX < 7.

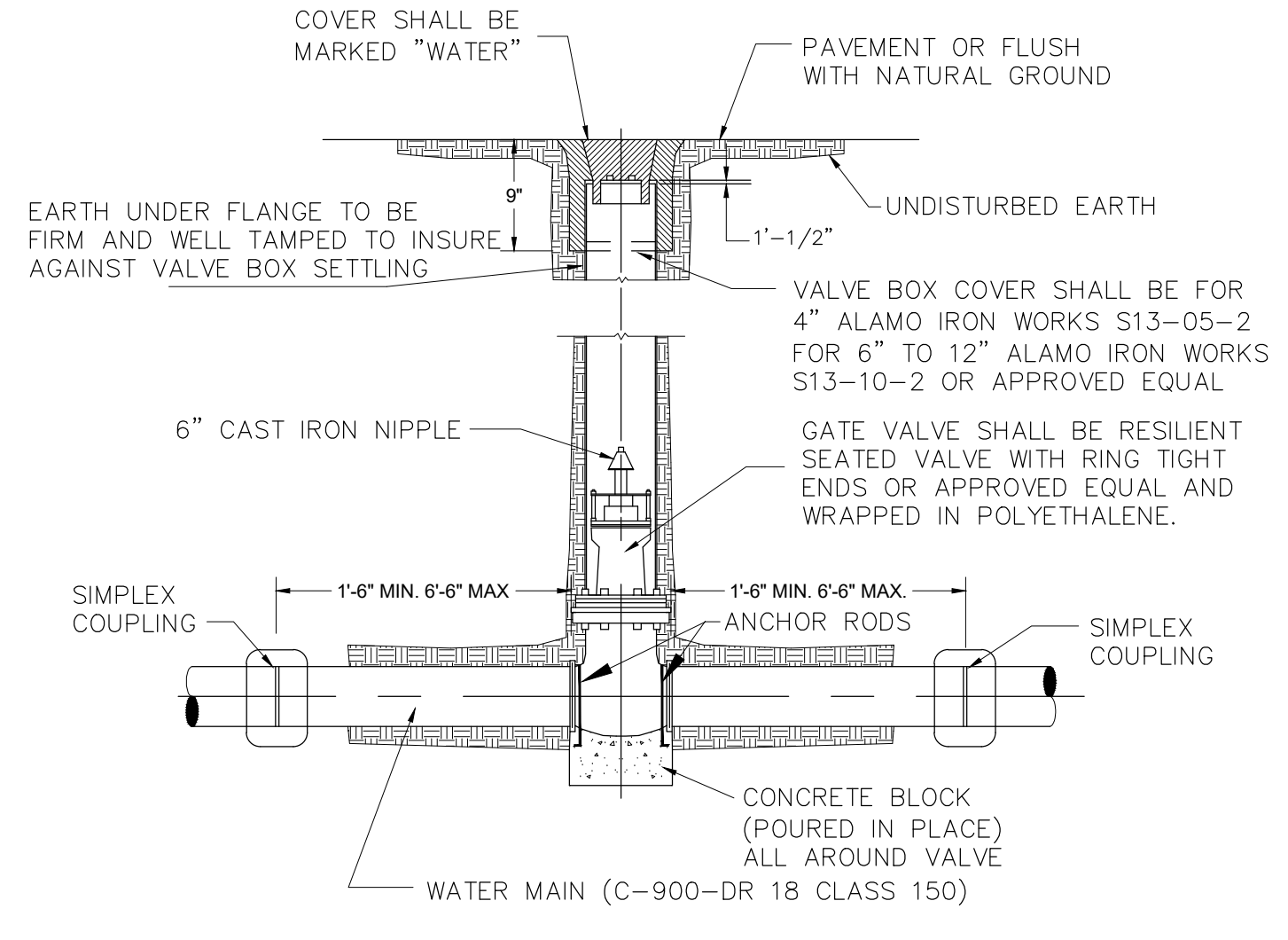
OBTAIN WRITTEN APPROVAL BY ENGINEER FOR ANY EXCEPTIONS OR ALTERNATE METHODS PRIOR TO CONSTRUCTION.

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS DIRECTED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

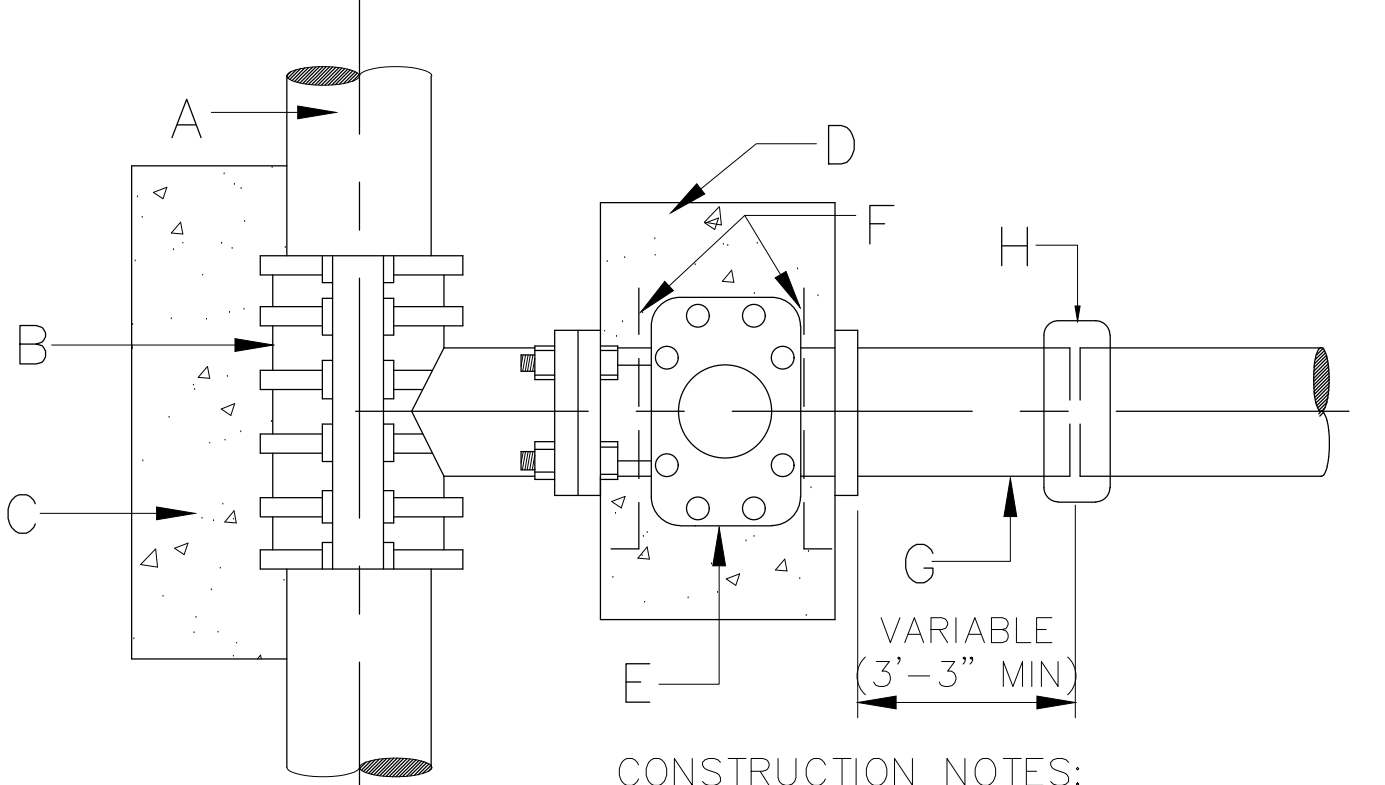
BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

WATER LINE BEDDING NOTES
 DETAIL



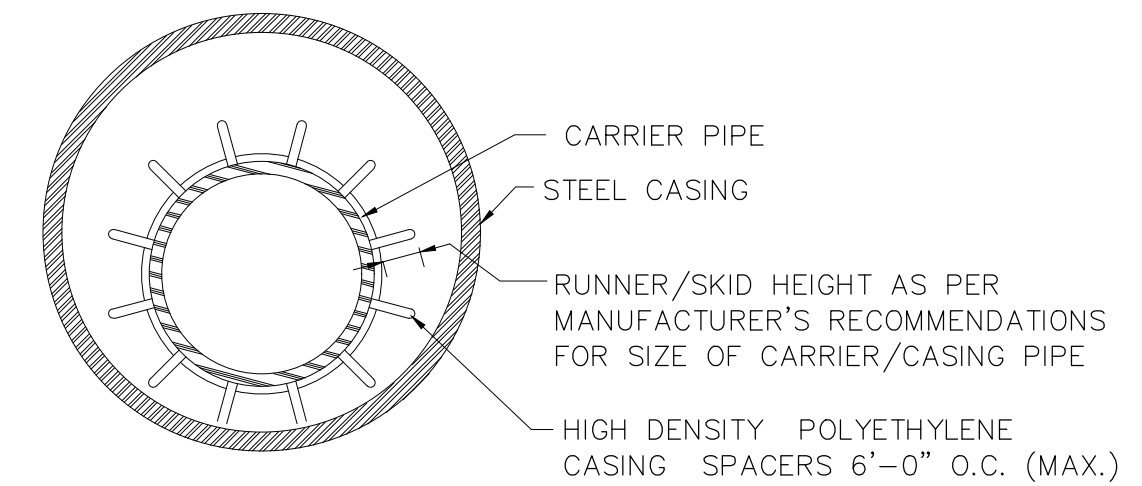
- GENERAL NOTES:**
- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)

TYPICAL VALVE AND VALVE BOX
 N.T.S.



- CONSTRUCTION NOTES:**
- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- CONSTRUCTION NOTES:**
- WATER MAIN. (SEE PLANS AND SPECIFICATION)
 - TAPPING SLEEVE (SIZE AS REQUIRED).
 - CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
 - THRUST BLOCK AS PER SPECIFICATIONS.
 - FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
 - ANCHOR RODS.
 - PVC PIPE.
 - SIMPLEX COUPLING.

WATER TAPPING SLEEVE AND VALVE INSTALLATION
 N.T.S.

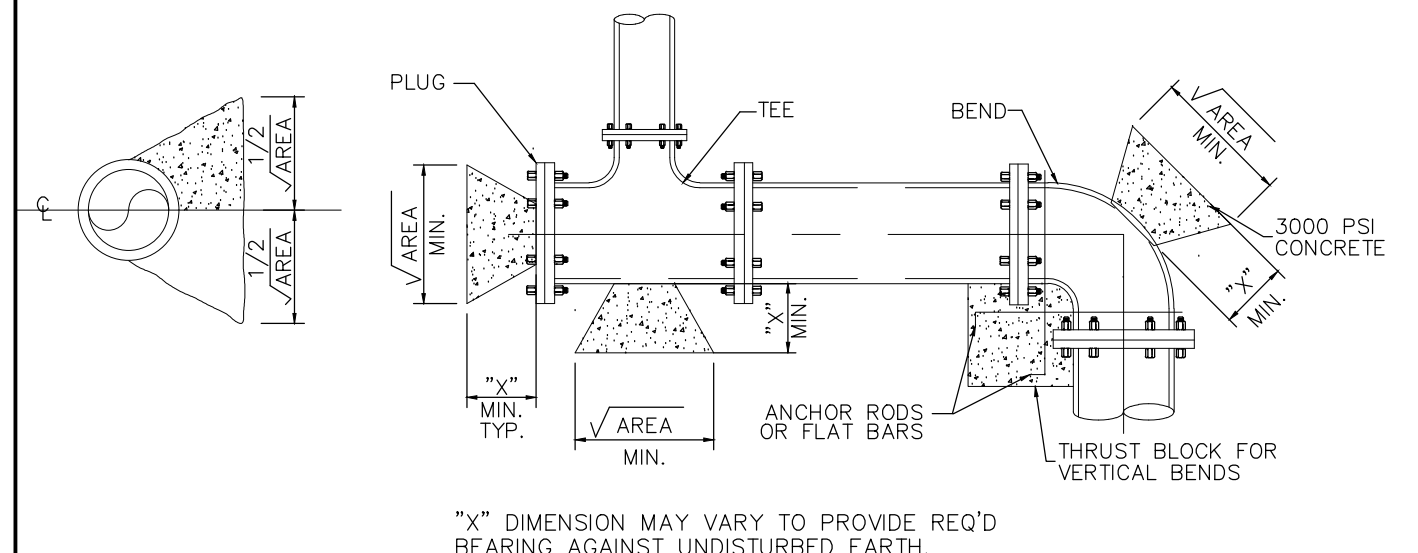


BORING INSTALLATION

CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

- GENERAL NOTES:**
- ALL STEEL CASING SHALL BE WELDED.
 - STEEL CASING SHALL BE CLOSED AT EACH END USING SYNTHETIC RUBBER END SEALS.
 - CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASMENT.
 - PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
 - INSTALLATION AND SIZE OF SPACERS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY LINE BORE DETAIL
 N.T.S.

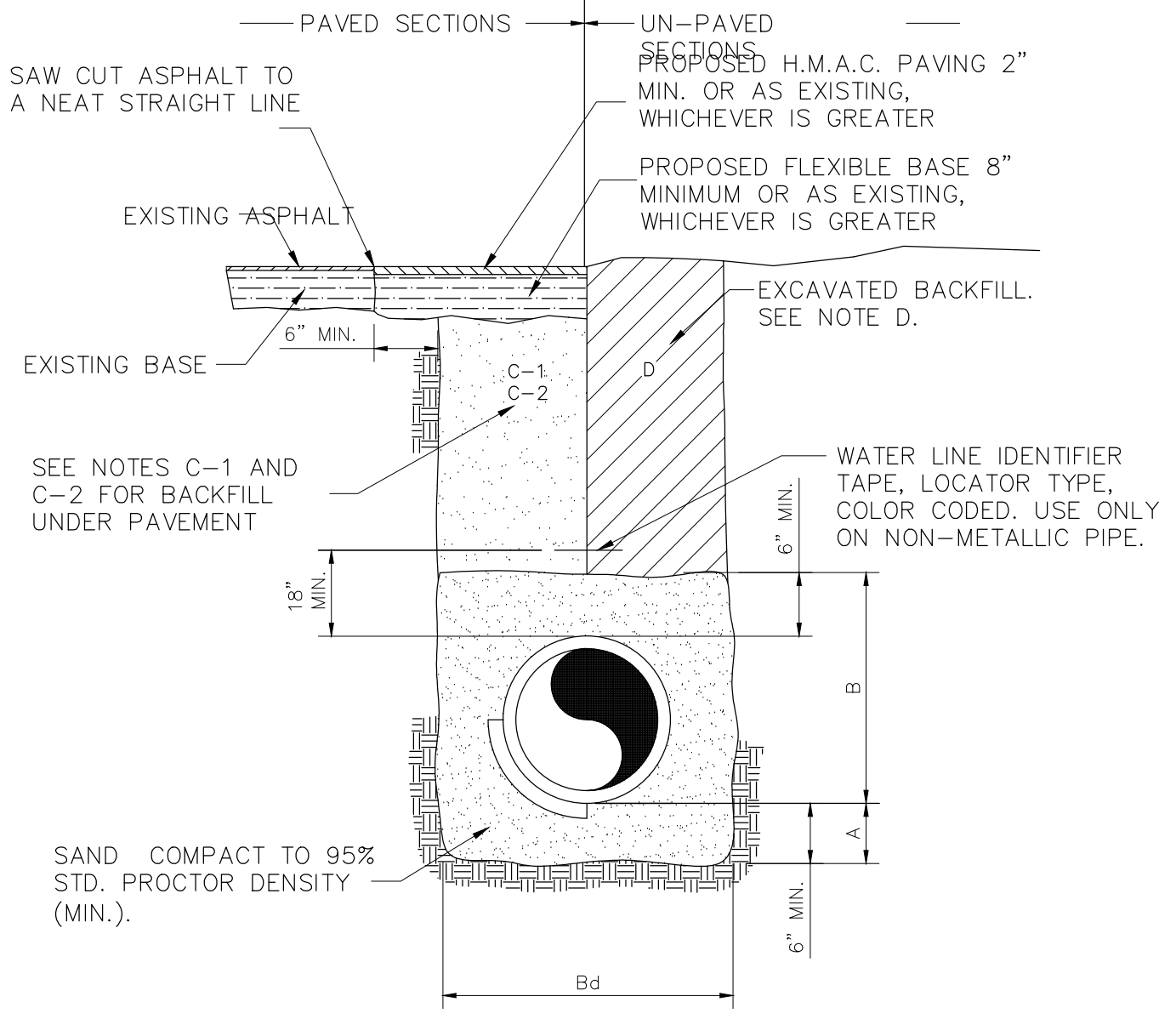


THRUST BLOCK REQUIREMENTS VS. FITTING TYPE

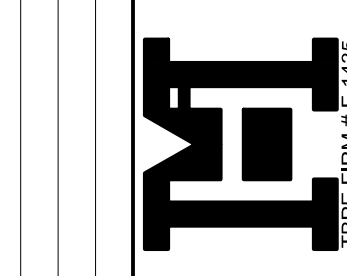
DIAMETER (IN)	"X" (FT.)	END/TEE		90° BEND		45° BEND		22.5° BEND		11.25° BEND	
		(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)	(S.F.)
4	1	1.4	1.9	3,839	1.0	2,077	0.5	1,059	0.3	532	
6	1	2.8	4.0	7,932	2.1	4,293	1.1	2,188	0.5	1,100	
8	1.25	4.8	6.8	13,646	3.7	7,385	1.9	3,765	0.9	1,892	
10	1.25	7.3	10.3	20,528	5.6	11,110	2.8	5,664	1.4	2,846	
12	1.50	10.3	14.5	29,030	7.9	15,711	4.0	8,009	2.0	4,024	
14	1.75	13.8	19.5	39,001	10.6	21,107	5.4	10,760	2.7	5,406	
16	2	17.8	25.2	50,442	13.6	27,299	7.0	13,917	3.5	6,992	

- GENERAL NOTES:**
- THRUST BLOCKING TO BE PLACED AT ALL DEAD ENDS, TEES, BENDS, WYES, AND REDUCERS AND OTHER AREAS THAT REQUIRE THRUST RESISTANCE.
 - MINIMUM AREAS SHOWN ARE IN SQUARE FEET, BLOCK WEIGHTS FOR VERTICAL BENDS ARE IN POUNDS.
 - THRUST BLOCK AREAS SHOWN ARE BASE ON A TEST PRESSURE OF 150 P.S.I., SOIL BEARING PRESSURE OF 2000 PSF, AND MINIMUM 30" COVER. IF REQUIRED TEST PRESSURE IS LESS OR THE SOIL BEARING CAPACITY IS GREATER, THE CONTRACTOR MAY, AFTER APPROVAL BY THE ENGINEER, REDUCE THE THRUST BLOCK AREA SHOWN. THRUST BLOCKING AREA SHALL BE INCREASED IF SOIL BEARING CAPACITY IS LESS THAN 2000 PSI.
 - AT DOWNWARD VERTICAL BENDS, PIPING SHALL BE RESTRAINED BY THRUST BLOCK AS SHOWN WITH WEIGHT INDICATED IN THE TABLE. ANCHOR RODS OR FLAT BARS SHALL STAINLESS STEEL.
 - BEARING MUST BE ON UNDISTURBED EARTH.
 - USE 3000 PSI CONCRETE.
 - RESTRAINING JOINTS MAY BE REQUIRED AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER
 - THRUST BLOCK SHALL BEAR ON FULL 180° OF CIRCUMFERENCE OF PIPE.

CONCRETE THRUST BLOCKS
 N.T.S.



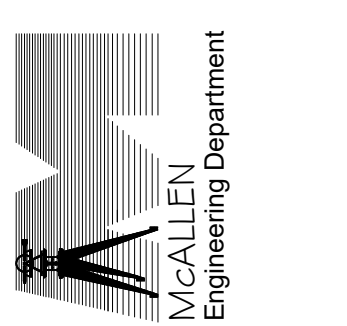
WATER LINE AND SEWER BEDDING DETAIL
 N.T.S.



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THE DISTRICT
 SUBDIVISION PHASE I
 LOT 5
 McALLEN, TEXAS



TYPICAL DETAILS
 SANITARY SEWER
 CITY OF McALLEN STANDARD DETAILS

ALL MANHOLES TO BE PRE-FABRICATED

NOTES:

- INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR OR CLSM FLOWABLE FILL UP TO THE BOTTOM OF THE CONCRETE TRAFFIC PAD.
- BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF, WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
- OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.

TYPICAL FIBERGLASS MANHOLE
N.T.S.

McALLEN Engineering Department **S2**

COMPOSITE SEWER MANHOLE RING AND COVER DETAIL
N.T.S.

McALLEN Engineering Department **S3-B**

NOTES:

- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED FOR EACH LOT.
- SINGLE FAMILY SERVICE SHALL BE 4" MIN. FOR MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL, SERVICE SHALL BE 6" OR GREATER AS REQUIRED.
- SANITARY SERVICES INTO MANHOLES ARE NOT PERMITTED.
- INSTALL CAST IRON VALVE BOX OVER CLEAN-OUTS LOCATED IN SIDEWALKS AND DRIVEWAYS WITH VALVE COVER MARKED "SEWER".
- MAXIMUM CLEAN-OUT HEIGHT SHALL BE 6" FROM NATURAL GROUND.
- TOP OF CAST IRON BOX SHALL BE FLUSH WITH TOP OF CONCRETE.

STANDARD SANITARY SEWER SERVICE CONNECTION
N.T.S.

McALLEN Engineering Department **S4**

SANITARY SEWER (GRAVITY FLOW) PIPE BEDDING DETAIL
N.T.S.

McALLEN Engineering Department **S1**

GENERAL NOTES:

- CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER) PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
- C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
- C-2 (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY 95% INSIDE RIGHT OF WAY
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 15". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED SOILS WITH FINES OR UNSTABLE SOILS, EMBEDMENT ZONE SHALL BE WRAPPED WITH GEOTEXTILE.

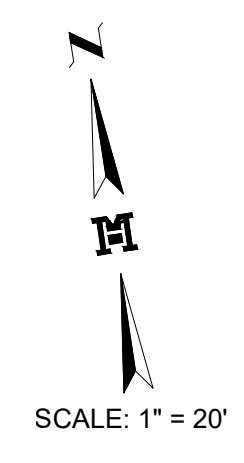
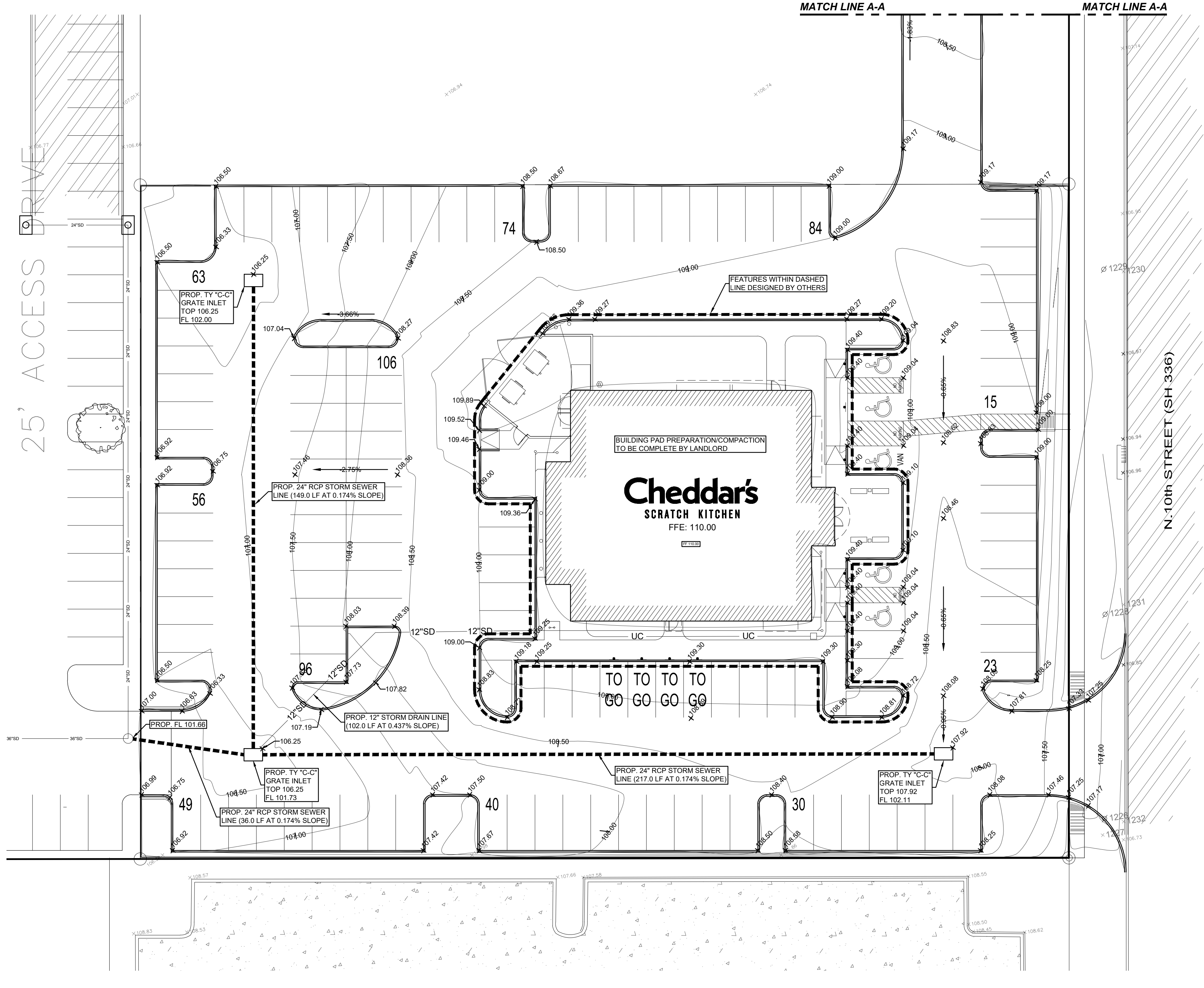
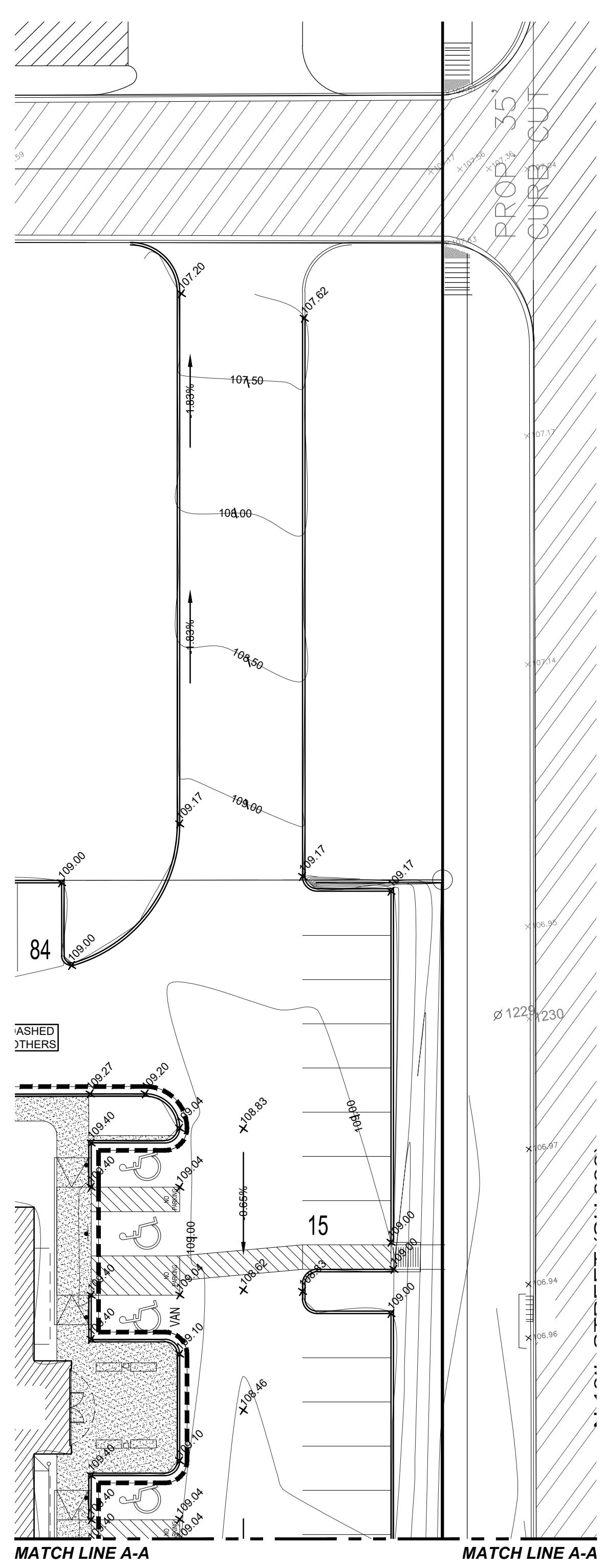
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BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

SANITARY SEWER (GRAVITY FLOW) PIPE BEDDING DETAIL
N.T.S.

McALLEN Engineering Department **S1A**



JOB No. 24120.00

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THE DISTRICT
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MCCALLEN, TEXAS

PAVING AND DRAINAGE PLAN

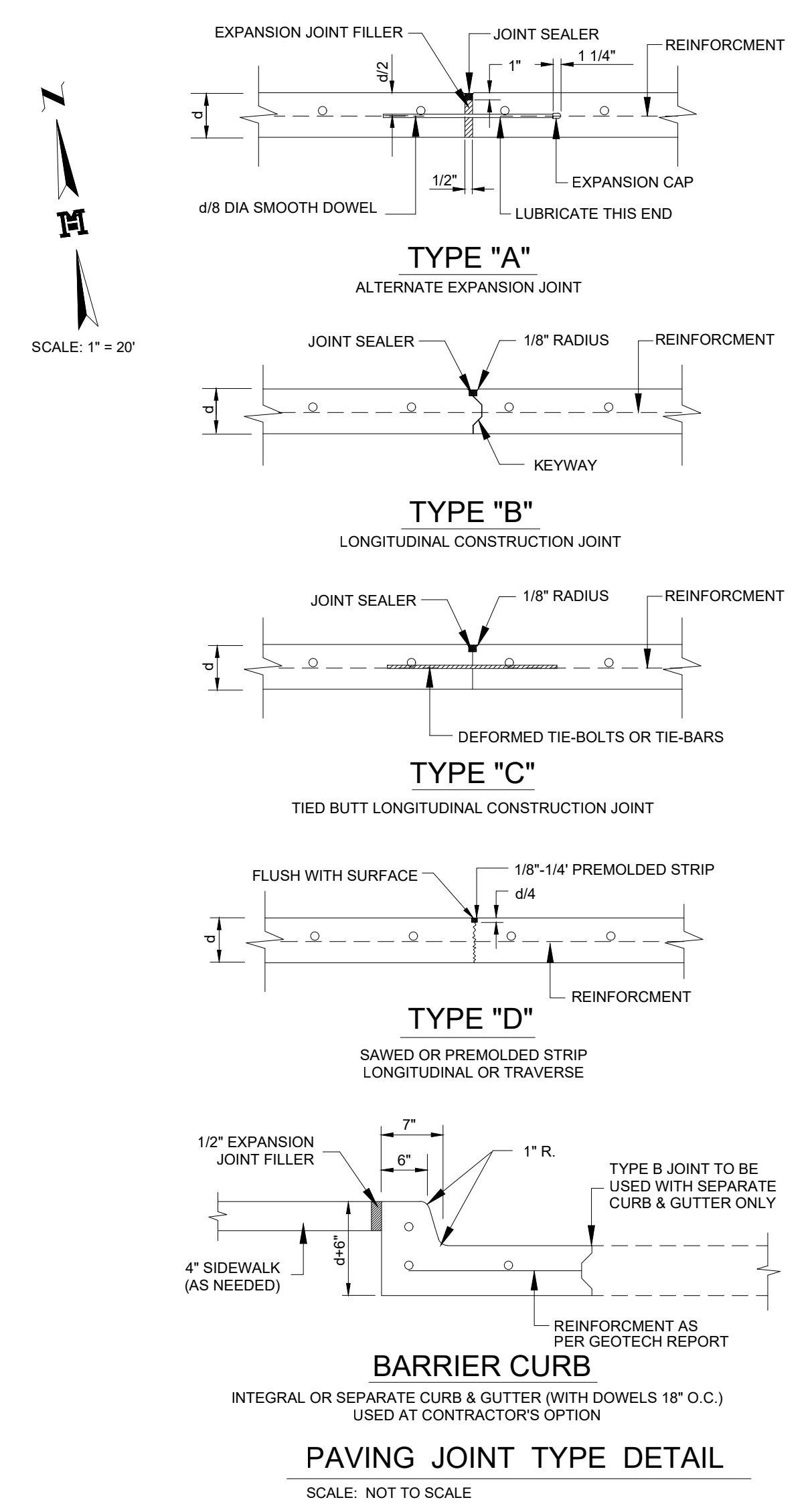
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THE DISTRICT
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LOT 5
 McALLEN, TEXAS

JOINTING LAYOUT

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SHEET 8 OF 10



NOTES:

1. THE CONSTRUCTION JOINTING PLAN HAS BEEN DEVELOPED ASSUMING TYPICAL PAVING TECHNIQUES. IF THE CONTRACTOR'S EQUIPMENT OR PROCEDURES REQUIRE A DEVIATION, THE CONTRACTOR SHALL SUBMIT A REVISED JOINTING PLAN FOR REVIEW BY THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONCRETE CURB MAY BE INTEGRAL OR AS PER DETAIL ON JOINTS.

NOTES FOR RIGID PAVEMENT:

CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, INCLUDING RE-USE OF THE EXISTING SUBGRADE MATERIALS.

IN THE CASE OF A DISCREPANCY BETWEEN THE REPORT AND THESE PLANS, THE MORE STRINGENT OF THE TWO SHALL PREVAIL.

REINFORCING STEEL FOR PAVEMENT AS FOLLOWS:

HEAVY DUTY: #4 BARS AT 16 IN. (LONGIT.) 24 IN. (TRANSV.)

CONTROL JOINT SPACING:

MAXIMUM SPACING AT 10 FEET FOR 6 INCH PAVEMENT.
 MAXIMUM SPACING AT 15 FEET FOR 7.5 INCH PAVEMENT.

IF SAWCUT, CONTROL JOINTS SHOULD BE CUT WITHIN 6 TO 12 HOURS OF CONCRETE PLACEMENT. ALL JOINTS MUST BE SEALED.

SIDEWALK NOTES:

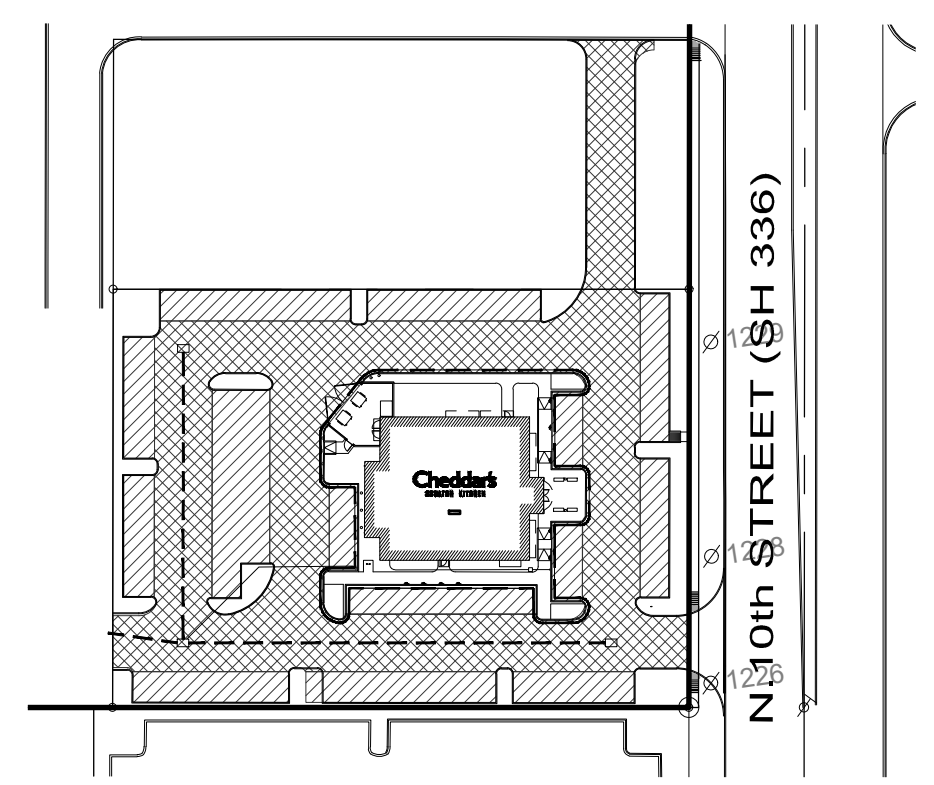
SIDEWALK GRADIENT SHALL NOT EXCEED 1:20. WITH 2% CROSS SLOPES

SIDEWALK CONCRETE SHALL BE 5 SACK CEMENT MIX AT CITY WALKS AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT PRIVATE WALKS

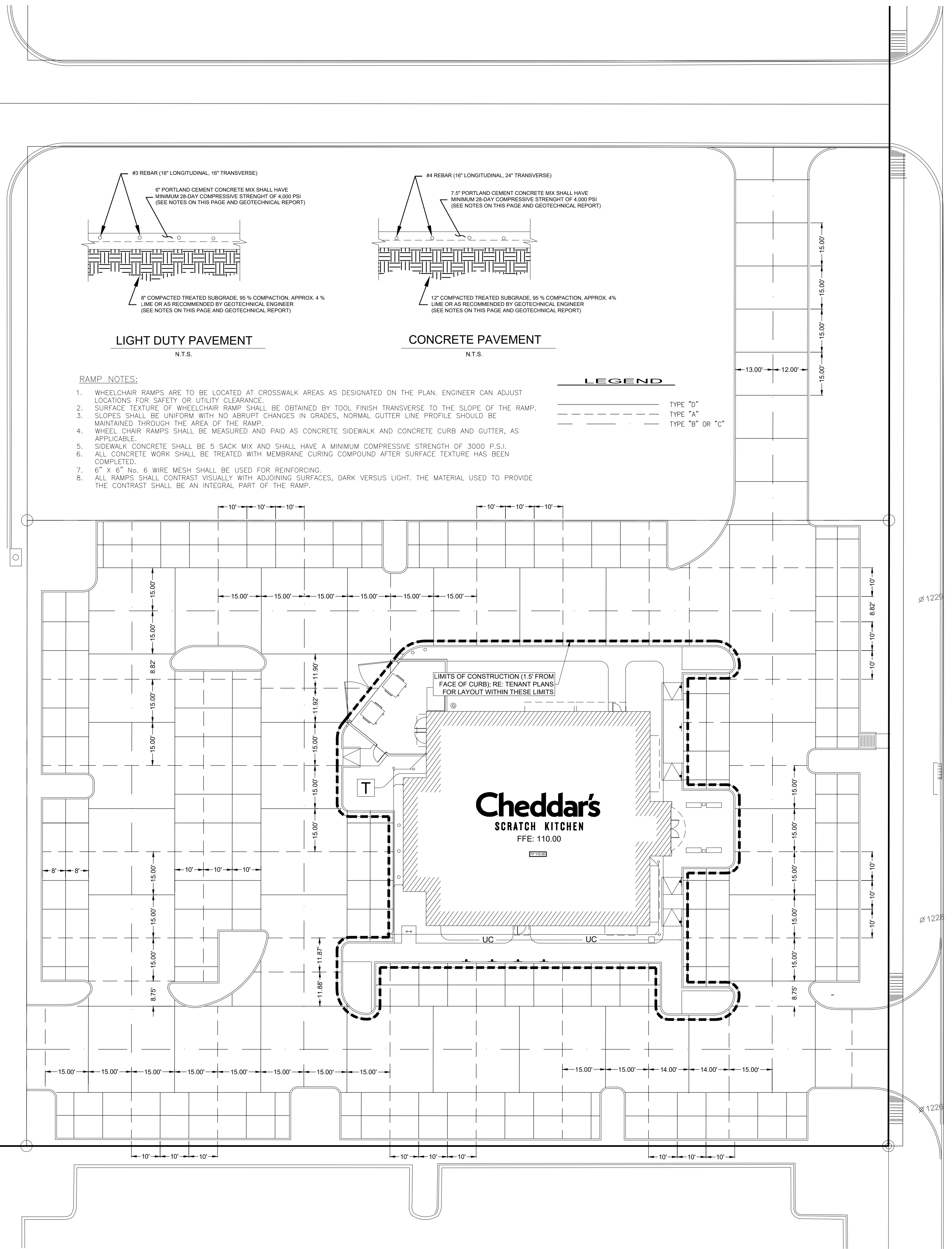
CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF EXISTING UTILITY LINES WITH APPROPRIATE COMPANIES TO AVOID PLACING SIDEWALKS ON TOP OF LINES.

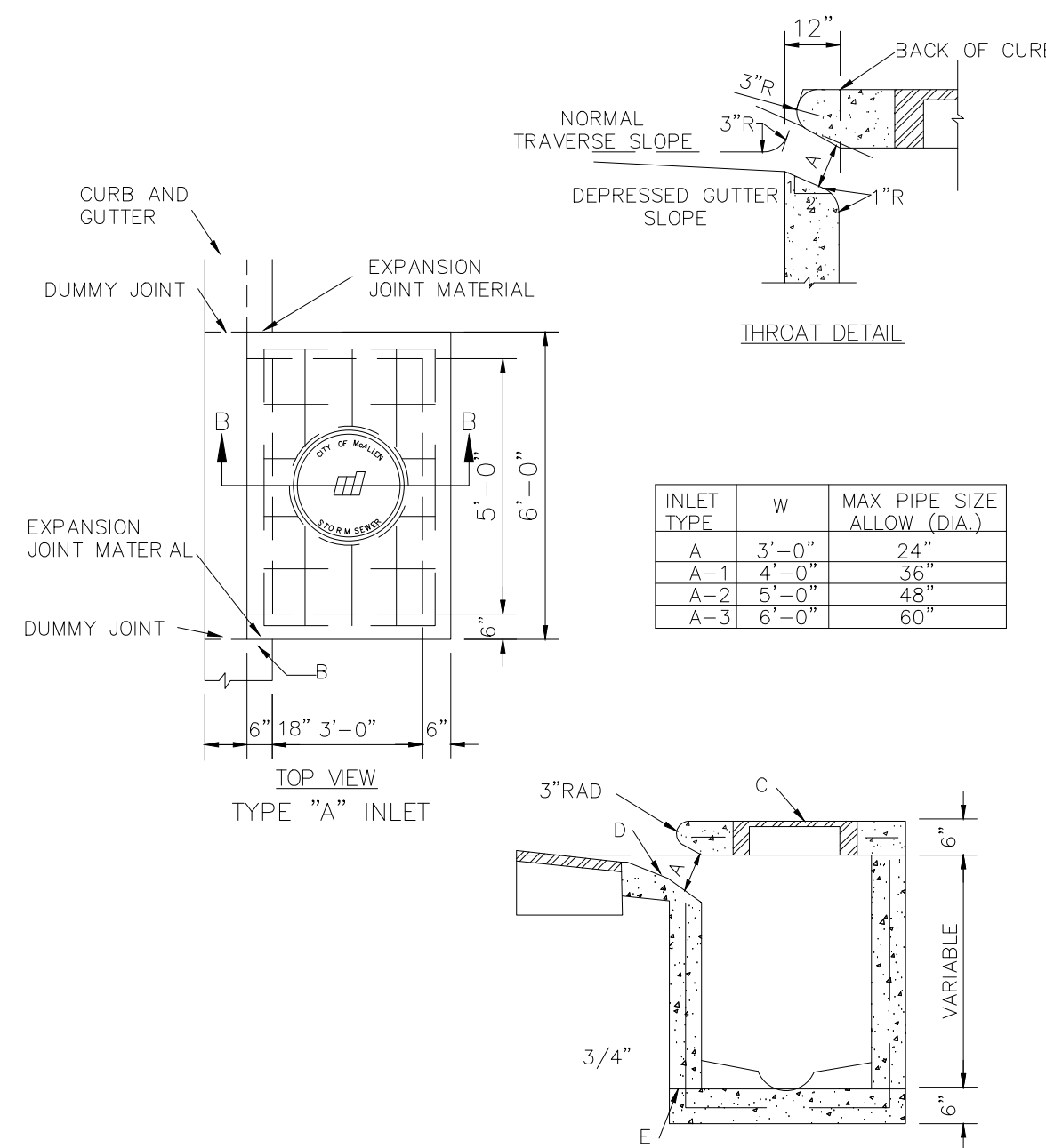
PROVIDE DROP CURBS AT INTERSECTIONS.

CONTRACTOR SHALL COMPLY WITH LATEST REGULATIONS AS SET FORTH IN AMERICANS WITH DISABILITIES ACT (ADA).



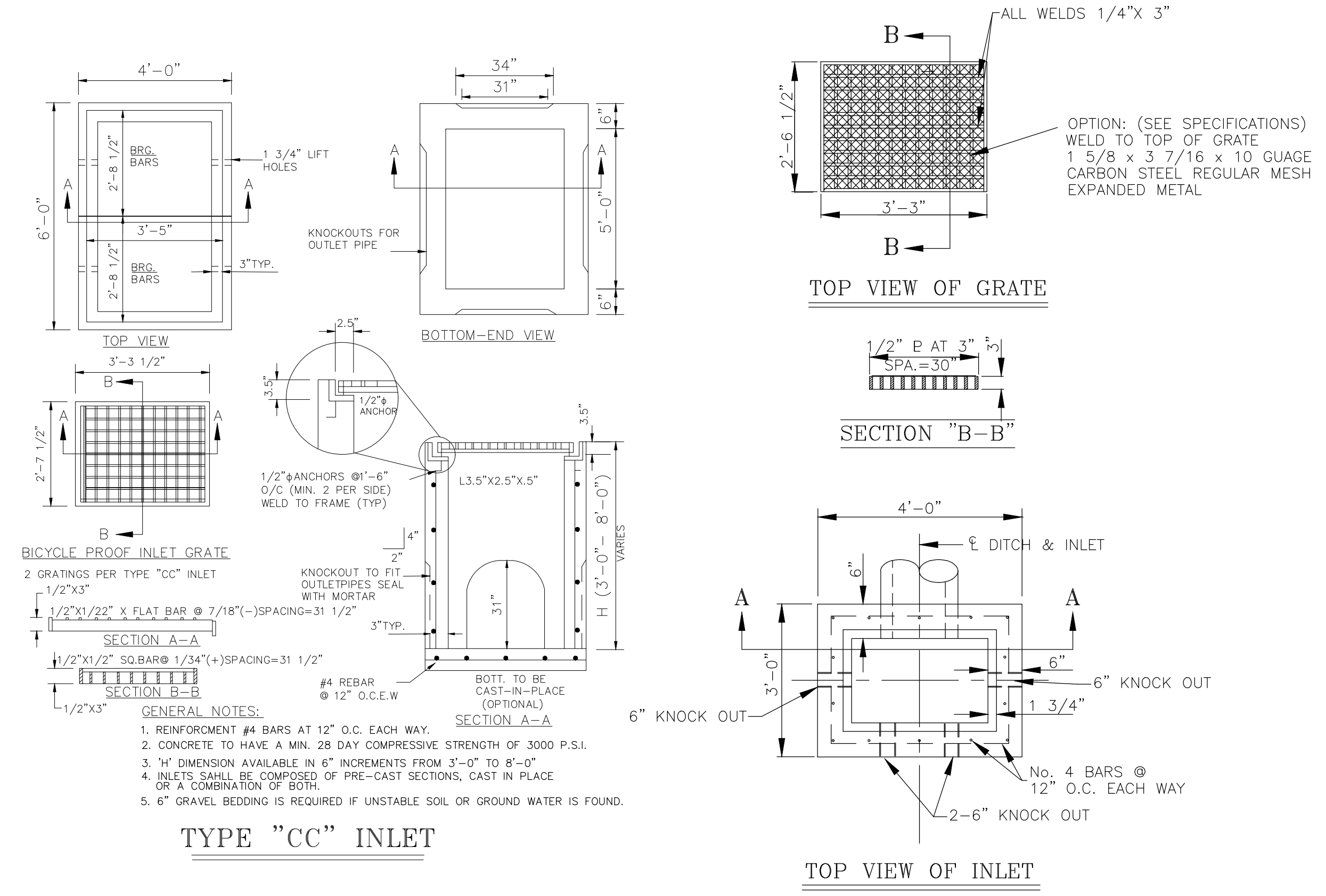
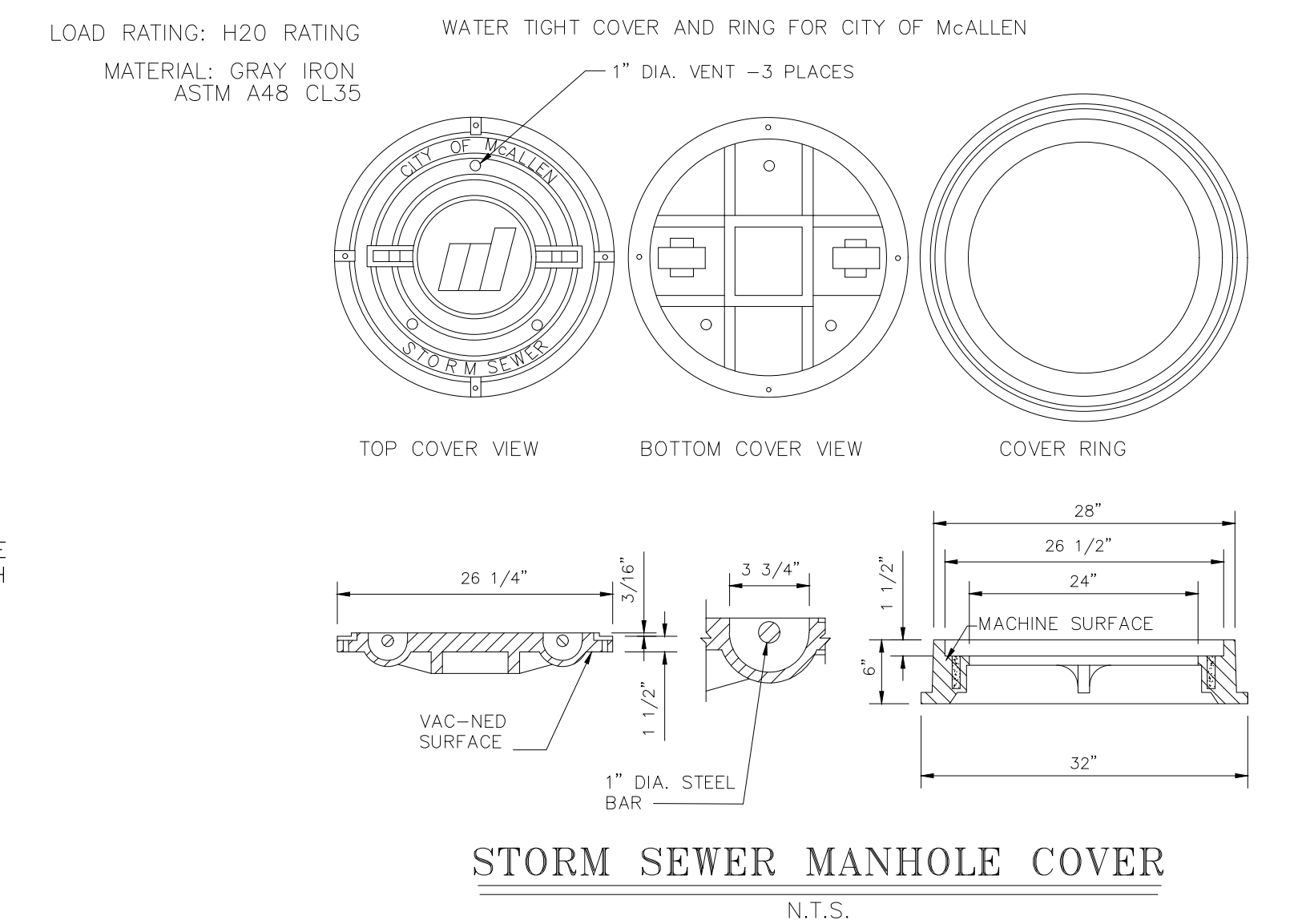
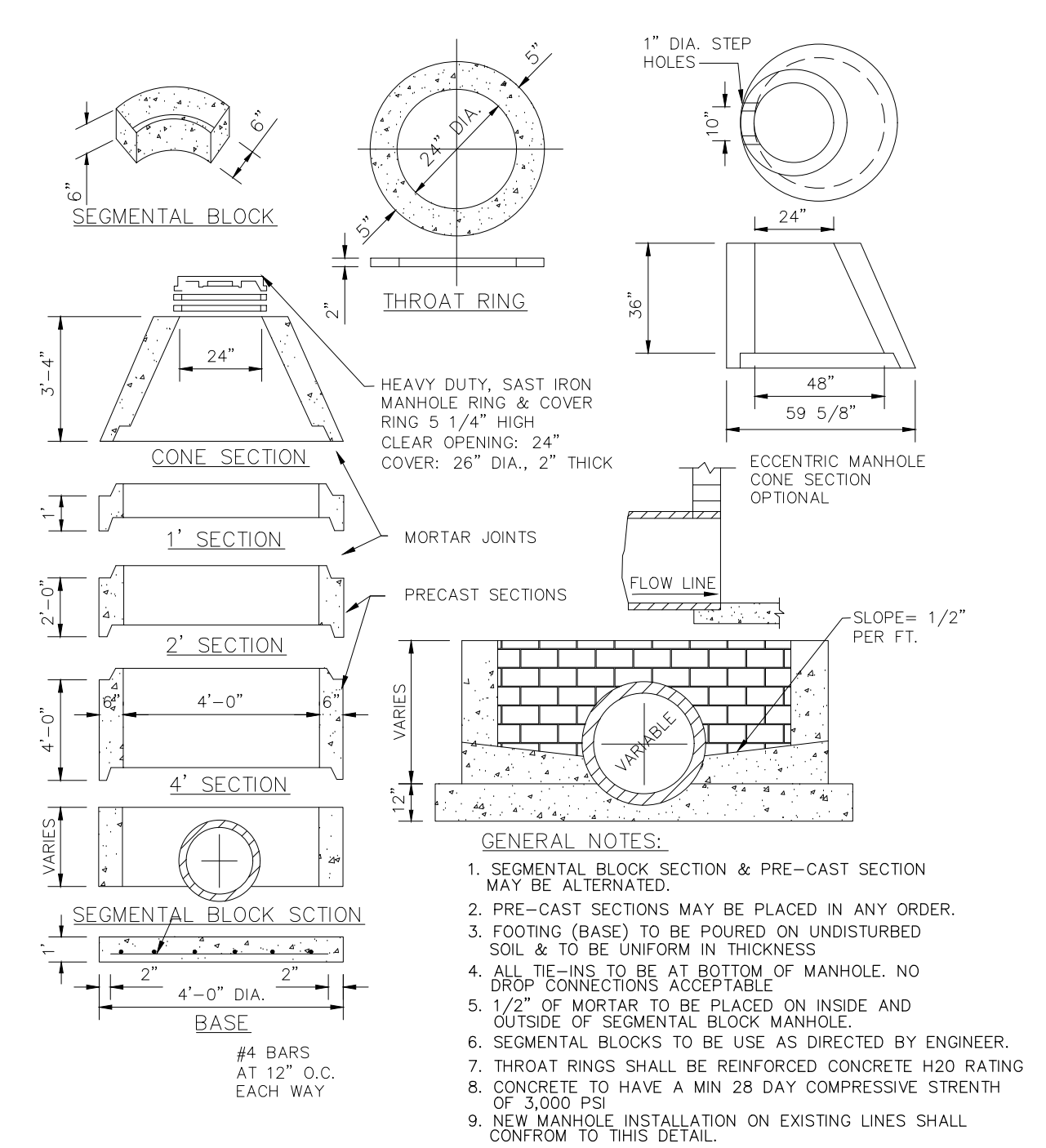
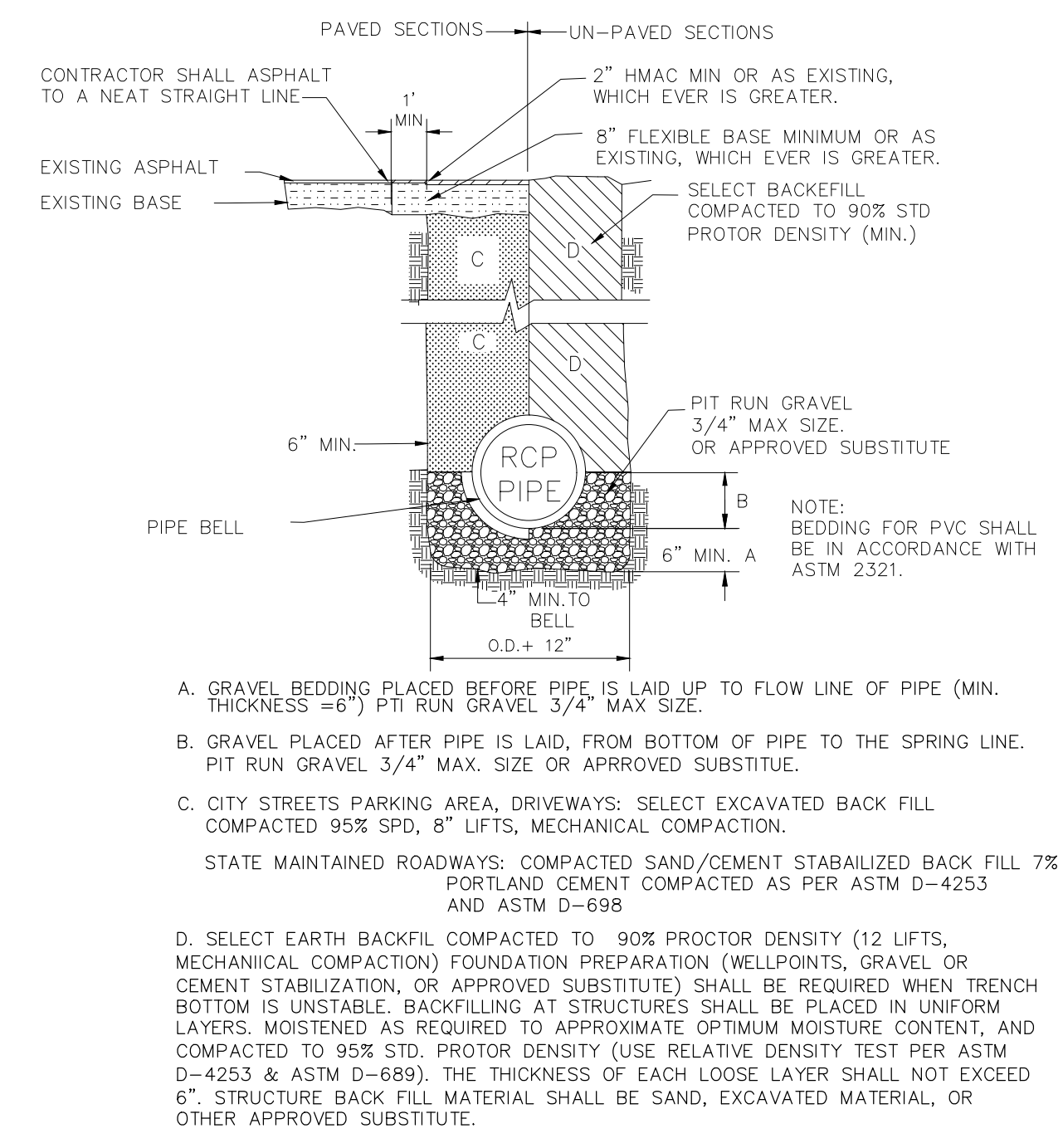
LIGHT DUTY CONCRETE
 HEAVY DUTY CONCRETE

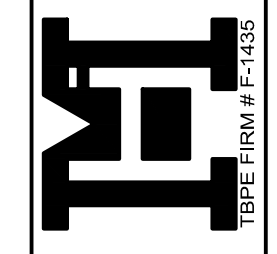




- GENERAL NOTES:**
- TRANSITION NORMAL GUTTER TO INLET SLOPE APPROX. 3"
 - INLETS SHALL BE COMPOSED OF PRE-CAST SECTIONS, CAST IN PLACE OR A COMBINATION OF BOTH.
 - 6" GRAVEL BEDDING IS REQUIRED IF UNSTABLE SOIL OR GROUND WATER IS FOUND.
- CONSTRUCTION NOTES:**
- 5" CLEAR OPENINGS.
 - CURB & GUTTER SECTION.
 - C.I. MANHOLE RING & COVER SHALL BE ALAMO 860-22 OR EQUAL 20, 3/8"
 - DEPRESS 2" BELOW NORMAL GUTTER.
 - ALL REINFORCEMENT NO. 4 BARS 12" O.C.E.W.

TYPE "A" INLET



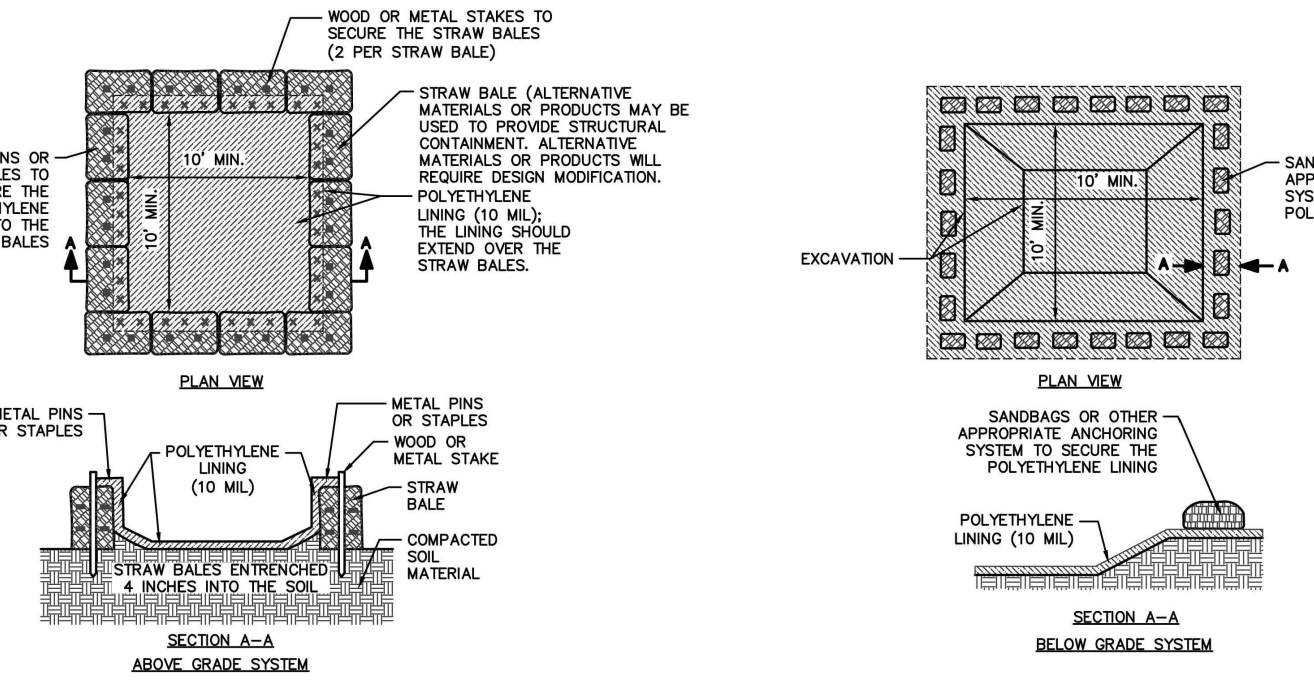
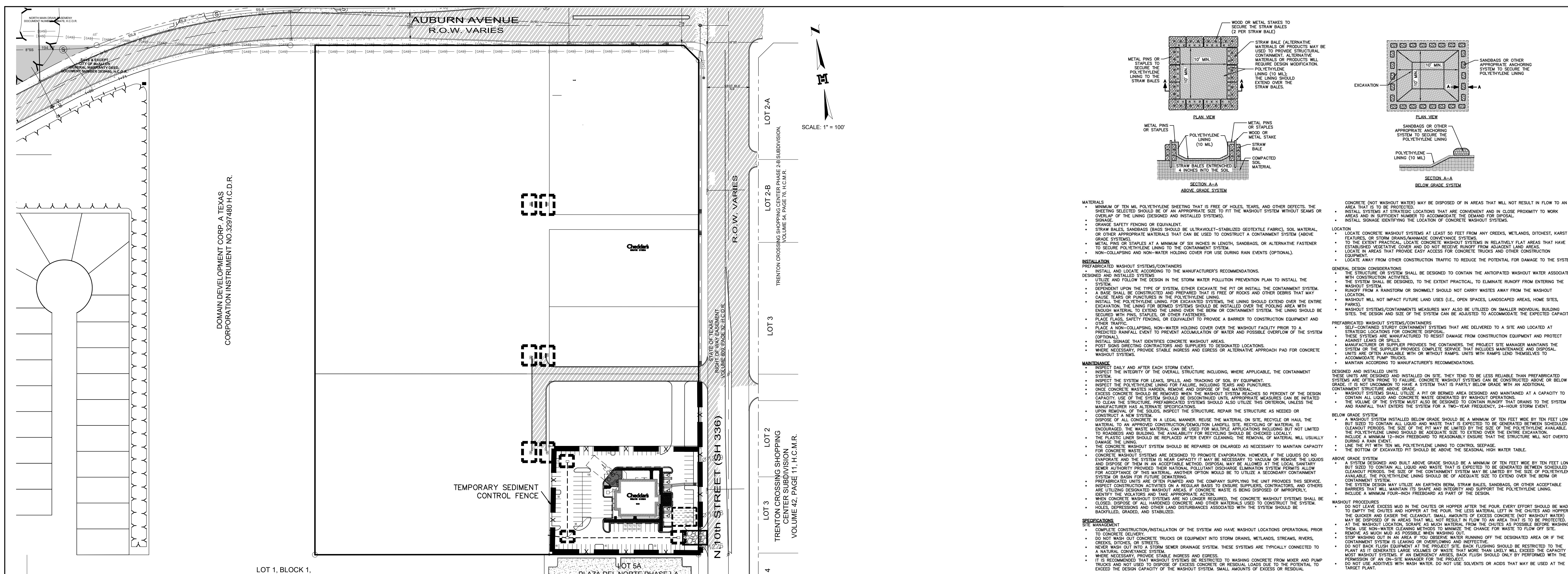


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THE DISTRICT
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LOT 5
MCALEN, TEXAS

EROSION AND SEDIMENT
CONTROL PLAN



MATERIALS

- MINIMUM OF TEN MIL POLYETHYLENE SHEETING THAT IS FREE OF HOLES, TEARS, AND OTHER DEFECTS. THE SHEETING SELECTED SHOULD BE OF AN APPROPRIATE SIZE TO FIT THE WASHOUT SYSTEM WITHOUT SEAMS OR OVERLAP OF THE LINING (DESIGNED AND INSTALLED SYSTEMS).
- STRAW BALES, SANDBAGS (BAGS SHOULD BE ULTIMATELY-STABILIZED GEOTEXTILE FABRIC), SOIL MATERIAL, OR OTHER APPROPRIATE MATERIALS THAT CAN BE USED TO CONSTRUCT A CONTAINMENT SYSTEM (ABOVE GRADE).
- METAL PINS OR STAPLES AT A MINIMUM OF SIX INCHES IN LENGTH, SANDBAGS, OR ALTERNATIVE FASTENER TO SECURE POLYETHYLENE LINING TO THE CONTAINMENT SYSTEM.
- NON-COLLAPSING AND NON-WATER HOLDING COVER FOR USE DURING RAIN EVENTS (OPTIONAL).

INSTALLATION

- PRE-FABRICATED WASHOUT SYSTEMS/CONTAINERS
 - INSTALL AND LOCATE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - UTILIZE AND FOLLOW THE DESIGN IN THE STORM WATER POLLUTION PREVENTION PLAN TO INSTALL THE SYSTEM.
 - DEPENDENT UPON THE TYPE OF SYSTEM, EITHER EXCAVATE THE PIT OR INSTALL THE CONTAINMENT SYSTEM.
 - A BASE SHALL BE CONSTRUCTED AND PREPARED THAT IS FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE POLYETHYLENE LINING.
 - INSTALL THE POLYETHYLENE LINING FOR EXCAVATED SYSTEMS. THE LINING SHOULD EXTEND OVER THE ENTIRE EXCAVATION. THE LINING FOR BERMED SYSTEMS SHOULD BE INSTALLED OVER THE POOLING AREA WITH ENOUGH MATERIAL TO EXTEND THE LINING OVER THE BERM OR CONTAINMENT SYSTEM. THE LINING SHOULD BE SECURED WITH PINS, STAPLES, OR OTHER FASTENERS.
 - PLACE FLAG, SAFETY FENCING, OR EQUIPMENT TO PROVIDE A BARRIER TO CONSTRUCTION EQUIPMENT AND OTHER TRAFFIC.
 - PLACE A NON-COLLAPSING, NON-WATER HOLDING COVER OVER THE WASHOUT FACILITY PRIOR TO A PRECIPITATED RAINFALL EVENT TO PREVENT ACCUMULATION OF WATER AND POSSIBLE OVERFLOW OF THE SYSTEM (OPTIONAL).
 - INSTALL SIGNAGE THAT IDENTIFIES CONCRETE WASHOUT AREAS.
 - POST SIGNS DIRECTING CONTRACTORS AND SUPPLIERS TO DESIGNATED LOCATIONS.
 - WHERE NECESSARY, PROVIDE STABLE INGRESS AND EGRESS OR ALTERNATIVE APPROACH PAD FOR CONCRETE WASHOUT SYSTEMS.

MAINTENANCE

- INSPECT DAILY AND AFTER EACH STORM EVENT.
- INSPECT THE INTEGRITY OF THE OVERALL STRUCTURE INCLUDING, WHERE APPLICABLE, THE CONTAINMENT SYSTEM.
- INSPECT THE SYSTEM FOR LEAKS, SPILLS, AND TRACKING OF SOIL BY EQUIPMENT.
- INSPECT THE POLYETHYLENE LINING FOR FAILURE, INCLUDING TEARS AND PUNCTURES.
- ONCE CONCRETE WASTES HARDEN, REMOVE AND DISPOSE OF THE MATERIAL.
- EXCESS CONCRETE SHOULD BE REMOVED WHEN THE WASHOUT SYSTEM REACHES 50 PERCENT OF THE DESIGN CAPACITY. EXCESS CONCRETE SHOULD BE RECYCLED OR DISPOSED OF IN AN APPROPRIATE MANNER. CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS SHOULD BE RECYCLED OR DISPOSED OF IN AN APPROPRIATE MANNER. UNLESS THE MANUFACTURER HAS ALTERNATE SPECIFICATIONS, THE SYSTEM SHOULD BE DESIGNED TO ACCOMMODATE THE VOLUME OF WASTE THAT ENTERS THE SYSTEM FOR A TWO-YEAR FREQUENCY, 24-HOUR STORM EVENT.
- UPON REMOVAL OF THE SOLIDS, INSPECT THE STRUCTURE. REPAIR THE STRUCTURE AS NEEDED OR RECONSTRUCT A SYSTEM.
- DISPOSE OF ALL CONCRETE IN A LEGAL MANNER. REUSE THE MATERIAL ON SITE, RECYCLE OR HAIL THE MATERIAL. IN AN APPROPRIATE CONSTRUCTION/DEMOLITION LANDFILL SITE RECYCLING OF MATERIAL IS ENCOURAGED. THE WASTE MATERIAL CAN BE USED FOR MULTIPLE APPLICATIONS INCLUDING BUT NOT LIMITED TO ROADWAYS AND BUILDING. THE AVAILABILITY FOR RECYCLING SHOULD BE CHECKED LOCALLY.
- THE PLASTIC LINER SHOULD BE REPLACED AFTER EVERY CLEANING. THE REMOVAL OF MATERIAL WILL USUALLY DAMAGE THE LINING.
- THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE.
- CONCRETE WASHOUT SYSTEMS ARE DESIGNED TO PROMOTE EVAPORATION. HOWEVER, IF THE LIQUIDS DO NOT EVAPORATE AND THE SYSTEM IS NEAR CAPACITY IT MAY BE NECESSARY TO VACUUM OR REMOVE THE LIQUIDS AND DISPOSE OF THEM IN AN ACCEPTABLE MANNER. DISPOSAL MAY BE ALLOWED AT THE LOCAL SANITARY ENGINEER AUTHORITY PROVIDED THEIR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMITS ALLOW FOR ACCEPTANCE OF THE MATERIAL. ANOTHER OPTION WOULD BE TO UTILIZE A SECONDARY CONTAINMENT SYSTEM OR BASIN FOR FUTURE DEMANDS.
- CONTRACTORS OF THE OPEN PUMPED AND THE COMPANY SURVEYING THE UNIT PROVIDES THIS SERVICE. IDENTIFY CONSTRUCTION ACTIVITIES ON A REGULAR BASIS TO ENSURE SUPPLIERS, CONTRACTORS, AND OTHERS ARE UTILIZING DESIGNATED WASHOUT AREAS IF CONCRETE WASTE IS BEING DISPOSED OF IMPROPERLY.
- IDENTIFY THE VIOLATORS AND TAKE APPROPRIATE ACTION.
- WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED, THE CONCRETE WASHOUT SYSTEMS SHALL BE CLOSED, DISPOSED OF ALL HARDENED CONCRETE AND OTHER MATERIALS USED TO CONSTRUCT THE SYSTEM, HOLES, DEPRESSIONS AND OTHER LAND DISTURBANCES ASSOCIATED WITH THE SYSTEM SHOULD BE BACKFILLED, GRADED, AND STABILIZED.

DESIGNED AND INSTALLED UNITS

- THE STRUCTURE OR SYSTEM SHALL BE DESIGNED TO CONTAIN THE ANTICIPATED WASHOUT WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- THE SYSTEM SHALL BE DESIGNED, TO THE EXTENT PRACTICAL, TO ELIMINATE RUNOFF FROM ENTERING THE WASHOUT SYSTEM.
- RUNOFF SYSTEM.
- WASHOUT SYSTEM SHALL BE DESIGNED TO CARRY WASTES AWAY FROM THE WASHOUT SYSTEM.
- WASHOUT WILL NOT IMPACT FUTURE LAND USES (I.E., OPEN SPACES, LANDSCAPED AREAS, HOME SITES, PARKS).
- WASHOUT SYSTEMS/CONTAINMENTS MEASURES MAY ALSO BE UTILIZED ON SMALLER INDIVIDUAL BUILDING SITES. THE DESIGN AND SIZE OF THE SYSTEM CAN BE ADJUSTED TO ACCOMMODATE THE EXPECTED CAPACITY.

PRE-FABRICATED WASHOUT SYSTEMS/CONTAINERS

- SELF-CONTAINED STURDY CONTAINMENT SYSTEMS THAT ARE DELIVERED TO A SITE AND LOCATED AT STRATEGIC LOCATIONS FOR CONCRETE DISPOSAL.
- THESE SYSTEMS ARE MANUFACTURED TO RESIST DAMAGE FROM CONSTRUCTION EQUIPMENT AND PROTECT AGAINST LEAKS OR SPILLS.
- MANUFACTURER OR SUPPLIER PROVIDES THE CONTAINERS. THE PROJECT SITE MANAGER MAINTAINS THE SYSTEM OR THE SUPPLIER PROVIDES COMPLETE SERVICE THAT INCLUDES MAINTENANCE AND DISPOSAL. UNITS ARE OFTEN AVAILABLE WITH OR WITHOUT RAMPS. UNITS WITH RAMPS LEAD THEMSELVES TO ACCOMMODATE PUMP TRUCKS.
- MAINTAIN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

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- CONCRETE (NOT WASHOUT WATER) MAY BE DISPOSED OF IN AREAS THAT WILL NOT RESULT IN FLOW TO AN AREA THAT IS TO BE PROTECTED.
- THE SYSTEMS THAT ARE CONVENIENT AND IN CLOSE PROXIMITY TO WORK AREAS AND A SUFFICIENT NUMBER TO ACCOMMODATE THE DEMAND FOR DISPOSAL.
- INSTALL SIGNAGE IDENTIFYING THE LOCATION OF CONCRETE WASHOUT SYSTEMS.

LOCATION

- LOCATE CONCRETE WASHOUT SYSTEMS AT LEAST 50 FEET FROM ANY CREEKS, WETLANDS, DITCHES, KARST FEATURES, OR STORM DRAINAGE CONVEYANCE SYSTEMS.
- TO THE EXTENT PRACTICAL, LOCATE CONCRETE WASHOUT SYSTEMS IN RELATIVELY FLAT AREAS THAT HAVE ESTABLISHED VEGETATION COVER AND DO NOT RECEIVE RUNOFF FROM ADJACENT LAND AREAS.
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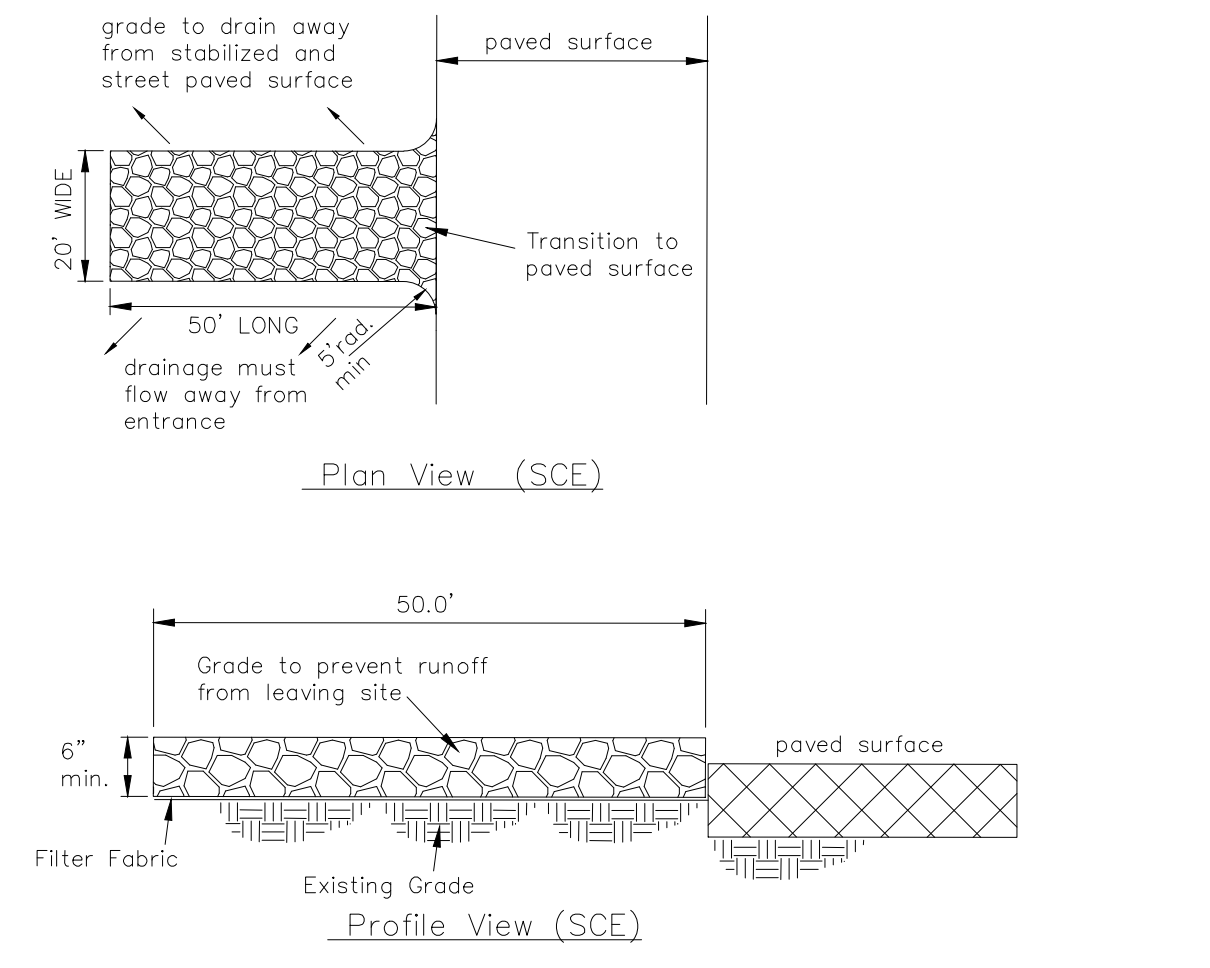
CONCRETE WASH OUT
NOT TO SCALE

LEGEND

- ENVIRO SACK (INLET EROSION CONTROL)
- TEMPORARY SEDIMENT CONTROL FENCE
- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE WITH PROTECTION FOR CURB & GUTTER

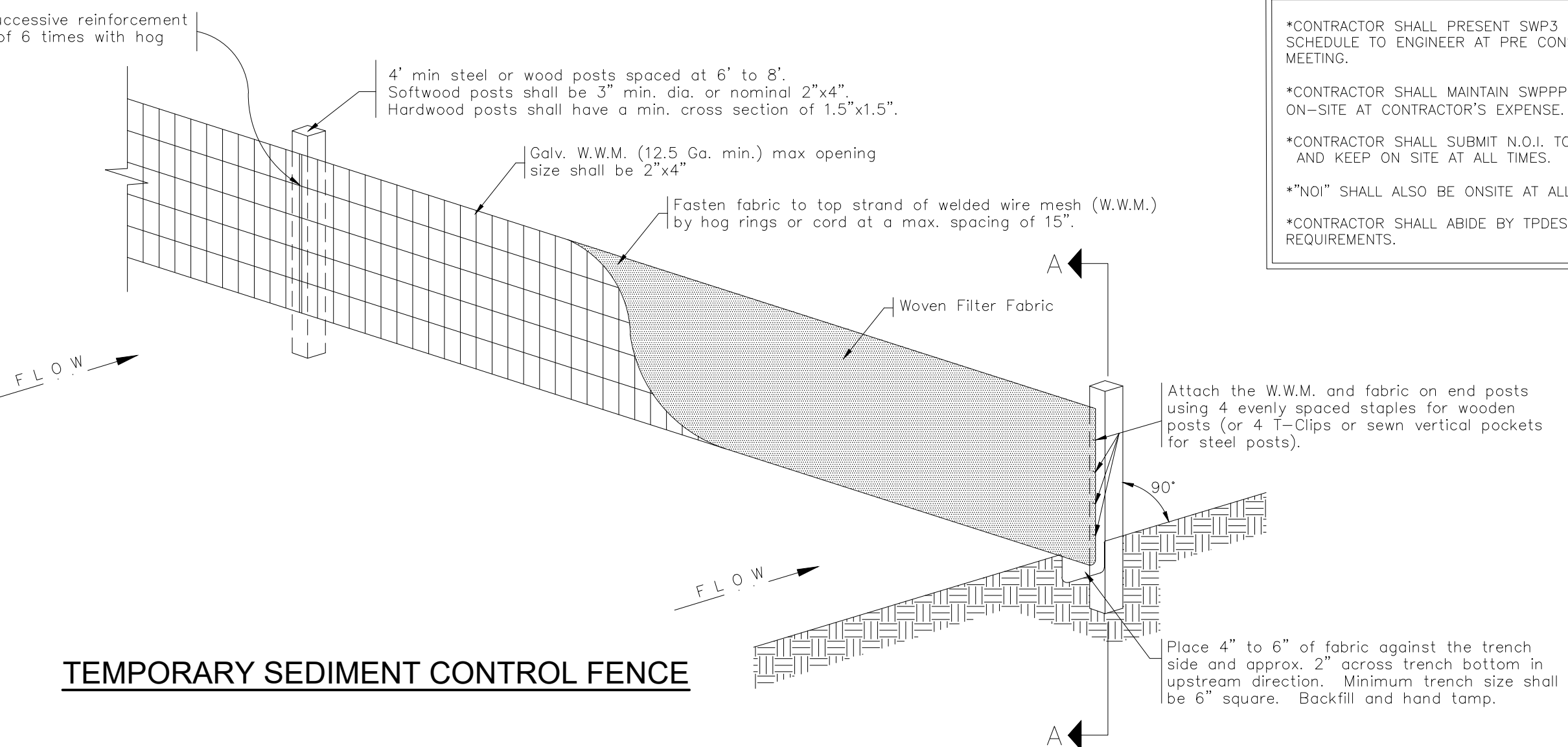
- Construction entrance(s) shall be discussed at the time of pre-construction meeting.
- Stone shall be 4 to 8 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
- When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on an area stabilized with crushed stone with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
- The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone as conditions demand. All sediment spilled, dropped, washed or tracked onto paved surfaces, must be removed immediately at contractor's expense.
- The entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

*CONTRACTOR SHALL PRESENT SWP3 INSPECTION SCHEDULE TO ENGINEER AT PRE CONSTRUCTION MEETING.
*CONTRACTOR SHALL MAINTAIN SWPPP (SWP3) ON-SITE AT CONTRACTOR'S EXPENSE.
*CONTRACTOR SHALL SUBMIT N.O.I. TO T.C.E.Q. AND KEEP ON SITE AT ALL TIMES.
*NOI SHALL ALSO BE ON SITE AT ALL TIMES.
*CONTRACTOR SHALL ABIDE BY TPDES REQUIREMENTS.



GENERAL NOTES :

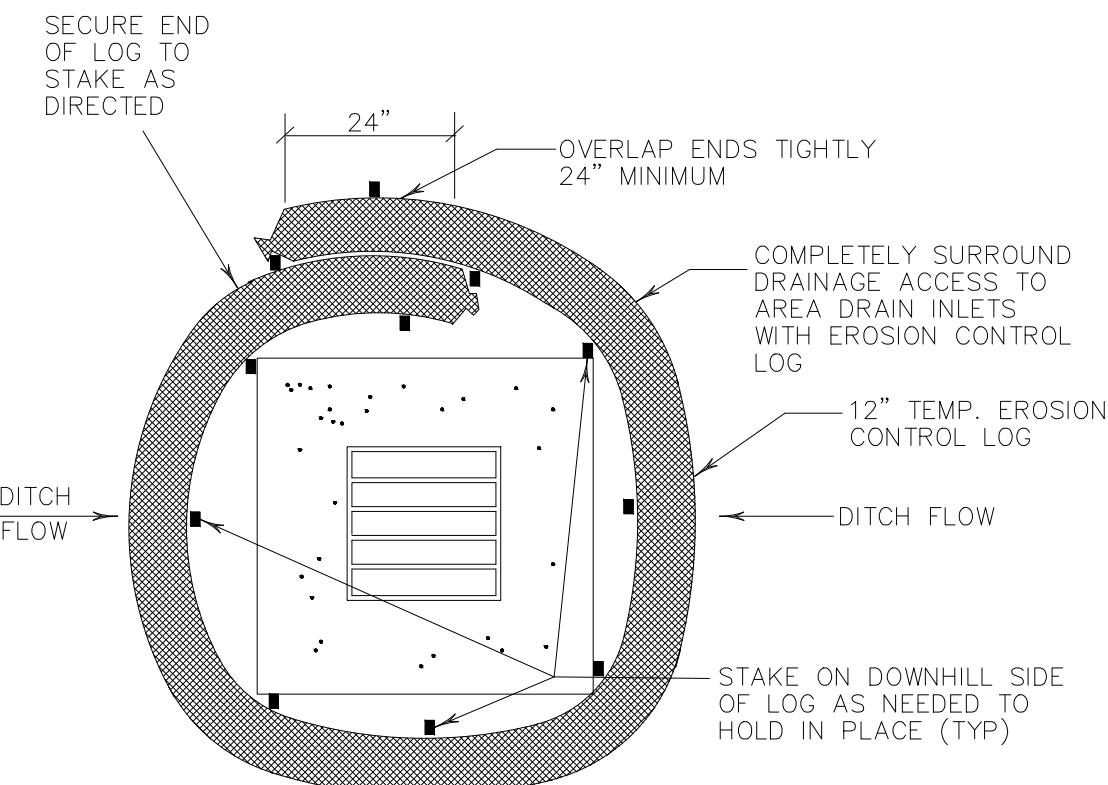
- The guidelines shown hereon are suggestions only and may be modified by the engineer.
- SEDIMENT CONTROL FENCE USAGE GUIDELINES**
- A sediment control fence may be constructed near the downstream perimeter of a disturbed area along a contour to intercept sediment from overland runoff. A 2-year storm frequency may be used to calculate the flow rate to be filtered.
- Sediment control fence should be sized to filter a max. flow through rate of 100 GPM/FT. Sediment control fence is not recommended to control erosion from a drainage area larger than two acres.
- Truck wash out only at specified location (sediment to be cleaned out at end of construction by contractor).



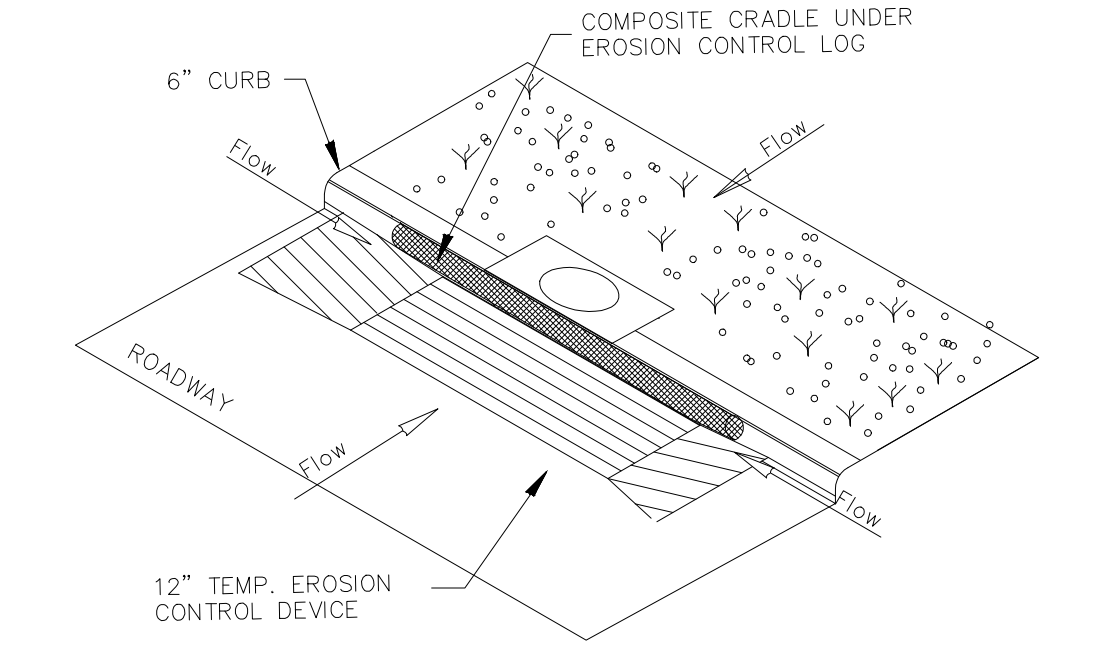
TEMPORARY SEDIMENT CONTROL FENCE

GENERAL NOTES

- LENGTHS OF EROSION CONTROL LOGS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR THE PURPOSE INTENDED. MAXIMUM LENGTH OF LOGS SHALL BE 30' FOR 12" DIAMETER LOGS.
- UNLESS OTHERWISE DIRECTED, USE BIODEGRADABLE OR PHOTODEGRADABLE CONTAINMENT MESH ONLY WHERE LOG WILL REMAIN IN PLACE AS PART OF A VEGETATIVE SYSTEM. FOR TEMPORARY INSTALLATIONS, USE RECYCLABLE CONTAINMENT MESH.
- STUFF LOGS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE DENSITY THAT WILL HOLD SHAPE WITHOUT EXCESSIVE DEFORMATION.
- STAKES SHALL BE 2" X 2" WOOD 4' LONG, EMBEDDED SUCH THAT 2" PROTRUDES ABOVE LOG.
- COMPOST CRADLE MATERIAL IS INCIDENTAL AND WILL NOT BE PAID FOR SEPARATELY.



DROP INLET SEDIMENT TRAP



CURB INLET SEDIMENT TRAP

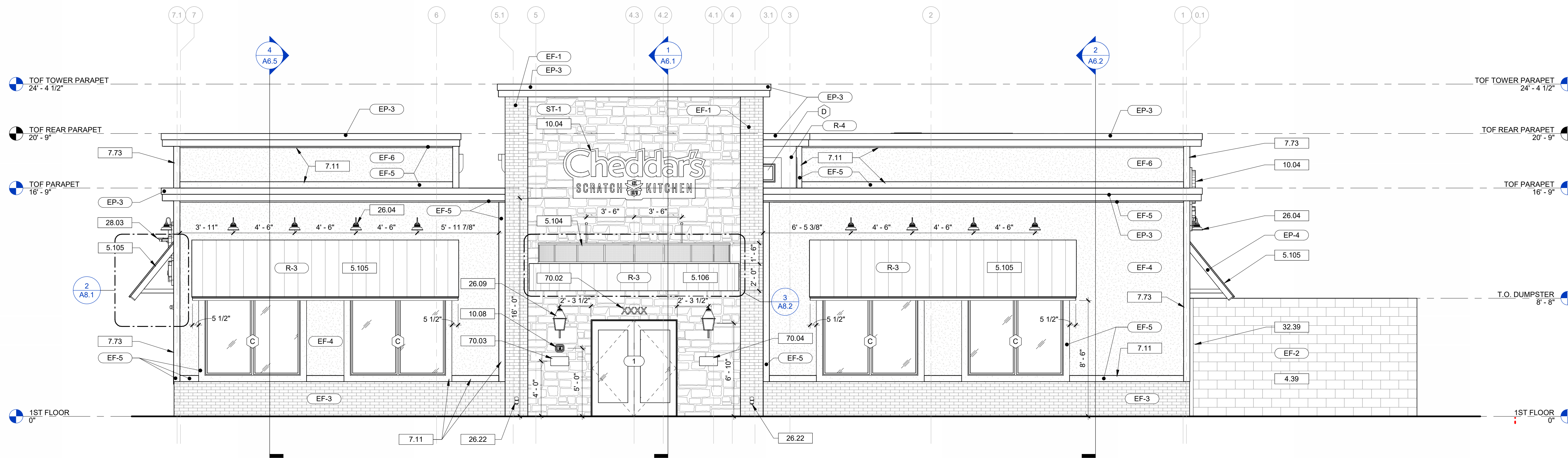


GENERAL EXTERIOR NOTES

- A. PROVIDE CONCEALED BLOCKING BEHIND LOCATIONS OF ALL ATTACHED BUILDING SIGNAGE.
- B. COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.

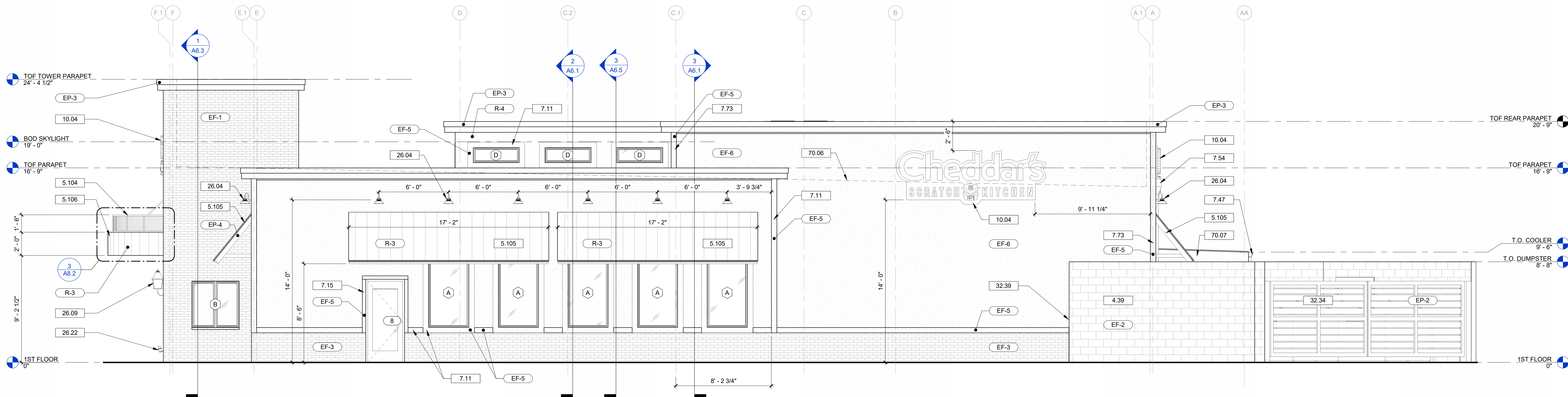
DRAWING NOTES

- 4.39 CONCRETE MASONRY UNIT. SPLIT FACE ON EXTERIOR SIDE. PAINTED INTERIOR. RUNNING BOND. REFER TO ELEVATIONS AND EXTERIOR FINISH SCHEDULE.
- 5.104 METAL SCREEN AND FRAME.
- 5.105 COPPER STANDING SEAM AWNING.
- 5.106 STANDING SEAM COPPER FASCIA.
- 7.11 1 INCH X 5.5 INCH EIFS TRIM BAND. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.15 1 INCH X 3.5 INCH EIFS TRIM BAND. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.47 PREFINISHED METAL GUTTER. REFER TO SPECIFICATIONS FOR TYPE, SIZE AND PROFILE.
- 7.54 THROUGH-WALL SCUPPER, COLLECTOR BOX AND 5" DOWNSPOUT. REFER TO SPECIFICATIONS.
- 7.73 1 INCH THICK EIFS CORNER TRIM REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 10.04 EXTERIOR BUILDING SIGNAGE. FOR REVIEW UNDER SEPARATE PERMIT. REFER TO ELECTRICAL DRAWINGS. GC TO PROVIDE POWER WIRING.
- 10.08 PROVIDE RECESSED KNOX BOX AT 5'-0" AFF. VERIFY MOUNTING HEIGHT AND LOCATION WITH FIRE MARSHALL PRIOR TO INSTALLATION.
- 26.04 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 26.09 WALL MOUNTED GAS LAMP LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 26.22 WALL MOUNTED UP-LIGHT. REFER TO ELECTRICAL DRAWINGS.
- 28.03 SURVEILLANCE CAMERA. REFER TO SECURITY SHOP DRAWINGS.
- 32.34 TRASH ENCLOSURE GATE.
- 32.39 STAINLESS STEEL CLOSURE STRIP.
- 70.02 6" ADDRESS LETTERING AFFIXED TO BUILDING.
- 70.03 16" X 8" MANAGING PARTNER SIGN AFFIXED TO BUILDING.
- 70.04 16" X 8" HOURS OF OPERATION SIGN AFFIXED TO BUILDING.
- 70.06 ROOF LINE BEYOND SHOWN DASHED.
- 70.07 EXPOSED COOLER.



1 EAST ELEVATION

A5.1 1/4" = 1'-0"



2 NORTH ELEVATION

A5.1 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS
EXTERIOR INSULATION FINISHING SYSTEMS				
EF-4	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ FOH FIELD). NAVAJO BEIGE	REFER TO EXTERIOR ELEVATIONS
EF-5	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ TRIM BANDS, CANOPY SOFFIT). ARCTIC WHITE.	REFER TO EXTERIOR ELEVATIONS
EF-6	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ BOH FIELD). KHAKI BROWN	REFER TO EXTERIOR ELEVATIONS
EXTERIOR MASONRY				
EF-1	GENERAL SHALE	MODULAR BRICK	COLOR: CHEDDARS BLEND. MORTAR: AMX405 ALABASTER. GC TO PROVIDE LIGHT MORTAR WASH WITH ANTIQUATED LOOK AND FULL MORTAR JOINT.	CONTACT OWNER FOR CONTROL SAMPLES AND PHOTOS OF APPROVED LOOK. PROVIDE MOCKUP FOR DARDEN CONSTRUCTION MANAGER TO APPROVE.
EF-2	YORK BUILDING PRODUCTS	SPLIT FACE CMU BLOCK COLOR: BLUFF CODE: 8816H-SPF	8"X8"X16" SPLIT FACE CMU BLOCK. COLOR: BLUFF. CODE: 8816H-SPF	TRASH ENCLOSURE WALLS
EF-3	GENERAL SHALE	THIN BRICK	COLOR: CHEDDARS BLEND. MORTAR: AMX405 ALABASTER. GC TO PROVIDE LIGHT MORTAR WASH WITH ANTIQUATED LOOK AND FULL MORTAR JOINT.	CONTACT OWNER FOR CONTROL SAMPLES AND PHOTOS OF APPROVED LOOK. PROVIDE MOCKUP FOR DARDEN CONSTRUCTION MANAGER TO APPROVE.
ST-1	J&N STONE - PIONEER DIVISION	ASHLAR	RANDOM THICKNESS STONE VENEER, 1-1/4" TO 2-1/2" THICK. COLOR: CHEDDARS MIX. MORTAR: AMX475, POINTING MORTAR: AMX405. COLOR: ALABASTER	PROVIDE STONE CORNERS. GC TO PROVIDE MOCKUP FOR APPROVAL BY OWNER.
EXTERIOR PAINT / STAIN				
EP-1	SHERWIN WILLIAMS	SW 8119 ANTIQUE WHITE (EGGSHELL)	COOLER WALLS	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-2	SHERWIN WILLIAMS	SW #8R28 MISSISSIPPI BRONZE ENAMEL (EGGSHELL)	EXTERIOR METAL DOORS AND FRAMES, DUMPSTER GATES, POSTS AND BOLLARDS, AND ALL EXPOSED UTILITIES.	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-3	SHERWIN WILLIAMS	SW 7000 IBIS WHITE (EPOXY SEMI-GLOSS)	INTERIOR DUMPSTER WALLS. PARAPET WALL CAPS / FASCIA TRIM / SOFFITS	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-4	SHERWIN WILLIAMS	SW 3542 CHARWOOD (WOOD STAIN)	AWNING FRAMING AND EXPOSED WOOD SURFACES.	THREE (3) APPLICATIONS. SPRAY 1ST APPLICATION THEN WIPE OR ROLL 2ND COAT. 3RD: SPRAY TO BLEND, NO WIPE.
ROOFING / SOFFITS				
R-1	REFER TO SPECIFICATIONS	SINGLE PLY ROOF	SURFACE COLOR TO BE WHITE. INSULATION AS REQUIRED FOR SELECTED ROOF MEMBRANE.	MAIN FLAT ROOF
R-3	BERRIDGE MANUFACTURING	TEE PANEL	STANDING SEAM METAL PANELS WITH KYNAR FINISH. COLOR: COPPER COTE	AWNINGS
R-4	REFER TO SPECIFICATIONS	SINGLE PLY ROOF	SURFACE COLOR TO BE TAN. INSULATION AS REQUIRED FOR SELECTED ROOF MEMBRANE.	CLERESTORY WALLS

ALL EXTERIOR FINISHES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

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Issue Date: 25 NOV 2024

REVISION INFORMATION

Restaurant #: 2222

CHEDDARS

SWQ 10TH AT WISCONSIN
MCALLEN, TEXAS 78504

NORTH MCALLEN, TX - THE DISTRICT

Project Number 24214
Drawn By KDR
Checked By BST

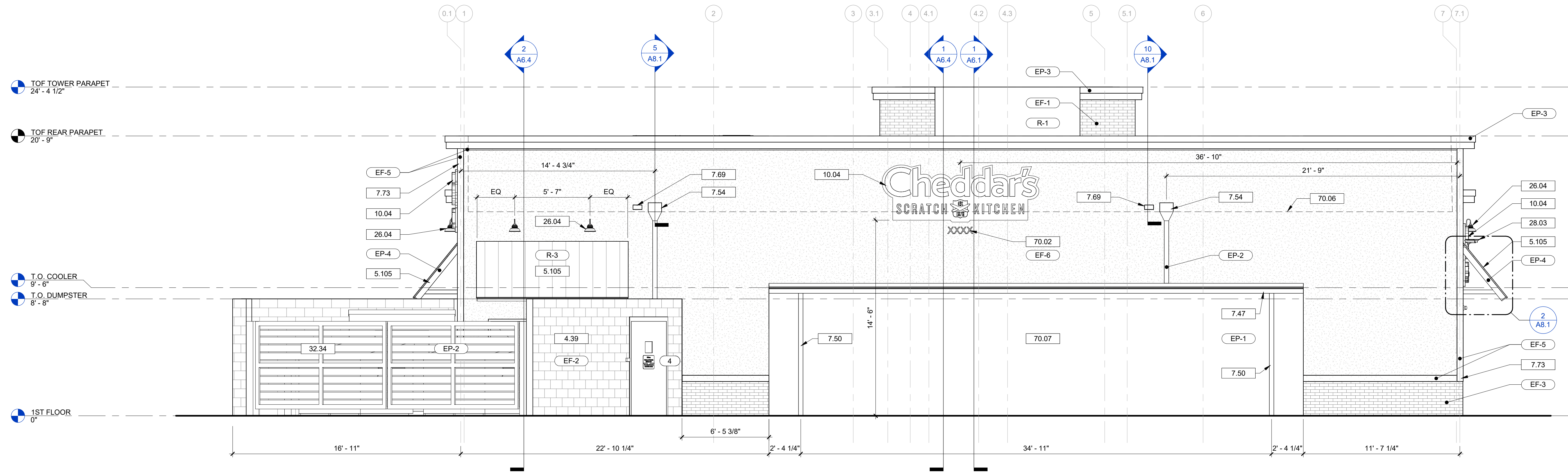
Drawing:
EXTERIOR ELEVATIONS

GENERAL EXTERIOR NOTES

- A. PROVIDE CONCEALED BLOCKING BEHIND LOCATIONS OF ALL ATTACHED BUILDING SIGNAGE.
- B. COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.

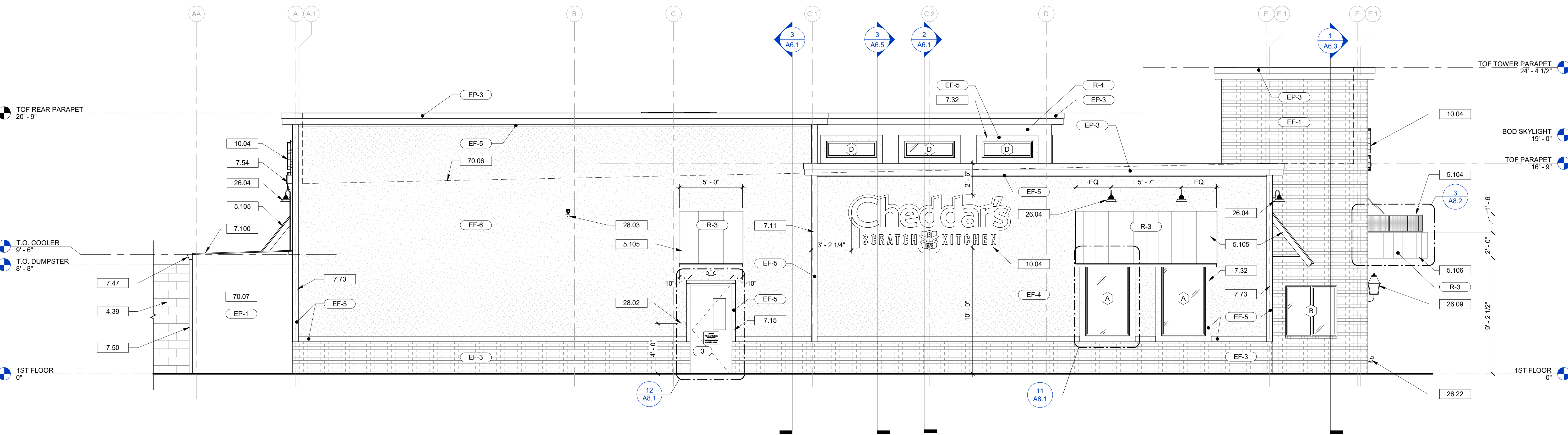
DRAWING NOTES

- 4.39 CONCRETE MASONRY UNIT. SPLIT FACE ON EXTERIOR SIDE. PAINTED INTERIOR. RUNNING BOND. REFER TO ELEVATIONS AND EXTERIOR FINISH SCHEDULE.
- 5.104 METAL SCREEN AND FRAME.
- 5.105 COPPER STANDING SEAM AWNING.
- 5.106 STANDING SEAM COPPER FASCIA.
- 7.11 1 INCH X 5.5 INCH EIFS TRIM BAND. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.15 1 INCH X 3.5 INCH EIFS TRIM BAND. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.32 CEMENTITIOUS TRIM 5 1/2 INCH. FACTORY FINISHED. REFER TO EXTERIOR FINISH SCHEDULE AND SPECIFICATIONS.
- 7.47 PREFINISHED METAL GUTTER. REFER TO SPECIFICATIONS FOR TYPE, SIZE AND PROFILE.
- 7.50 PREFINISHED DOWNSPOUT. REFER TO CIVIL AND PLUMBING FOR CONNECTION.
- 7.54 THROUGH-WALL SCUPPER, COLLECTOR BOX AND 5" DOWNSPOUT. REFER TO SPECIFICATIONS.
- 7.69 THROUGH-WALL OVERFLOW SCUPPER.
- 7.73 1 INCH THICK EIFS CORNER TRIM. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.100 TAPERED INSULATION AND DURO-LAST ROOFING PROVIDED WITH COOLER.
- 10.04 EXTERIOR BUILDING SIGNAGE. FOR REVIEW UNDER SEPARATE PERMIT. REFER TO ELECTRICAL DRAWINGS. GC TO PROVIDE POWER WIRING.
- 26.04 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 26.09 WALL MOUNTED GAS LAMP LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 26.22 WALL MOUNTED UP-LIGHT. REFER TO ELECTRICAL DRAWINGS.
- 28.02 CREDENTIAL READER. REFER TO SECURITY SHOP DRAWINGS.
- 28.03 SURVEILLANCE CAMERA. REFER TO SECURITY SHOP DRAWINGS.
- 32.34 TRASH ENCLOSURE GATE.
- 70.02 6" ADDRESS LETTERING AFFIXED TO BUILDING.
- 70.06 ROOF LINE BEYOND SHOWN DASHED.
- 70.07 EXPOSED COOLER.



1 WEST ELEVATION

A5.2 1/4" = 1'-0"



2 SOUTH ELEVATION

A5.2 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS
EXTERIOR INSULATION FINISHING SYSTEMS				
EF-4	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ FOH FIELD), NAVAJO BEIGE	REFER TO EXTERIOR ELEVATIONS
EF-5	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ TRIM BANDS, CANOPY SOFFIT), ARCTIC WHITE	REFER TO EXTERIOR ELEVATIONS
EF-6	STO	STOTHERM CI XPS CLASSIC (MEDIUM)	EXTERIOR INSULATION FINISH SYSTEM (@ BOH FIELD), KHAKI BROWN	REFER TO EXTERIOR ELEVATIONS
EXTERIOR MASONRY				
EF-1	GENERAL SHALE	MODULAR BRICK	COLOR: CHEDDARS BLEND. MORTAR: AMX405 ALABASTER. GC TO PROVIDE LIGHT MORTAR WASH WITH ANTIQUATED LOOK AND FULL MORTAR JOINT.	CONTACT OWNER FOR CONTROL SAMPLES AND PHOTOS OF APPROVED LOOK. PROVIDE MOCKUP FOR DARDEN CONSTRUCTION MANAGER TO APPROVE.
EF-2	YORK BUILDING PRODUCTS	SPLIT FACE CMU BLOCK	8"X8"X16" SPLIT FACE CMU BLOCK. COLOR: BLUFF. CODE: 8818H-SPF	TRASH ENCLOSURE WALLS
EF-3	GENERAL SHALE	THIN BRICK	COLOR: CHEDDARS BLEND. MORTAR: AMX405 ALABASTER. GC TO PROVIDE LIGHT MORTAR WASH WITH ANTIQUATED LOOK AND FULL MORTAR JOINT.	CONTACT OWNER FOR CONTROL SAMPLES AND PHOTOS OF APPROVED LOOK. PROVIDE MOCKUP FOR DARDEN CONSTRUCTION MANAGER TO APPROVE.
ST-1	J&N STONE - PIONEER DIVISION	ASHLAR	RANDOM THICKNESS STONE VENEER, 1-1/4" TO 2-1/2" THICK. COLOR: CHEDDARS MIX. MORTAR: AMX475, POINTING MORTAR. AMX405. COLOR: ALABASTER	PROVIDE STONE CORNERS. GC TO PROVIDE MOCKUP FOR APPROVAL BY OWNER.
EXTERIOR PAINT / STAIN				
EP-1	SHERWIN WILLIAMS	SW 6119 ANTIQUE WHITE (EGGSHELL)	COOLER WALLS	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-2	SHERWIN WILLIAMS	SW #BR28 MISSISSIPPI BRONZE ENAMEL (EGGSHELL)	EXTERIOR METAL DOORS AND FRAMES, DUMPSTER GATES, POSTS AND BOLLARDS, AND ALL EXPOSED UTILITIES.	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-3	SHERWIN WILLIAMS	SW 7000 IBIS WHITE (EPOXY SEMI-GLOSS)	INTERIOR DUMPSTER WALLS. PARAPET WALL CAPS / FASCIA TRIM / SOFFITS	PRIMER: EXTERIOR SURFACES PRIMER. (2) TOP COATS MINIMUM. ENSURE FULL COVERAGE OF ALL PAINT.
EP-4	SHERWIN WILLIAMS	SW 3542 CHARWOOD (WOOD STAIN)	AWNING FRAMING AND EXPOSED WOOD SURFACES.	THREE (3) APPLICATIONS. SPRAY 1ST APPLICATION THEN WIPE OR ROLL 2ND COAT. 3RD: SPRAY TO BLEND, NO WIPE.
ROOFING / SOFFITS				
R-1	REFER TO SPECIFICATIONS	SINGLE PLY ROOF	SURFACE COLOR TO BE WHITE. INSULATION AS REQUIRED FOR SELECTED ROOF MEMBRANE.	MAIN FLAT ROOF
R-3	BERRIDGE MANUFACTURING	TEE PANEL	STANDING SEAM METAL PANELS WITH KYNAR FINISH. COLOR: COPPER COTE	AWNINGS
R-4	REFER TO SPECIFICATIONS	SINGLE PLY ROOF	SURFACE COLOR TO BE TAN. INSULATION AS REQUIRED FOR SELECTED ROOF MEMBRANE.	CLERESTORY WALLS

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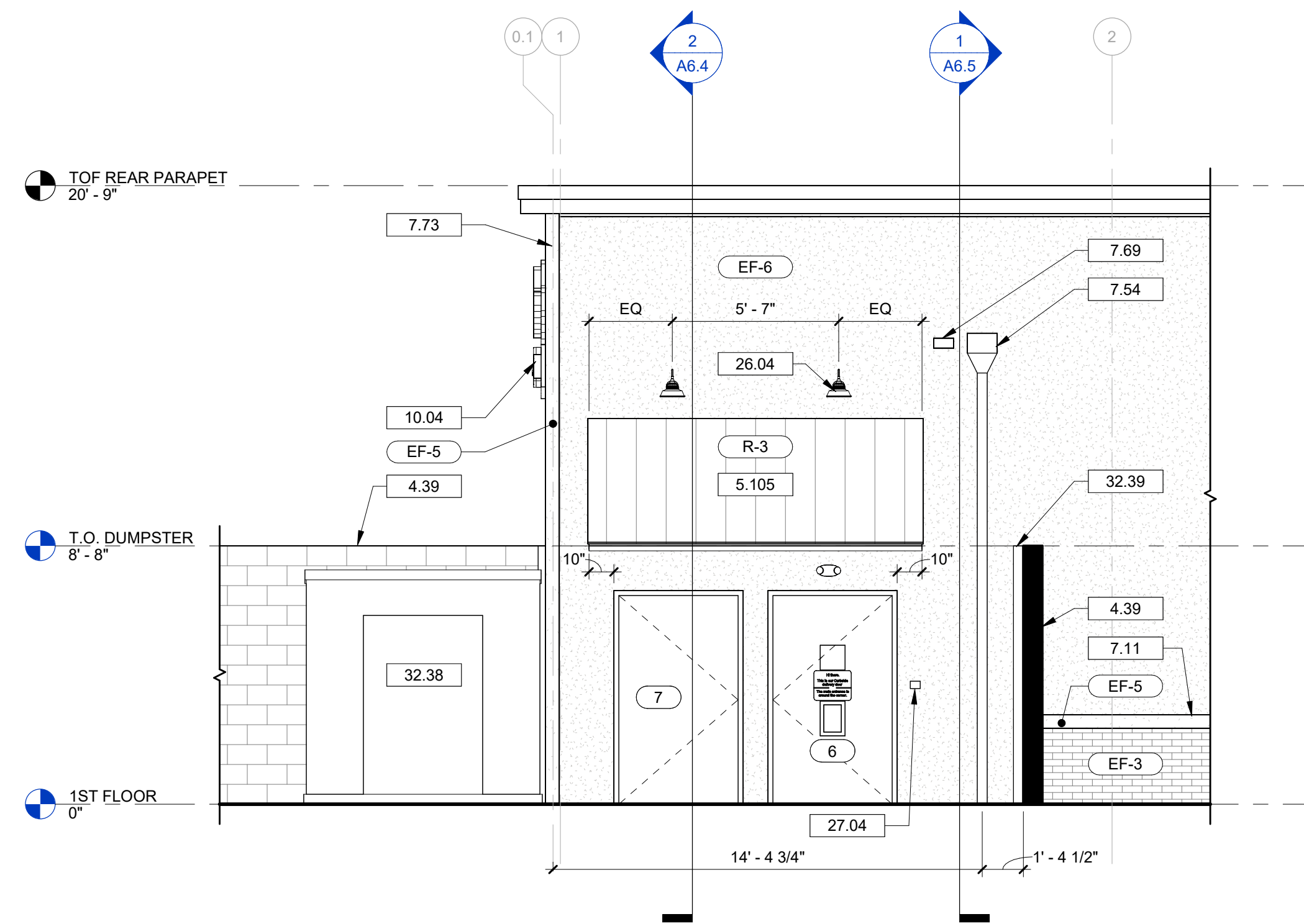


GENERAL EXTERIOR NOTES

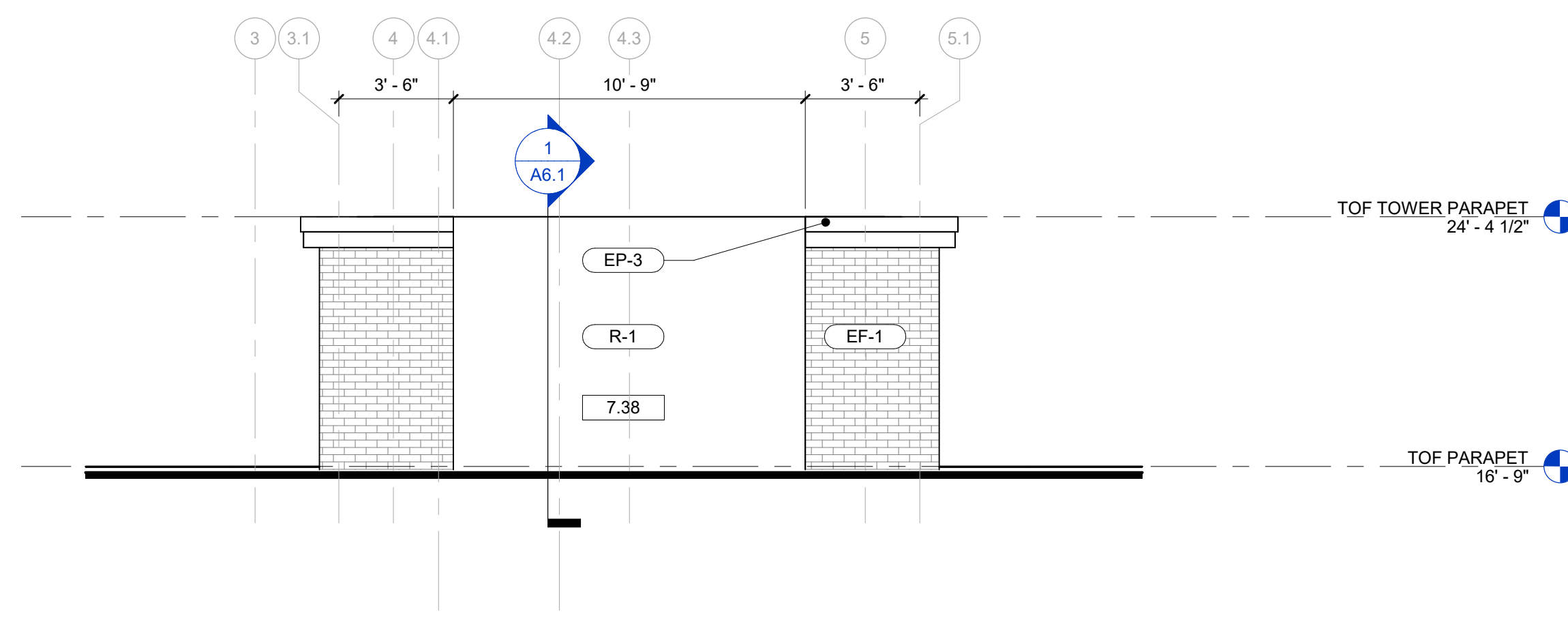
- A. PROVIDE CONCEALED BLOCKING BEHIND LOCATIONS OF ALL ATTACHED BUILDING SIGNAGE.
- B. COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.

DRAWING NOTES

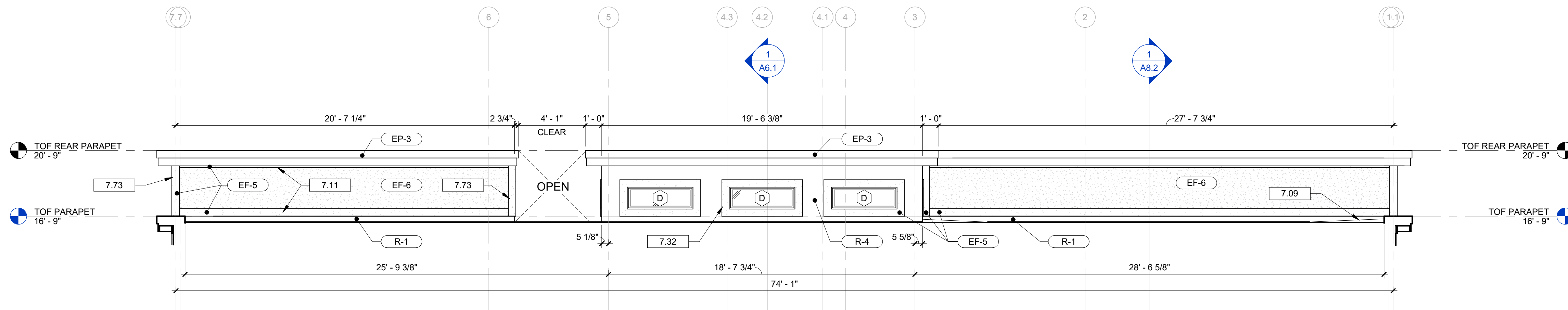
- 4.39 CONCRETE MASONRY UNIT. SPLIT FACE ON EXTERIOR SIDE. PAINTED INTERIOR. RUNNING BOND. REFER TO ELEVATIONS AND EXTERIOR FINISH SCHEDULE.
- 5.105 COPPER STANDING SEAM AWNING.
- 7.09 ROOF CRICKET. MIN 1/2" SLOPE. TYPICAL.
- 7.11 1 INCH X 5.5 INCH EIFS TRIM BAND. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 7.32 CEMENTITIOUS TRIM 5 1/2 INCH. FACTORY FINISHED. REFER TO EXTERIOR FINISH SCHEDULE AND SPECIFICATIONS.
- 7.38 SINGLE PLY ROOFING MEMBRANE. REFER TO SPECIFICATIONS.
- 7.54 THROUGH-WALL SCUPPER, COLLECTOR BOX AND 6" DOWNSPOUT. REFER TO SPECIFICATIONS.
- 7.69 THROUGH-WALL OVERFLOW SCUPPER.
- 7.73 1 INCH THICK EIFS CORNER TRIM. REFER TO SPECIFICATIONS, EXTERIOR ELEVATIONS AND FINISH SCHEDULE.
- 10.04 EXTERIOR BUILDING SIGNAGE. FOR REVIEW UNDER SEPARATE PERMIT. REFER TO ELECTRICAL DRAWINGS. GC TO PROVIDE POWER WIRING.
- 26.04 LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 27.04 DOOR BUZZER BY OWNER. REFER TO ELECTRICAL.
- 32.38 STORAGE SHED BY GC.
- 32.39 STAINLESS STEEL CLOSURE STRIP.



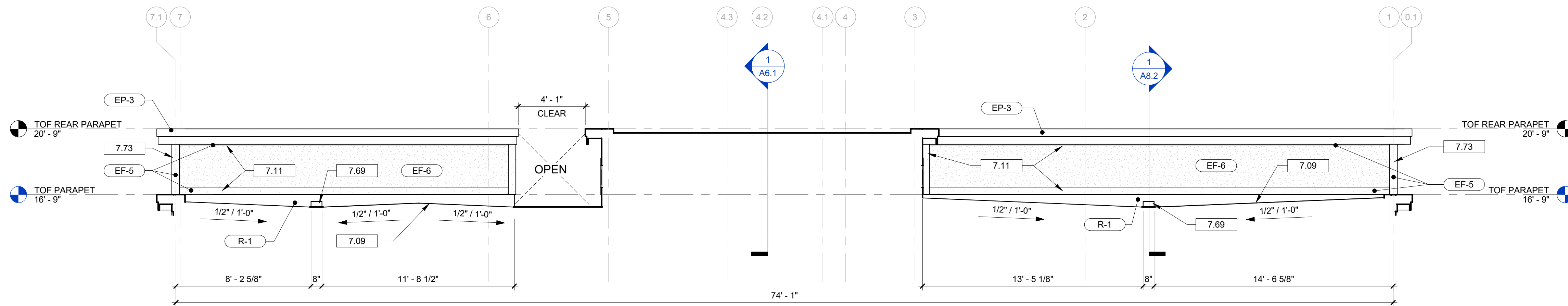
1 EXTERIOR ELEVATION AT TRASH ENCLOSURE
A5.3 1/4" = 1'-0"



2 ENTRANCE TOWER REAR ELEVATION
A5.3 1/4" = 1'-0"



3 ROOF SCREEN WALL ELEVATION
A5.3 1/4" = 1'-0"



4 ROOF SCREEN WALL ELEVATION
A5.3 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS
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ROOFING / SOFFITS				
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SUB2023-0023



City of McAllen
Planning Department
APPLICATION FOR

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW

Project Description	Subdivision Name <u>Fenix Estates (PRIVATE SUBDIVISION)</u> Location <u>1000 EL RANCHO RD. (1000 E. EL RANCHO RD)</u> City Address or Block Number <u>1000 E. EL RANCHO RD</u> Number of lots <u>6</u> Gross acres <u>4.0</u> Net acres <u>3.9</u> Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>2</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>NONE 1401.16</u> Parcel No. <u>290265</u> Tax Dept. Review <u>mg</u> Legal Description <u>4.0 Acre (Gross), 3.9 Acre (Net) Tract of Land out of Lot 1, Block 17, Steele & Pershing Subdivision. Map Recorded in Volume 8, Page 114-115. Hidalgo County Records.</u>
Owner	Name <u>Miguel Angel Mata and Angelica Mata</u> Phone <u>956-778-4598</u> Address <u>6214 N 46 LN</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> E-mail <u>mmata2021@gmail.com</u>
Developer	Name <u>Mata G. Construction Inc.</u> Phone <u>956-458-9910</u> Address <u>3601 Tom Gill Rd.</u> City <u>Penitas</u> State <u>TX</u> Zip <u>78576</u> Contact Person <u>Ivan Mata</u> E-mail <u>ivan@matagconstruction.com</u>
Engineer	Name <u>OIM ENGINEERING PLLC</u> Phone <u>956-458-9910</u> Address <u>3613 S H ST.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u> Contact Person <u>Ivan Mata</u> E-mail <u>ivan@oimrgv.com</u>
Surveyor	Name <u>Sames Engineering & Surveying</u> Phone <u>956-702-8880</u> Address <u>200 S 10th St. , Suite 1500</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> <div style="text-align: right;">ENTERED MAR 13 2023</div>

Initial: WJM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blue-line copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blue-line prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Miguel A. Mata Angelica Mata Date 03-08-23

Print Name Miguel A Mata Angelica Mata

Owner

Authorized Agent



O. Ivan Mata, P.E.

3613 S. H. St. , McAllen TX 78503
ivan@oimrgv.com , (956) 458-9910

February 07, 2025

Mr. Julio Constantino Jr.
City of McAllen, Texas
Planning Department
1300 Houston Ave.
McAllen, Texas 78501

Re: FENIX ESTATES SUBDIVISION

Mr. Constantino:

Upon our conversation, we are requesting a six-month extension for the construction and recording of Fenix Estates Subdivision, since it has past the one-year approval. Owners are ready to begin the construction process for this development.

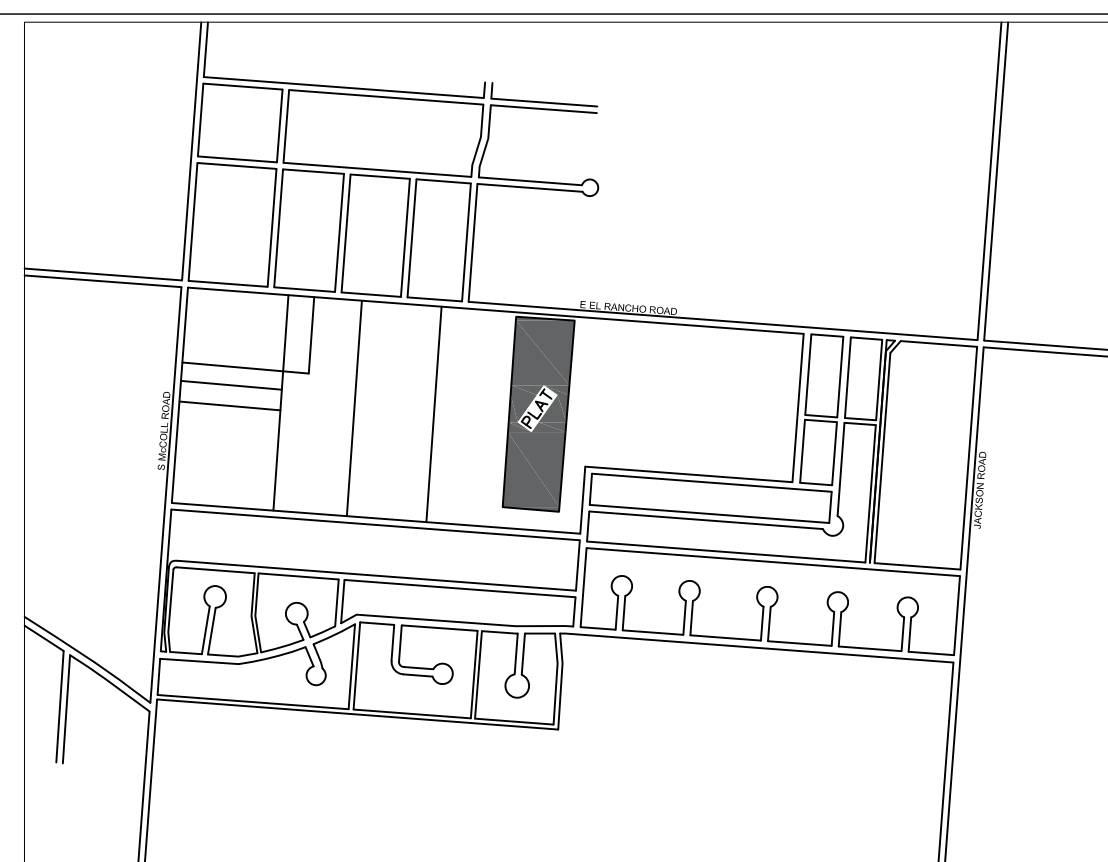
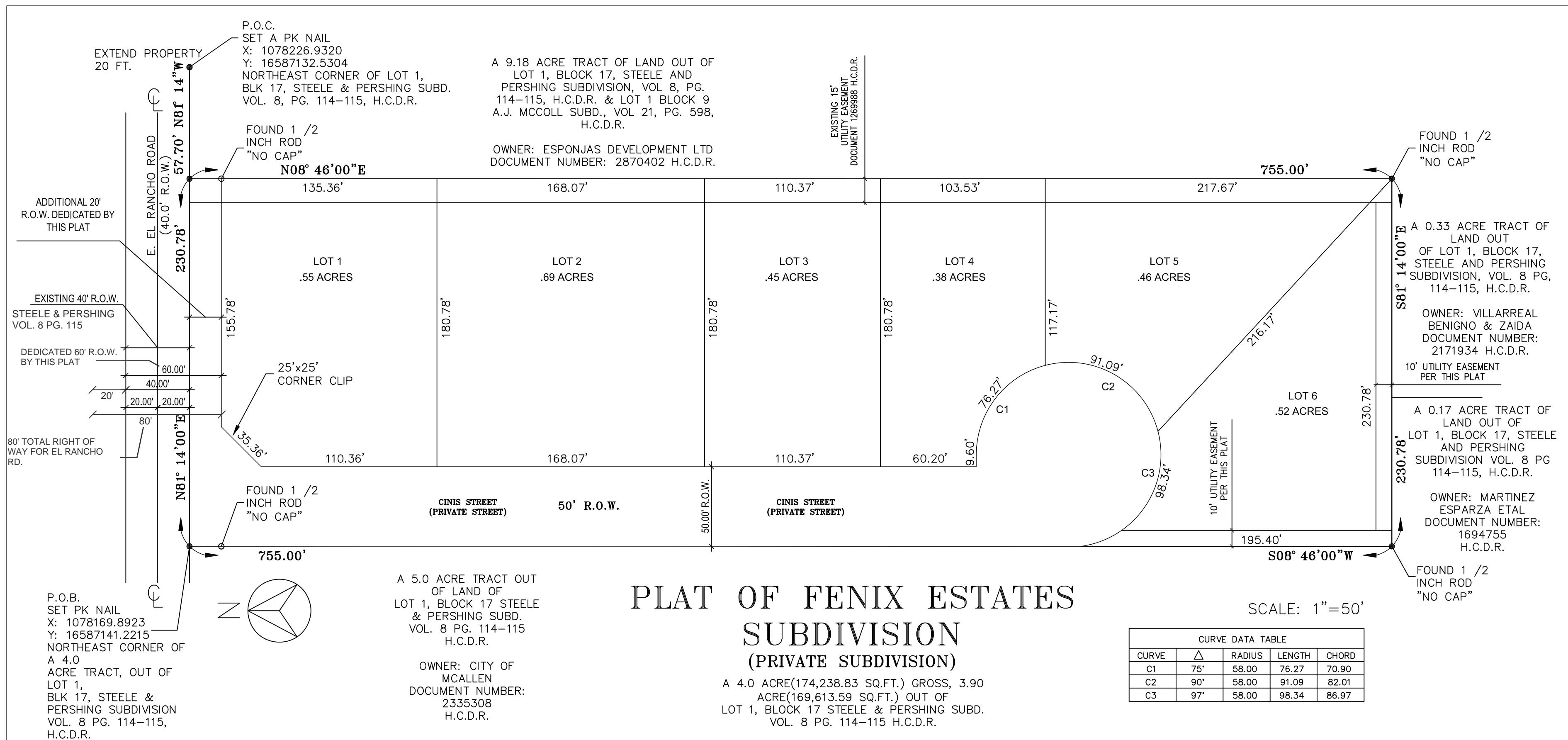
Thank you for your consideration and time.

Should any questions arise, please feel free to contact me at (956) 458-9910.

Respectfully,

A handwritten signature in black ink that reads "Oved Ivan Mata". The signature is written in a cursive, flowing style.

Oved Ivan Mata, P.E.
OIM ENGINEERING PLLC



- GENERAL NOTES
- FINISHED FLOOR ELEVATION TO BE 18" INCHES ABOVE TOP OF CURB OR BASE FLOOD ELEVATION, WHICHEVER IS HIGHER.
 - THIS PROPERTY IS LOCATED IN: FLOOR ZONE "C" AREAS BETWEEN LIMITS OF THE 100-YR & 500-YR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YR FLOODING WITH AVERAGE DEPTHS LESS THAN (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY PANEL NO. 480343 0010 C.
 - A 5 FT WIDE MINIMUM SIDEWALK REQUIRED ON FAST SIDE OF ROAD.
 - MIN. BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT: 25 FT.
REAR: 10 FT.
INTERIOR SIDES: 6 FT.
CORNER: 18 FT.
GARAGE: 18 FT.
 - BENCHMARK:
 - MAINTENANCE OF ALL LANDSCAPE AREAS IS THE RESPONSIBILITY OF THE LOT OWNER.
 - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
 - ADDITIONAL FIRE PROTECTION MAY BE REQUIRED AT BUILDING PERMIT STAGE INCLUDING NECESSARY EASEMENTS.
 - NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN, UTILITY EASEMENT, GAS EASEMENTS, OR IRRIGATION EASEMENTS AND LOT LINES.
 - AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - DRAINAGE DETENTION REQUIRED FOR ENTIRE PROPERTY IS AS FOLLOWS: 6,992.46 CF
 - NO STRUCTURES SHALL BE BUILT OVER ANY EASEMENTS.
 - 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - COMMON AREAS, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, AND ALONG E. EL RANCHO ROAD.
 - NO CURB CUT, ACCESS OR LOT FRONTAGE PERMITTED ALONG E. EL RANCHO ROAD.

METES & BOUNDS DESCRIPTION

A 4.0 ACRE (174,238.83 SQ. FT.) GROSS, 3.90 ACRE (169,613.59 SQ. FT.) NET, TRACT OF LAND OUT OF LOT 1, BLOCK 17, STEELE & PERSHING SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN.

HIDALGO COUNTY, TEXAS, THERE OF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

A 4.0 ACRE (174,238.83 SQ. FT.) GROSS, 3.90 ACRE (169,613.59 SQ. FT.) NET, TRACT OF LAND MORE OR LESS, BEING PART OUT OF LOT 1, BLOCK 17, STEELE & PERSHING SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS OF HIDALGO COUNTY, TEXAS, THEREOF CONVEYED TO VICTORY MINISTRIES INC. IN WARRANTY DEED NUMBER 854459, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

COMMENCING; AT A SET PK NAIL FOR THE NORTHEAST CORNER OF LOT 1 BLOCK 17, STEELE AND PERSHING SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8 PAGES 114-115, MAP RECORDS OF HIDALGO COUNTY, TEXAS. THENCE; NORTH 81°46'00" WEST, ALONG THE NORTH LINE OF SAID LOT, ALSO BEING THE CENTER LINE OF EL RANCHO ROAD, A DISTANCE OF 57.70 FEET, TO A SET A PK NAIL, LYING ON THE CENTER LINE OF SAID ROAD, FOR THE POINT OF BEGINNING, HAVING A GRID COORDINATE OF E=1078169.8923, N=16587141.2215, AND BEING THE NORTHEAST CORNER OF THIS HERIN DESCRIBED TRACT OF LAND;

THENCE; SOUTH 08°46'00" WEST, ALONG THE WEST LINE OF A 9.18 ACRE TRACT OF LAND CONVEYED TO ESPONJAS DEVELOPMENT LTD, RECORDED IN DOCUMENT NUMBER 2870402, AT A DISTANCE OF 20.00 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, LYING ON THE SOUTH RIGHT OF WAY LINE OF EL RANCHO ROAD, A TOTAL DISTANCE OF 755.00 FEET, TO A SET HALF (1/2) INCH IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", FOR THE SOUTHEAST CORNER OF THIS HERIN DESCRIBED TRACT OF LAND.

THENCE; NORTH 81°14'00" WEST, ALONG THE NORTH LINE OF A 0.33 ACRE TRACT OF LAND CONVEYED TO VILLARREAL BENIGNO & ZAIDA, AS RECORDED IN DOCUMENT NUMBER 2171934, A DISTANCE OF 230.78 FEET, TO A FOUND HALF (1/2) INCH IRON ROD, FOR THE SOUTHWEST CORNER OF THE HERIN DESCRIBED TRACT OF LAND;

THENCE; NORTH 81°46'00" EAST, ALONG THE EAST LINE OF A 5.0 ACRE TRACT OF LAND CONVEYED TO CITY OF McALLEN, RECORDED IN DOCUMENT NUMBER 2335308, AT A DISTANCE OF 735.00 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, LYING ON THE SOUTH RIGHT OF WAY LINE OF EL RANCHO ROAD, A TOTAL DISTANCE OF 755.00 FEET, TO A SET PK NAIL, LYING ON THE CENTER LINE OF SAID ROAD, FOR THE NORTHWEST CORNER OF THE HERIN DESCRIBED TRACT OF LAND;

THENCE; SOUTH 81°14'00" EAST, ALONG THE CENTER LINE OF SAID ROAD, A DISTANCE OF 230.78 FEET, TO THE POINT OF BEGINNING, CONTAINING A 4.0 ACRE (174,238.83 SQ. FT.) GROSS, 3.90 ACRE (169,613.59 SQ.FT.) NET, TRACT OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "FENIX ESTATES" TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

MIGUEL ANGEL MATA AND ANGELICA MATA
6214 N 46 LN, McALLEN TX 78504

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC
HIDALGO COUNTY, TEXAS

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF HIDALGO

I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICER OF THE HOLDER(S) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS _____ OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FOR CLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLANTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

SECURITY INTEREST HOLDER: _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED THE PERSON OR PERSONS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SEME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPRES

CERTIFICATION OF THE MAYOR OF THE CITY OF McALLEN: I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE:

CHAIRMAN, PLANNING AND ZONING
COMMISSION, CITY OF McALLEN.

DATE:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION NO. 1,
ON THIS ____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY LOT IN THIS SUBDIVISION, ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS. WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT

SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.201(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

GENERAL MANAGER _____ DATE _____

I, (SURVEYOR), REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TX.

DATES THIS THE ____ DAY OF _____, 20____.

REGISTERED PROFESSIONAL SURVEYOR (SEAL)

No. _____ STATE OF TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER
OVED IVAN MATA
OIM ENGINEERING, PLLC
3613 S H ST, McALLEN, TX.

No. _____ STATE OF TEXAS.

FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



OVED IVAN MATA, PE
IVAN@OIMRGV.COM
PH: 956-458-9910
3613 S H ST.
McALLEN, TX. 78503

DATE OF PREPARATION: AUGUST 1, 2023.



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 2/14/2025

SUBDIVISION NAME: FENIX ESTATES	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>E. El Rancho Road: 20 ft. dedication for 40 ft. from centerline for a total of 80 ft. ROW Paving: 52 ft. Curb & gutter: Both Sides Revisions Needed: -The property boundaries on plat and submitted survey seem to contradict. Please verify and adjust as required to finalize the ROW dedication requirements. As per updated plat submitted on November 17th,2023, subdivision boundaries have been adjusted, however please verify P.O.C is presented correctly prior to recording/Mylar printing. -Provide the document number on the plat and a copy of the document for the existing ROW. -Label reference of 60 ft. after accounting for dedication as Total, prior to recording. -Provide dimension from centerline to new plat boundary after accounting for dedication prior to recording. -Clarify and/or remove the reference to " extend property 20 ft.", prior to recording. -Ensure that all existing ROWS, and existing easements are presented on plat. Any changes to plat including but not limited to name, easement locations, ROW, may trigger additional requirements and will require Planning and Zoning Commission action in the future. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p>	Required
<p>South "J" Stree:t: Proposed 50 ft. total ROW Paving: 32 ft. Curb & gutter: Both Sides Revisions needed: -Revise street name to South "J" Street (Private Street), prior to recording. - Gate details are required to verify compliance. ROW is subject to increase based on the gate details prior to final. Gate details submitted August 1st, 2023.As per traffic Gate Details are not in compliance. Boulevard islands are proposed 20ft. of paving from face to face is required on both sides. Gate mechanisms, pedestrian gates, sidewalks, etc. must be located within ROW, gate areas must be revised to provide for such, and plat will need to revised accordingly. Gate details approved by City Engineer. -Provide Cul-de-Sac details, i.e. radius to verify compliance with requirements, prior to final. As per Fire Department 96 ft. of paving face to face in the Cul-de-Sac. Minimum 10 ft. ROW is required from back of the curb around the Cul-de-Sac. Ensure that paving layout complies with requirements as noted. As per updated plat submitted on November 17th,2023, plat presents 589.99 ft. to the back of the cul-de-sac with a 58 ft. ROW radius. *ROW is based on R-1; if it changes, ROW and paving may increase accordingly. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p>	Required
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p>	NA
<p>* 1,200 ft. Block Length for single-family residential development. **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 600 ft. Maximum Cul-de-Sac. Revisions Needed: - The property boundaries on plat and submitted survey seem to contradict. Please verify and revise as required to determine compliance with maximum length prior to final. *As per updated plat submitted on November 17th,2023, plat presents 589.99 ft. to the back of the cul-de-sac with a 58 ft. ROW radius. **As per Fire Department 96 ft. of paving face to face in the Cul-de-Sac. Minimum 10 ft. ROW is required from back of the curb around the Cul-de-Sac. Ensure that paving layout complies with requirements as noted. **Subdivision Ordinance: Section 134-105</p>	<p>Applied</p>
<p>ALLEYS</p>	
<p>ROW: 20 ft. Paving: 16 ft. -Proposed as single-family development which does not require as alley/service drive, unless changed to multifamily or commercial. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	<p>Applied</p>
<p>SETBACKS</p>	
<p>* Front: 25 ft. or greater for easements. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Rear: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Interior Sides: 6 ft. or greater for easements. Revisions Needed: -Revise setback note as shown above, prior to recording. *Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>*Corner: 10 ft. or greater for easements Revisions Needed: -Revise setback note as shown above, prior to recording. **Zoning Ordinance: Section 138-356</p>	<p>Required</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>* 4 ft. wide minimum sidewalk required along E. El Rancho Road and both sides of interior streets. Revisions Needed: -Finalize wording for note, prior to recording. **Sidewalk requirement along interior street as required by the City Engineer. ***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize wording for note prior to recording. ***Subdivision Ordinance: Section 134-120</p>	<p>Required</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along E. El Rancho Road. **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	Required
<p>* No curb cut, access, or lot frontage permitted along E. El Ranch Road. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. -Subdivision is proposed as single-family residential development which does not require site plan review, unless changed. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revision Needed: Revise note #18 as shown above prior to recording **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Applied
	NA
	NA
	Applied
	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	Compliance
ZONING/CUP	
<p>* Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential ***Zoning Ordinance: Article V</p>	Compliance
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	NA
PARKS	
<p>* Land dedication in lieu of fee.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. -Based on the application submitted on 3/13/2023, six single-family lots are proposed. As per Parks Dept., park fee of \$4200 is required prior to recording.</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Pending review by City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation waived for 6 single-family lot subdivision.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip Generation waived for 6 single-family lot subdivision.	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> -Any abandonments must be done by separate process, not by plat. --The property boundaries on plat and submitted survey seem to contradict. Please verify and adjust as required to finalize the ROW dedication requirements. As per updated plat submitted on November 17th,2023, subdivision boundaries have been adjusted, however please verify P.O.C is presented correctly prior to recording/Mylar printing. -Ensure that all existing ROWS, and existing easements are presented on plat. Any changes to plat including but not limited to name, easement locations, ROW, may trigger additional requirements and will require Planning and Zoning Commission action in the future. * At the Planning and Zoning Commission meeting of December 19th,2023, the subdivision was approved in final form subject to the conditions noted in the Planning Review. * Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE 6-MONTH SUBDIVISION EXTENSION, SUBJECT TO THE CONDITIONS NOTED.	Applied

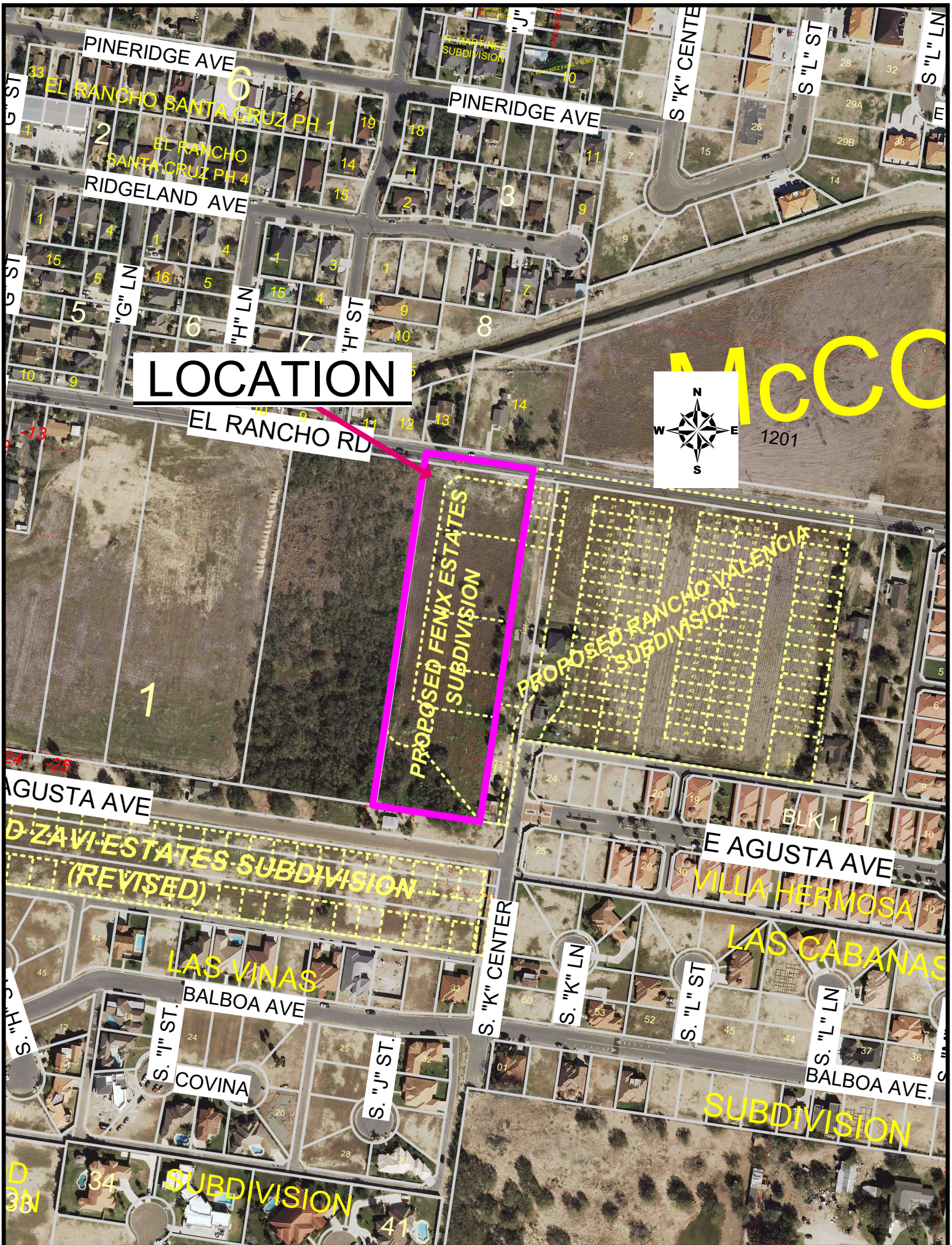
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



McCC

1201



Sub 2022-0146



City of McAllen
Planning Department

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

APPLICATION FOR

SUBDIVISION PLAT REVIEW

Project Description

Subdivision Name AFG PLAZA SUBD.
Location SEC McCOLL & DOVE AVE.
City Address or Block Number 5520 N. McCOLL RD
Number of lots 1 Gross acres 1.996 Net acres 1.38
Existing Zoning C-4 Proposed C-4 Rezoning Applied For Yes No Date _____
Existing Land Use OFFICE/RESTAURANT/RETAIL Proposed Land Use RETAIL/RESTAURANT Irrigation District # 2
Residential Replat Yes No Commercial Replat Yes No ETJ Yes No
Agricultural Tax Exempt Yes No Estimated Rollback tax due 1500
Parcel No. 290032 Tax Dept. Review 55950-00-006-0001
Legal Description 1.38 NET AC. o/o LOT 1, BIK. 6,
STERLE & PERSHING SUBD., H.C.T.

Owner

Name SUZIE ANI Phone _____
Address 114 RIO GRANDE DRIVE
City MISSION State TX Zip 78572
E-mail _____

Developer

Name _____ Phone _____
Address _____
City _____ State _____ Zip _____
Contact Person _____
E-mail _____

Engineer

Name DAVID OMAR SELINAS Phone 682-9081
Address 2221 DAFFODIL AVE.
City MCALLEN State TX Zip 78501
Contact Person DAVID
E-mail dselinas@selinasengineering.com

Surveyor

Name SAME AS ENGINEER Phone _____
Address _____
City _____ State _____ Zip _____

ENTERED

NOV 29 2022

Initial: NWA

L.G. 11/29/22

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 11-16-22

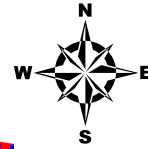
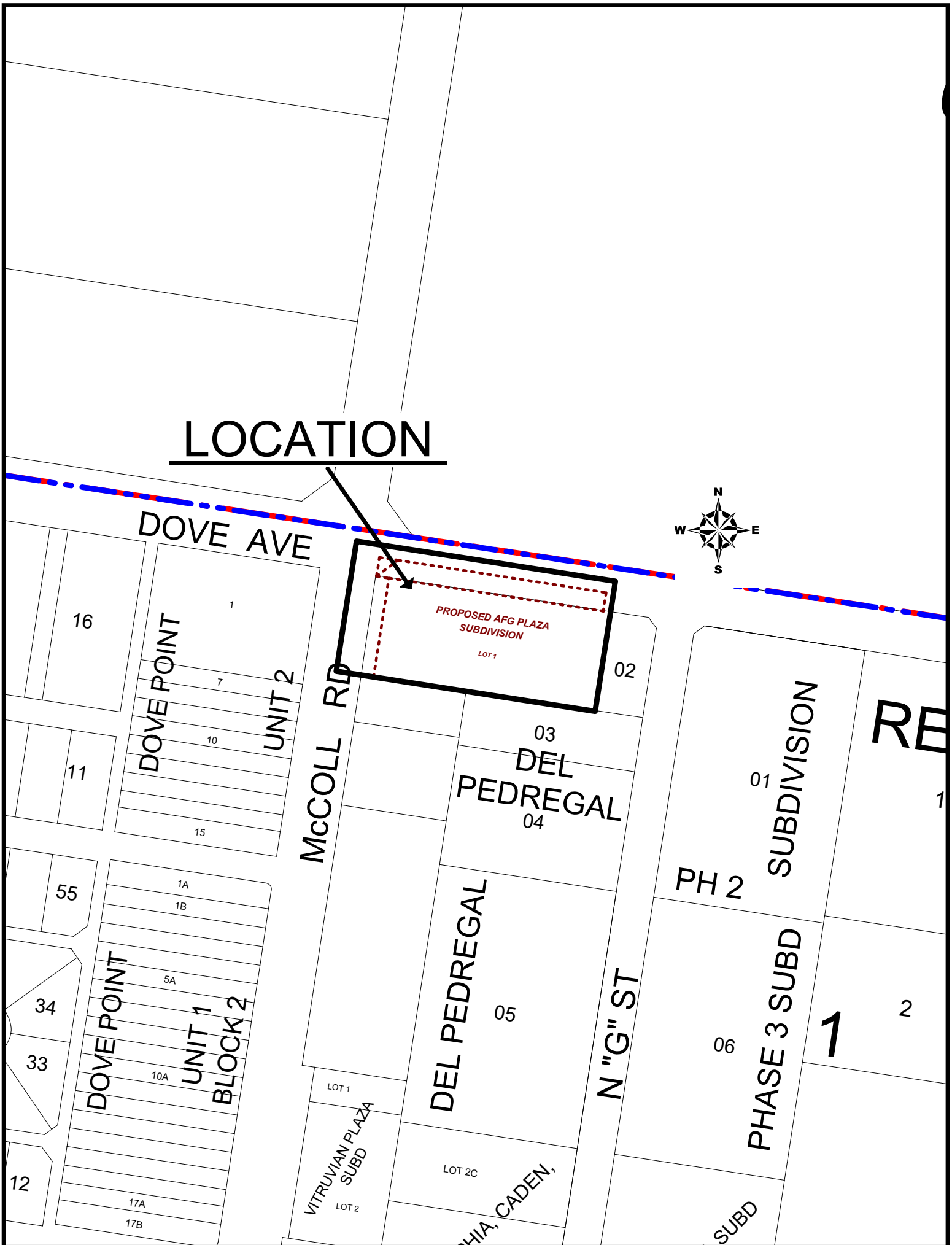
Print Name JIMMY A. N.

Owner

Authorized Agent 

10/19

LOCATION



DOVE AVE

MCCOLL RD

N "G" ST

DOVE POINT

DOVE POINT

DEL PEDREGAL

DEL PEDREGAL

SUBDIVISION

PHASE 3 SUBD

PROPOSED AFG PLAZA
SUBDIVISION

LOT 1

VITRUVIAN PLAZA
SUBD

LOT 2C

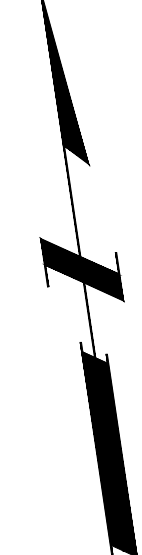
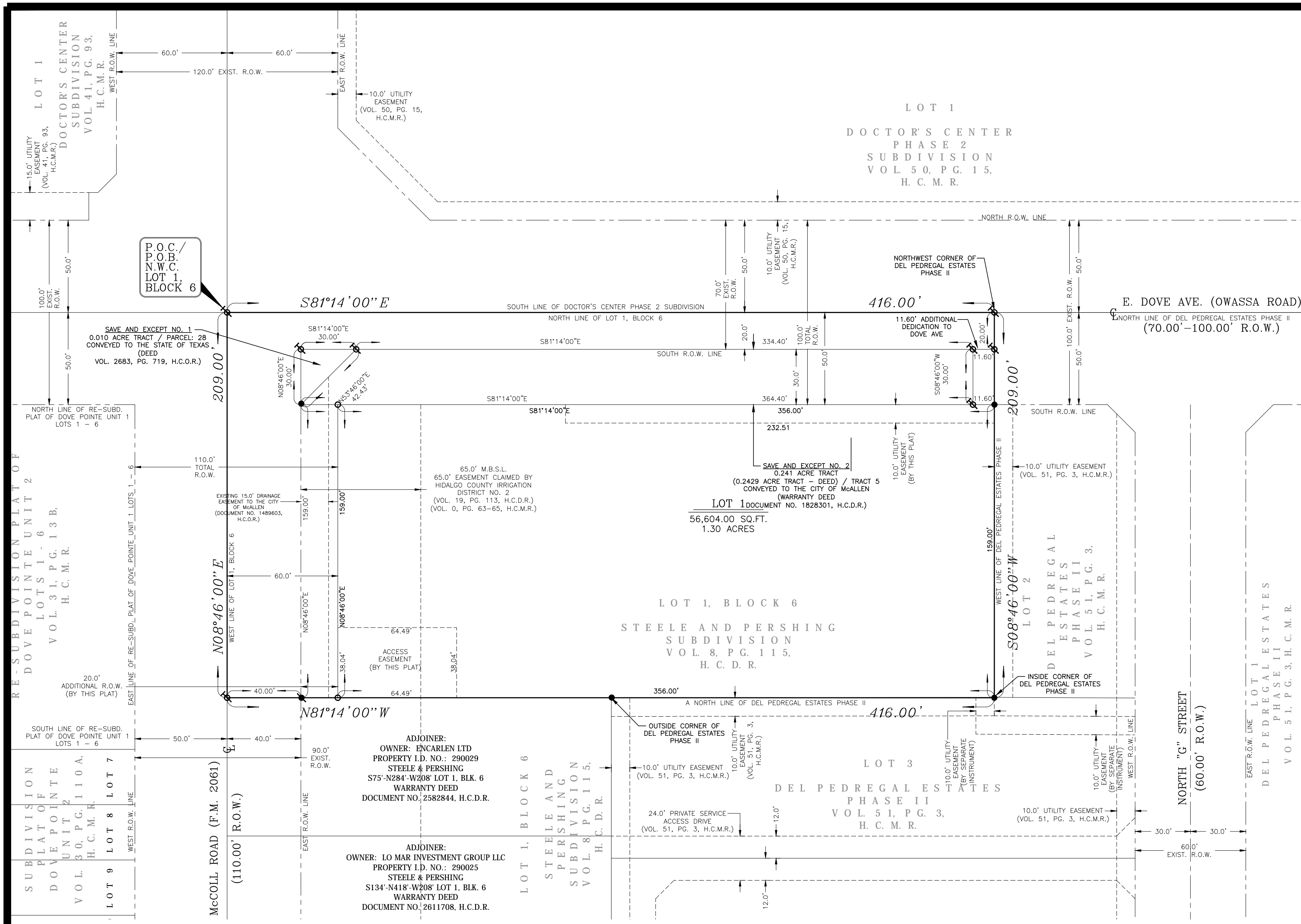
PH 2

1

RE

2

SUBD



LEGEND

- FOUND 1/2" IRON ROD
- FOUND IRON PIPE
- ⊗ SET NAIL
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS

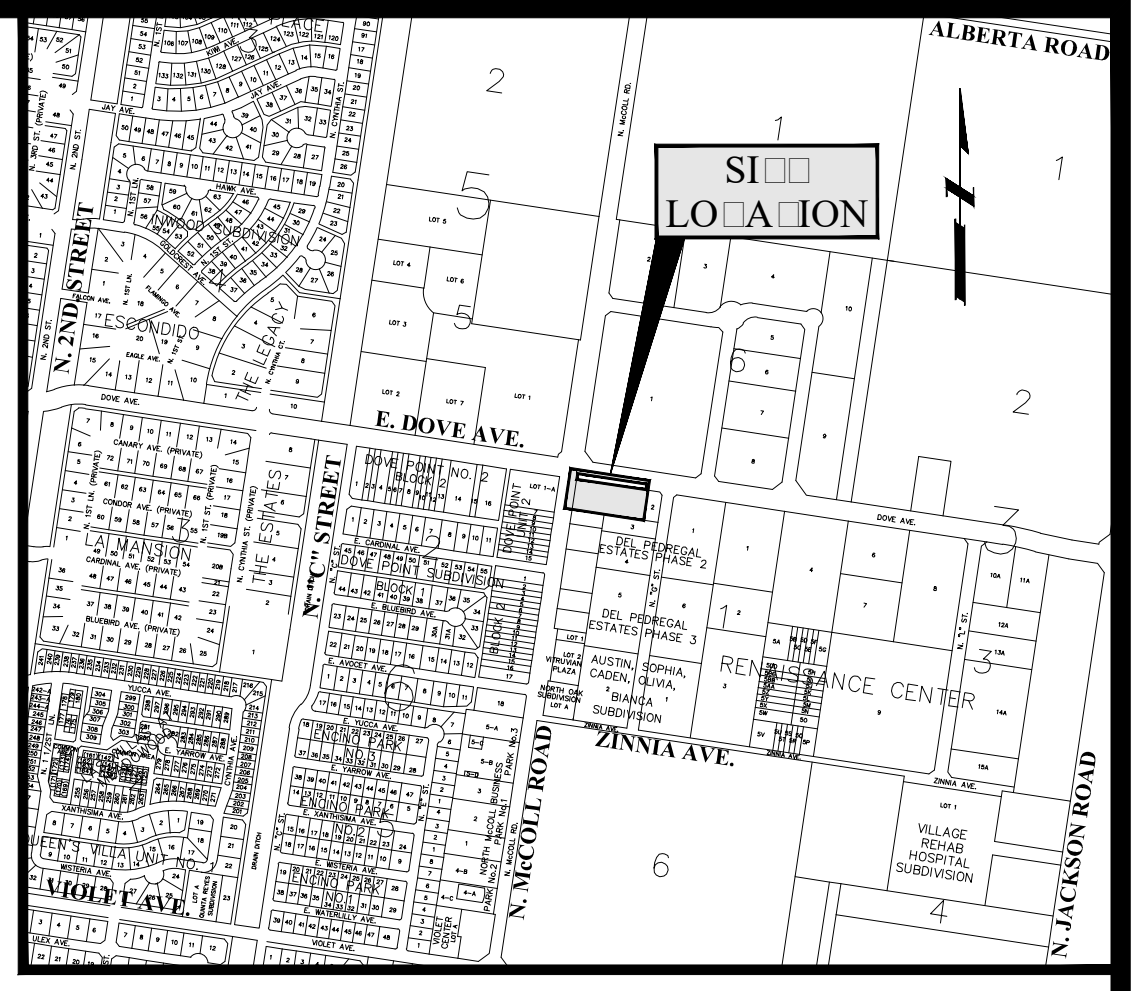
SCALE: 1" = 40'

A □ □ PLAZA SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEING A 1.996 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 1, BLOCK 6, STEELE & PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 115, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

- GENERAL PLAT NOTES:**
- MINIMUM SETBACK LINES = FRONT: McColl Road (F.M. 2061)/E DOVE AVENUE; IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR ON LINE WITH AVERAGE SETBACK, WHICHEVER IS GREATER APPLIES.
SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
 - LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/16/82, COMMUNITY PANEL NO. 480334 0425 C.
ZONE "B" DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
 - MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG E. DOVE AVE.
 - 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG N. McCOLL ROAD AND 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG E. DOVE AVENUE.
 - THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 5,100.13 CUBIC FEET, OR, 0.117 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
 - THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.
 - 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
 - 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, MAY BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 52, LOCATED ALONG THE EAST BOUND OF NORTH TAYLOR ROAD, 106.8 FEET NORTH OF THE CENTERLINE OF MILE 4 NORTH ROAD AND 17 FEET EAST FROM THE EDGE OF PAVEMENT OF TAYLOR ROAD, EAST OF THE MONUMENT, THERE IS A 2 STORE HOUSE. ELEV.= 132.94. HORIZONTAL DATUM: NAD 83. VERTICAL DATUM: NAVD 88.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - COMMON AREAS, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY LOT OWNER AND NOT BY THE CITY OF McALLEN.
 - MINIMUM 24 FT. WIDE PRIVATE SERVICE DRIVE EASEMENT, WITH ACCESS TO McCOLL ROAD AS LOCATED ON THE APPROVED SITE PLAN, IS SUBJECT TO BEING EXTENDED SOUTHWARD AS PROPERTIES TO THE SOUTH DEVELOP.



LOCATION MAP SCALE: 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A 1.996 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 1, BLOCK 6, STEELE & PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 115, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.996 GROSS ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1 LOCATED AT THE INTERSECTION OF E. DOVE AVE. AND McCOLL ROAD (AKA F.M. 2061) FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HERE DESCRIBED TRACT;

- THENCE, SOUTH 81 DEGREES 14 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 416.0 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 46 MINUTES WEST, A DISTANCE OF 20.0 FEET PASS THE EXISTING SOUTH RIGHT-OF-WAY OF SAID E. DOVE AVE., AT A DISTANCE OF 209.0 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND ON AN INSIDE CORNER OF PEDREGAL ESTATES, PHASE II (VOL. 51, PAGE 03, H.C.M.R.) FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 14 MINUTES WEST, COINCIDENT WITH THE NORTH LINE OF SAID PEDREGAL ESTATES, PHASE II SUBDIVISION, A DISTANCE OF 376.0 FEET PASS A 1/2 INCH DIAMETER IRON PIPE FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID McCOLL ROAD, AT A DISTANCE OF 416.0 FEET IN ALL TO A NAIL SET ON INTERSECTION WITH THE WEST LINE OF SAID LOT 1 FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 46 MINUTES EAST, COINCIDENT WITH THE WEST LINE OF SAID LOT 1, A DISTANCE OF 209.0 FEET TO THE POINT OF BEGINNING, CONTAINING 1.996 GROSS ACRES OF LAND, MORE OR LESS,

SAVING AND EXCEPTING (LANDS PREVIOUSLY CONVEYED) ALL OF THE SOUTH 30.0 FEET OF THE EAST 364.40 FEET OF THE WEST 376.0 FEET OF SAID 1.996 ACRE TRACT OF LAND COMPRISING LANDS DEDICATED TO THE STATE OF TEXAS FOR ADDITIONAL ROAD RIGHT-OF-WAYS AT THE SOUTHEAST CORNER OF McCOLL ROAD AND E. DOVE AVE., AND, A 30.0 FEET STRIP OF LAND PARALLEL TO AND ADJACENT TO THE NORTH RIGHT-OF-WAY LINE OF SAID E. DOVE AVE. CONVEYED TO THE CITY OF McALLEN, RESPECTIVELY, WHEN COMBINED TOTAL 0.251 ACRES, MORE OR LESS, THE ACREAGE OF WHICH IS NOT A PART OF THE SAID 1.996 ACRES HEREIN DESCRIBED,

AND FURTHER, OF WHICH 0.192 ACRES, MORE OR LESS, ARE LOCATED WITHIN THE RIGHT-OF-WAY OF SAID McCOLL ROAD, AND, OF WHICH 0.173 ACRES, MORE OR LESS, ARE LOCATED WITH THE RIGHT-OF-WAY OF SAID E. DOVE AVE., LEAVING 1.380 NET ACRES OF LAND, MORE OR LESS.

BEARING BASIS: SPECIAL WARRANTY DEED CONVEYANCE FROM SUZANE C. AN UNTO SUZIE AN, DATED OCTOBER 01, 2021, AND, RECORDED IN DOCUMENT NO. 3295951, H.C.D.R.
N:\SUBDIVISIONPLATS\AFGLAZA.SUB\1.996.100722

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS AFG PLAZA SUBDIVISION, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

OWNER: SUZIE AN
114 RIO GRANDE DRIVE
MISSION, TEXAS, 78572

MAYOR _____ DATE _____

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782 _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED SUZIE AN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER _____ DATE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973 _____ DATE _____

STATE OF TEXAS
HIDALGO COUNTY IRRIGATION DISTRICT #2
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAYS OR EASEMENTS.

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____

OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

ATTEST: _____
PRESIDENT SECRETARY

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: SUZIE AN	114 RIO GRANDE DRIVE	MISSION, TEXAS 78572	(956) 529-2645	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489

A □ □ PLAZA SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: JANUARY 30, 2025.
JOB NUMBER: SP-22-25861
OWNER: SUZIE AN
114 RIO GRANDE DRIVE
MISSION, TEXAS 78572

SEA SALINAS ENGINEERING & ASSOC.
(P-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78733 (512) 239-5263



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/15/2025

SUBDIVISION NAME: AFG PLAZA SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

McCull Road (F.M. 2061): 20 ft. of additional dedication for 60 ft. from centerline for 120 ft. total ROW.

Paving 65 ft.-85 ft. Curb & gutter: Both Sides

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording, if not done by the state.

Applied

E. Dove Avenue: Dedication as needed for 60 ft. from centerline for 120ft. total ROW.

Paving: 65 ft. to 85 ft. Curb & gutter: Both Sides

Revisions needed:

* City of McAllen thoroughfare plan designates E. Dove Avenue, as a Principle arterial with 120 ft. of ROW. Current subdivision layout does not comply with required ROW dedication requirements. Engineer submitted a variance request to allow existing 100 ft. ROW as depicted on plat with no additional dedication.

Planning & Zoning Commission recommended approval for the variance request on October 3, 2023. Variance was approved by the City Commission on October 23, 2023 on the condition that requirements to maintain existing 100 ft. of ROW throughout the plat boundary would apply.

(i.e. NE Corner of plat that was not included in conveyance to the City of McAllen, of which is now included.)

- Label ROW being dedicated by this plat along Dove Avenue please see requirements above, prior to final/recording.

- Clarify area conveyed to the City Of McAllen, submit copy of referenced documents for staff review prior to final/recording.

- Include any document numbers regarding existing dedication of Dove Avenue, as applicable and provide copies for staff review, prior to final/recording.

- Corner clip required for NE dedication, review and revise as applicable, finalize prior to final/recording.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

Required

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Compliance

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

Revisions Needed:

- Plat note #13 is proposed. The plat note wording must be finalized prior to recording.

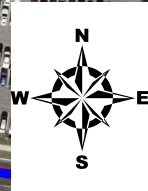
**Subdivision Ordinance: Section 134-106

Required

SETBACKS	
<p>* Front: McColl Road (F.M. 2061)/ E. Dove Avenue: In accordance with the zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. - Clarify/remove the line labeled as 65 ft. M.B.S.L prior to recording. **Zoning Ordinance: Section 138-356</p>	Required
<p>* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner :See front setback note. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage: Commercial Development. **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 5 ft. wide minimum sidewalk required along N. McColl Road and 4 ft. wide minimum sidewalk required along E. Dove Avenue. ** 5 ft. Sidewalk requirements as per Engineering Department requirements. **Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>*Must comply with City Access Management Policy.</p>	Applied
<p>* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.</p>	Applied
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p>	NA

<p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	
LOT REQUIREMENTS	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p>	Applied
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	Applied
ZONING/CUP	
<p>* Existing : A-O(Agricultural and Open-Space) District and C-4 (Commercial Industrial) District Proposed: C-4 (Commercial Industrial) District **At the City Commission meeting of December 12th,2022, a rezoning request at the subject property was approved to complete the entire tract zoning C-4 District. ***Zoning Ordinance: Article V</p>	Applied
<p>* Rezoning Needed Before Final Approval. **At the City Commission meeting of December 12th,2022, a rezoning request at the subject property was approved to complete the entire tract zoning C-4 District. ***Zoning Ordinance: Article V</p>	Applied
PARKS	
<p>* Land dedication in lieu of fee. As per application dated November 29,2022 proposed land use is Retail/Restaurant, commercial developments do not apply to Parks.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated November 29,2022 proposed land use is Retail/Restaurant, commercial developments do not apply to Parks.</p>	NA
<p>* Pending review by the Parkland Dedication Advisory Board and CC. As per application dated November 29,2022 proposed land use is Retail/Restaurant, commercial developments do not apply to Parks.</p>	NA
TRAFFIC	
<p>* As per Traffic Department, TIA Level I was waived with conditions. Must follow the conditions prior to recording.</p>	Applied
<p>* As per Traffic Department, TIA Level I was waived with conditions. Must follow the conditions prior to recording.</p>	Applied
COMMENTS	
<p>Comments: - Only the lot lines must be solid. Please use dashed line for ROW lines so that the new lot line for Lot 1 will be visible prior to recording. - Make sure the information on plat are legible and not overlapping prior to recording (e.g. Lot 1 label is too close to some referenced documents, etc.). Review and revise as applicable prior to recording. *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat, any abandonments by separate instrument must be finalized prior to recording.</p>	Required
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.</p>	Applied

LOCATION



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name Villas at Tres Lagos Phase I

Legal Description 12.235 acres out of Section 227 and 232, Texas Mexican Railway Company Survey according to the patent issued by the State of Texas recorded in Volume 4, Pages 142-143, HCDR

Location Northeast corner of Shary Road and Tres Lagos Boulevard

City Address or Block Number 5300 Tres Lagos Blvd

Total No. of Lots 63 Total Dwelling Units 63 Gross Acres 12.235 Net Acres _____

Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No

For Fee Purposes: Commercial (_____ Acres) / Residential (63 Lots) Replat: Yes / No

Existing Zoning R-1, R-3T, & C-4 Proposed Zoning R-3T Applied for Rezoning No / Yes: Date _____

Existing Land Use Vacant Proposed Land Use Townhomes

Irrigation District # UID Water CCN: MPU / Sharyland Water SC Other _____

Agricultural Exemption: Yes / No Parcel # 1075073

Estimated Rollback Tax Due 1,866.43 Tax Dept. Review UPG

Owner

Name Rhodes Enterprises Inc Phone (956) 287-2800

Address 200 S 10th Street, Suite 1700 E-mail bfrisby@rhodes.com

City McAllen State TX Zip 78501

Developer

Name Rhodes Development, Inc Phone (956) 287-2800

Address 200 S 10th Street, Suite 1700 E-mail bfrisby@rhodes.com

City McAllen State TX Zip 78501

Contact Person Brad Frisby, VP

Engineer

Name Melden & Hunt, Inc Phone (956) 381-0981

Address 115 West McIntyre Street E-mail mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com

City Edinburg State TX Zip 78541

Contact Person Mario A. Reyna, Beto De La Garza and Della Robles

Surveyor

Name Melden & Hunt, Inc Phone (956) 381-0981

Address 115 West McIntyre Street E-mail robert@meldenandhunt.com

City Edinburg State TX Zip 78541

RECEIVED
JUL 22 2024
By NG.

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL


PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.11.2024

Print Name Mario A Reyna, P.E.

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

VAR 2025-0005



City of McAllen

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project

Legal Description 12.243^{FT 2/3} acres out of Section 227 and 232, Texas Mexican Railway Company Survey according to Vol 4, Pg 142-142, H.C.D.R., City of McAllen, Hidalgo County, Texas.

Street Address FT 2/3 Name of Subdivision: VILLAS AT TRES LAGOS SUB. PL. I

Number of lots 62 FT 2/3 Gross acres 12.243 FT 2/3

Existing Zoning R-3T FT 2/3 Existing Land Use Vacant

Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant

Name Rhodes Development Inc. Phone (956) 287-2800
bfrisby@rhodes.com

Address 200 South 10th Street, Suite 1700 E-mail _____

City McAllen State Texas Zip 78507^{4 FT 2/3}

Owner

Name Rhodes Development Inc. Phone c/o 956-381-0981
mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com

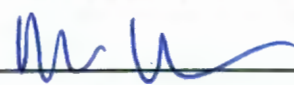
Address 200 South 10th Street, Suite 1700 E-mail _____

City McAllen State Texas Zip 78504

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?
 Yes No

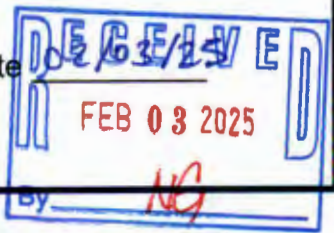
I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date January 31, 2025

Print Name Mario A. Reyna, P.E. Owner Authorized Agent

Office

Accepted by J.C. Payment received by _____ Date _____





City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Please view attached letter.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

Please view attached letter.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen.



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

February 3, 2025

City of McAllen Planning Dept.
Attn: Luis Mora, Interim Director
311 N. 15th St.
McAllen, TX 78501

Re: VILLAS AT TRES LAGOS SUBDIVISION PHASE I – Variance Request to City of McAllen

Dear Mr. Mora:

On behalf of the developer, Rhodes Development Inc., Melden & Hunt, Inc. as Engineer's on record respectfully request a variance for the following items:

1. INTERNAL ROW AND PAVING WIDTH:

Requirement: 60 ft. ROW with 40 ft. of paving

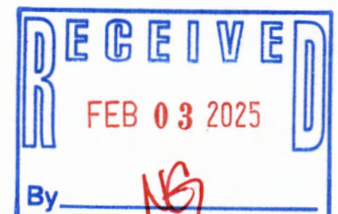
Proposal: 32 ft. ROW/ 32 ft. paving with "10 ft. Utility and Sidewalk Easements" along both sides of all internal road. This private townhome subdivision within the Tres Lagos Community will be very similar to the existing Villas on Freddy Development located on the NEC of Bicentennial Blvd and Freddy Gonzalez Road.

This subdivision will be private and maintained by the HOA. Parking spaces will be provided throughout the development that will serve as parking for common areas and visitors parking.

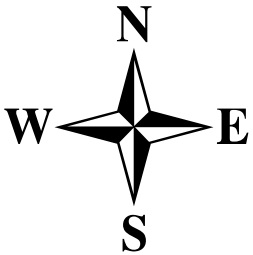
Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

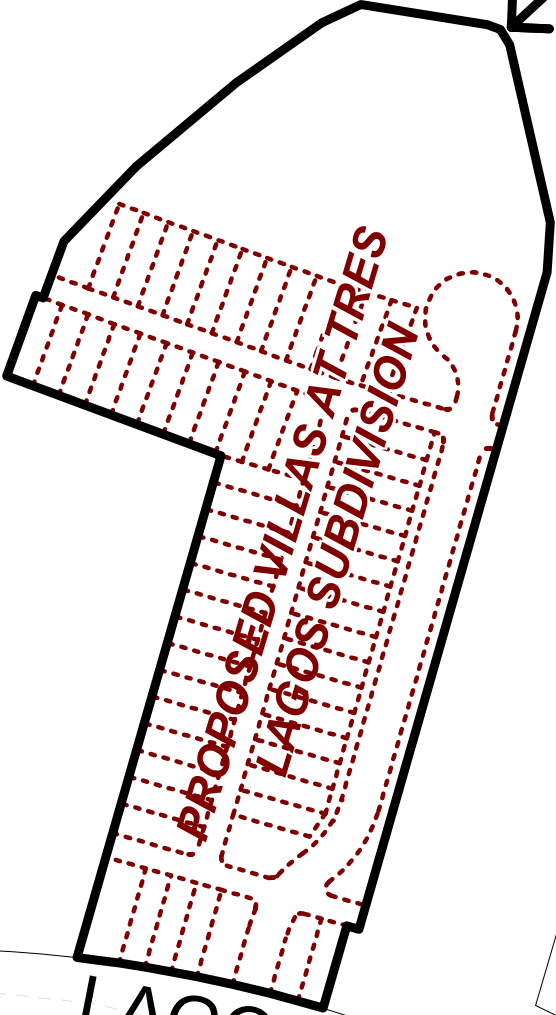
Mario A. Reyna, P.E.
President
Melden & Hunt, Inc.



LOCATION



SHARY RD



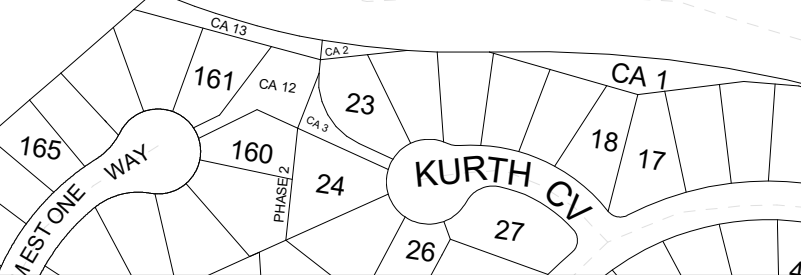
IDEA TRES LAGO
SUBDIVISION

LOT 1

TRES
LAGOS
BLVD

**PROPOSED FAMILY
CHURCH AT TRES LAGOS
SUBDIVISION**

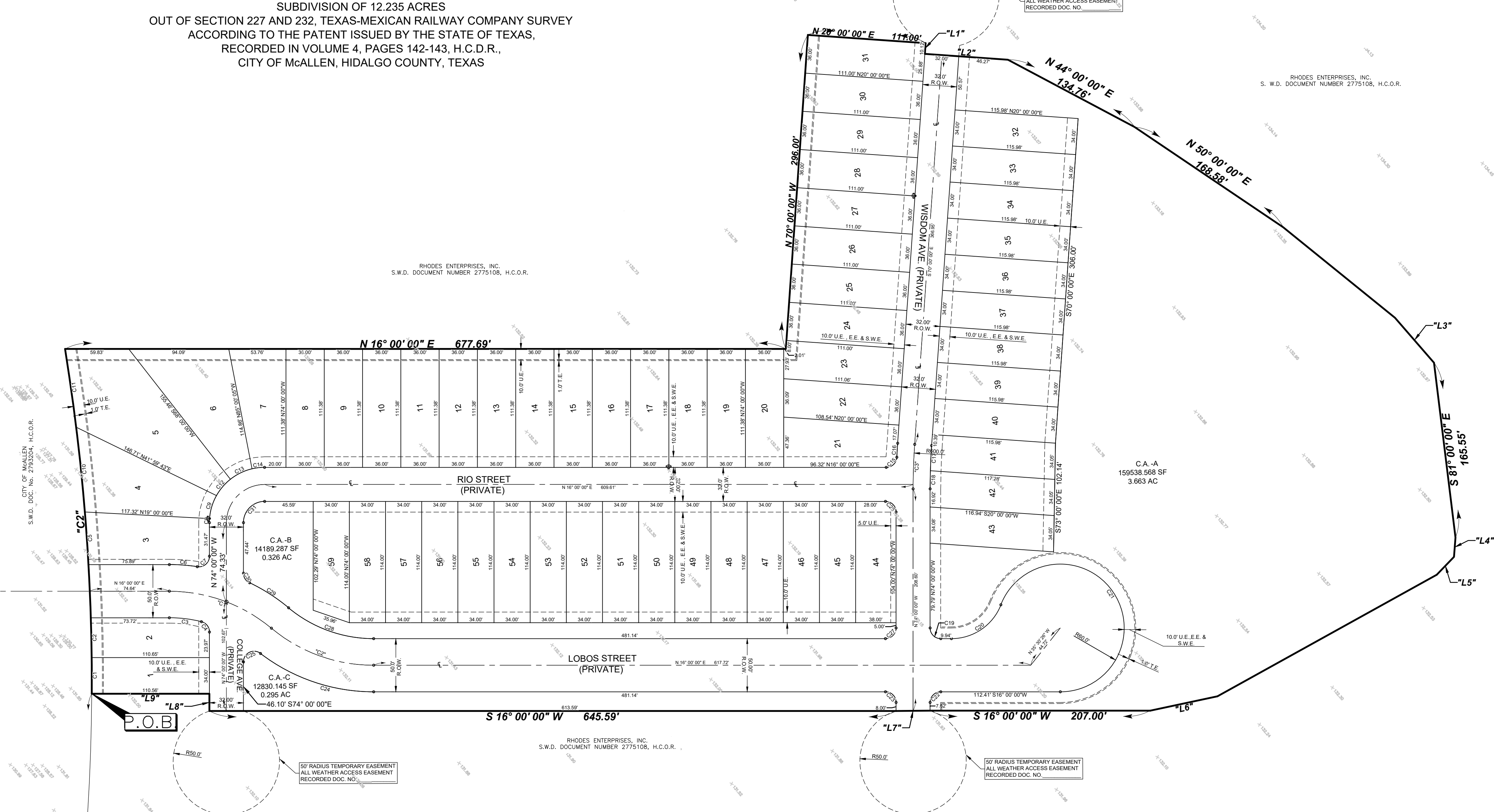
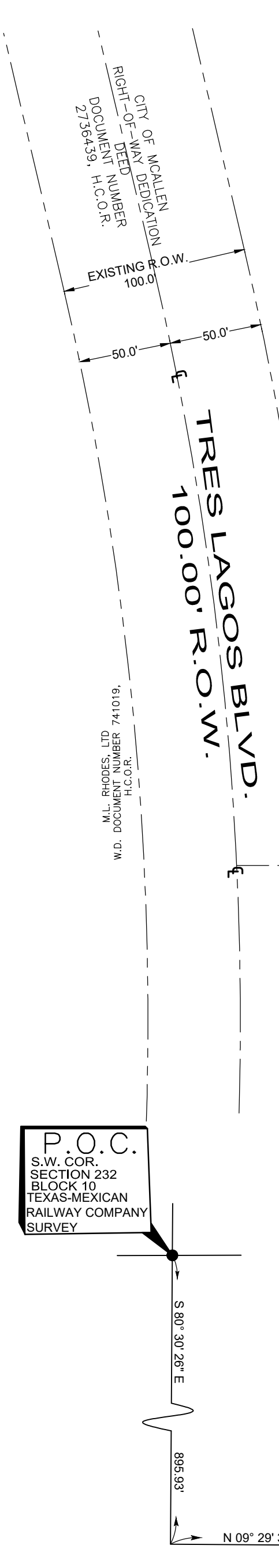
LOT 1



SUBDIVISION MAP OF VILLAS AT TRES LAGOS PHASE I (PRIVATE SUBDIVISION)

SUBDIVISION OF 12.235 ACRES
OUT OF SECTION 227 AND 232, TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEARING BASIS AS PER TEXAS
COORDINATE SYSTEM SOUTH ZONE 4205
TEXAS SOUTH ELEVATION DATUM
AS PER NAVD 83 (GEOID 2012B)
SCALE: 1"=60'



Line #	Length	Direction
"L1"	10.12'	S70° 00' 00"E
"L2"	78.27'	N20° 00' 00"E
"L3"	56.01'	N65° 00' 00"E
"L4"	18.30'	S69° 42' 51"E
"L5"	23.33'	S30° 00' 00"E
"L6"	64.55'	S04° 00' 00"W
"L7"	32.00'	S15° 19' 23"W
"L8"	16.26'	N74° 00' 00"W
"L9"	110.56'	S16° 00' 00"W

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
"C1"	008° 02' 23"	1,950.00'	273.62'	137.04'	N69° 37' 46"W	273.40'
"C2"	009° 33' 47"	1,950.00'	325.47'	163.11'	N78° 25' 51"W	325.09'

LEGEND & ABBREVIATIONS

- FND. No. 4 REBAR
- SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- R.O.W. - RIGHT-OF-WAY
- S.W. COR. - SOUTHWEST CORNER
- SQ. FT. - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- T.E. - TECHNOLOGY EASEMENT DEDICATED BY THIS PLAT
- E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- N.T.S. - NOT TO SCALE-DETAILS
- SWSC - SHARYLAND WATER SUPPLY CORPORATION
- S.W.D. - SPECIAL WARRANTY DEED
- DOC. NO. - DOCUMENT NUMBER
- ⊕ - ROAD CENTER LINE
- - INDICATOR FOR BEGIN AND END CURVE
- C.A. - COMMON AREA
- S.W. - SIDEWALK

P.O.C.
S.W. COR.
SECTION 232
BLOCK 10
TEXAS-MEXICAN
RAILWAY COMPANY
SURVEY

Lot #	SQ. FT.	Area
1	3758.88	0.086
2	4062.45	0.093
3	5362.53	0.123
4	6234.40	0.143
5	10147.62	0.233
6	6995.54	0.161
7	4787.63	0.110
8	4009.59	0.092
9	4009.59	0.092
10	4009.59	0.092
11	4009.59	0.092
12	4009.59	0.092
13	4009.59	0.092
14	4009.59	0.092
15	4009.59	0.092
16	4009.59	0.092
17	4009.59	0.092
18	4009.59	0.092
19	4009.59	0.092
20	4009.59	0.092
21	4646.90	0.107
22	3962.91	0.091
23	4025.00	0.092
24	3996.00	0.092
25	3996.00	0.092
26	3996.00	0.092
27	3996.00	0.092
28	3996.00	0.092
29	3996.00	0.092
30	3996.00	0.092

Lot #	SQ. FT.	Area
31	3996.00	0.092
32	3943.32	0.091
33	3943.32	0.091
34	3943.32	0.091
35	3943.32	0.091
36	3943.32	0.091
37	3943.32	0.091
38	3943.32	0.091
39	3943.32	0.091
40	3943.32	0.091
41	3970.07	0.091
42	3984.46	0.091
43	3965.87	0.091
44	4410.54	0.099
45	3876.00	0.089
46	3876.00	0.089
47	3876.00	0.089
48	3876.00	0.089
49	3876.00	0.089
50	3876.00	0.089
51	3876.00	0.089
52	3876.00	0.089
53	3876.00	0.089
54	3876.00	0.089
55	3876.00	0.089
56	3876.00	0.089
57	3876.00	0.089
58	3876.00	0.089
59	3876.98	0.084

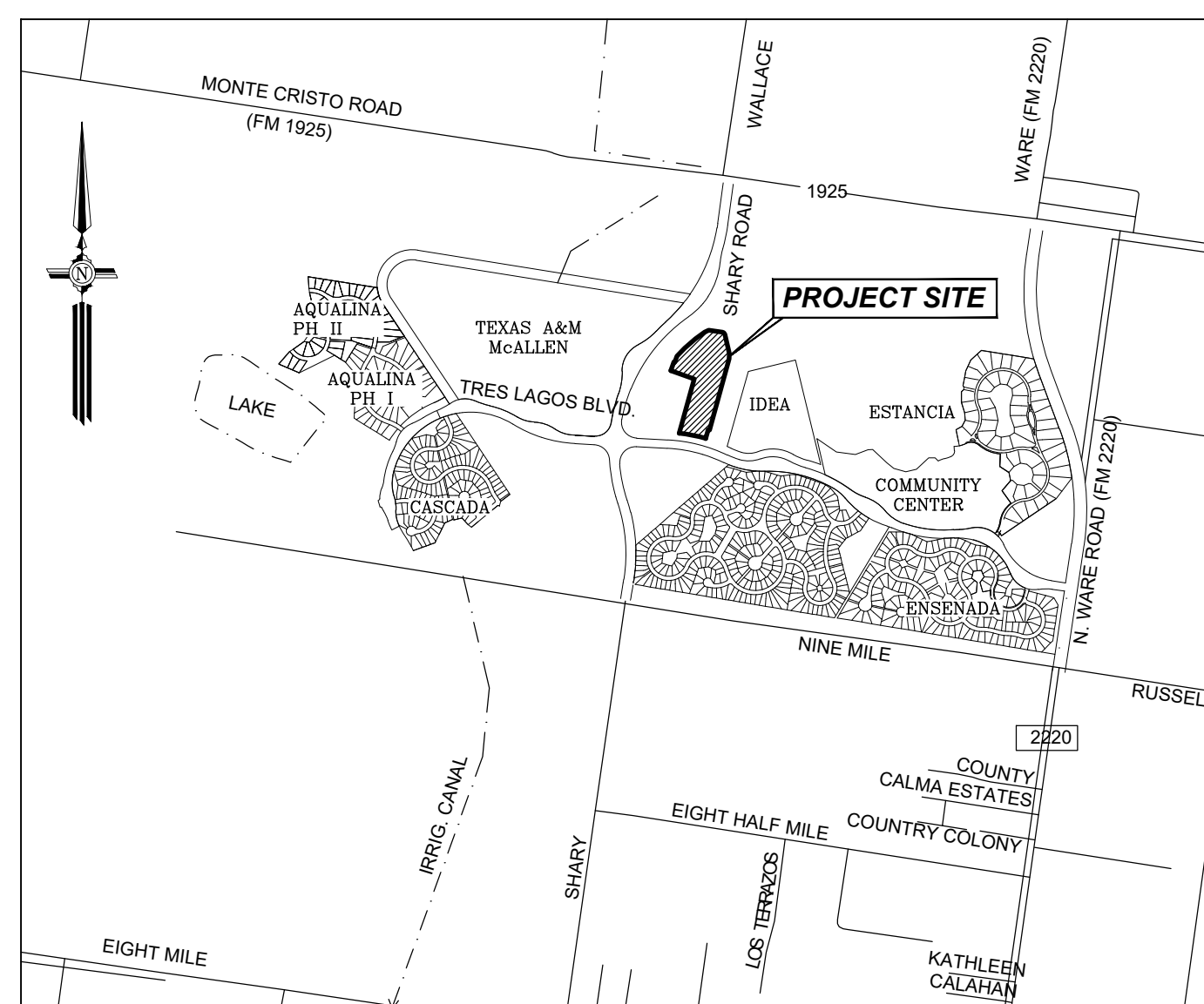
Lot #	SQ. FT.	Area
A	159538.57	3.663
B	14189.29	0.326
C	12830.15	0.295

Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	34.00'	1,950.00'	000° 59' 56"	N74° 08' 55"W	34.00'	17.00'
C2	37.37'	1,950.00'	001° 05' 53"	N75° 11' 50"W	37.37'	18.68'
C3	30.42'	125.00'	013° 56' 30"	S22° 58' 15"W	30.34'	15.28'
C4	13.27'	10.00'	078° 02' 39"	S67° 57' 50"W	12.32'	7.82'
C5	49.61'	1,950.00'	001° 27' 28"	N77° 56' 44"W	49.61'	24.81'
C6	26.31'	175.00'	008° 36' 49"	S20° 18' 25"W	26.28'	13.18'
C7	17.21'	10.00'	088° 35' 46"	N24° 41' 04"W	15.16'	11.63'
C8	3.97'	52.00'	004° 22' 33"	S71° 48' 44"E	3.97'	1.99'
C9	22.89'	52.00'	025° 00' 20"	S57° 07' 17"E	22.51'	11.53'
C10	80.13'	1,950.00'	002° 21' 16"	N79° 51' 06"W	80.12'	40.07'
C11	74.31'	1,950.00'	002° 11' 01"	N82° 07' 14"W	74.31'	37.16'
C12	20.37'	52.00'	022° 26' 24"	S33° 23' 59"E	20.24'	10.32'
C13	22.70'	52.00'	025° 00' 47"	S9° 40' 19"E	22.52'	11.53'
C14	11.95'	52.00'	013° 09' 56"	S9° 25' 02"W	11.92'	6.00'
C15	15.22'	10.00'	087° 12' 52"	N27° 37' 35"W	13.79'	9.53'
C16	13.26'	616.00'	001° 14' 02"	S70° 37' 01"E	13.26'	6.63'
C17	23.62'	584.00'	002° 19' 04"	S71° 09' 32"E	23.62'	11.81'
C18	17.15'	584.00'	001° 40' 56"	S73° 09' 32"E	17.15'	8.57'
C19	15.71'	10.00'	090° 00' 00"	N61° 00' 00"E	14.14'	10.00'
C20	59.93'	50.00'	068° 40' 35"	N18° 20' 17"W	56.41'	34.16'
C21	260.41'	60.00'	248° 40' 35"	S71° 39' 43"W	99.09'	87.83'
C22	15.71'	10.00'	090° 00' 00"	S29° 00' 00"E	14.14'	10.00'
C23	15.71'	10.00'	090° 00' 00"	S61° 00' 00"W	14.14'	10.00'
C24	114.33'	175.00'	037° 25' 54"	N34° 42' 57"E	112.31'	59.29'
C25	22.24'	10.00'	127° 25' 54"	S10° 17' 03"E	17.93'	20.25'

Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C26	15.71'	10.00'	090° 00' 00"	S61° 00' 00"W	14.14'	10.00'
C27	15.70'	10.00'	089° 58' 44"	N28° 59' 22"W	14.14'	10.00'
C28	86.90'	125.00'	039° 49' 48"	N35° 54' 54"E	85.16'	45.29'
C29	43.70'	175.00'	014° 18' 30"	S48° 40' 33"W	43.69'	21.97'
C30	11.25'	10.00'	064° 28' 42"	N73° 45' 39"E	10.67'	6.31'
C31	31.42'	20.00'	090° 00' 00"	S29° 00' 00"E	28.28'	20.00'

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
"C1"	039° 49' 48"	150.00'	104.27'	54.34'	S35° 54' 54"W	102.19'
"C2"	039° 49' 48"	150.00'	104.27'	54.34'	N35° 54' 54"E	102.19'
"C3"	004° 00' 00"	600.00'	41.89'	20.95'	S72° 00' 00"E	41.88'

DRAWN BY: LH DATE 01-10-2025
SURVEYED, CHECKED DATE
FINAL CHECK DATE



LOCATION MAP

SCALE: 1" = 2,000'



Reviewed On: 2/14/2025

SUBDIVISION NAME: VILLAS AT TRES LAGOS PHASE I	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Tres Lagos Blvd. 100 ft. R.O.W. Paving: 65 ft. B-B Curb & gutter: both sides Revisions needed: - Based on the submitted plat, the subdivision does not appear to have any access to the Tres Lagos Blvd. and would be considered 'landlocked.' Clarify/submit additional documents prior to final/recording. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Required
<p>Interior Streets: Dedications as needed for 60 ft. minimum R.O.W. Paving: 40 ft. Curb & gutter: both sides Revisions needed: - Interior streets show 32 ft.-50 ft. ROW. Revise the subdivision layout to provide ROW for interior street as needed above prior to final/recording. - Submitted master layout shows islands within the streets and cul-de-sac. Paving layout must comply with all Development Departments conditions, including fire apparatus maneuvering, no parking fire lane marking, etc. - Street names will be established prior to final/recording. Submit master layout with proposed street names for staff review prior to final/recording. - Provide paved temporary turnaround document number and a copy for staff review prior to final/recording. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p> <p>*** Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc.</p>	Required
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS		
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties. - Finalize the Public Works Department's requirements prior to final/recording. **Subdivision Ordinance: Section 134-106		Required
SETBACKS		
* Front: 10 ft. or greater for easements. Revisions Needed: - Revise the setback note as shown above prior to final/recording. - Proposing: "10 ft. minimum or (greater for easement)" * Rear (proposing): 11 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Sides: In accordance with the Zoning ordinance or greater for easements **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN		Required
		Applied
		Applied
		Applied
		Applied
		Applied
SIDEWALKS		
* 4 ft. wide minimum sidewalk required on Tres Lagos Blvd., and both sides of all interior streets. Revisions Needed: - Proposing plat note #16, to be in accordance with agreement for interior streets. Submit sidewalk plan prior to final/recording to establish requirements. Any revisions needed by sfatt must be finalized prior to final/recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.		Required
		Required
BUFFERS		
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Prior to final/recording, buffer requirements along Tres Lagos Blvd. must be established. - Note is subject to change once lot frontage requirements have been finalized. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.		Required
		Applied
		Required
NOTES		
* No curb cut, access, or lot frontage permitted along Tres Lagos Blvd. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance.		Applied
		NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Note #26 Proposing: "Common Areas 1,2, & 3 will maintained by the property owner/HOA and no City of McAllen." Note must be finalized prior to final/recording.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>*Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions Needed: - Revise Plat note #12 as shown above prior to final/recording. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Required
	NA
	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	Applied
<p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	Applied
ZONING/CUP	
<p>* Existing: R-3T, R-3A, and C-4 Proposed: R-3T ** Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. **Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. ***Zoning Ordinance: Article V</p>	Required
<p>* Rezoning Needed Before Final Approval ** Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. **Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. ***Zoning Ordinance: Article V</p>	Required
PARKS	
<p>* Land dedication in lieu of fee. - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement.</p>	NA

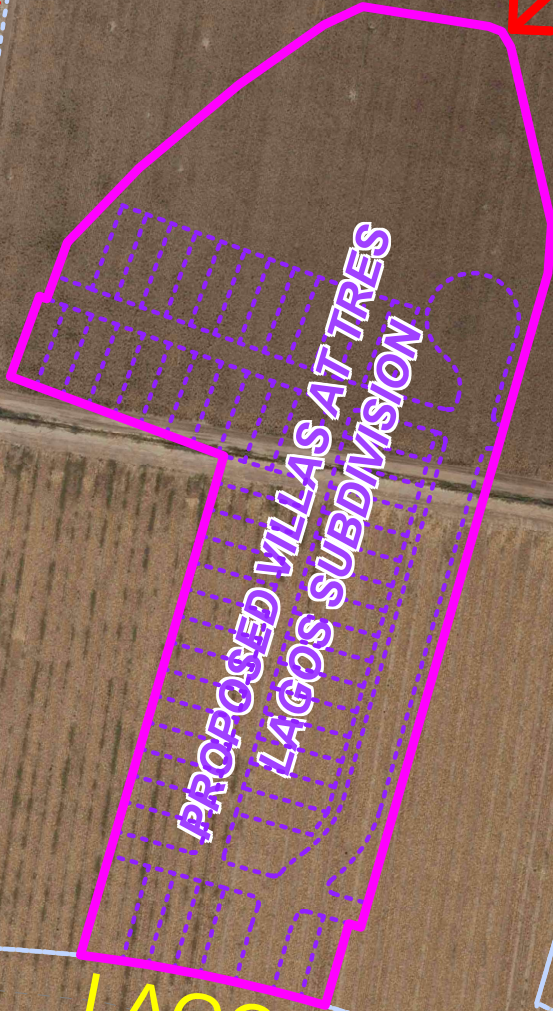
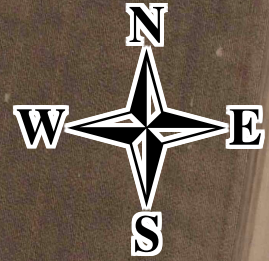
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Pending review by the City Manager's Office. - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording.</p>	<p>Required</p>
<p>* As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording.</p>	<p>Required</p>
<p>COMMENTS</p>	
<p>Comments: * Must comply with City's Access Management Policy. - Missing Plat note #23. Revise the notes numbering prior to recording. - Proposed Private subdivision. Correct wording for private subdivisions must be used prior to recording. - Submit referenced documents for staff review prior to final/recording. - Revise the application for the Number of Dwelling units prior to final/recording. - Gate details submitted on February 13, 2025, is under review to verify all details fit in the right-of-way. If additional ROW is needed, the plat layout must be revised prior to recording. - Clarify the use of C.A. A and C.A. B prior to final/recording. A plat note to clarify the use may be needed prior to final/recording.</p> <p>*** Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc. *** The project engineer requested the plat to be presented to the Planning and Zoning Commission for final approval consideration, subject to the variance approval.</p>	<p>Required</p>
<p>RECOMMENDATION</p>	
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCE.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION

SHARY RD



IDEA TRES LAGO
SUBDIVISION

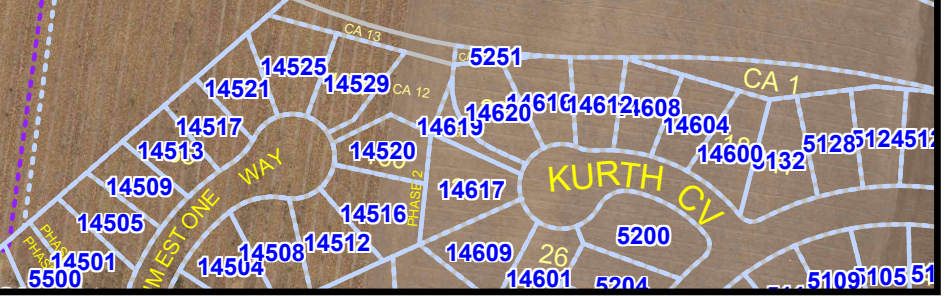
5200

LOT 1

TRES LAGOS BLVD

PROPOSED FAMILY
CHURCH AT TRES LAGOS
SUBDIVISION

LOT 1



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Villas at Las Palmas Phase I Subdivision</u>
	Legal Description <u>Being 6.526 +/- acres out of Section 232, Texas-Mexican Railway Company Survey, according to the patent issued by the State of Texas, Recorded in Volume 4, Pages 142-143, Hidalgo County Deed Records, City of McAllen, Hidalgo County, Texas.</u>
	Location <u>East side of North Shary Road and approximately 500 ft south of Monte Cristo Road</u>
	City Address or Block Number <u>15200 North Shary Road</u>
	Total No. of Lots <u>60</u> Total Dwelling Units <u>58</u> Gross Acres <u>6.526</u> Net Acres _____
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) <input checked="" type="checkbox"/> Residential (<u>58</u> Lots) Replat: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>R-3A</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Single Family Residential</u>
	Irrigation District # <u>UID</u> Water CCN: <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No Parcel # <u>294692</u>	
Estimated Rollback Tax Due _____ Tax Dept. Review _____	
Owner	Name <u>ML Rhodees LTD</u> Phone <u>(956) 287-2800</u>
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>brfrisby@rhodes.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
Developer	Name <u>Rhodes Development, Inc.</u> Phone <u>(956) 287-2800</u>
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>brfrisby@rhodes.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>Brad Frisby, Vice President Land Development</u>
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and drobles@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>
	Contact Person <u>Mario A Reyna, P.E., Beto De La Garza, and Della Robles</u>
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date February 07, 2025

Print Name Mario A Reyna, P.E.

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

VAR 2025-0006



City of McAllen Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description <u>6.526 acres out of Section 232, Texas Mexican Railway Company's Survey, according to the plat or map thereof recorded in Vol 4, Pg 142-142, Hidalgo County Deed Records</u>
	Street Address <u>15200 North Shary Road (VILLAS AT LAS PALMAS SUBD. PH I FT 215)</u> Number of lots <u>60</u> Gross acres <u>6.526</u> Existing Zoning <u>R-3A</u> Existing Land Use <u>Vacant</u>

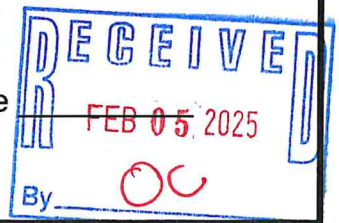
Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant	Name <u>Rhodes Development Inc.</u> Phone <u>(956) 287-2800</u>
	Address <u>200 South 10th Street, Suite 1700</u> E-mail <u>bfrisby@rhodes.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>

Owner	Name <u>ML Rhodees LTD FT 215</u> Phone <u>c/o 956-381-0981</u> <small>mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com</small>
	Address <u>200 South 10th Street, Suite 1700</u> E-mail <u>drobles@meldenandhunt.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>

Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.
	Signature <u></u> Date <u>February 04, 2025</u> Print Name <u>Mario A. Reyna, P.E.</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent

Office	Accepted by <u>KF</u> Payment received by _____ Date _____
	Rev 10/18





City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Please view attached letter.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

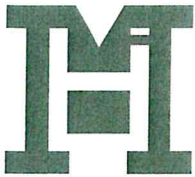
Please view attached letter.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen.



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

February 3, 2025

City of McAllen Planning Dept.
Attn: Luis Mora, Interim Director
311 N. 15th St.
McAllen, TX 78501

Re: VILLAS AT LAS PALMAS SUBDIVISION PHASE I– Variance Request to City of McAllen

Dear Mr. Mora:

On behalf of the developer, Rhodes Development Inc., Melden & Hunt, Inc. as Engineer's on record respectfully request a variance for the following items:

1. INTERNAL ROW AND PAVING WIDTH:

Requirement: 60 ft. ROW with 40 ft. of paving

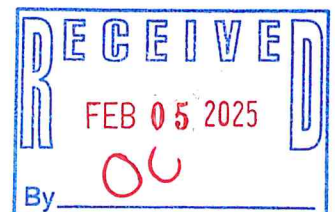
Proposal: 32 ft. ROW/ 32 ft. paving with "10 ft. Utility and Sidewalk Easements" along both sides of all internal road. This private townhome subdivision within the Tres Lagos Community will be very similar to the existing Villas on Freddy Development located on the NEC of Bicentennial Blvd and Freddy Gonzalez Road.

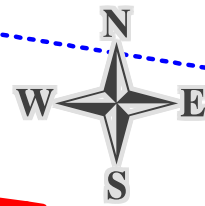
This subdivision will be private and maintained by the HOA. Parking spaces will be provided throughout the development that will serve as parking for common areas and visitors parking.

Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

Mario A. Reyna, P.E.
President
Melden & Hunt, Inc.





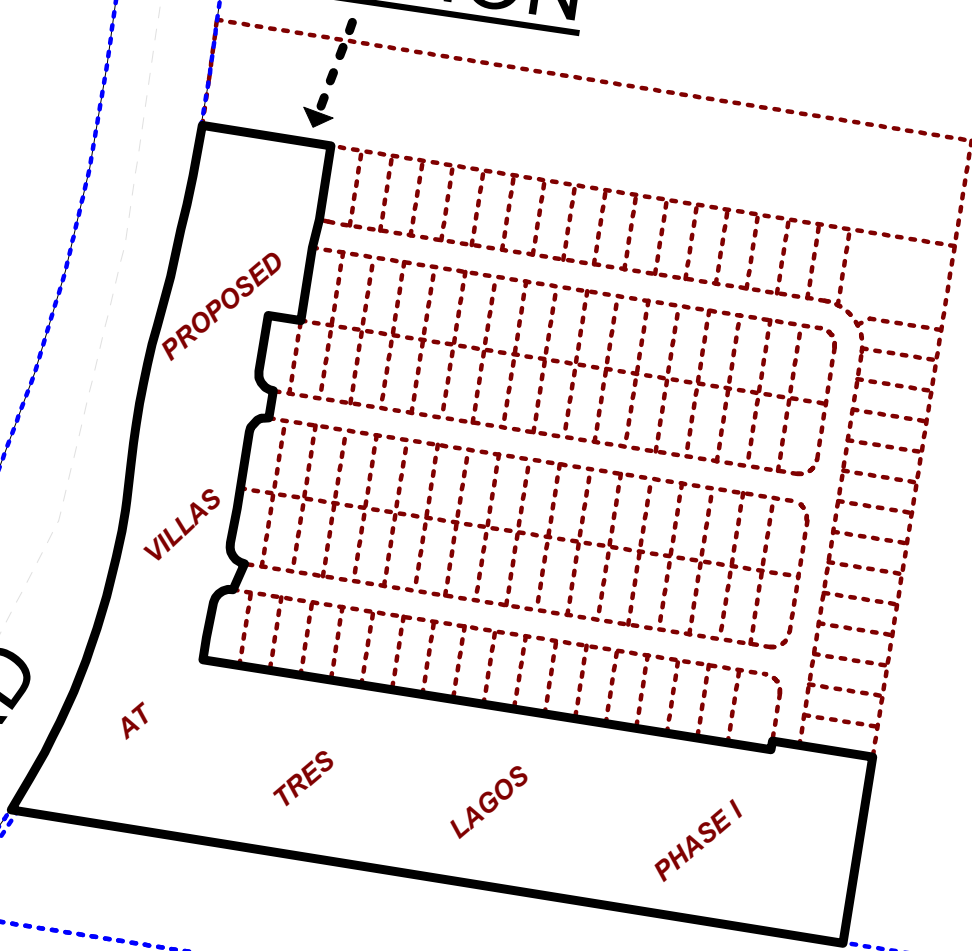
MONTE CRISTO RD

PROPOSED
STOLPA
STATION
SUBDIVISION
LOT 1

LOCATION

SHARY ROAD (ABND ORD NO.)

TEX-BEST AT TRES LAGOS
SUBDIVISION



SHARY RD

PROPOSED

VILLAS

AT

TRES

LAGOS

PHASE I

PH

SUBDIVISION MAP OF VILLAS AT LAS PALMAS PHASE I SUBDIVISION

BEING A SUBDIVISION OF 6.526 ACRES SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS

METES AND BOUNDS DESCRIPTION:

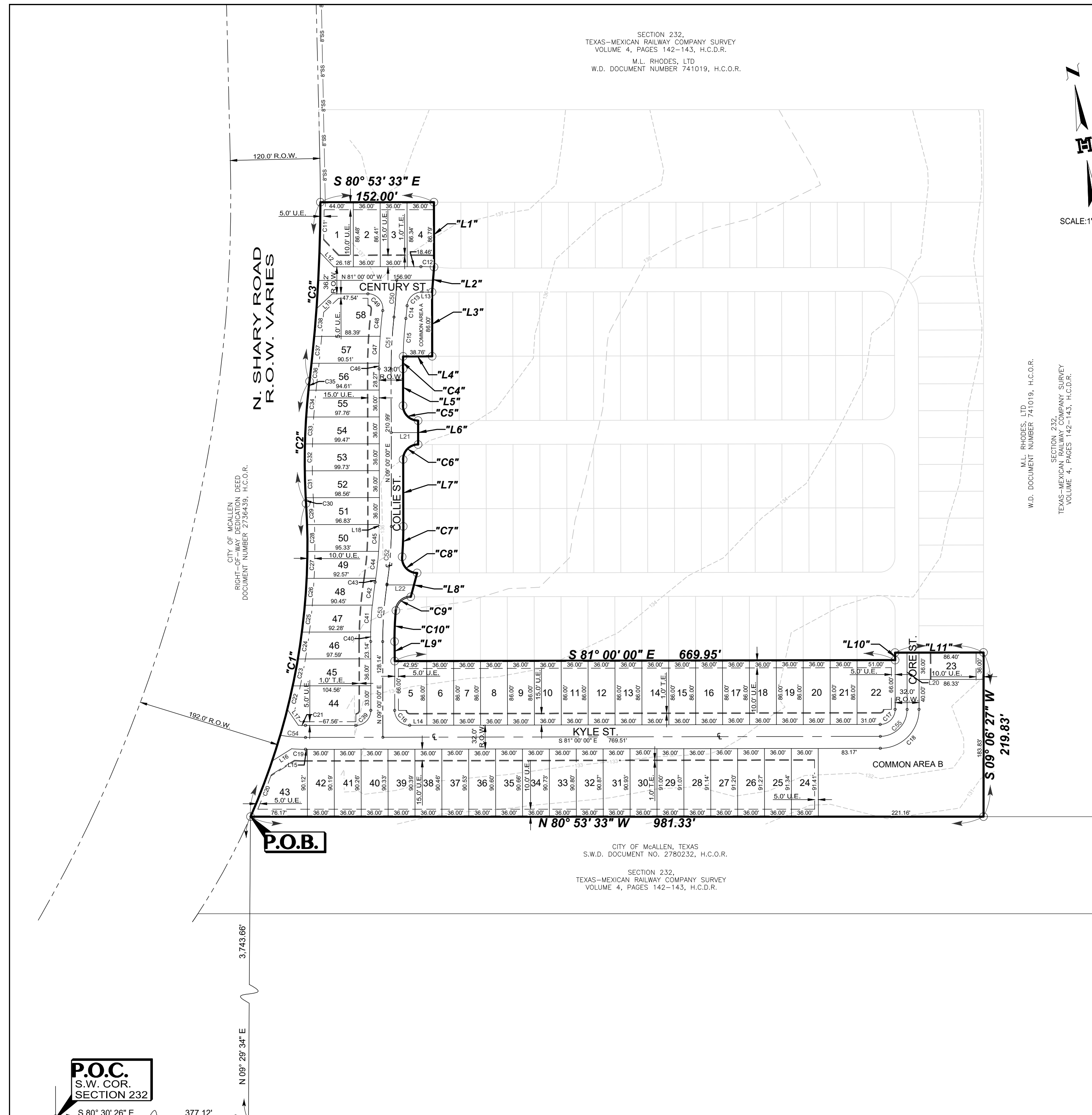
A TRACT OF LAND CONTAINING 6.526 ACRES SITUATED IN THE CITY OF McALLEN, COUNTY OF HIDALGO, TEXAS, BEING OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PATENT RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS, SAID 6.526 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO ML RHODES, LTD. BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 741019, HIDALGO COUNTY OFFICIAL RECORDS, SAID 6.526 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF SAID SECTION 232 AND THE SOUTHEAST CORNER OF SECTION 227, OF SAID TEXAS-MEXICAN RAILWAY COMPANY SURVEY AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF 9 MILE LINE ROAD;

THENCE, S 80° 30' 26" E ALONG THE SOUTH LINE OF SAID SECTION 232, AND WITHIN THE RIGHT-OF-WAY OF 9 MILE LINE ROAD, A DISTANCE OF 377.12 FEET TO A POINT BEING ON THE SOUTH LINE OF SAID SECTION 232;

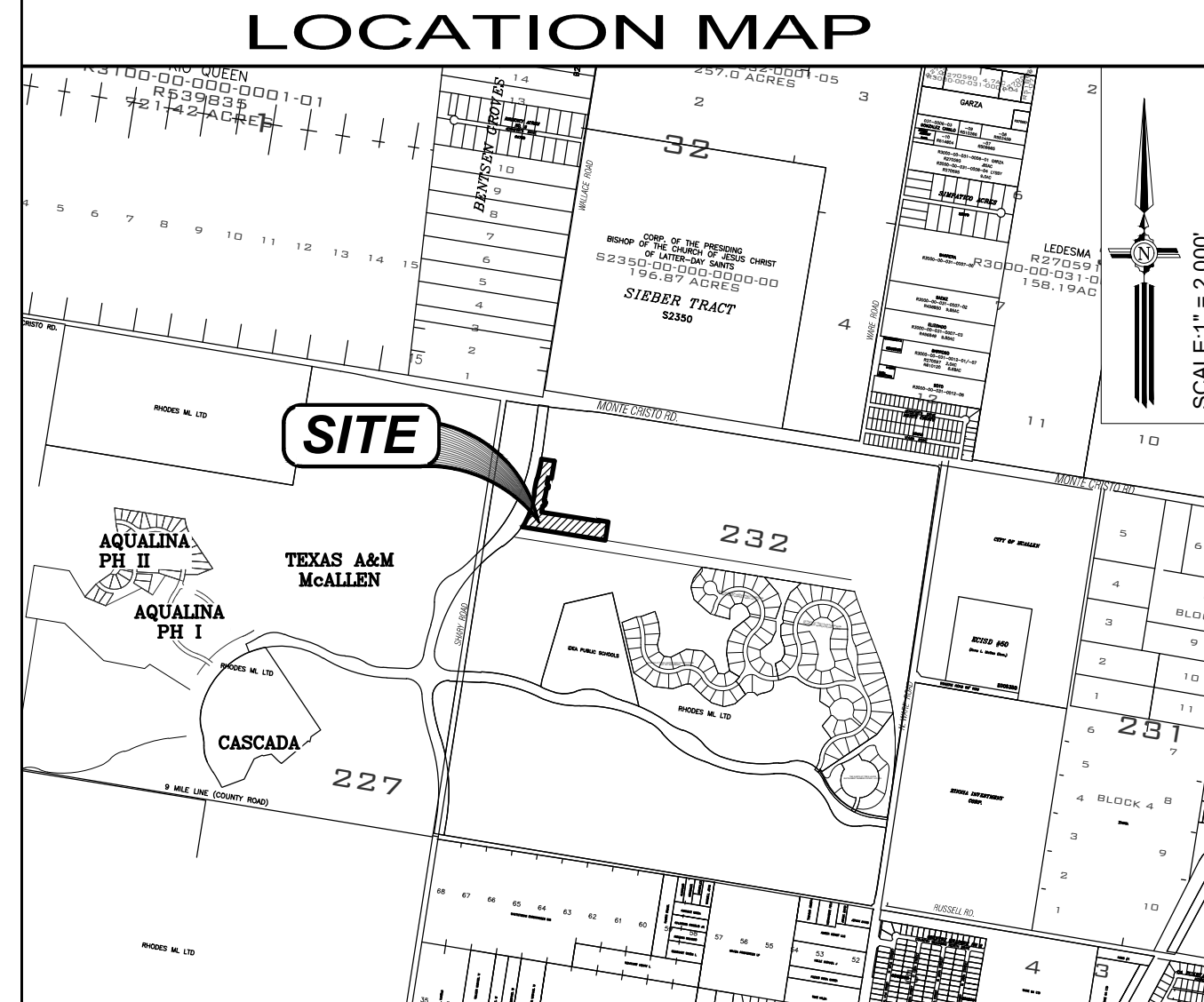
THENCE, N 09° 29' 34" E A DISTANCE OF 3,743.66 FEET TO A NO. 4 REBAR SET (NORTHING: 16651867.285, EASTING: 1063209.877) ON THE SOUTHWEST CORNER OF SAID CERTAIN TRACT CONVEYED TO ML RHODES, LTD., FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, IN A NORTHEASTERLY DIRECTION, ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF N. SHARY ROAD, ALONG A CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 27° 22' 15", A RADIUS OF 900.10 FEET, AN ARC LENGTH OF 429.99 FEET, A TANGENT OF 219.16 FEET, AND A CHORD THAT BEARS N 19° 10' 23" E A DISTANCE OF 425.91 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
2. THENCE, IN A NORTHEASTERLY DIRECTION, ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF N. SHARY ROAD, ALONG A CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 10° 26' 20", A RADIUS OF 900.00 FEET, AN ARC LENGTH OF 163.97 FEET, A TANGENT OF 82.21 FEET, AND A CHORD THAT BEARS N 10° 42' 22" E A DISTANCE OF 163.75 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
3. THENCE, IN A NORTHEASTERLY DIRECTION, ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF N. SHARY ROAD, ALONG A CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 06° 41' 07", A RADIUS OF 2,060.00 FEET, AN ARC LENGTH OF 240.36 FEET, A TANGENT OF 120.32 FEET, AND A CHORD THAT BEARS N 12° 34' 59" E A DISTANCE OF 240.22 FEET TO A NO. 4 REBAR SET, FOR THE NORTHWEST CORNER OF THIS TRACT;
4. THENCE, S 80° 53' 33" E A DISTANCE OF 152.00 FEET TO A NO. 4 REBAR SET, FOR THE NORTHEAST CORNER OF THIS TRACT;
5. THENCE, S 09° 00' 00" W A DISTANCE OF 86.79 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
6. THENCE, S 13° 42' 48" W A DISTANCE OF 33.70 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
7. THENCE, S 09° 00' 00" W A DISTANCE OF 86.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
8. THENCE, N 81° 00' 00" W A DISTANCE OF 38.76 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
9. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 01° 38' 29", A RADIUS OF 584.00 FEET, AN ARC LENGTH OF 16.73 FEET AND A CHORD THAT BEARS S 09° 49' 15" W A DISTANCE OF 16.73 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
10. THENCE, S 09° 00' 00" W A DISTANCE OF 49.27 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
11. THENCE, IN A NORTHEASTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 90° 00' 00", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 31.42 FEET, A TANGENT OF 20.00 FEET AND A CHORD THAT BEARS S 36° 00' 00" E A DISTANCE OF 28.28 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
12. THENCE, S 09° 00' 00" W A DISTANCE OF 32.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
13. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 90° 00' 00", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 31.42 FEET, A TANGENT OF 20.00 FEET AND A CHORD THAT BEARS S 54° 00' 00" E A DISTANCE OF 28.28 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
14. THENCE, S 09° 00' 00" W A DISTANCE OF 89.72 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
15. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 04° 31' 26", A RADIUS OF 516.00 FEET, AN ARC LENGTH OF 40.74 FEET, A TANGENT OF 20.38 FEET AND A CHORD THAT BEARS S 11° 15' 43" W A DISTANCE OF 40.73 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
16. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 04° 31' 26", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 33.00 FEET, A TANGENT OF 21.64 FEET AND A CHORD THAT BEARS S 33° 44' 17" E A DISTANCE OF 29.38 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
17. THENCE, S 23° 59' 07" W A DISTANCE OF 33.13 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
18. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 85° 04' 18", A RADIUS OF 20.00 FEET, AN ARC LENGTH OF 29.70 FEET, A TANGENT OF 20.83 FEET AND A CHORD THAT BEARS S 11° 27' 51" W A DISTANCE OF 27.04 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
19. THENCE, IN A SOUTHWESTERLY DIRECTION, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 04° 55' 42", A RADIUS OF 484.00 FEET, AN ARC LENGTH OF 41.63 FEET, A TANGENT OF 20.83 FEET AND A CHORD THAT BEARS S 11° 27' 51" W A DISTANCE OF 41.62 FEET TO A NO. 4 REBAR SET, FOR AN ANGLE POINT OF THIS TRACT;
20. THENCE, S 09° 00' 00" W A DISTANCE OF 26.14 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
21. THENCE, S 81° 00' 00" E A DISTANCE OF 669.95 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
22. THENCE, N 09° 00' 00" E A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
23. THENCE, S 81° 00' 00" W A DISTANCE OF 118.40 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;
24. THENCE, S 09° 06' 27" W A DISTANCE OF 219.83 FEET TO A NO. 4 REBAR SET ON THE NORTH LINE OF A CERTAIN TRACT CONVEYED TO THE CITY OF McALLEN, BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2780232, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE SOUTHEAST CORNER OF THIS TRACT;
25. THENCE, N 80° 53' 33" W ALONG THE NORTH LINE OF SAID CERTAIN TRACT CONVEYED TO CITY OF McALLEN, A DISTANCE OF 981.33 FEET TO THE POINT OF BEGINNING, AND CONTAINING 6.526 ACRES OF LAND, MORE OR LESS.



LEGEND & ABBREVIATIONS

- FOUND NO. 4 REBAR
- SET NO. 4 REBAR W/PLASTIC
- CAP STAMPED MELDEN & HUNT
- CURVE PC AND PT
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- R.O.W. - RIGHT-OF-WAY
- S.W. COR. - SOUTHWEST CORNER
- SQ.FT. - SQUARE FEET
- H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
- H.C.D.D. - HIDALGO COUNTY DRAINAGE DISTRICT
- U.E. - UTILITY EASEMENT
- T.E. - TECHNOLOGY EASEMENT



DRAWN BY: J.L.G. A.H. DATE: 01-20-2025
 SURVEYED, CHECKED: DATE: _____
 FINAL CHECK: DATE: _____

MELDEN & HUNT, INC.
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
 PH: (956) 381-0981 - FAX: (956) 381-1839
 ESTABLISHED 1947 - www.meldenandhunt.com

FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

SUBDIVISION MAP OF VILLAS AT LAS PALMAS PHASE I SUBDIVISION

BEING A SUBDIVISION OF 6.526 ACRES SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
"C1"	027° 22' 15"	900.10	429.90	219.18	N19° 10' 23"E	425.91'
"C2"	010° 26' 20"	900.00	163.97	82.21	S10° 42' 22"W	163.75'
"C3"	006° 41' 07"	2,060.00	240.36	120.32	N12° 34' 59"E	240.22'
"C4"	001° 38' 29"	884.00	16.73	8.37	S9° 49' 15"W	16.73'
"C5"	090° 00' 00"	20.00	31.42	20.00	S36° 00' 00"E	28.28'
"C6"	090° 00' 00"	20.00	31.42	20.00	S54° 00' 00"W	28.28'
"C7"	004° 31' 26"	516.00	40.74	20.38	S11° 15' 43"W	40.73'
"C8"	094° 31' 26"	20.00	33.00	21.64	S33° 44' 17"E	28.38'
"C9"	085° 04' 18"	20.00	29.70	18.35	S56° 27' 51"W	27.04'
"C10"	004° 55' 42"	484.00	41.63	20.83	S11° 27' 51"W	41.62'

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C11	001° 51' 08"	2,060.00	66.59	33.30	N10° 09' 59"E	66.59'
C12	003° 21' 00"	300.10	17.55	8.76	N79° 19' 30"W	17.54'
C13	084° 56' 27"	20.00	29.65	18.31	S66° 31' 46"W	27.01'
C14	001° 35' 01"	616.00	17.03	8.51	N14° 51' 03"E	17.02'
C15	005° 00' 05"	584.00	50.98	25.50	S13° 06' 31"W	50.96'
C16	090° 00' 00"	20.00	31.42	20.00	S36° 00' 00"E	28.28'
C17	090° 00' 00"	20.00	31.42	20.00	N54° 00' 00"E	28.28'
C18	046° 11' 13"	52.00	41.92	22.17	N75° 54' 24"E	40.79'
C19	004° 58' 41"	216.00	18.77	9.39	S78° 30' 39"E	18.76'
C20	005° 05' 19"	900.10	79.94	40.00	N30° 18' 52"E	79.91'
C21	002° 58' 22"	184.00	9.55	4.77	S79° 30' 49"E	9.55'
C22	002° 02' 45"	900.10	32.14	16.07	N22° 09' 00"E	32.14'
C23	002° 20' 04"	900.10	36.67	18.34	N19° 57' 35"E	36.67'
C24	002° 19' 05"	900.10	36.42	18.21	N17° 38' 01"E	36.41'
C25	002° 18' 21"	900.10	36.22	18.11	N15° 19' 19"E	36.22'
C26	002° 17' 51"	900.10	36.09	18.05	N13° 01' 13"E	36.09'
C27	002° 17' 34"	900.10	36.02	18.01	N10° 43' 31"E	36.02'
C28	002° 17' 31"	900.10	36.00	18.00	N8° 25' 58"E	36.00'
C29	001° 47' 58"	900.10	28.27	14.13	N6° 23' 14"E	28.27'
C30	000° 29' 42"	900.00	7.78	3.89	S5° 44' 03"W	7.78'
C31	002° 17' 36"	900.00	36.02	18.01	S7° 07' 42"W	36.02'
C32	002° 17' 31"	900.00	36.00	18.00	S9° 25' 16"W	36.00'
C33	002° 17' 40"	900.00	36.04	18.02	S11° 42' 52"W	36.04'
C34	002° 18' 03"	900.00	36.14	18.07	S14° 00' 43"W	36.14'
C35	000° 45' 47"	900.00	11.99	5.99	S15° 32' 38"W	11.99'
C36	000° 40' 28"	2,060.00	24.25	12.13	N15° 35' 18"E	24.25'
C37	001° 00' 23"	2,060.00	36.18	18.09	N14° 44' 52"E	36.18'
C38	001° 01' 52"	2,060.00	37.07	18.54	N13° 43' 45"E	37.07'
C39	090° 00' 00"	20.00	31.42	20.00	N54° 00' 00"E	28.28'
C40	001° 25' 42"	516.00	12.86	6.43	S9° 42' 51"W	12.86'
C41	004° 00' 19"	516.00	36.07	18.04	S12° 25' 52"W	36.06'
C42	003° 26' 00"	516.00	30.92	15.46	S16° 09' 01"W	30.91'
C43	000° 38' 15"	484.00	5.39	2.69	N17° 32' 53"E	5.39'
C44	004° 17' 13"	484.00	36.21	18.11	N15° 05' 09"E	36.20'
C45	003° 56' 33"	484.00	33.30	16.66	N10° 58' 17"E	33.30'
C46	000° 43' 08"	616.00	7.73	3.86	S9° 21' 34"W	7.73'
C47	003° 21' 07"	616.00	36.04	18.02	S11° 23' 41"W	36.03'
C48	003° 12' 45"	616.00	34.54	17.27	S14° 40' 37"W	34.53'
C49	097° 16' 59"	20.00	33.96	22.72	N32° 21' 30"W	30.02'

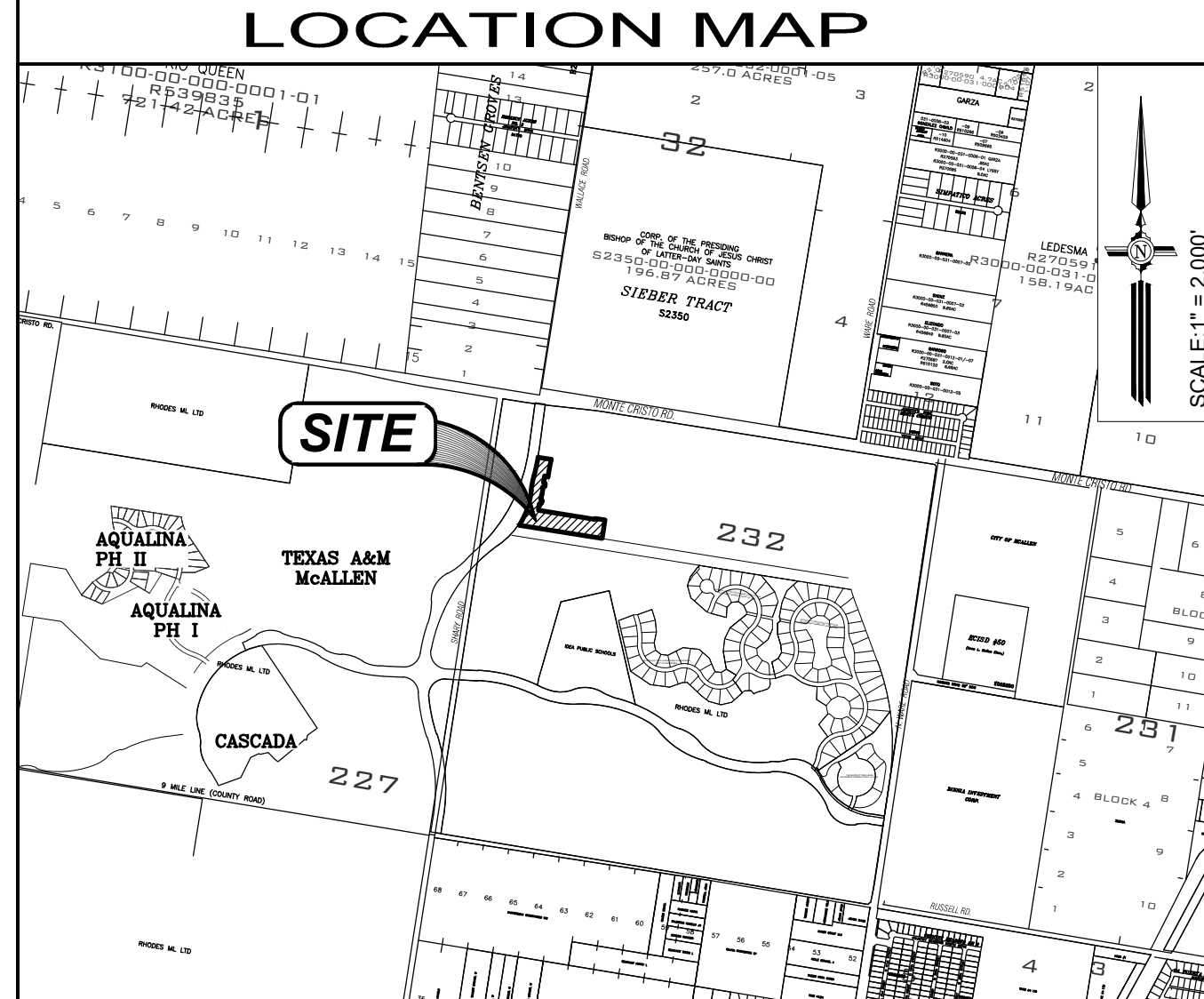
Lot #	SQ. FT.	Area
1	3675.31	0.084
2	3112.01	0.071
3	3108.58	0.071
4	3110.15	0.071
5	3607.94	0.083
6	3607.94	0.083
7	3607.94	0.083
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39	3607.94	0.083
40	3607.94	0.083
41	3607.94	0.083
42	3607.94	0.083
43	3607.94	0.117
44	5662.04	0.128
45	3634.11	0.083
46	3411.02	0.078
47	3277.26	0.075
48	3283.30	0.075
49	3385.98	0.078
50	3462.34	0.079
51	3513.64	0.081
52	3573.60	0.082
53	3690.01	0.082
54	3554.54	0.082
55	3467.02	0.080
56	3330.97	0.076
57	3211.85	0.074
58	4744.31	0.109

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C50	004° 43' 28"	600.00	49.47	24.75	N13° 16' 50"E	49.46'
C51	006° 38' 34"	600.00	69.56	34.82	S12° 19' 17"W	69.52'
C52	008° 52' 01"	500.00	77.38	38.77	N13° 28' 00"E	77.30'
C53	008° 52' 01"	500.00	77.38	38.77	S13° 28' 00"W	77.30'
C54	009° 44' 45"	200.00	34.02	17.05	S76° 07' 37"E	33.98'
C55	090° 00' 00"	36.00	56.55	36.00	N54° 00' 00"E	50.91'

Line #	Length	Direction
"L1"	66.79	S09° 00' 00"W
"L2"	33.70	S13° 42' 48"W
"L3"	86.00	S09° 00' 00"W
"L4"	38.76	N81° 00' 00"W
"L5"	49.27	S09° 00' 00"W
"L6"	32.00	S09° 00' 00"W
"L7"	89.72	S09° 00' 00"W
"L8"	33.13	S23° 59' 07"W
"L9"	26.14	S09° 00' 00"W
"L10"	10.00	N09° 00' 00"E
"L11"	118.40	S81° 00' 00"E

Line #	Length	Direction
L12	27.69	N34° 49' 53"W
L13	13.42	S81° 00' 00"E
L14	22.95	N81° 00' 00"W
L15	2.33	S81° 00' 00"E
L16	30.75	N66° 53' 00"E
L17	26.05	N25° 33' 02"W
L18	2.72	S09° 00' 00"W
L19	29.24	N55° 58' 04"E

Line #	Length	Direction
L20	76.00	N09° 00' 00"E
L21	36.00	N81° 00' 00"W
L22	36.21	N81° 00' 00"W



DRAWN BY: J.L.G./L.H. DATE: 01-20-2025
 SURVEYED, CHECKED: _____ DATE: _____
 FINAL CHECK: _____ DATE: _____

M MELDEN & HUNT INC.
 CONSULTANTS • ENGINEERS • SURVEYORS
 115 W. McINTYRE - EDINBURG, TX 78541
 PH: (956) 381-0981 - FAX: (956) 381-1839
 ESTABLISHED 1947 - www.meldenandhunt.com

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, WE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS VILLAS AT LAS PALMAS SUBDIVISION, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREET(S), ALLEYS(S), AND EASEMENT(S) THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN, TO THE EMPLOYEES OR THE UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC, A PORTION OF TRES LAGOS BOULEVARD FOR THE USE STREET RIGHT AWAY DEDICATED TO THE CITY OF McALLEN BY THIS PLAT.

RHODES DEVELOPMENT, INC. DATE: _____
 FORMERLY: RHODES ENTERPRISES
 NICK RHODES, PRESIDENT
 200 S. 10TH ST., STE. 1700
 McALLEN, TEXAS 78501
 HIDALGO COUNTY, TEXAS

**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICK RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

NOTARY PUBLIC, STATE OF TEXAS
 MY COMMISSION EXPIRES: _____

CITY SECRETARY _____ DATE _____

TRES LAGOS PUBLIC IMPROVEMENT DISTRICT HEREBY CERTIFIES AND APPROVES THIS PLAT AND ACCEPTS RESPONSIBILITIES AND NOTES INDICATED HEREIN.

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

NICK RHODES
 CHAIRMAN OF PUBLIC IMPROVEMENT DISTRICT
 200 S. 10TH ST., STE. 1700
 McALLEN, TEXAS 78501
 HIDALGO COUNTY, TEXAS
 DATE: _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER, AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
 GENERAL MANAGER _____ DATE _____

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST:
 PRESIDENT _____ SECRETARY _____

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE VILLAS AT LAS PALMAS PHASE I SUBDIVISION LOCATED AT CITY OF McALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.
 DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION _____ DATE _____

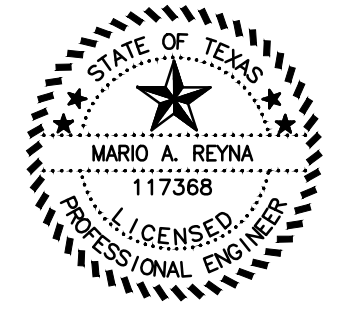
THE STATE OF TEXAS §
 COUNTY OF HIDALGO §

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY ME OR UNDER MY SUPERVISION.

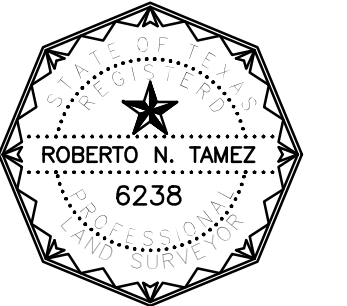
DATED THIS THE _____ DAY OF _____, 20____.

ROBERTO N. TAMEZ REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238
 STATE OF TEXAS
 DATE SURVEYED: 09/30/2024
 T- PG.
 SURVEYING JOB No. 24136.08

MELDEN & HUNT, INC.
 TEXAS REGISTRATION F-1435



MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
 STATE OF TEXAS
 DATE PREPARED: 01/20/2025
 ENGINEERING JOB # 24136.00



FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY



Reviewed On: 2/14/2025

SUBDIVISION NAME: VILLAS AT LAS PALMAS SUBDIVISION PHASE I

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

<p>N. Shary Road: 60 ft. from centerline for 120 ft.- 192 ft. ROW Paving: 65 ft. Curb & gutter: both sides Revisions needed: - Show and label centerline and existing ROW on both sides to verify compliance prior to final. - Show the existing ROW at multiple points to clarify that minimum 120 ft. ROW exists along this property, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Non-compliance</p>
<p>Interior Streets: 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides Revisions needed: - Submitted application indicates single-family development which requires 50 ft. ROW. Revise the plat to show minimum 50 ft. ROW and for interior streets, and revise the lots layout to comply with minimum lot size as pre agreement, prior to final. - Paved temporary turn around and escrow will be needed at the end of the interior street between Lots 22 and 23 prior to final. If it is outside the boundary of the subdivision, it must be by a separate instrument. - Add a knuckle at Common Area B prior to final. - Street names will be finalized prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p> <p>*** The project engineer submitted a variance application (VAR2025-0006) to request 32 ft. ROW and paving for interior streets with 10 ft. sidewalk and utility easements on both sides. - The submitted variance letter indicates that this subdivision will be a private townhouse subdivision; however, the subdivision application proposes a public single-family subdivision. Clarify and revise the application and finalize the zoning prior to final. If private subdivision is proposed, show additional ROW at gate area (60-65 ft. ROW) and submit gate details prior to final.</p>	<p>Non-compliance</p>
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Applied</p>
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 900 ft. Block Length for R-3T and R-3C Zone Districts - 1200 ft. block length applies to the subdivision since the application states the property will be rezoned from R-3A to R-1. 900 Block length will be applicable if rezoned to R-3T or R-3C. **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for multifamily and commercial properties - The alley requirement applies to the current zone (R-3A). If the property is rezoned to R-1 zone, as indicated on the application, and the lots layout is revised to comply with minimum lot size as per agreement, then alley does not apply. Finalize the zoning prior to final. - Must comply with Public Works Department's requirements prior to final. **Subdivision Ordinance: Section 134-106</p>	Required
SETBACKS	
<p>* Front (proposing): 20 ft. or greater for easements - Finalize the zoning requirement to finalize the setback requirements prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Rear (proposing): 11 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Interior Sides (Proposing): 5 ft. or greater for easements **The proposed subdivision complies with minimum setback requirements, as per agreement. **Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Required
	Applied
	Applied
	Applied
	Applied
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on N. Shary Road. City Ordinance will not apply for interior street sidewalk, provided a sidewalk having at least an adequate width for pedestrian and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit of development, per agreement. - Add a sidewalk note for N. Shary Road. **Minimum 4 ft. sidewalk required on N. Shary Road. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Shary Road. Revisions Needed: - Revise plat note #8 as shown above, prior to final. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Non-compliance
	Applied
	Applied

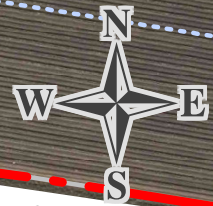
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>* No curb cut, access, or lot frontage permitted along N. Shary Road. - Add a plat note as shown above prior to final. **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Finalize the zoning to finalize the requirement prior to final.</p> <p>* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen. - As per the application the subdivision is public subdivision. Clarify/remove the reference to "gate areas" from plat note #20 prior to final. - Revise the application and submit gate details prior to final, if private subdivision is proposed.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Public Improvement District (PID) / Developer / Homeowner's Association / Owners, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Non-compliance
	Required
	Non-compliance
	NA
	Applied
	Applied
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area - The current zone is R-3A. As per the submitted application, this is a single-family development and will be rezoned to R-1 District. The lots width complies to the agreement requirement. However, the lot area does not comply with minimum lot size as per the agreement. Revise the layout and finalize the zoning prior to final. **Zoning Ordinance: Section 138-356</p>	Applied
	Non-compliance
ZONING/CUP	
<p>* Existing: R-3A Proposed: R-1 - The zoning must be finalized prior to final. ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Required
	Required
PARKS	
<p>* Land dedication in lieu of fee. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Master Trip Generation is required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Rezoning must be submitted and finalized prior to final. - Revise the layout to comply with the minimum lot size as per agreement. - Legal description of all adjacent lots will be needed prior to final, including the west side of N. Shary Road. - Submit a master layout including the future phases with the proposed lot numbering prior to final as some lot numbers seem to be out of the order. - Remove the lot layout for future phases from this plat prior to final as the future phases are not recorded. <p>*Must comply with City’s Access Management Policy.</p> <p>*** The project engineer submitted a variance application (VAR2025-0006) to request 32 ft. ROW and paving for interior streets with 10 ft. sidewalk and utility easements on both sides.</p> <ul style="list-style-type: none"> - The submitted variance letter indicates that this subdivision will be a private townhouse subdivision; however, the subdivision application proposes a public single-family subdivision. Clarify and revise the application and finalize the zoning prior to final. If private subdivision is proposed, show additional ROW at gate area (60-65 ft. ROW) and submit gate details prior to final. 	Non-compliance
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL, AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCE.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



MONTE CRISTO RD

LOCATION

ROAD (ABND ORD NO:)

TEX-BEST AT TRES LAGOS SUBDIVISION

PROPOSED STOLPA STATION SUBDIVISION

LOT 1

PROPOSED

VILLAS

SHARY RD


AT

TRES

LAGOS

PHASE I

PH



City of McAllen

Planning Department


SUB2024-0117

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Enclave on Jackson</u>
	Legal Description <u>8.168 +/- out of Block 5, of A.J McColl Subdivision , Volume 21, Page 597-598 Hidalgo County , Texas</u>
	Location <u>N Jackson Rd</u>
	City Address or Block Number <u>2613 North Jackson Road</u>
	Total No. of Lots <u>80</u> Total Dwelling Units <u>78</u> Gross Acres <u>8.168</u> Net Acres <u>8.168</u>
	<input type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input checked="" type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>80</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No
	Existing Zoning <u>AO&C3</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Town Homes</u>
	Irrigation District # <u>HCID #2</u> Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other <u> </u>
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>231040</u>	
Estimated Rollback Tax Due <u> </u> Tax Dept. Review <u> </u>	
Owner	Name <u>Ronald M. Beamsley Family Trust & Dorothy M. Beamsley Living Trust</u> Phone <u>c/o 956-381-0981</u>
	Address <u>2613 N Jackson Rd</u> E-mail <u>mlopez@urbancitytx.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>
Developer	Name <u>Vista Property Investment LLC</u> Phone <u>c/o 956-381-0981</u>
	Address <u>601 Pecan, Suite 150</u> E-mail <u>mlopez@urbancitytx.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>
	Contact Person <u>Marco Lopez</u>
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street, Edinburg, Texas 784</u> E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and valeria@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>
	Contact Person <u>Mario A. Reyna, P.E., Beto De La Garza, and Valeria Garza</u>
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street, Edinburg, Texas 784</u> E-mail <u>robert@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>

RECEIVED
 OCT 28 2024
 By NG

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application	<p style="text-align: center;"><u>In Person Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps - 2 8 ½" by 11" copies/legible copies of plat with name & north arrow - 6 Folded blue-line prints of the proposed plat - 2 Warranty Deeds (identifying owner on application) - AutoCAD 2005 DWG file and PDF of plat - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation (if applicable) 	<p style="text-align: center;"><u>Email Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - Sealed Survey - Location Map - Plat & Reduced Plat - Warranty Deed - DWG File - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation, if applicable <p><small>*Documents must be submitted in separate PDF files. <u>Each file must be less than 20 MB.</u> No scanned documents*</small></p> <p><small>*Submit documents to subdivisions@mcallen.net</small></p> <p style="text-align: center;">*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL*</p>
	<p>PLAT TO SHOW:</p> <ul style="list-style-type: none"> - Metes and bounds - Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts - Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines - North arrow, scale and vicinity map - Name & dimension of adjoining street ROWs (total width & width from centerline) <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net</small></p>	
Owner(s) Signature(s)	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>10/25/2024</u></p> <p>Print Name <u>Mario A. Reyna, P.E.</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p style="text-align: center;"><small>The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion</small></p>	



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS
MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

January 23, 2025

City of McAllen Planning Dept.
Attn: Luis Mora, Interim Director
311 N. 15th St.
McAllen, TX 78501

Re: ENCLAVE ON JACKSON SUBDIVISION (Private Subdivision) – Variance Request to City of McAllen

Dear Mr. Mora:

On behalf of the developer, we respectfully request a variance for the following items.

1. **N. JACKSON ROAD ROW DEDICATION:**

Requirement: 75 ft. from centerline for 150 ft. total ROW

Proposal: The developer is requesting to only dedicate 10 ft. of ROW for 60 ft. from centerline for a total ROW of 120 ft. All subdivisions in the area only dedicated ROW for 60' from centerline, therefore, dedicating ROW for 150' will not be feasible since most areas along Jackson Road have been developed. RGVMPO Map categorizes.

2. **BLOCK LENGTH:**

Requirement: Max. allowed 1,200 ft.

Proposal: The east/west block length is 1,300 ft. approximately. This subdivision is proposed to be private, and they will have their main access off Sprague Road, and an exit gate off N. K Center Street.

3. **INTERNAL ROW AND PAVING WIDTH:**

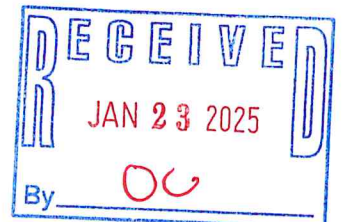
Requirement: 60 ft. ROW/ 40 ft. paving

Proposal: 50 ft. ROW/ 40 ft. paving with 10 ft. sidewalks and utility easements along both sides of the internal road. This will be a private subdivision, and all roads will be maintained by HOA.

Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

Mario A. Reyna, P.E.
President
Melden & Hunt, Inc.

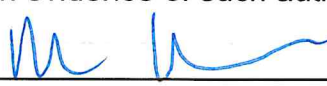


VAR 2025-0002



City of McAllen Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	<p>Legal Description <u>7.721 acres, being a part or portion out of Lot 2, Block 5, of A.J McColl Subdivision, Volume 21, Page 597-598, H.C.D.R., City of McAllen, Hidalgo County, Texas.</u></p> <p>Street Address <u>2613 North Jackson Road</u></p> <p>Number of lots <u>80</u> Gross acres <u>7.721</u></p> <p>Existing Zoning <u>R-3T</u> Existing Land Use <u>Vacant</u></p> <p><input checked="" type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required</p>
Applicant	<p>Name <u>Vista Property Investment LLC</u> Phone <u>c/o 956-381-0981</u></p> <p>Address <u>601 Pecan, Suite 150</u> E-mail <u>mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p>
Owner	<p>Name <u>Ronald M. Beamsley Family Trust & Dorothy M. Beamsley Living Trust</u> Phone <u>c/o 956-381-0981</u></p> <p>Address <u>2613 N Jackson Rd</u> E-mail <u>mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p>
Authorization	<p>To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>January 23, 2025</u></p> <p>Print Name <u>Mario A. Reyna, P.E.</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent</p>
Office	<p>Accepted by <u>RF</u> Payment received by _____ Date _____</p> <p>Rev 10/18</p> <div data-bbox="1396 1701 1591 2026" style="border: 2px solid blue; padding: 5px; display: inline-block;"> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">RECEIVED</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">JAN 23 2025</p> </div>



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Please view attached letter.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

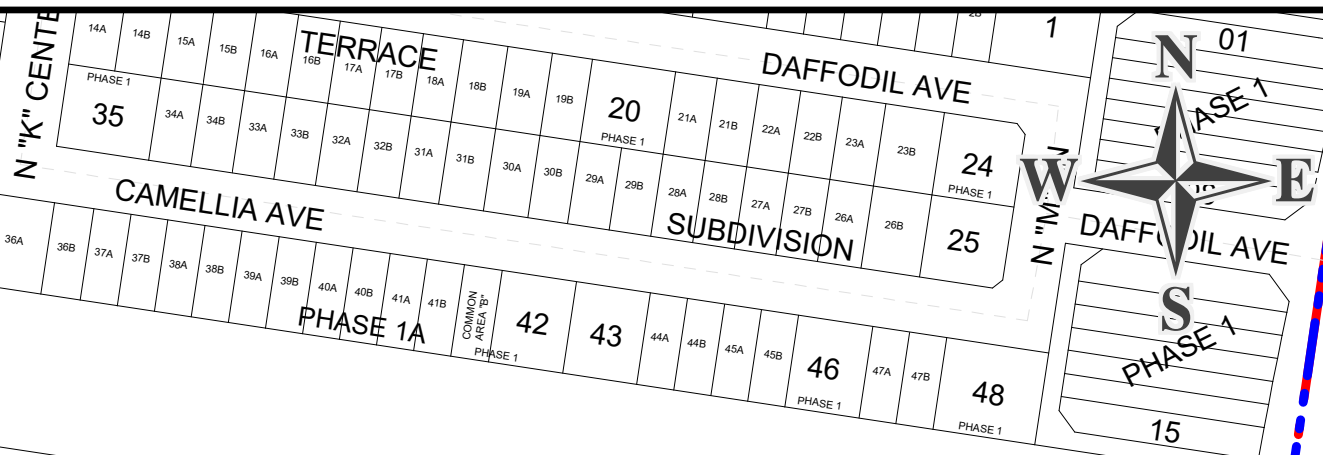
Please view attached letter.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

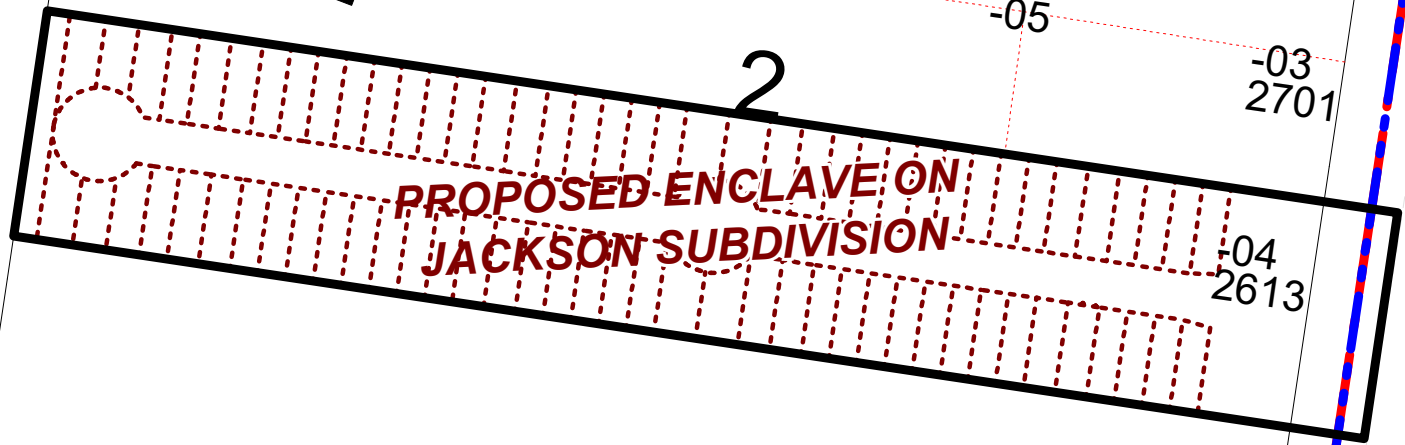
The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen.



LOCATION



PROPOSED ENCLAVE ON JACKSON SUBDIVISION

2

5

2721

-05

-03
2701

-04
2613

-00
2601

-01
2501

1109

-10

JACKSON RD

LA VISTA AVE

EXPANSION

LA VISTA ACRES

SUBDIVISION MAP OF ENCLAVE ON JACKSON SUBDIVISION

(A PRIVATE SUBDIVISION)

BEING A SUBDIVISION OF A 7.721 ACRES OF LAND SITUATED IN
THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART
OR PORTION OUT OF LOT 2, BLOCK 5, A.J. MCCOLL SUBDIVISION,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21,
PAGE 579-598, HIDALGO COUNTY DEED RECORDS.

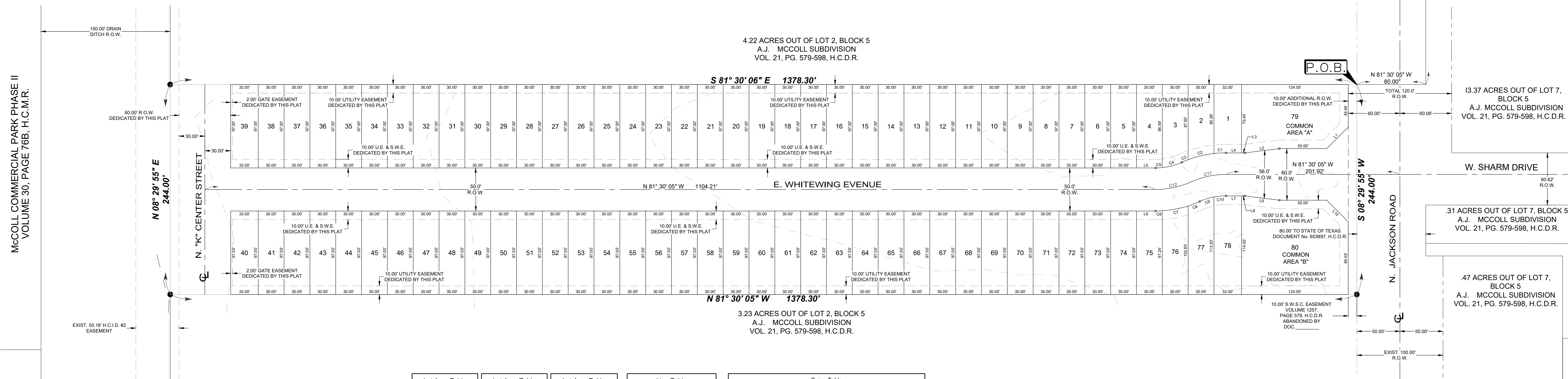
4.22 ACRES OUT OF LOT 2, BLOCK 5
A.J. MCCOLL SUBDIVISION
VOL. 21, PG. 579-598, H.C.D.R.

3.23 ACRES OUT OF LOT 2, BLOCK 5
A.J. MCCOLL SUBDIVISION
VOL. 21, PG. 579-598, H.C.D.R.

13.37 ACRES OUT OF LOT 7,
BLOCK 5
A.J. MCCOLL SUBDIVISION
VOL. 21, PG. 579-598, H.C.D.R.

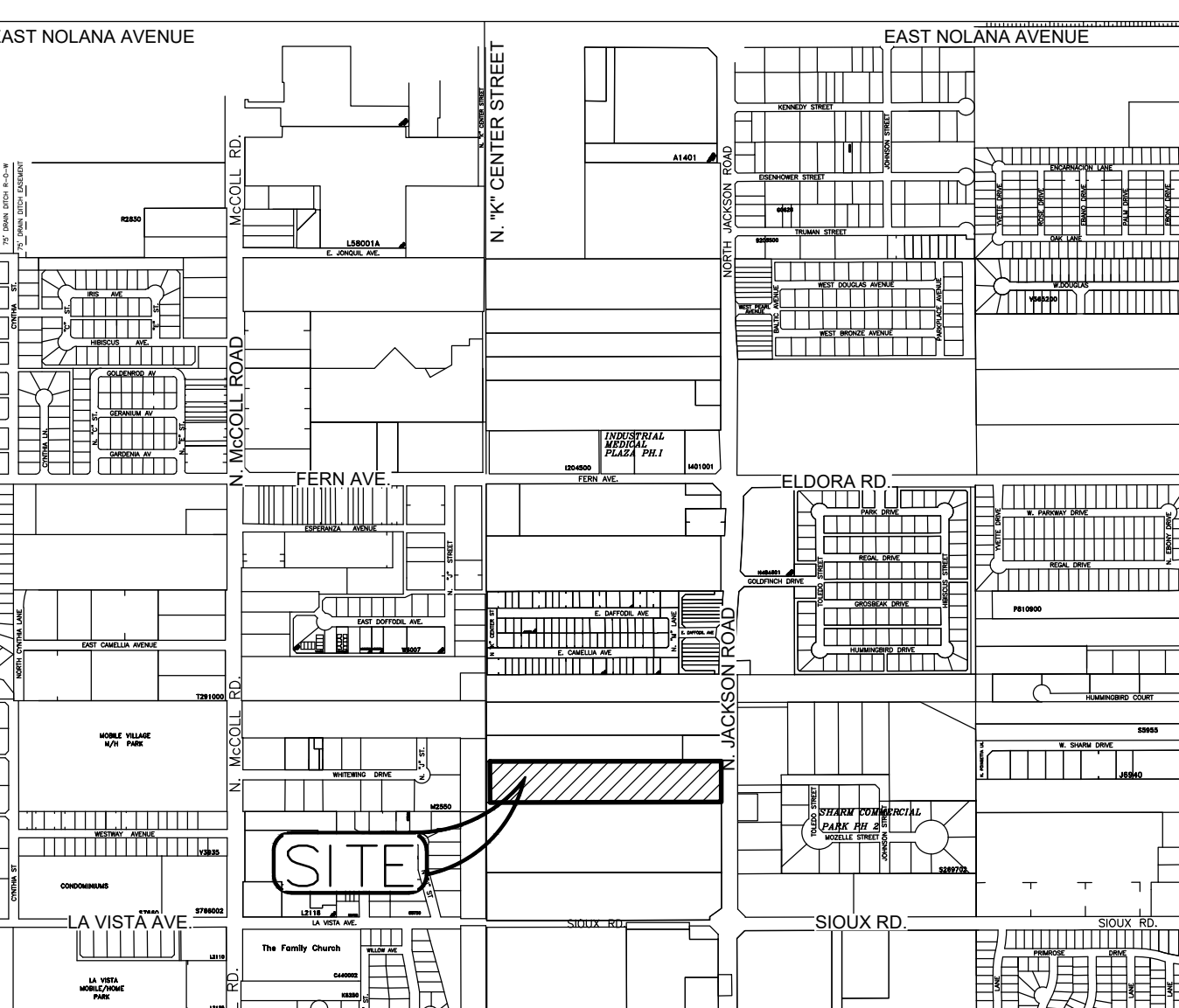
.31 ACRES OUT OF LOT 7, BLOCK 5
A.J. MCCOLL SUBDIVISION
VOL. 21, PG. 579-598, H.C.D.R.

.47 ACRES OUT OF LOT 7,
BLOCK 5
A.J. MCCOLL SUBDIVISION
VOL. 21, PG. 579-598, H.C.D.R.



DRAWN BY: JOSH F. DATE: 10-03-24
 REVISED BY: DATE:
 SURVEYED, CHECKED: DATE:
 FINAL CHECK: DATE:

LOCATION MAP
SCALE: 1"=1000'

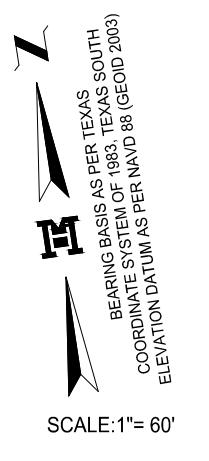


Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	2546.29	0.058	31	2910.00	0.067	61	2910.00	0.067
2	2496.69	0.057	32	2910.00	0.067	62	2910.00	0.067
3	2787.80	0.064	33	2910.00	0.067	63	2910.00	0.067
4	2908.95	0.067	34	2910.00	0.067	64	2910.00	0.067
5	2910.00	0.067	35	2910.00	0.067	65	2910.00	0.067
6	2910.00	0.067	36	2910.00	0.067	66	2910.00	0.067
7	2910.00	0.067	37	2910.00	0.067	67	2910.00	0.067
8	2910.00	0.067	38	2910.00	0.067	68	2910.00	0.067
9	2910.00	0.067	39	3104.00	0.071	69	2910.00	0.067
10	2910.00	0.067	40	3104.00	0.071	70	2910.00	0.067
11	2910.00	0.067	41	2910.00	0.067	71	2910.00	0.067
12	2910.00	0.067	42	2910.00	0.067	72	2910.00	0.067
13	2910.00	0.067	43	2910.00	0.067	73	2910.00	0.067
14	2910.00	0.067	44	2910.00	0.067	74	2910.00	0.067
15	2910.00	0.067	45	2910.00	0.067	75	2910.63	0.067
16	2910.00	0.067	46	2910.00	0.067	76	2982.33	0.068
17	2910.00	0.067	47	2910.00	0.067	77	3252.00	0.075
18	2910.00	0.067	48	2910.00	0.067	78	3659.18	0.084
19	2910.00	0.067	49	2910.00	0.067	79	9044.44	0.208
20	2910.00	0.067	50	2910.00	0.067	80	13394.84	0.308
21	2910.00	0.067	51	2910.00	0.067			
22	2910.00	0.067	52	2910.00	0.067			
23	2910.00	0.067	53	2910.00	0.067			
24	2910.00	0.067	54	2910.00	0.067			
25	2910.00	0.067	55	2910.00	0.067			
26	2910.00	0.067	56	2910.00	0.067			
27	2910.00	0.067	57	2910.00	0.067			
28	2910.00	0.067	58	2910.00	0.067			
29	2910.00	0.067	59	2910.00	0.067			
30	2910.00	0.067	60	2910.00	0.067			

Line #	Direction	Length
L1	N 53° 29' 38" E	35.36'
L2	S 88° 37' 52" E	40.17'
L3	S 81° 30' 05" E	4.18'
L4	S 81° 30' 05" E	17.87'
L5	S 81° 30' 05" E	22.21'
L6	S 81° 30' 05" E	22.21'
L7	S 81° 30' 05" E	17.87'
L8	S 81° 30' 05" E	3.90'
L9	S 74° 22' 52" E	40.45'
L10	N 36° 30' 35" W	35.35'

Curve #	Delta	Radius	Length	Tangent	Chord Length	Chord Direction
C1	000° 29' 29"	125.00'	14.16'	7.00'	14.15'	N 84° 44' 52" W
C2	014° 12' 58"	125.00'	30.94'	15.50'	30.80'	S 84° 54' 57" W
C3	003° 30' 18"	125.00'	7.60'	3.82'	7.60'	S 76° 04' 19" W
C4	018° 13' 12"	75.00'	23.80'	12.03'	23.75'	N 83° 20' 46" E
C5	005° 57' 34"	75.00'	7.80'	3.90'	7.80'	S 84° 20' 52" E
C6	003° 34' 11"	125.00'	7.79'	3.90'	7.79'	S 83° 17' 14" E
C7	014° 01' 20"	125.00'	30.60'	15.37'	30.52'	N 87° 54' 55" E
C8	008° 35' 02"	125.00'	14.30'	7.19'	14.36'	N 77° 36' 41" E
C9	013° 19' 00"	75.00'	17.43'	8.76'	17.39'	S 80° 58' 43" W
C10	010° 51' 30"	75.00'	14.22'	7.13'	14.20'	N 86° 55' 55" W

LEGEND
 ● FOUND No.4 REBAR
 ■ FOUND CONCRETE MONUMENT
 ○ SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 R.O.W. - RIGHT OF WAY
 H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
 N.W. COR. - NORTHWEST CORNER
 P.O.B. - POINT OF BEGINNING
 P.O.C. - POINT OF COMMENCEMENT
 D.B.P. - DEDICATED BY PLAT
 S.W.E. - SIDEWALK EASEMENT
 CL - CENTER LINE



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: RODNEY BEAMSLY	2613 NORTH JACKSON RD.	McALLEN, TEXAS 78501		
ENGINEER: MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: RUBEN JAMES DE JESUS, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

M MELDEN & HUNT INC.
 CONSULTANTS • ENGINEERS • SURVEYORS
 115 W. McINTYRE EDINBURG, TX 78541
 PH: (956) 381-0981 FAX: (956) 488-8591
 227 N. F.M. 3167 RIO GRANDE CITY, TX 78562
 PH: (956) 487-8256 FAX: (956) 488-8591
 ESTABLISHED 1947 www.meldenandhunt.com



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/14/2025

SUBDIVISION NAME: ENCLAVE ON JACKSON

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Jackson Road: Dedication needed for 75 ft. from centerline for 150 ft. total ROW
 Paving: By State Curb & gutter: by State
 Revisions needed:
 - Provide a copy of referenced documents for staff review prior to final.
 - Existing ROW in front of Common Area "A" is shown 120 ft. but 60 ft. on one side and 60.06 ft. on the other sides of the centerline. Submit documents and clarify the discrepancy or revise as applicable prior to final.
 - Show ROW dedication requirement as shown above prior to final.
 - Ensure that ROW complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Non-compliance

*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests:
 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW.
 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length.
 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving.

N/S quarter mile collector (on the west side): Dedication as needed for 60 ft. total ROW
 Paving: 40 ft. Curb & gutter: both sides
 Revisions needed:
 - Label the dimension of the sliver of land with HCID No.2 easement, shown on the west side of ROW dedication for the N/S collector, and clarify if it will be dedicated to the District prior to final.
 - Provide the document number for the HCID No. 2 easement on the plat and a copy for staff review prior to final.
 - Name of the street will be finalized prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Non-compliance

<p>Interior Street: Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: - Show the ROW dedication as shown above and the revise the layout to comply with block length prior to final. - Show the distance between the centerline of the proposed interior street and the existing street on the east side. It seems that the centerline shown on W. Sharm Street is not drawn on the center. Clarify and revise prior to final. As per Sec. 134-105, Street jogs with centerline offsets of less than 125 feet shall be avoided. - Name of the street will be finalized prior to final. - As per the submitted application, the subdivision will be private but not gated. Add "(Private Street)" label under the name of the interior street when finalized. If the subdivision is gated, the submitted application must be revised and gate details must be submitted for staff review prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p> <p>*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving.</p>	<p>Non-compliance</p>
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Applied</p>
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	<p>NA</p>
<p>* 900 ft. Block Length for R-3T & R-3C Zone Districts - Revise the layout to comply with the maximum block length requirement. **Subdivision Ordinance: Section 134-118</p> <p>*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving.</p> <p>* 600 ft. Maximum Cul-de-Sac - Revised layout does not show a cul-de-sac anymore. **Subdivision Ordinance: Section 134-105</p>	<p>Non-compliance</p>
<p>ALLEYS</p>	<p></p>
<p>ROW: 20 ft. Paving: 16 ft. - As per Public Works Department curbside collection was approved by Public Works Director subject to conditions. Must follow the conditions prior to final/recording. *Alley/service drive easement required for commercial and multifamily properties. **Subdivision Ordinance: Section 134-106</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<ul style="list-style-type: none"> * Front: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Rear: In accordance with the zoning ordinance or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance or greater for easements or approved site plan **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 5 ft. wide minimum sidewalk required on N. Jackson Road and 4 ft. wide minimum sidewalk required on both sides of all interior streets and N/S quarter mile collector as applicable. - Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. **Subdivision Ordinance: Section 134-120 	Required
<ul style="list-style-type: none"> * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses AND along N. Jackson Road and the quarter mile collector as applicable. - Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. **Landscaping Ordinance: Section 110-46 	Required
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along N. Jackson Road and the quarter mile collector as applicable. - Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. **Must comply with City Access Management Policy 	Required
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance for five or more attached dwelling units. **Section 138-210 requires that any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. - A site plan is recommended to be submitted prior to final to verify compliance with city codes including parking, landscaping, etc. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas, any private streets/drives, etc. must be maintained by the lot owners/HOA and not the City of McAllen. - Based on the submitted application, the subdivision is private but not gated. Clarify/remove any reference regarding gate areas from plat note #11 prior to final. - If the subdivision is gated, the submitted application must be revised and gate details must be submitted for staff review prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Submit a copy of the draft HOA document prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Non-compliance</p>
	<p>NA</p>
	<p>Applied</p>
	<p>Required</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public/private streets **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: A-O & C-3 Proposed: R-3T - Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final. ***Zoning Ordinance: Article V</p>	<p>Required</p>
<p>* Rezoning Needed Before Final Approval - Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final. ***Zoning Ordinance: Article V</p>	<p>Required</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. - Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final.</p>	<p>Required</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final.</p>	<p>Required</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Pending review by the City Manger's Office. - If park fee in lieu of park land dedication is proposed, it must be reviewed by the City Manager's Office.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation was approved and no TIA is required.</p>	<p>Applied</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>NA</p>
<p>COMMENTS</p>	
<p>Comments: - Add the document number for HCID #2 and provide a copy prior to final. - Any abandonment must be done by a separate process, not by plat. - All lots may have only one number/letter. Correct any lots with two labels prior to final (e.g. Lot 79/Common Area "A" & Lot 80/Common Area "B"). - A portion of the subdivision on the west side of ROW dedication for N/S Collector on the west side of the subdivision is not labeled. Clarify and revise prior to final. - Use a bold line for original subdivision boundary prior to final. *Must comply with City's Access Management Policy.</p> <p>*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving.</p>	<p>Non-compliance</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL, AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCES.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

City of McAllen

Sub 2624-0050

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	SPRAGUE WATERFALLS APARTMENTS SUBDIVISION						
	Legal Description	The East 14.65 Acres of the West 34.65 Acres of Lot 13, Section 280, Texas-Mexican Railway Company's Survey						
	Location	North Side of Sprague Road, Aprox. 900 ft. East of 29th Street						
	City Address or Block Number	2520 Sprague Road						
	Total No. of Lots	43	Total Dwelling Units	172	Gross Acres	14.65	Net Acres	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated		within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No					
	For Fee Purposes: <input type="checkbox"/> Commercial (___ Acres) / <input checked="" type="checkbox"/> Residential (43 Lots)		Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No					
	Existing Zoning	R-2 EJT	Proposed Zoning	R3A	Applied for Rezoning	<input type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____		
	Existing Land Use	VACANT	Proposed Land Use	Fourplex Residential				
	Irrigation District #	1	Water CCN:	<input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC		Other _____		
Agricultural Exemption:	<input type="checkbox"/> Yes / <input type="checkbox"/> No		Parcel #	552123				
Estimated Rollback Tax Due	_____			Tax Dept. Review	_____			
Owner	Name	Juanita L. Navarro		Phone	_____			
	Address	11301 N. 23rd St.		E-mail	_____			
	City	McAllen	State	TX	Zip	78504		
Developer	Name	Arqcarpa & Krystal Luxury Homes LLC		Phone	956-994-1133			
	Address	214 N. 16th Street, Suite 101		E-mail	Cesar-arqcarpa@hotmail.com			
	City	McAllen	State	TX	Zip	78501		
	Contact Person	Cesar Cardenas						
Engineer	Name	Rene Barrera, P.E.		Phone	956-624-4985			
	Address	3525 W. Freddy Gonzalez, Suite B2		E-mail	rene@big-engineering.com			
	City	Edinburg	State	TX	Zip	78539		
	Contact Person	_____						
Surveyor	Name	Pablo Soto, Jr. R.P.L.S.		Phone	956-460-1605			
	Address	1208 S. Ironwood		E-mail	pablosotojr54@yahoo.com			
	City	Pharr	State	TX	Zip	78577		

RECEIVED
MAY 08 2024
AF
BY

EDG



City of McAllen

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

VAR 2005-0004

Project	<p>Legal Description <u>The East 14.65 Acres of the West 34.65 Acres of Lot 13, Section 280, Texas-Mexican Railway Company Survey</u></p> <p>Proposed Subdivision (if applicable) <u>Sprague Waterfalls Apartments Subdivision</u></p> <p>Street Address <u>Sprague Road</u></p> <p>Number of lots <u>43</u> Gross acres <u>14.65</u></p> <p>Existing Zoning <u>R-3 Multi-Family</u> Existing Land Use <u>Vacant</u></p> <p><input checked="" type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)</p>
Applicant	<p>Name <u>Arqcarpa & Krystal Luxury Home, LLC</u> Phone <u>956-994-1133</u></p> <p>Address <u>214 North 16th Street, Suite 101</u> E-mail <u>cesar-arqcarpa@hotmail.com</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p>
Owner	<p>Name <u>Same As Applicant Above</u> Phone _____</p> <p>Address _____ E-mail _____</p> <p>City _____ State _____ Zip _____</p>
Authorization	<p>To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u><i>[Signature]</i></u> Date <u>1/31/2025</u></p> <p>Print Name <u>Cesar Cardenas</u> <input checked="" type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent</p>
Office	<p>*FOR OFFICE USE ONLY*</p> <p>APPLICATION FILING FEE: <input type="checkbox"/> \$250.00</p> <p>Accepted by <u>KF</u> Payment received by _____ Date _____</p> <p>Rev 06/21</p> <p style="text-align: right;">RECEIVED JAN 31 2025 BY: <u><i>[Signature]</i></u></p>



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.
 - 1) 10 Ft. Front Setback for Covered Carports for all Lots within the Proposed Subdivision
 - 2) Variance for internal lots to have a 5 ft. Side Setback

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.
 - 1) The Variance for Carports will allow the future residents to protect their valuable automobiles from the natural elements and inclement weather.
 - 2) The 5 ft. Side Setback Variance would allow for increased building area on a shallow depth Lot.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.
 - 1) the 10' Setback for Carports will be located outside of all easements, including electrical esmts.
 - 2) The 5 ft. side Setback line will not conflict with any easements, including electrical esmts.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The requested variances are in line with other Multi-Family Variances approved by the City of McAllen. In addition, the density of the development will be under the prescribed limit by the ordinance.

LOCATION



**PROPOSED BRIGHT WOODS
SUBDIVISION**

**PROPOSED NORTH
ON 107
SUBDIVISION**

13

14

SPRAGUE RD/10900

SPRAGUE RD/10900

DENTON CREEK AVE

BRAZOS AVE

N 27TH ST

N 26TH ST

N 25TH LN

N 24TH ST

N 23TH ST

N 22TH ST

75

12

1

2

3

LOT 3

LOT 3

20

19

58

48

46

51

65

43

14

88

97

106

100

93

55

107

54

DENTON CR

PLAT OF SPRAGUE WATERFALLS APARTMENTS SUBDIVISION

McALLEN, TEXAS

THE EAST 14.65 ACRES OF THE WEST 34.65 ACRES OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, DEED RECORDS, HIDALGO COUNTY TEXAS.

THE STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE SPRAGUE WATERFALLS APARTMENTS SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

AROCARPA & KRYSAL LUXURY HOMES LLC DATE _____
DIRECTOR: CESAR CARDENAS
214 N. 16TH STREET, SUITE 101
MCALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CESAR CARDENAS, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING & ZONING COMMISSION DATE _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR
CITY OF McALLEN DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, PABLO SOTO JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

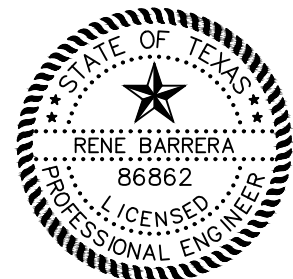
PABLO SOTO JR. DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR No. 4541

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

René Barrera For Const. Review Only
REV. 1-30-25

RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862



PRINCIPAL CONTACTS:		FIRM REG. NO. 6435
NAME	ADDRESS	PHONE
OWNER: AROCARPA & KRYSAL LUXURY HOMES LLC	214 N. 16TH ST. STE 101	MCALLEN, TX 78501
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ AVE.	EDINBURG, TX 78539
SURVEYOR: PABLO SOTO, JR. P.E.	1208 S. IRONWOOD	PHARR, TX 78577

GENERAL PLAT NOTES:

- THIS SUBDIVISION IS IN FLOOD ZONE "X" DEFINED AS AREAS OUTSIDE THE 500-YEAR FLOOD PLAIN
COMMUNITY-PANEL NUMBER: 480334 0325 D
MAP REVISED: JUNE 6, 2000
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF EACH LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE
-FRONT 20 FT. EXCEPT 10 FT. FOR UNENCLOSED CARPORTS OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER
-REAR: 10 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER
-INTERIOR SIDE: 5 FEET OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER
-CORNER: 10 FEET OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER
- REQUIRED DETENTION FOR STORM SEWER RUNOFF AS PER THE APPROVED DRAINAGE REPORT IS 47,562 CUBIC FEET. ...
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT
- CITY OF McALLEN BENCHMARK "MC58" FROM THE CITY OF McALLEN OPS REFERENCE MARKS LIST PREPARED BY ARANDA & ASSOCIATES IN OCTOBER, 1999; BEING C.P.S. ON POWER POLE LOCATED AT THE NORTHEAST CORNER OF 23RD STREET (FM 1926) & SPRAGUE ROAD; ELEVATION = 105.85 (NAV88)
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- 6 FEET OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, SPRAGUE ROAD, AND QUARTER MILE COLLECTOR IF COLLECTOR STREET IS REQUIRED.
- 8 FEET MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- A 4 FT. MINIMUM SIDEWALK IS REQUIRED ON SPRAGUE ROAD, BOTH SIDES OF ALL INTERIOR STREETS, AND ALONG QUARTER MILE COLLECTOR IF COLLECTOR STREET IS REQUIRED.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG SPRAGUE ROAD AND QUARTER MILE COLLECTOR.
- A 25'x25' SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
- COMMON LOTS AND DETENTION AREAS MUST BE MAINTAINED BY THE LOT OWNERS/HOA AND NOT THE CITY OF McALLEN.
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 110-72 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.

STATE OF TEXAS
COUNTY OF HIDALGO

I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE SPRAGUE WATERFALLS APARTMENTS SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

SECURITY INTEREST HOLDER: _____ DATE _____

HIDALGO COUNTY IRRIGATION DISTRICT #1

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #1 ON THIS, THE _____ DAY OF _____, 20____

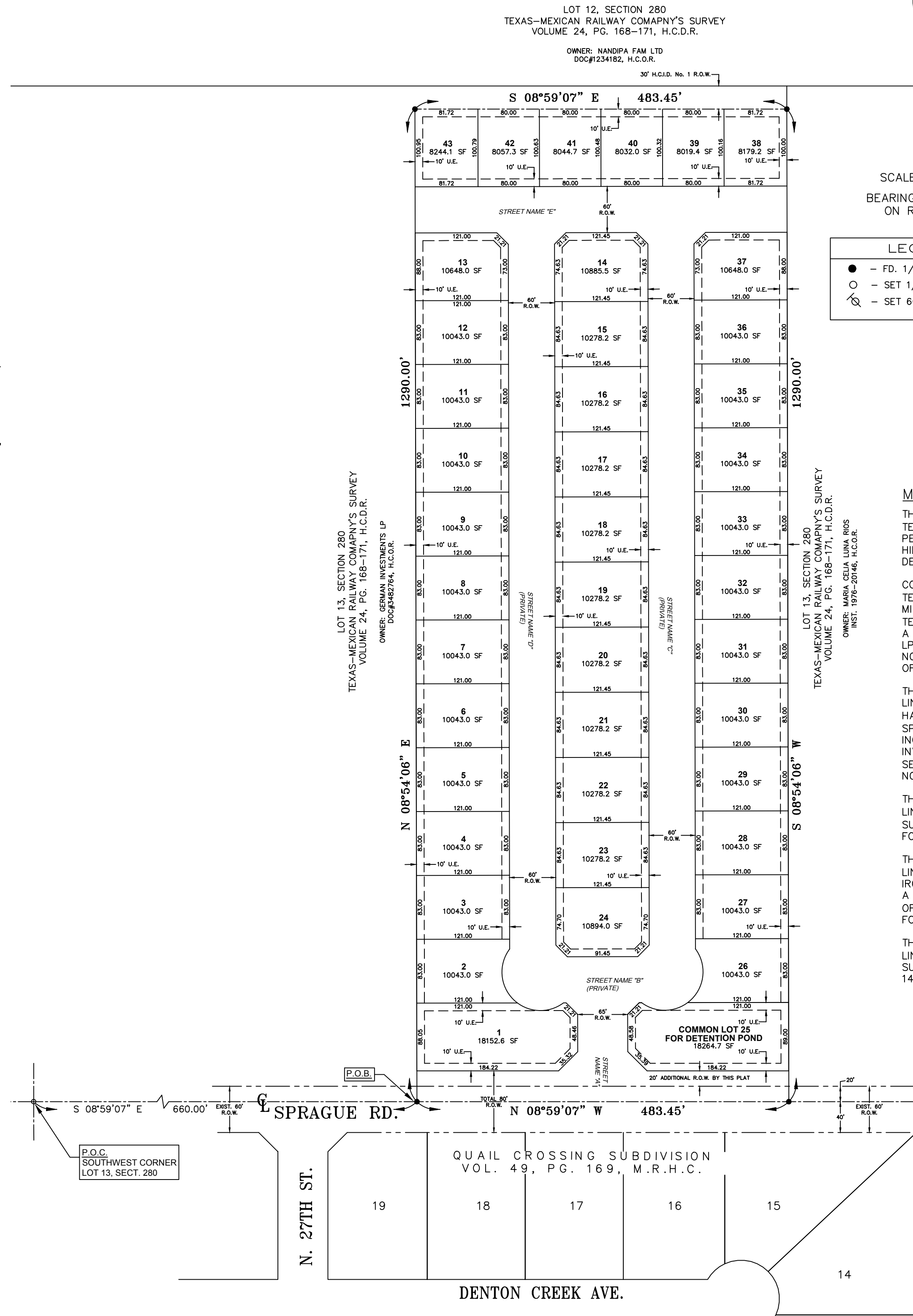
NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHT-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1.

ATTEST:
PRESIDENT _____ SECRETARY _____

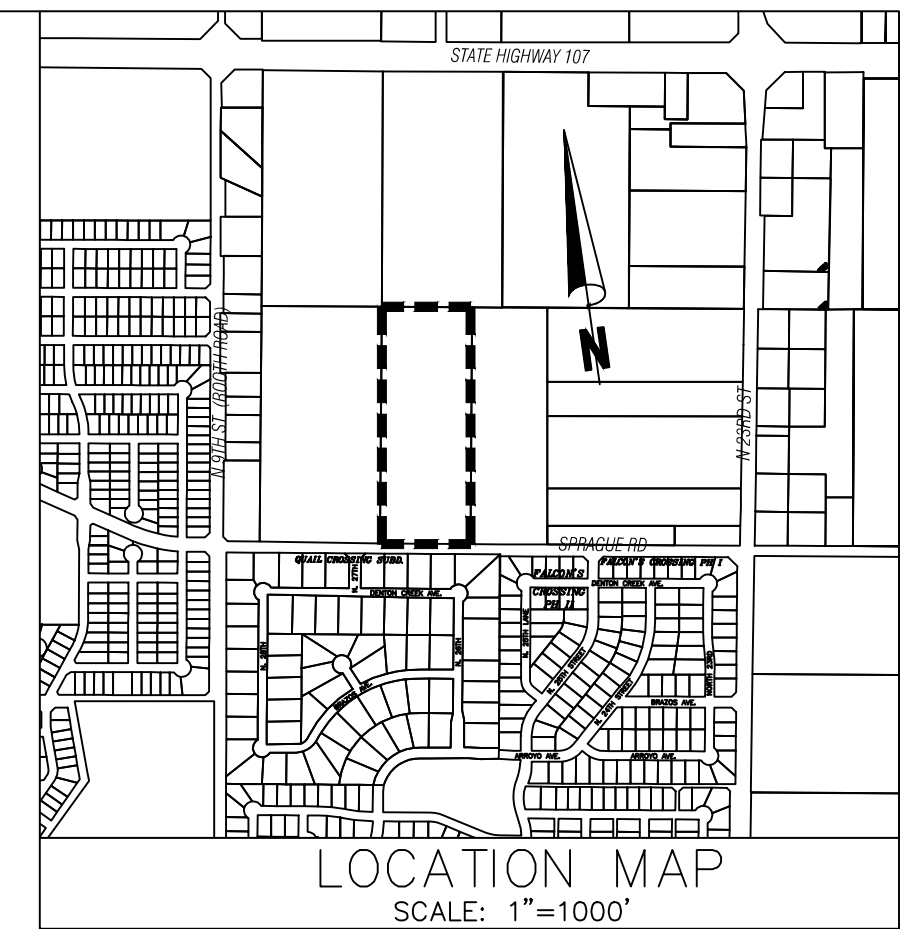
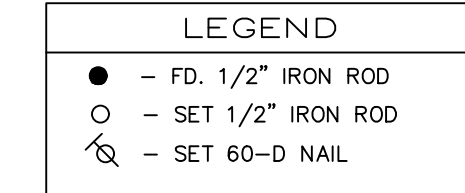
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT. NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE _____



SCALE: 1" = 100'
BEARING SHOWN BASED ON RECORD PLAT



SPRAGUE WATERFALLS APARTMENTS SUBDIVISION IS LOCATED WITHIN CITY LIMITS OF McALLEN, TEXAS, IN CENTRAL HIDALGO COUNTY AND IS FURTHER LOCATED ON THE NORTH SIDE OF SPRAGUE STREET APPROXIMATELY 900 FEET EAST OF 29TH STREET (ROOTH ROAD).
DATE OF PREPARATION: 3/20/24
TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM No: 6435

METES AND BOUNDS DESCRIPTION

THE EAST 14.65 ACRES OF THE WEST 34.65 ACRES OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGES 168-171; DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 14.65 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

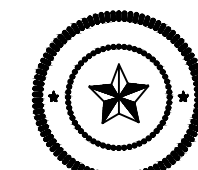
COMMENCING AT THE SOUTHWEST CORNER OF LOT 13, BLOCK 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, THENCE SOUTH 80 DEGREES 59 MINUTES 07 SECONDS EAST, WITH THE SOUTH LINE LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, A DISTANCE OF 660.00 FEET TO A 60-D NAIL SET AT THE SOUTHEAST CORNER OF THE GARMAN INVESTMENTS LP, A TEXAS LIMITED PARTNERSHIP PROPERTY. AS RECORDED IN DOCUMENT NO. 3482764, OFFICIAL RECORDS FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE NORTH 08 DEGREES 54 MINUTES 06 SECONDS EAST, WITH THE EAST LINE OF THE SAID GARMAN INVESTMENTS LP PROPERTY, AT 20.00 FEET PASS A HALF (1/2) INCH IRON ROD FOUND AT THE NORTH RIGHT OF WAY LINE OF SPRAGUE ROAD, AT A TOTAL DISTANCE OF 1,320.00 FEET TO A HALF (1/2) INCH IRON ROD FOUND AT THE NORTHEAST CORNER OF THE GARMAN INVESTMENTS LP PROPERTY, ALSO BEING ON THE NORTH LINE OF SAID LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 80 DEGREES 59 MINUTES 07 SECONDS EAST, WITH THE NORTH LINE OF SAID LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, A DISTANCE OF 483.45 FEET TO A HALF (1/2) INCH IRON ROD SET FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 08 DEGREES 54 MINUTES 06 SECONDS WEST, WITH THE WEST LINE OF PROPERTY ID 552123, AT 1,300.00 FEET PASS A HALF (1/2) INCH IRON ROD SET AT THE NORTH RIGHT OF WAY LINE OF SAID SPRAGUE ROAD, AT A TOTAL DISTANCE OF 1,320.00 FEET TO A 60-D NAIL SET AT THE SOUTH LINE OF SAID LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 80 DEGREES 59 MINUTES 07 SECONDS WEST, WITH THE SOUTH LINE OF SAID LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, A DISTANCE OF 483.45 FEET TO THE POINT OF BEGINNING, CONTAINING 14.65 ACRES, MORE OR LESS.

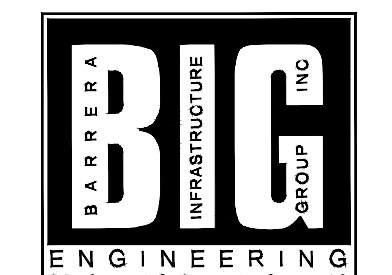


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

FOR CONSTRUCTION REVIEW
THIS DOCUMENT HAS BEEN RELEASED FOR
CONSTRUCTION BY RENE BARRERA, P.E. No. 86862.
REV. 1-30-25



3525 W. FREDDY GONZALEZ AVE.
SUITE "B2"
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435



Reviewed On: 2/14/2025

SUBDIVISION NAME: SPRAGUE WATERFALLS APARTMENTS SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Sprague Road: Dedication as required for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: both sides - Show the document number on the plat for the existing ROW and provide a copy for staff review prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>E/W Quarter Mile Collector (north boundary): dedication required for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides - Show ROW dedication for an E/W quarter mile collector on the north side prior to final. - Clarify if the E/W interior street is proposed in lieu of the northern boundary prior to final. If so, a temporary stub out to be extended to the east and west will be reviewed by staff prior to final. Collector street must be public. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Non-compliance
<p>Interior Streets: Dedication as required for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides - Based on the submitted plat, Streets currently labeled as "B", "C", and "D" will be private. Clarify why street labeled as "A" is not labeled private prior to final. - Gate detail for entrance from Sprague Road has been submitted. Plat shows 65 ft. ROW but the gate detail depicts 50 ft. ROW. Also, it seems that 20 ft. paving is B-B, but as per Fire Department, 20 ft. F-F is needed. Please revise the gate detail prior to final. - Submit gate details for the interior streets labeled as "C" and "D" to finalized the ROW requirements prior to final. - Street names to be finalized by staff prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3T & R-3C Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties - As per Public Works, subdivision is approved for curbside pickup. Must comply with their requirements prior to final/recording. **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: 20 ft. or greater for easements or approved site plan - revise the setback note as shown above prior to final. - Proposing: 20 ft. except 10 ft. for unenclosed carports or greater for easements or approved site plan whichever is greater - Plat note wording to be finalized prior to final. **Zoning Ordinance: Section 138-356 ** The project engineer submitted a variance application on behalf of the developer with the following requests: 1. 10 ft. front yard setback for unenclosed carports 2. 5 ft. side yard setback for interior sides **If the variance request for front setback is approved, 10 ft. will only apply to unenclosed carports and 20 ft. will apply to any other structure.	Non-compliance
* Rear: 10 ft. or great for easements or approved site plan Proposing: 10 ft. or greater for easements or approved site plan whichever is greater. - Setbacks for double fronting lots must be established prior to final. - Plat note wording to be finalized prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Sides: 6 ft. or greater for easements or approved site plan Proposing: 5 feet or greater for easements or approved site plan whichever **Zoning Ordinance: Section 138-356	Non-compliance
** The project engineer submitted a variance application on behalf of the developer with the following requests: 1. 10 ft. front yard setback for unenclosed carports 2. 5 ft. side yard setback for interior sides	
* Corner: 10 feet or greater for easements or approved site plan whichever is greater **Zoning Ordinance: Section 138-356	Applied
* Garage: 18 ft. except wherever greater setback is required, greater setback applies - Add a plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on Sprague Road, both sides of all interior streets, and along quarter mile collector if collector street is required. - Finalize the quarter mile collector requirement to finalize the sidewalk note requirement prior to final. ** Engineering Department may require 5 ft. sidewalk prior to final.	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, Sprague Road, and quarter mile collector if collector street is required. - Finalize the quarter mile collector requirement to finalize the buffer note requirement prior to final. **Landscaping Ordinance: Section 110-46 	Non-compliance
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along Sprague Road and quarter mile collector. - Finalize the quarter mile collector requirement to finalize the note requirement prior to final **Must comply with City Access Management Policy 	Non-compliance
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. 	Applied
<ul style="list-style-type: none"> * Common lots and detention areas must be maintained by the lot owners/HOA and not the City of McAllen. 	Applied
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	NA
<p>Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <ul style="list-style-type: none"> **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Based on plat note #14, an HOA is being proposed. If an HOA is proposed, a plat note to cross reference the HOA document and a copy of the HOA document will be required prior to final/recording. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: ETJ Proposed: R-3A - An annexation and initial zoning to R-3A was approved by City Commission on May 13, 2024. ***Zoning Ordinance: Article V 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

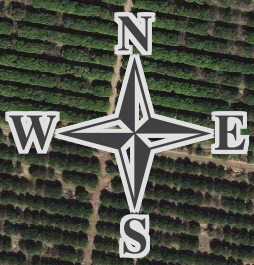
<p>* Rezoning Needed Before Final Approval - An annexation and initial zoning to R-3A was approved by City Commission on May 13, 2024. ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. The application and plat submitted on May 3, 2024, proposes 43 lots which includes a common lot for a detention pond. A park fee of \$700 per dwelling unit must be paid prior to recording. - Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording.</p>	<p>Non-compliance</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. The application and plat submitted on May 3, 2024, proposes 43 lots which includes a common lot for a detention pond. A park fee of \$700 per dwelling unit must be paid prior to recording. - Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording.</p>	<p>Non-compliance</p>
<p>* Pending review by the City Manager's Office. The application and plat submitted on May 3, 2024, proposes 43 lots which includes a common lot for a detention pond. A park fee of \$700 per dwelling unit must be paid prior to recording. - Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording.</p>	<p>Non-compliance</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Required</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Any abandonments must be done by separate document, not by plat. - Easements need to be notated as dedicated by this plat or with a plat note to indicate that all easements are dedicated by this plat, unless states otherwise. - Ensure proper legal descriptions are provided for all adjacent properties. - Signature blocks must comply with Section 134-61 of the subdivision ordinance. - Lot layout for the adjacent property to the west must be removed, if the proposed plat on the west is not recorded prior to this plat. *Must comply with City's Access Management Policy. ** The project engineer submitted a variance application on behalf of the developer with the following requests: 1. 10 ft. front yard setback for unenclosed carports 2. 5 ft. side yard setback for interior sides **If the variance request for front setback is approved, 10 ft. will only apply to unenclosed carports and 20 ft. will apply to any other structure.</p>	<p>Required</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVALS, AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCES.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



PROPOSED BRIGHT WOODS
SUBDIVISION

PROPOSED NORTH
ON 107
SUBDIVISION

ROOTH RD
LLOYDS
LOT 3
LOT 3
LOT 3
SARDENIA MAJOR
LOT 3

SPRAGUE RD/10900

DENTON CREEK AVE

SPRAGUE RD/10900

QUAIL CROSSING

FALCON
DENTON CREEK

PHASE 2



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

AG

AG

AG

AG

AG

AG

Project Information

Subdivision Name Amistad : McAllen Subdivision
 Legal Description JOHN H SHARY 2.63AC-E1095'-N193.77' LOT 317 2.63AC
and JOHN H SHARY W225'-N193.8'-LOT 317 1.0AC GR 0.82AC NET
 Location 1,162 feet north of the intersection of Nolana Loop and Taylor Rd
 City Address or Block Number 4120 N Taylor Rd
 Total No. of Lots 2 Total Dwelling Units 1 Gross Acres 7.39 Net Acres 7.39
 Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No
 For Fee Purposes: Commercial (6.61 Acres) / Residential (1 Lots) Replat: Yes / No
 Existing Zoning R-1 & AO Proposed Zoning _____ Applied for Rezoning No / Yes: Date _____
 Existing Land Use Agric Home Openland Proposed Land Use Residential + Church
 Irrigation District # V. I. D. Water CCN: MPU / Sharyland Water SC Other _____
 Agricultural Exemption: Yes / No Parcel # _____
 Estimated Rollback Tax Due _____ Tax Dept. Review _____

Owner

Name Amistad McAllen Phone _____
 Address 4120 N Taylor Rd E-mail _____
 City McAllen State Tx Zip 78504

Developer

Name Same as Owner Phone (956) 650-0169
 Address _____ E-mail _____
 City _____ State _____ Zip _____
 Contact Person _____

Engineer

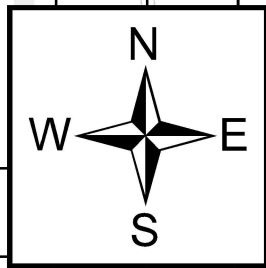
Name Trimad Consultants Phone (956) 534-4110
 Address 1803 Mozelle St E-mail aguzman@trimadstx.com
 City Pharr State Tx Zip 78577
 Contact Person Alfonso Guzman

Surveyor

Name Mario Gonzalez - Rio Delta Phone _____
 Address _____ E-mail _____
 City _____ State _____ Zip _____

AG

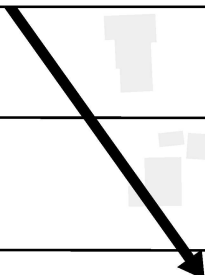
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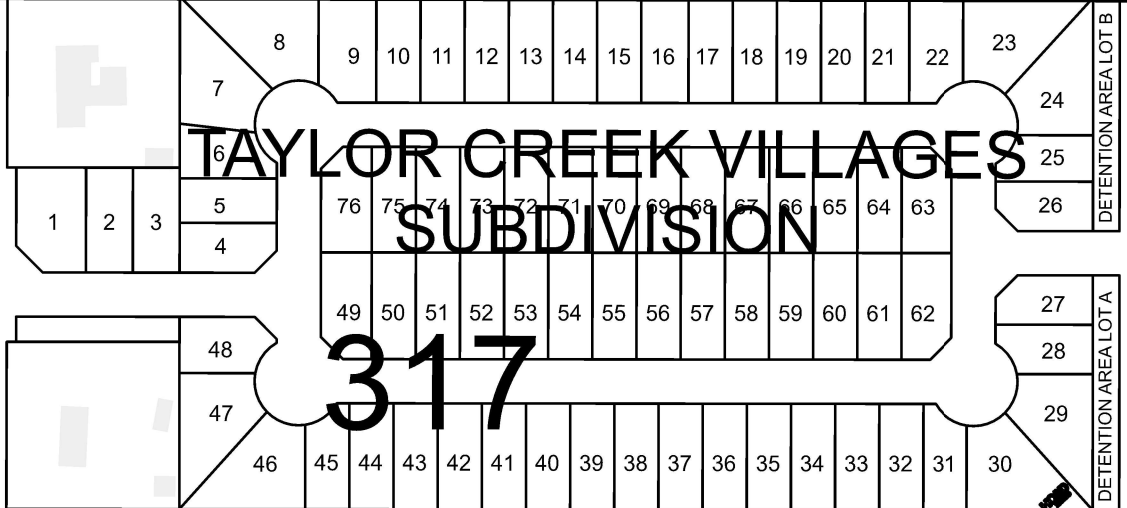
LOT 1
VICENTE SUBDIVISION

LOCATION



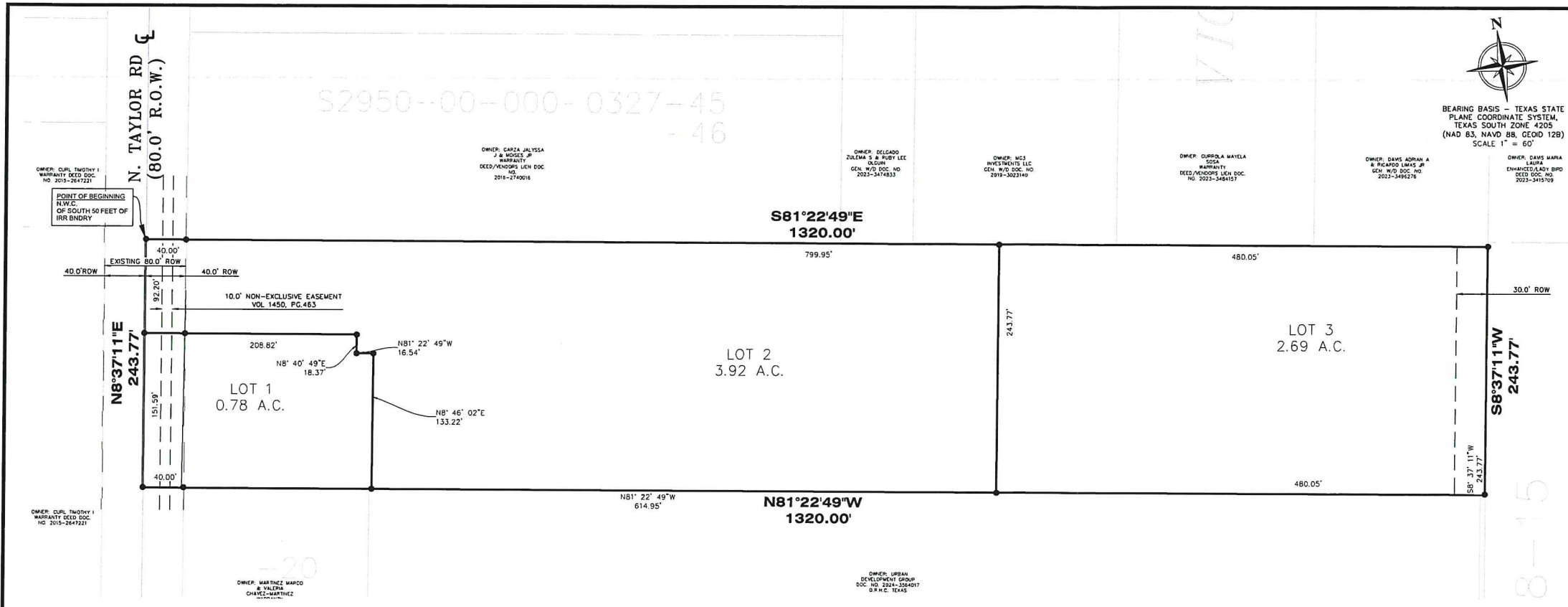
N TAYLOR RD

PROPOSED AMISTAD
MCALLEN SUBDIVISION



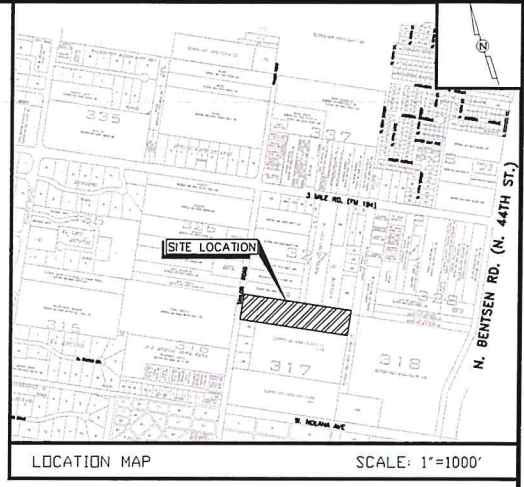
KREIDLER
MEMORIAL
CHAPEL

NOLANA AVE



LEGEND

- - FND. 1/2" IRON ROD
- △ - CALCULATED POINT
- - SET 1/2" IRON ROD WITH PLASTIC CAP STAMPED R&A



GENERAL NOTES

- FLOOD ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING) COMMUNITY-PANEL NUMBER 480334 0425 C MAP REVISED: NOVEMBER 16, 1982
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF PAVEMENT.
- MINIMUM BUILDING SETBACK LINES:
FRONT: 20.00' SIDE: 6.00'
REAR: 10.00' CORNER: 10.00'
- NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIRED AND T.P.D.E.S.
- THIS SUBDIVISION SHALL BE REQUIRED TO DETAIN A TOTAL OF 30,073 CUBIC FEET (OR 0.6904 ACRE-FEET) OF DRAINAGE RUNOFF.
- FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- HOMEOWNERS ASSOCIATION SHALL MAINTAIN DETENTION AREAS, INCLUDING THE DETENTION POND.
- THE DRAINAGE SWALES ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, SO THAT THE APPROVED DRAINAGE PLAN RETAINS ITS ENGINEERED INTEGRITY AND FUNCTIONALITY. SHOULD THE SWALES BE FILLED-IN WITHOUT ANY CITY ASSESSMENT/APPROVAL, THE CITY OF SAN JUAN SHALL ACTIVATE THE CODE ENFORCEMENT PROCESS TO REGAIN THE FUNCTIONALITY OF THE SWALE.
- ALL GREEN SPACE LOCATED AT THE ENTRANCE OF THE SUBDIVISION AND WITHIN RIGHT-OF-WAYS, OUTSIDE OF PROPERTY LINES TO BE CLEAN AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IN SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

METES AND BOUNDS

A 7.385 TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN H. SHARY SUBDIVISION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 19.49 ACRES ARE VESTED TO JIMMY K. JONES FROM H.P. TRUHE, JR. AND WIFE LOIS TRUHE BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN DATED MARCH 16, 1977 RECORDED IN VOLUME 1527, PAGE 74, DEED RECORDS OF HIDALGO COUNTY, TEXAS AND 1.515 ACRE TRACT OF LAND OUT OF 3.03 ACRES OUT OF UNITED IRRIGATION DISTRICT CANAL RIGHT OF WAY BETWEEN LOT 317 AND LOT 327 (DOC NO. 2024-3529429), SAID 7.385 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS

COMMENCING IN THE NORTHWEST CORNER OF LOT 317, JOHN H. SHARY SUBDIVISION AND BEING THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD AND BEING THE NORTHWEST CORNER OF THE SOUTH 50 FEET OF THE UNITED IRRIGATION DISTRICT FOOT CANAL RIGHT OF WAY (HAVING COORDINATE VALUES OF X = 1059201.3050 Y = 166665.7367 BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83) (FOUND IN DOC NO. 2024-3529429) FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE, SOUTH 81° 22' 49.01" EAST, ALONG THE SOUTH BOUNDARY OF THE NORTH 50 FEET OF THE UNITED IRRIGATION DISTRICT (FOUND IN DOC NO. 2024-3529429) A DISTANCE OF 39.41 FEET PASS AN UNFOUNDED IRON ROD CAPPED MEDINA AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320 FEET TO A ROD SET (WITH A PLASTIC CAP STAMPED MEDINA) FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08° 42' 33.39" WEST, ALONG THE EAST LINE OF SAID LOT 317 A DISTANCE OF 243.39 FEET TO A ROD SET (WITH A PLASTIC CAP STAMPED RGEC) FOR THE SOUTHEAST CORNER OF CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 81° 24' 17.47" EAST, ALONG THE SOUTH LINE OF SAID LOT 317, A DISTANCE OF 1281.80 FEET PASS A ROD SET (WITH A PLASTIC CAP STAMPED ASSES 4802) AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.09 TO A MAGNETIC NAIL SET AT THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD FOR THE NORTHWEST CORNER OF THIS TRACT LAND;

THENCE, NORTH 8° 43' 51.17" EAST, ALONG THE WEST LINE OF SAID LOT 317, A DISTANCE OF 243.74 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.385 ACRES OF LAND, MORE OR LESS.

HIDALGO COUNTY IRRIGATION DISTRICT No. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS THE _____ DAY OF _____ 20____

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS), SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHTS OF WAY OR EASEMENTS.

ATTEST: _____
PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____ DATE: _____
GENERAL MANAGER
RAUL E. SESIN, P.E., C.F.M.

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE AMISTAD MCALLEN SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, EASEMENTS, DRAINS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

AMISTAD MCALLEN
DIRECTOR
ANTONIO E. DE LIZARDI
4120 N. TAYLOR ROAD
MCALLEN, TEXAS 78504-4557
HIDALGO COUNTY

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ANTONIO E. DE LIZARDI, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

**CITY OF MCALLEN
MAYOR CERTIFICATION**

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

SHARYLAND WATER CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE AMISTAD MCALLEN SUBDIVISION LOCATED AT CITY OF MCALLEN, IN HIDALGO COUNTY TEXAS, SUBJECT TO THE SUBDIVISION POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER. ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE AND FEDERAL AGENCIES

DEVELOPER AND ITS DESIGN ENGINEER SHALL BE FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT

CARLOS LIMA _____ DATE _____

**CITY OF MCALLEN
PLANNING & ZONING COMMISSION**

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORM TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON, PLANNING AND ZONING COMMISSION _____ DATE _____

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

RICARDO SALAZAR, P.E.
P.E. No. 125392
TBPELS FIRM REGISTRATION No. F-18526

DATE _____



**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

PABLO SOTO JR., R.P.L.S.
R.P.L.S. No. 4541
TBPELS FIRM REGISTRATION No. F-20208

DATE _____



PRINCIPAL CONTACTS:

OWNER:	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	AMISTAD MCALLEN	4120 N. TAYLOR RD	MCALLEN, TEXAS 78504	(956) _____	_____
ENGINEER:	RICARDO SALAZAR, P.E.	1803 MOZELLE ST.	PHARR, TEXAS 78577	(956) 688-8860	_____
SURVEYOR:	PABLO SOTO JR.	1206 S. IRONWOOD	PAHRR, TEXAS 78577	(956) 782-8277	_____

**AMISTAD MCALLEN
SUBDIVISION**

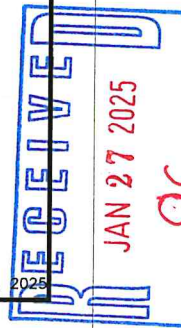
A 7.39 ACRE (321,908.40 SQ. FT.) GROSS, 7.39 ACRE (321,908.40 SQ. FT.) NET, MORE OR LESS TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN SHARY SUBDIVISION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



TBPELS FIRM REGISTRATION No. F-18526

1803 MOZELLE ST.
PHARR, TEXAS 78577
(956) 688-8860

DATE OF PREPARATION: JANUARY 27, 2025





Reviewed On: 2/14/2025

SUBDIVISION NAME: AMISTAD MCALLEN SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. Taylor Rd. - Dedication for 40 ft. from centerline for 80 ft. Total R.O.W. Paving: 52 B-B Curb & gutter: Both Sides Revisions Needed: - Please provide Doc. No. on the plat for the apparent Existing 80 ft. R.O.W. located on Taylor Rd. - Need to Provide for dedication for section of property that is inside the apparent R.O.W. - Please provide R.O.W. Recorded Docs. for staff review, prior to final. - Disclaimer: Please clarify any existing easements that are being shown inside of the R.O.W. and provide Documents for Staff review prior to final. - Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan"</p>	Non-compliance
<p>(N/S Collector Street) N. 48th St.: *60 ft. - 70 ft. ranging R.O.W. required* Paving: 40 ft. - 44 ft. B-B Curb & gutter: Both Sides Revisions Needed: - City to provide information for the required dedication for N. 48th Street, to be finalized prior to final. - R.O.W. to be dedicated by Plat - Need to provide an Area map to verify for street alignments/offsets. - Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan"</p>	Non-compliance
<p>(E/W Collector Street) *Primrose Ave. - Dedication needed for 60 ft. of R.O.W.* Paving: 40 ft. - 44 ft. B-B Curb & gutter: Both Sides Revisions Needed: - Need to provide an Area map to verify for street alignments/offsets. *Disclaimer: Recorded Subdivision located directly north "Vicente Subdivision" provided 35 ft. of 'Future Road R.O.W.' **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan"</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan * 1,200 ft. Block Length. -Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes, please submit a variance request for 1,200 ft. maximum block length requirement. **Subdivision Ordinance: Section 134-118 * 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p>NA</p>
<p>-Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes, please submit a variance request for 1,200 ft. maximum block length requirement.</p>	<p>Non-compliance</p>
<p>**Subdivision Ordinance: Section 134-118</p>	<p>NA</p>
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p>NA</p>
<p>ALLEYS</p>	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties. **Subdivision Ordinance: Section 134-106</p>	<p>TBD</p>
<p>SETBACKS</p>	
<p>Lot 1: * Front: 25 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Front: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>Lot 1: * Rear: 10 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>Lot 1: * Sides: 6 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>Lot 1: * Corner: 10 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies. -Add the plat note as shown above prior to final. **Disclaimer: Only applies to Residential lot. **Zoning Ordinance: Section 138-356"</p>	<p>Non-compliance</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<p>* A 4 ft. wide minimum sidewalk required on N. Taylor Rd. , N. 48th St. & Primrose Ave. on both sides of interior streets. Revisions Needed: Needs to add plat note as shown above prior to final. **Disclaimer: Sidewalk requirements may increase to 5 ft. prior to recording per Engineering Department requirements, finalize prior to Final. ***Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: Need to add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: - Needs to add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along N. Taylor Rd. & N. 48th St. **Must comply with City Access Management Policy</p>	Required
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	NA
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Add plat note as shown above prior to final.</p>	Non-compliance
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA

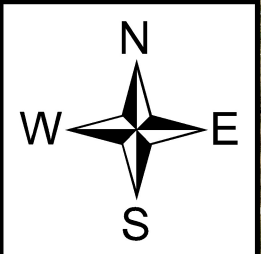
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. * Lots cannot be landlocked, access to a public street is required. Please clarify Lot 3 since it needs to have access to the street. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Required
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 (Single-Family Residential District) & A-O (Agricultural and Open Space District) Proposed: R-1 (Single-Family Residential District) & C-4 (Commercial Industrial District) - Needs to request a Rezoning application for Lots 2 & 3. ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Required
	Required
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee applies to Residential properties, for a 1 Lot residential property, fee would be \$700.00 * Pending review by the Parkland Dedication Advisory Board and CC. 	TBD
	Required
	TBD
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Required
	TBD
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> -Need to provide copies of documents for all existing R.O.W. & utility easements being shown on the plat for staff review prior to final. -Update location map with an updated hidalgo county parcel maps. Verify the North Arrow shown on the Location Map & add a label leader that stipulates the City of McAllen City Limits - Clarify the overlap of easements into the R.O.W. - Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. - Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. - For a church, you will need to submit an application for a Conditional Use Permit (CUP) that will need to be reviewed by the Planning & Zoning Commission and by the City Commission. **Must comply with City's Access Management Policy and access spacing as specified by the Traffic Department ***Additional notes as needed prior to final regarding maintenance responsibilities of any common areas. ****Must comply with Fire, Public Works and other departments as may be applicable at time of Conditional Use Permit review, including site plan requirements related to the C.U.P. 	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



327

LOCATION

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

LOT 1

VICENTE SUBDIVISION

PROPOSED AMISTAD
MCALLEN SUBDIVISION

TAYLOR CREEK VILLAGES
SUBDIVISION

317

KREIDLER
MEMORIAL
CHAPEL

RUSH DR

NOLANA AVE

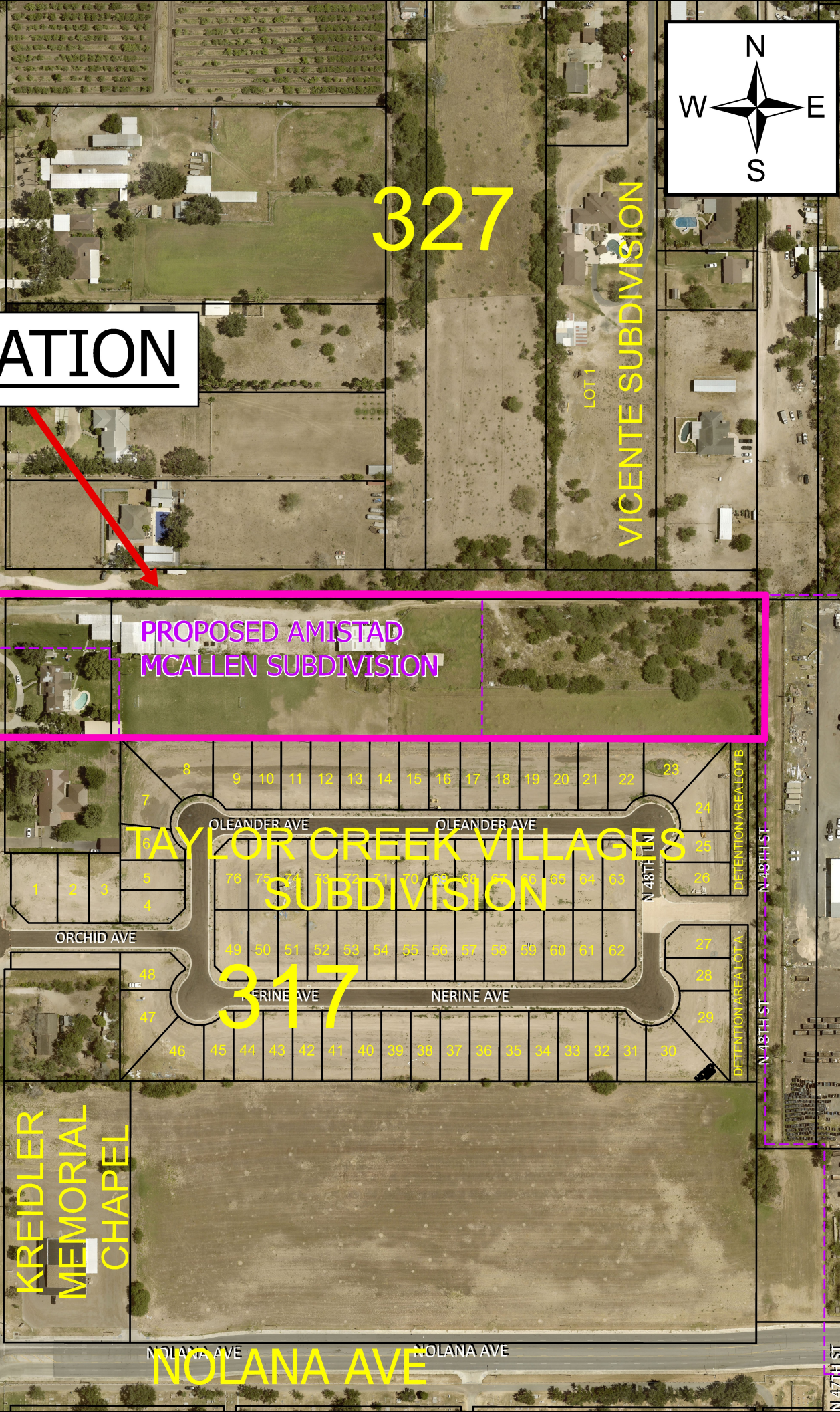
DETENTION AREA LOT B

DETENTION AREA LOT A

N 48TH ST

N 48TH ST

N 47TH ST



SUB2025-0014

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>PLAZA MUZQUIZ</u>
	Legal Description <u>A 1.62 Acre Tract of land out of the South 10 Acres of the North 30 Acres of Lot 58, La Lomita Irrigation and Construction Co. Subdivision</u>
	Location <u>Northwest Corner of Trenton Road and N. 29th Street</u>
	City Address or Block Number <u>2900 Trenton Rd</u>
	Total No. of Lots <u>2</u> Total Dwelling Units <u>--</u> Gross Acres <u>1.62</u> Net Acres <u>1.62</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>1.62</u> Acres) / <input type="checkbox"/> Residential (<u>_</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	Existing Zoning <u>C-3L</u> Proposed Zoning <u>C-3L</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial Plaza</u>
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # _____ Prop ID: 210590	
Estimated Rollback Tax Due <u>0</u> Tax Dept. Review <u>gh 1/27/25</u>	
Owner	Name <u>Arqcarpa Design & Construction, LLC</u> Phone _____
	Address <u>214 N. 16th Street, Suite 101</u> E-mail <u>arqcarpa@hotmail.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
Developer	Name <u>Same as Above</u> Phone _____
	Address _____ E-mail _____
	City _____ State _____ Zip _____
	Contact Person _____
Engineer	Name <u>Barrera Infrastructure Group</u> Phone <u>956-687-3355</u>
	Address <u>3525 W. Freddy Gonzalez Ave, Suite B2</u> E-mail <u>rene@big-engineering.com</u>
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>
	Contact Person <u>Rene Barrera, P.E.</u>
Surveyor	Name <u>DAVID SALINAS</u> Phone <u>956-682-9081</u>
	Address _____ E-mail _____
	City _____ State _____ Zip _____

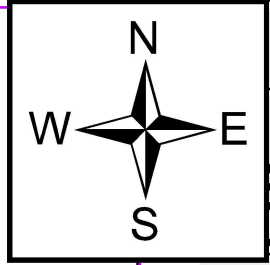
JAN 27 2025

BY: CW

N ISD AG FARM
BDIVISION

LOT 1

LOCATION



PROPOSED
PLAZA
MUZQUIZ

N 29TH ST

TRENTON RD

LA LOMITA HEIGHTS
SUBDIVISION

LOT 1

LOT 1
LA LOMITA HEIGHTS
SUBDIVISION
PHASE 2

LOT 1
LA LOMITA HEIGHTS
SUBDIVISION
No. 3

THREE LYNN'S SUB
LOT 1

TRENTON & 29
SUBDIVI

SUBDIVISION

SUBDIVISION

ENOPS AVE.

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LOT 1

PLAT OF PLAZA MUZQUIZ SUBDIVISION

McALLEN, TEXAS

A 1.62 ACRE TRACT OF LAND OUT OF THE SOUTH 10 ACRES OF THE NORTH 30 ACRES OF LOT 58, LA LOMITA IRRIGATION & CONSTRUCTION CO. SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGE 68, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

THE STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PLAZA MUZQUIZ SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

AROCARPA DESIGN & CONSTRUCTION LLC
BY: CESAR CARDENAS
929 E. ESPERANZA, SUITE 11
McALLEN, TX 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING & ZONING COMMISSION DATE

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR DATE
CITY OF McALLEN

STATE OF TEXAS
COUNTY OF HIDALGO

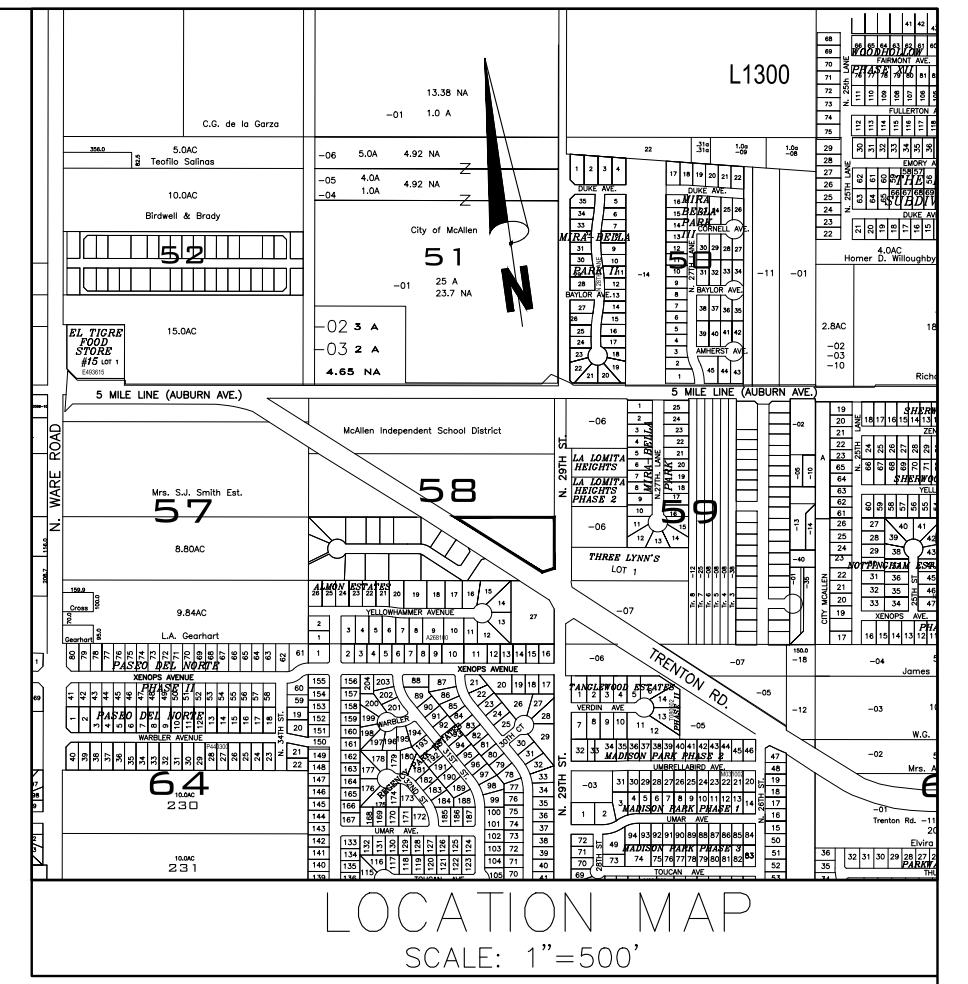
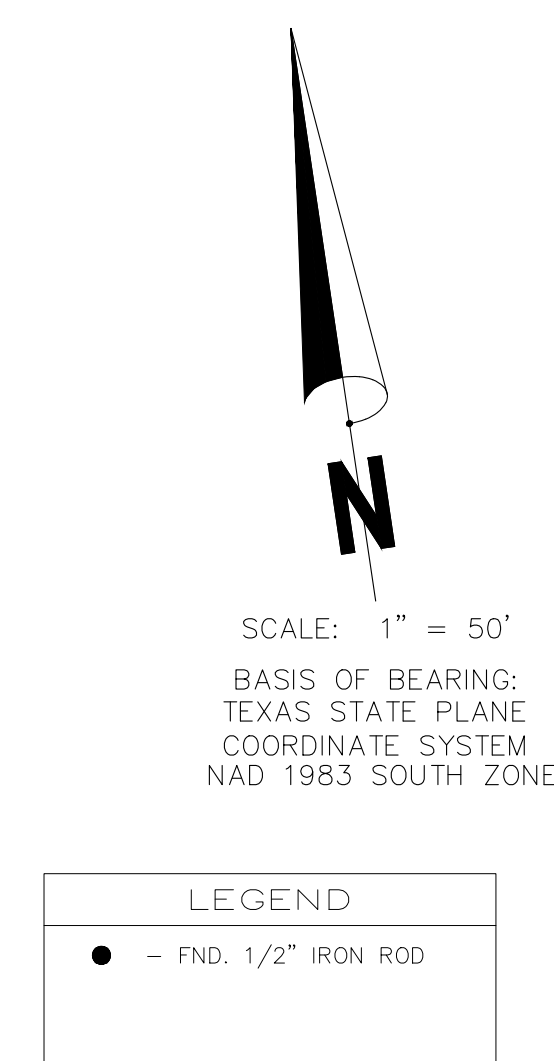
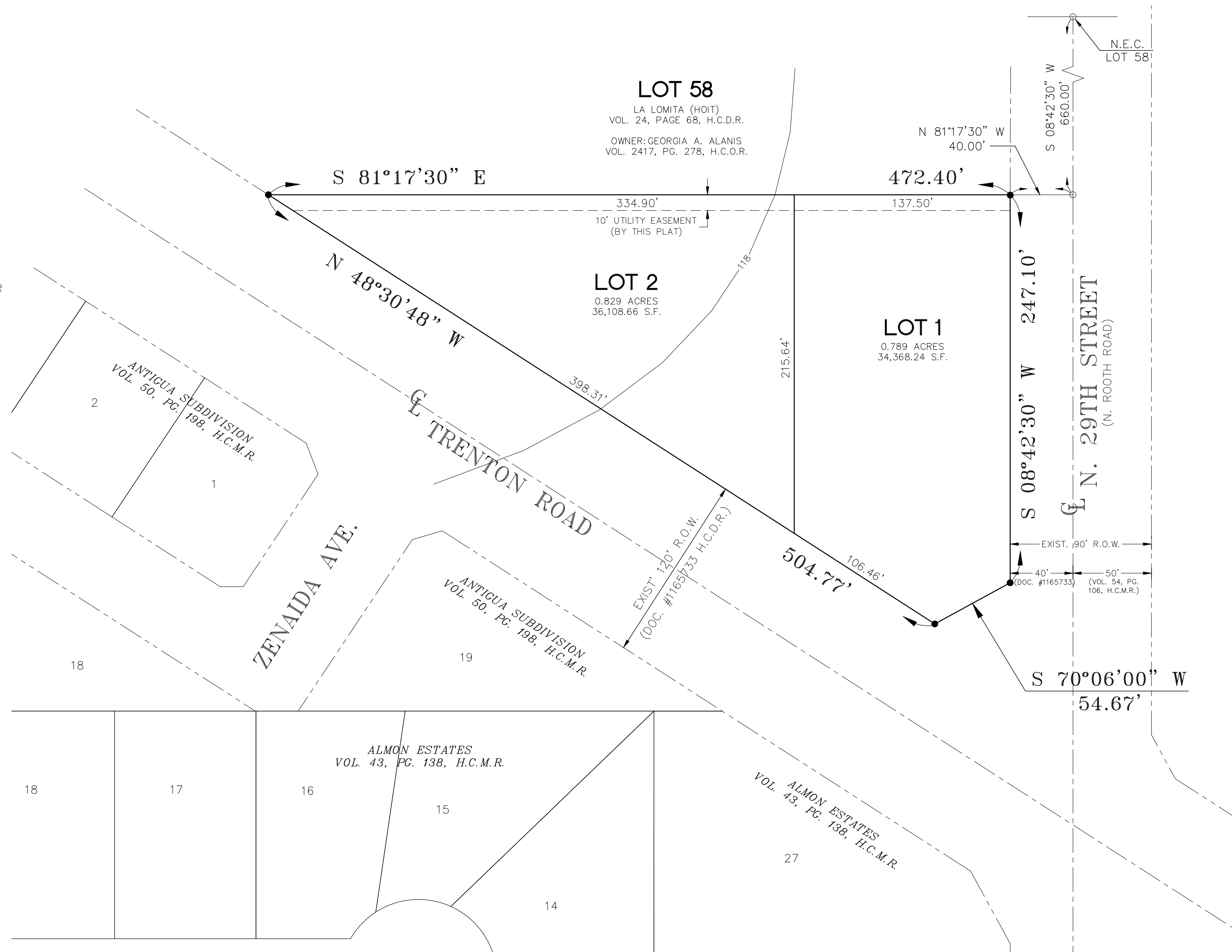
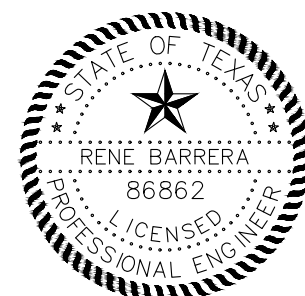
I, PABLO SOTO JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

PABLO SOTO JR., R.P.L.S. DATE
REGISTERED PROFESSIONAL LAND SURVEYOR No. 4541

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

 Preliminary Review Only
1-27-25
RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862



METES AND BOUNDS DESCRIPTION

A 1.62 ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE SOUTH 10 ACRES OF THE NORTH 30 ACRES OF LOT 58, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGE 68, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 1.62 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 58, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION, THENCE SOUTH 08 DEGREES 42 MINUTES 30 SECONDS WEST, WITH THE EAST LINE OF LOT 58, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION, A DISTANCE OF 660.00 FEET, THENCE NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A HALF (1/2) INCH IRON ROD FOUND AT THE WEST RIGHT OF WAY LINE OF N. 29TH STREET FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND AND POINT OF BEGINNING;

THENCE SOUTH 08 DEGREES 42 MINUTES 30 SECONDS WEST, WITH THE WEST RIGHT OF WAY LINE OF SAID N. 29TH STREET, A DISTANCE OF 247.10 FEET TO A HALF (1/2) INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 70 DEGREES 06 MINUTES 00 SECONDS WEST, WITH A CORNER CLIP OF TRENTON ROAD, A DISTANCE OF 54.67 FEET TO A HALF (1/2) INCH IRON ROD FOUND AT THE NORTH RIGHT OF WAY LINE OF TRENTON ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 48 DEGREES 30 MINUTES 48 SECONDS WEST, WITH THE NORTH RIGHT OF WAY LINE OF SAID TRENTON ROAD, A DISTANCE OF 504.77 FEET TO A HALF (1/2) INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 81 DEGREES 17 MINUTES 30 SECONDS EAST, A DISTANCE OF 472.40 FEET TO THE POINT OF BEGINNING, CONTAINING 1.62 ACRES OF LAND MORE OR LESS.

- GENERAL PLAT NOTES:**
- THIS SUBDIVISION IS IN FLOOD ZONE "C"; ZONE "C" IS DEFINED AS AREAS OF MINIMAL FLOODING
COMMUNITY-PANEL NUMBER 480334 0400 C
MAP REVISED NOVEMBER 16, 1982
 - MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF LOT.
 - MINIMUM SETBACKS ARE AS FOLLOWS:
-FRONT: (TRENTON ROAD OR N. 29TH STREET).....25 FEET OR GREATER FOR EASEMENTS
-REAR:10 FEET OR GREATER FOR EASEMENTS
-SIDE CORNER:.....10 FEET OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER
 - REQUIRED DETENTION FOR STORM SEWER RUNOFF AS PER THE APPROVED DRAINAGE REPORT IS 0.30 AC. FEET
 - CITY OF McALLEN BENCHMARK "MC48"
TYPE: 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP
LOCATION: SOUTHEAST CORNER OF THE INTERSECTION OF WARE ROAD (FM 2220) AND MILE 5 NORTH ROAD (AUBURN AVE), 22 FEET FROM THE EDGE OF PAVEMENT OF WARE ROAD (FM 2220) AND 43 FEET SOUTH FROM MILE 5 NORTH ROAD (AUBURN AVE). MONUMENT BEHIND A STREET CONTROL PANEL.
ELEVATION: 115.95
NORTHING: 16626507.81433
EASTING: 1066370.95561
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT
 - NO BUILDING ALLOWED OVER ANY EASEMENT.
 - 6 FEET OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
 - 8 FEET MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

HIDALGO COUNTY IRRIGATION DISTRICT #1

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #1 ON THIS, THE _____ DAY OF _____, 20____.

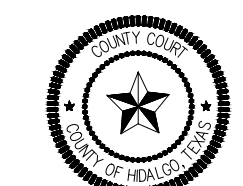
NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHT-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1.

ATTEST:
PRESIDENT SECRETARY

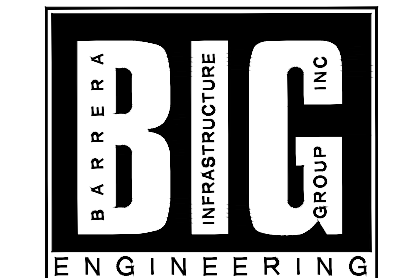
HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT, NO. 1
RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE

PRINCIPAL CONTACTS:		FIRM REG. NO. 6435	
NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: AROCARPA DESIGN & CONSTRUCTION LLC	929 E. ESPERANZA, SUITE 11	McALLEN, TX 78504	---
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ AVE.	EDINBURG, TX 78539	956-687-3355
SURVEYOR: PABLO SOTO JR.	1208 S. IRONWOOD ST.	PHARR, TX 78577	956-460-1605



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUARRIDO, JR.
HIDALGO COUNTY CLERK



ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

3525 W. FREDDY GONZALEZ AVE.
SUITE 102
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 2/14/2025

SUBDIVISION NAME: PLAZA MUZQUIZ	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Trenton Road: 60 ft. from centerline for 120 ft. Total ROW. Paving: 65-85 ft. Curb & gutter: Both sides - Need to provide document numbers shown on the plat for staff review prior to final. - Needs to label Total R.O.W. and dimensions taken from the Centerline to the boundary of the properties. - Display road name as "Trenton Road (120.0' R.O.W.)" **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are required prior to recording.</p>	Non-compliance
<p>N.29th Street: Dedication as needed for 50 ft. centerline for 100 ft. Total ROW. Paving 65 ft. Curb & gutter : Both Sides Revisions needed: - Provide an additional 10.0 ft. of R.O.W. dedication on N. 29th Street. - Need to provide document numbers shown on the plat for staff review prior to final. - Needs to label Total R.O.W. and dimensions taken from the Centerline to the boundary of the properties. - Display road name as "N. 29th Street (100.0' R.O.W.)" **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties. Revisions Needed: -Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. **Subdivision Ordinance: Section 134-106"</p>	Required
SETBACKS	
<p>* Front: Trenton Road/N.29th Street: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. Revisions Needed: *Revise plat note #3 as noted above. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: *Revise plat note #3 as noted above. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: *Revise plat note #3 as noted above. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: See front setback section above. Revisions Needed: -Add note as shown above, prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage: Commercial Development **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along Trenton Road and N. 29th Street. Revisions Needed: - Add plat note as shown above, prior to final. ***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. ***Please finalize plat note prior to final. **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy ***Must comply with Traffic Departments requirements prior to final.	TBD
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Add plat note as shown above prior to final.	Non-compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-3L Proposed: C-3L ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. As per application dated January 20, 2023 proposed land use is C-3L (Light Commercial) District. Commercial developments do not apply to Parks.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">- Plat is missing the label for the Point of Beginning (P.O.B.)- Need to include items in your legend table- On the Location map, make sure to label your site project and add a frame for the N. Arrow, put on the top left side of your location map viewport for clarity.- Clearly label all the streets and add their respective R.O.W.- Add the parcel map information on the surrounding parcels of your subdivision.- General Plat Notes missing include:<ul style="list-style-type: none">*Sidewalk Note*Access Easement Note*Common Areas Plat Note*25X25 ft. Sight Obstruction Easement Note*Alley requirement or Min. 24 ft. Private Service Drive Easement Note- Disclaimer: Any Abandonment of easements must be done by a separate instrument/document, cannot be done by plat.*Must comply with City's Access Management Policy.	Non-compliance
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEN ISD AG FARM
SUBDIVISION

LOT 1



LOCATION

LA LOMITA HEIGHTS
SUBDIVISION

LOT 1

LOT 1

LA LOMITA HEIGHTS
SUBDIVISION
PHASE 2

LOT 1

LA LOMITA HEIGHTS
SUBDIVISION
No. 3

THREE LYNN'S
LOT

TRENTON
SUE

PROPOSED
PLAZA
MUZQUIZ

TRENTON RD

N 29TH ST

DIVISION

ES SUBDIVISION

XENOPS AVE.

88 87 21 20 19 18 17

1 2 3 4

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name PREMIER ESTATES SUBD.

Legal Description 1.14 AC. o/o LOT 8, BIK. 2, RIO BRAVO PLANTATION COMPANY SUBD. H.C.T.

Location 180' WEST OF S. WARE RD. ALONG N. SIDE

City Address or Block Number 4232 S. Ware Road

Total No. of Lots 1 Total Dwelling Units Gross Acres 1.14 Net Acres 1.14

Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No

For Fee Purposes: Commercial (1.14 Acres) / Residential (Lots) Replat: Yes / No

Existing Zoning C-3L Proposed Zoning C-3L Applied for Rezoning No / Yes; Date 1-24-25

Existing Land Use OPEN Proposed Land Use RETAIL BUSINESS APARTMENTS

Irrigation District # NONE Water CCN: MPU / Sharyland Water SC Other

Agricultural Exemption: Yes / No Parcel # R2950-00-002-0008-03

Estimated Rollback Tax Due N/A Tax Dept. Review 270316 NG

Owner

Name Premier Asset Holdings, LLC Phone 655-7385

Address 2216 N. 47th Street E-mail LC TORRES091@HOTMAIL.COM

City McAllen State TX Zip 78501

Developer

Name SAME AS OWNER Phone

Address E-mail

City State Zip

Contact Person

Engineer

Name DAVID SALINAS Phone 682-9081

Address 2221 DAFFODIL AVE. E-mail dsalinas@salinasengineering.com

City McAllen State TX Zip 78501

Contact Person DAVID / MICK

Surveyor

Name SAME AS ENGR. Phone

Address E-mail

City State Zip

A.C.
01/23/25

RECEIVED
JAN 24 2025
By NG

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey ✓
- Location Map ✓
- Plat & Reduced Plat ✓
- Warranty Deed ✗
- DWG File ✓
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 1/15/25

Print Name DAVID OMAR SALINAS

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

VAR2025-0003



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description	<u>1.14 AC. o/o THE E. 1/2 OF LOT 8, Bk. 2, Rio Bravo Plantation Co., SUTD.</u>	
	Proposed Subdivision (if applicable)	<u>PREMIER ESTATES</u>	
	Street Address	<u>4232 Santa Maria Rd</u>	
	Number of lots	<u>1</u>	Gross acres <u>1.14</u>
	Existing Zoning	<u>C3L</u>	Existing Land Use <u>OPEN</u>

Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)

Applicant	Name	<u>JOSE G. FORTES</u>	Phone	<u>655-7385</u>
	Address	<u>2216 N. 47TH ST.</u>	E-mail	<u>FORTES091@ATTN.C</u>
	City	<u>McAllen</u>	State	<u>TX</u> Zip <u>78501</u>

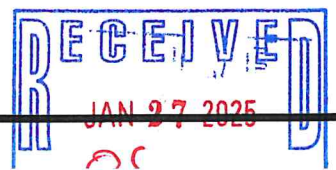
Owner	Name	<u>SAME AS APPLICANT</u>		
	Address	_____ E-mail _____		
	City	State	Zip _____	

Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?	
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.	
	Signature	<u>[Signature]</u> Date <u>1/27/25</u>

Print Name David Salinas, P.E. Owner Authorized Agent

Office	*FOR OFFICE USE ONLY*	
	APPLICATION FILING FEE:	<input checked="" type="checkbox"/> \$250.00
	Accepted by <u>JL</u>	Payment received by _____ Date <u>01/27/25</u>

Rev 06/21





City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

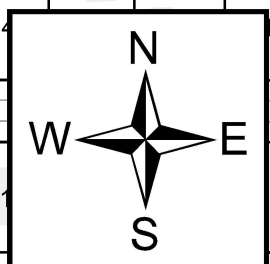
**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal	1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.
	LANDS BEING PLATED ARE 90' FROM ABUTTING A PUBLIC STREET (FRANCISCA AVE.). PROP. OWNERS ABUTTING FRANCISCA AVE. HAVE NOT RESPONDED TO LETTER SENT.
	2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.
	VARIANCE WILL PERMIT PROP. OWNER PLATING TO GET ACCESS TO FRANCISCA AVE. VIA A CURRENT MEASUREMENT - PREMIER TESTATES WILL PAVE 90'
	3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.
	VARIANCE WILL PERMIT PAVING FROM THIS SITE TO EXISTING FRANCISCA AVE.
	4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.
	VARIANCE WILL PERMIT ADJ. PROP. OWNER OF 90' TRACT TO MORE EASILY PLAT AND DEVELOPED THEIR PROPERTY.

PADRE
SUBDIVISION

S. WARE ROAD



LOT 1
SOUTH WARE
ROAD PLAZA
SUBDIVISION

LOT 2

LOCATION

ERRERO SUBDIVISION No. 2
LOT 1

ERNESTO GUERRERO
SUBDIVISION

LOT 1

**PROPOSED
PREMIER ESTATES
SUBDIVISION**

MAGIAS-TORRES
LOT 1
SUBDIVISION

LOPEZ-TORRES
SUBDIVISION

LOT 1

8

LOS ARCOS
SUBDIVISION

LOT 1

HERNANDEZ-GARCIA
SUBDIVISION
LOT 1

IDELA'S CORNER
SUBDIVISION

LOT 1

IDELA AVE.

IDELA AVE

S. WARE ROAD

14	15	16	17
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1	2	3	4
---	---	---	---

14	15	16	17
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ELMIRA AVE

1	2	3	4
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14	15	16	17
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FRANCISCA AVE

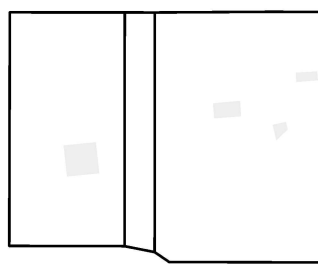
1	2	3	4
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14	15	16	17
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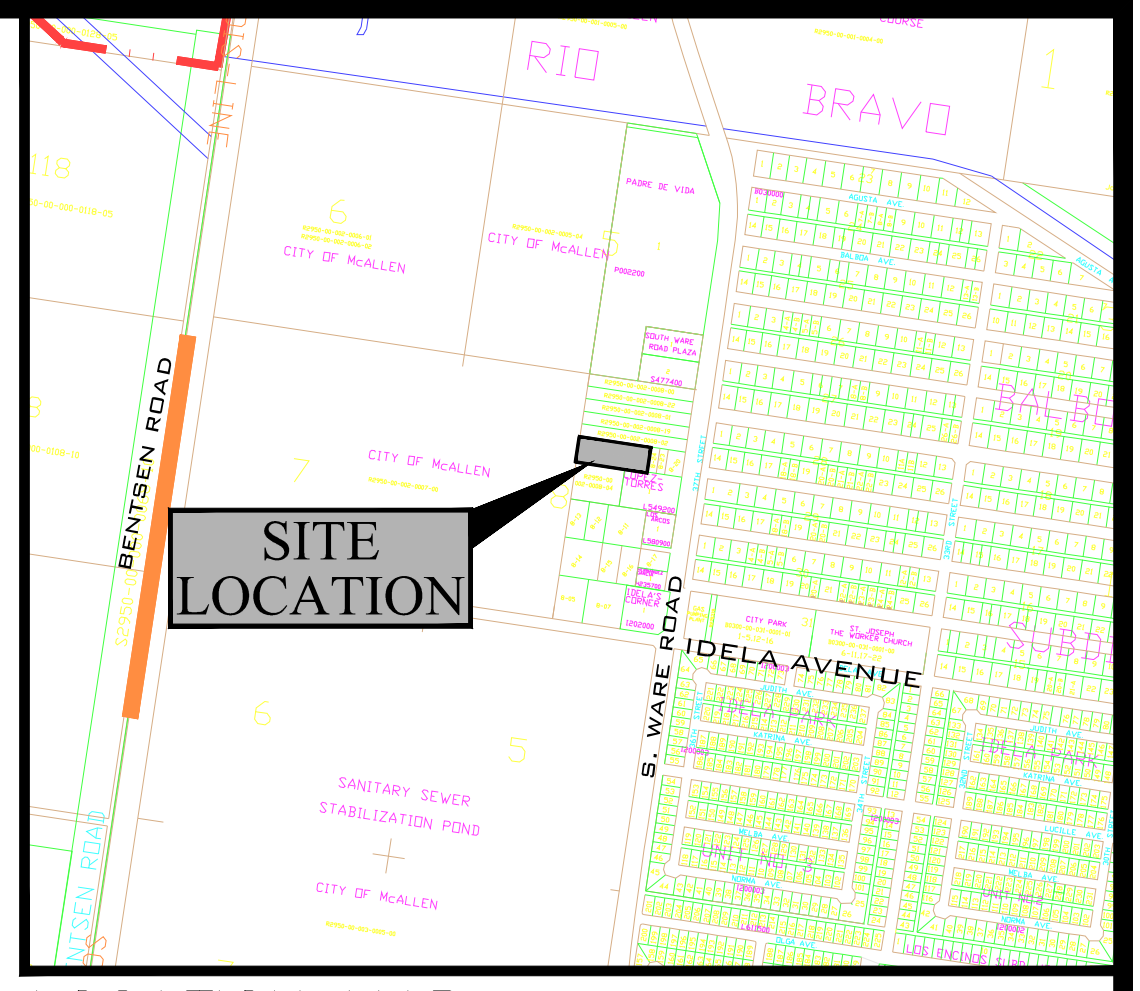
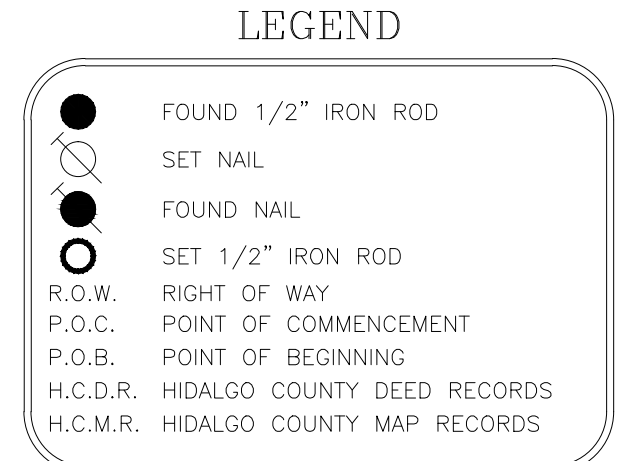
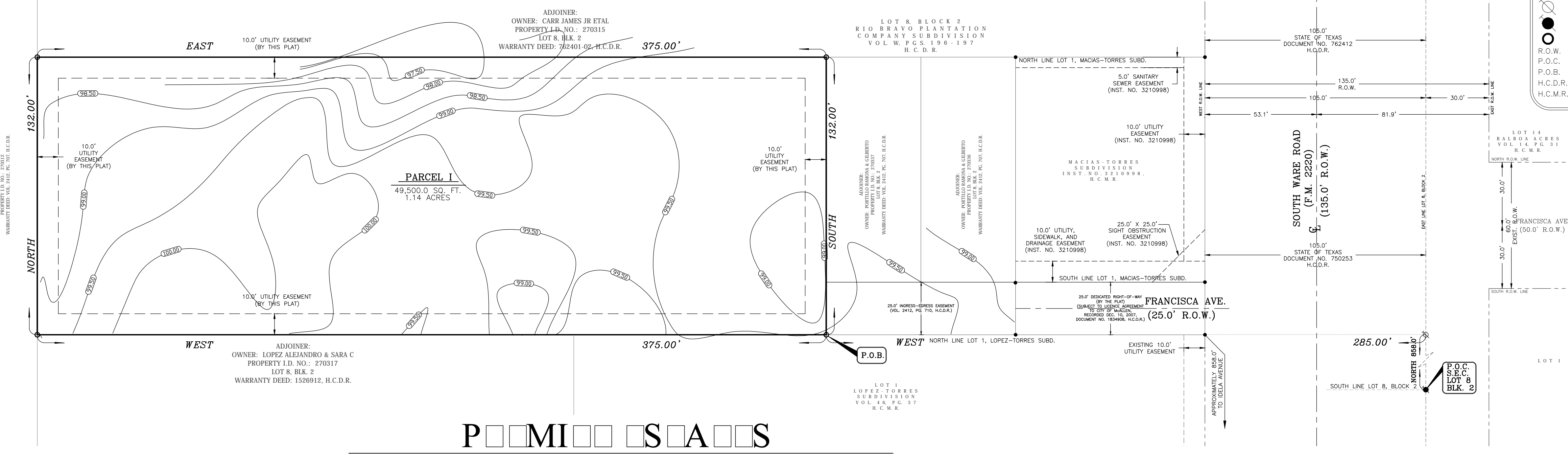
GLORIA AVE

1	2	3	4-A
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14	15	16	17
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64	65	66	67	68	69
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P R E M I E R A S S E T S

AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS.

BEING A 1.14 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 7.0 ACRES OF THE EAST 1/2 OF LOT 8, BLOCK 2, RIO BRAVO PLANTATION COMPANY SUBDIVISION OF PARTS OF PORCIONES 61, 62 AND 63, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME "W," PAGES 196 THRU 197, DEED RECORDS OF HIDALGO COUNTY, TEXAS;

DESCRIPTION AND BOUNDS DESCRIPTION
 BEING A 1.14 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 7.0 ACRES OF THE EAST 1/2 OF LOT 8, BLOCK 2, RIO BRAVO PLANTATION COMPANY SUBDIVISION OF PARTS OF PORCIONES 61, 62 AND 63, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME "W," PAGES 196 THRU 197, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.14 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL FOUND ON THE SOUTHWEST CORNER OF SAID LOT 8 LOCATED WITHIN THE RIGHT-OF-WAY OF SOUTH WARE ROAD; THENCE, AS FOLLOWS:

- NORTH, COINCIDENT WITH THE EAST LINE OF SAID LOT 8, A DISTANCE OF 858.0 FEET TO A NAIL SET; THENCE,
- WEST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 105.0 FEET PASS A 1/2 INCH DIAMETER IRON ROD FOUND ON THE SOUTHEAST CORNER OF LOT 1, MACIAS-TORRES SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 3210998, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AT A DISTANCE OF 285.0 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
- (1) THENCE, WEST, A DISTANCE OF 375.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (2) THENCE, NORTH, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 8, A DISTANCE OF 132.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (3) THENCE, EAST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 375.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (4) THENCE, SOUTH, ALONG A LINE PARALLEL TO THE WEST LINE OF SAID LOT 8, A DISTANCE OF 132.0 FEET TO THE POINT OF BEGINNING, CONTAINING 1.14 ACRES OF LAND, MORE OR LESS.

BEARING SOURCE: MACIAS-TORRES SUBD., McALLEN, HIDALGO COUNTY, TEXAS. N:\SUBDIVISION\PLATS\PREMIERESTATES\SUB\1.14-011425

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E. _____ DATE _____
 REG. PROFESSIONAL ENGINEER #71973

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S. _____ DATE _____
 REG. PROFESSIONAL LAND SURVEYOR #5782

STATE OF TEXAS
 CITY OF McALLEN
 I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____

APPROVED BY DRAINAGE DISTRICT:
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
 GENERAL MANAGER

STATE OF TEXAS
 COUNTY OF HIDALGO
 WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **PREMIER ESTATES** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: PREMIER ASSET HOLDINGS, LLC
 JOSE FUENTES, MANAGER
 2216 N. 47th. ST.
 McALLEN, TEXAS 78501

OWNER: PREMIER ASSET HOLDINGS, LLC
 NAYFA M. SATARAIN, MANAGER
 2216 N. 47th. ST.
 McALLEN, TEXAS 78501

STATE OF TEXAS
 COUNTY OF HIDALGO
 BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PREMIER ASSET HOLDINGS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
 MY COMMISSION EXPIRES, _____

STATE OF TEXAS
 CITY OF McALLEN
 I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON
 PLANNING AND ZONING COMMISSION

DATE

GENERAL PLAT NOTES:

1. MINIMUM SETBACK LINES = FRONT (N. WARE RD.): IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR ON LINE WITH AVERAGE SETBACK, WHICHEVER IS GREATER APPLIES.
 SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR AN APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
 REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR AN APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
2. SETBACKS FOR THE EXISTING STRUCTURE(S) WILL REMAIN; HOWEVER, ONCE REDEVELOPMENT AND/OR AN EXPANSION OCCURS THEN NEW SETBACKS WILL APPLY.
3. LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/02/82, COMMUNITY PANEL NO. 480343 0010 C.
4. MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE 18.0 INCHES ABOVE THE TOP OF SOUTH WARE ROAD AS MEASURED FROM THE CENTER OF THIS LOT.
5. THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 11,267.12 CUBIC FEET (0.259 AC. FEET) OF DRAINAGE RUNOFF VOLUME.
6. THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY EASEMENTS SHALL BE PROHIBITED.
7. NO POTABLE DRINKING WATER WELL IS LOCATED WITHIN 150.0 FEET FROM THIS SUBDIVISION.
8. A 6' OPAQUE BUFFER IS REQUIRED FROM ANY ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONE/USE. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USE.
9. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
10. BENCHMARK: BENCHMARK ELEVATION= 98.55. McALLEN SURVEY CONTROL POINT NO. 92, LOCATED INSIDE IDELA PARK 50 FEET NORTH FROM THE B.C. OF IDELA STREET AND 162 FEET EAST FROM THE CL. OF WARE ROAD.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: PREMIER ASSET HOLDINGS, LLC	2216 N. 47th ST.	McALLEN, TEXAS 78501	(956) 655-7385	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489

P R E M I E R A S S E T S
 PREPARED BY: SALINAS ENGINEERING & ASSOCIATES
 DATE OF PREPARATION: JANUARY 23, 2025.
 JOB NUMBER: SP-24-26270
 OWNER: PREMIER ASSET HOLDINGS, LLC
 JOSE FUENTES, MANAGER
 NAYFA M. SATARAIN, MANAGER
 2216 N. 47th. ST.
 McALLEN, TEXAS 78501

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE DRAINAGE DISTRICT NO. 1 ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JANUARY 23, 2025. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

SEA
SALINAS ENGINEERING & ASSOCIATES
 (F-6675) (TBPLS-10065700)
 CONSULTING ENGINEERS & SURVEYORS
 2221 DAFFODIL - McALLEN, TEXAS 78501
 (956) 682-9081 (956) 686-1489 (FAX)
 TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 2/14/2025

SUBDIVISION NAME: PREMIER ESTATES SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
Francisca Ave.: Dedication for 50 ft. R.O.W. Paving: 32 ft. Curb & gutter: both sides *On the recorded subdivision of Macias-Torres Subdivision, City Commission approved a variance to allow for 25 ft. R.O.W. instead of the 50 ft. subject to execution of a license agreement for pavement of a 25 ft. ROW in lieu of the 50 ft. ROW dedication. Will be applied if boundaries are the same as the previous project. *Variance request (VAR2025-0003) to be presented at the Planning & Zoning Commission of February 18, 2025. Variance request is for the owners to get access to Francisca Ave. via a current easements, of which premier will pave 90 ft. ***Needs to clarify with staff on the width of the pavement, for B-B. We understand 90 ft. length, but what about the width?	Non-compliance
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118	NA
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac _____ **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties. **Will be reviewed/applied as part of the site plan review.	Non-compliance
SETBACKS	
* Front: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: Proposing: Front (N. Ware Rd.) In accordance with Zoning Ordinance... *Disclaimer: Need to finalize Frontage of the Subdivision. **Zoning Ordinance: Section 138-356	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Sides _____ **Zoning Ordinance: Section 138-356</p> <p>* Corner _____ **Zoning Ordinance: Section 138-356</p> <p>* Garage _____ **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
	Applied
	NA
	NA
	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Francisca Ave. **May increase to 5 ft. as per Engineering Department. -Add plat note for the 4 ft. wide minimum sidewalks. *Please finalize note prior to final. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Need to add plat note as shown above and once finalized prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	TBD
	Applied
	Non-compliance
	Applied
	NA

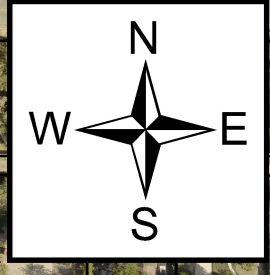
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<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets.. *Disclaimer: Subdivision is currently considered "Landlocked" *Variance request (VAR2025-0003) to be presented at the Planning & Zoning Commission of February 18, 2025. **Subdivision Ordinance: Section 134-1</p>	<p>Non-compliance</p>
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: C-3L (Light Commercial District) Proposed: C-3L (Light Commercial District) ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Required</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Need to provide staff with copy of all recorded documents being shown on the plat for review prior to final. - Verify the Bearings and distances matching with the Metes and Bounds Description. - Provide a North Arrow on the Location Map. - On the Location map, the Hidalgo County Parcel maps came out multi-colored. Set the line layer to use black lines. - Need to correct the Planning & Zoning Commission chairman's Signature Block with correct wording, as it should read; _____ DATE Chairman, Planning & Zoning Commission - Need to correct the Mayor's Signature Block with correct wording, as it should read; _____ DATE Mayor, City of McAllen - Variance to be reviewed at the P&Z meeting of February 18, 2025. *Must comply with City's Access Management Policy.</p>	<p>Non-compliance</p>

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RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVALS, AND BOARD'S DECISION ON THE RESPECTIVE VARIANCE.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

PR
SUB

LOT 1
SOUTH WARE
ROAD PLAZA
SUBDIVISION

LOT 2

GUERRERO SUBDIVISION No. 2
LOT 1

ERNESTO GUERRERO
SUBDIVISION
LOT 1

PROPOSED
PREMIER ESTATES
SUBDIVISION

MACIAS-TORRES
LOT 1
SUBDIVISION

LOPEZ-TORRES
SUBDIVISION
LOT 1

8

LOS ARCOS
SUBDIVISION
LOT 1

HERNANDEZ-GARCIA
SUBDIVISION
LOT 1

IDELA'S CORNER
SUBDIVISION
LOT 1

S. WARE RD

DAYTONA AVE

ELMIRA AVE

FRANCISCA AVE

GLORIA AVE

HELENA AVE

IDEA AVE

ARE RD

1 2 3
14 15 16
1 2 3
14 15 16
1 2 3
14 15 16
1 2 3
14 15 16
65 66 67 68
64

IDEA AVE

IDEA AVE

IDEA AVE

2025 P&Z CALENDAR

<p>Meetings:</p> <ul style="list-style-type: none"> ● City Commission ▲ Public Utility Board ■ Planning & Zoning Board ■ Zoning Board of Adjustment <p>HPC - Historic Pres Council</p>	<p>Deadlines:</p> <p>D- Zoning/CUP Application N - Public Notification</p> <p>* Holiday - Office is closed</p>
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JANUARY 2025							FEBRUARY 2025					
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 HOLIDAY	2	3	4							1
5	6 A-1/21 & 1/22	7	8 D- 2/4 & 2/5 N-1/21 & 1/22	9	10	11	2	3 A-2/18 & 2/19	4	5 D- 3/4 & 3/5 N-2/18 & 2/19	6	7	8
12	13 ●	14 ▲	15	16	17	18	9	10 ●	11 ▲	12	13	14	15
19	20 A-2/4 2/5	21	22 D-2/18 & 2/19 N- 2/4 & 2/5	23	24	25	16	17 A-3/4 & 3/5	18	19 D-3/18 & 3/19 N- 3/4 & 3/5	20	21	22
26	27 ●	28 ▲	29 HPC	30	31		23	24 ●	25 ▲	26 HPC	27	28	

MARCH 2025							APRIL 2025					
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1			1	2 D-5/6 & 5/7	3	4	5
2	3 A-3/18 & 3/19	4	5 D-4/1 & 4/2 N-3/18 & 3/19	6	7	8	6	7 A-4/22 & 4/23	8	9 N-4/22 & 4/23	10	11	12
9	10 ●	11 ▲	12	13	14	15	13	14 ●	15 ▲	16 D-5/21 & 5/22	17	18 HOLIDAY	19
16	17 A-4/1 & 4/2	18	19 D- 4/22 & 4/23 N-4/1 - 4/2	20	21	22	20	21 A-5/6 & 5/7	22	23 N-5/6 & 5/7	24	25	26
23	24 ●	25 ▲	26 HPC	27	28	29	27	28 ●	29 ▲	30 HPC	31		

MAY 2025							JUNE 2025					
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3	1	2 A-6/17 & 6/18	3	4 D- 7/8 - 7/9 A-6/17 & 6/18	5	6	7
4	5 A-5/20 & 5/21	6	7 D-6/3 & 6/4 N-5/20 & 5/21	8	9	10	8	9 ●	10 ▲	11	12	13	14
11	12 ●	13 ▲	14	15	16	17	15	16	17	18	19	20	21
18	19 A-6/3 & 6/4	20	21 D-6/17 & 6/18 N-6/3 & 6/4	22	23	24	22	23 ●	24 A-7/8 & 7/9	25 D-7/22 & 7/23 D-7/8 & 7/9	26	27	28
25	26 HOLIDAY	27 ●	28 ▲	29	30	31	29	30	31 ▲				

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.









PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
 Phone: 956-681-1250 Fax: 956-681-1279









2025 P&Z CALENDAR

<p>Meetings:</p> <p>  City Commission  Planning & Zoning Board  Public Utility Board  Zoning Board of Adjustment HPC - Historic Pres Council </p>	<p>Deadlines:</p> <p> D- Zoning/CUP Application N - Public Notification * Holiday - Office is closed </p>
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




JULY 2025							AUGUST 2025						
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5						1	2
					HOLIDAY								
6	7	8	9	10	11	12	3	4	5	6	7	8	9
	A-7/22 & 7/23		D - 8/5 & 8/6 N - 7/22 & 7/23					A-8/19 & 8/20		D-9/10 & 9/11 N-8/19 & 8/20			
13	14	15	16	17	18	19	10	11	12	13	14	15	16
													
20	21	22	23	24	25	26	17	18	19	20	21	22	23
	A-8/5 & 8/6		D-8/19 & 8/20 N - 8/5 & 8/6										
27	28	29	30	31			24	25	26	27	28	29	30
			HPC							HPC			
							31	A-9/10 & 9/11		N-9/10 & 9/11			

SEPTEMBER 2025							OCTOBER 2025						
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
	HOLIDAY												
7	8	9	10	11	12	13	5	6	7	8	9	10	11
			D - 10/7 & 10/8 N-9/24 & 9/25					A-10/21&10/22		D-11/4 & 11/5 N-10/21&10/22			
14	15	16	17	18	19	20	12	13	14	15	16	17	18
													
21	22	23	24	25	26	27	19	20	21	22	23	24	25
			D-10/21 & 10/22 N-10/7 & 10/8					A-11/4 & 11/5		D-11/18&11/19 N-11/4 & 11/5			
28	29	30					26	27	28		30	31	
										HPC			

NOVEMBER 2025							DECEMBER 2025						
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Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1							
								A-12/16 & 12/17		D-TBA N-12/16 & 12/17			
2	3	4	5	6	7	8	7	8	9	10	11	12	13
	A-11/18 & 11/19		D-12/2 & 12/3 N-11/18&11/19										
9	10	11	12	13	14	15	14	15	16	17	18	19	20
								A-TBA		D-TBA N-TBA			
16	17	18	19	20	21	22	21	22	23	24	25	26	27
	A-12/2 & 12/3		D-12/16&12/17 N-12/2 & 12/3							HOLIDAY	HOLIDAY		
23	24	25	26	27	28	29	28	29	30	31			
				HOLIDAY									

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