

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JUNE 20, 2023 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval/Disapproval of the minutes for the June 6, 2023 meeting

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Ricardo Ramos, on behalf of The Vineyard Wine Lounge, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Boutique Wine Shop at Lot 10, Block 3, Club Addition Amended Subdivision, Hidalgo County, Texas; 125 East Pecan Boulevard. **(CUP2023-0062)**
2. Request of Rolando Limon, on behalf of Arbol de Fe Esperanza y Amor, for a Conditional Use Permit, for Life of the Use, and adoption of an ordinance, for an Institutional Use (church) at Lot 1, Town & Country Subdivision, Hidalgo County, Texas; 4300 North 2nd Street. **(CUP2023-0064)**
3. Request of Miguel Carlos Macias Padilla, for a Conditional Use Permit, for one year, for an Institutional Use (beauty school), at Lots 11 & 12, Block 1, South Main Street Subdivision, Hidalgo County, Texas; 1912 & 1916 South Main Street. **(CUP2023-0066)**
4. Request of Maria D. Acuna, for a Conditional Use Permit, for one year, and adoption of an ordinance, for an outdoor commercial recreation (soccer fields), at 1.405 acre tract (deed) out of Lot 151, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 501 South Bentsen Road. **(CUP2023-0067)**
5. Request of Moises Martinez De La Cruz, for a Conditional Use Permit, for one year, and adoption of an ordinance for an automotive service and repair shop (mechanic shop), at Lot 5, Block 13, Young's Subdivision, Hidalgo County, Texas; 218 South 23rd Street. **(CUP2023-0072)**

6. Request of Jessica Aguilar, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar (The Bearded Lady), at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suite Q. **(CUP2023-0073)**
7. Request of Jessica Aguilar, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar (Suerte Bar & Grill Uptown), at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suites N1-N2. **(CUP2023-0074)**
8. Request of Jessica Aguilar, for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar (Love Buzz), at the north 20 feet of Lot 1 & all of Lot 2 excluding the northwest 225 feet by 240 feet of Lot 2, Plaza Del Norte Subdivision, Hidalgo County, Texas; 3424 North 10th Street. **(CUP2023-0075)**
9. Request of Carlos Maldonado, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Smoke Shop, at Lots 4 and 5, McAllen Northwest Industrial Subdivision No. 2, Hidalgo County, Texas; 5000 North 23rd Street, Suite F. **(CUP2023-0068)**
10. Request of David A. Lisauckis, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a bar at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suite H1. **(CUP2023-0076)**
11. Request of David A. Lisauckis, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a bar at Lots 9, 10 & 11, Block 2, Eltus Subdivision, Hidalgo County, Texas; 1116 Pecan Boulevard. **(CUP2023-0077)**
12. Request of Tomas Flores Martinez, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a bar at Lots 10, 9 & 8, 21st Place Subdivision, Hidalgo County, Texas; 2005 Nolana Avenue. **(CUP2023-0078)**

b) REZONING:

1. Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: An 8.11 acre tract out of Lot 9, E.M. Card Survey No.1, Hidalgo County, Texas; 9228 North Bicentennial Boulevard. **(REZ2023-0021)(TABLED ON 6/6/2023)**
2. Rezone from C-1 (office building) District to C-2 (neighborhood commercial) District: South 161.6 feet of the West 212.0 feet of the East 10.04 acres of the West 20.04 acres of Lot 6, Block 2, C.E. Hammond's Subdivision, Hidalgo County, Texas; 4200 Pecan Boulevard. **(REZ2023-0024)**
3. Rezone from R-1 (single-family residential) District to R-3A (multifamily apartment residential) District: 2.025 acres, consisting of 1.493 acres out of a part or portion out of Lot 202, and 0.532 acre out of a part or portion out of Lot 205, Pride O' Texas Subdivision, Hidalgo County, Texas; 9212 North 36th Street. **(REZ2023-0025)**
4. Rezone from C-1 (office building) District to C-2 (neighborhood commercial) District: 0.32 of acre tract of land being a portion of Lot 57, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 7612 North Ware Road. **(REZ2023-0026)**

3) CONSENT:

- a) Plaza Las Fuentes Fortis Subdivision, 5800 North 10th Street, Fortis Land Holdings, LLC and El Pistalon, LLP **(SUB2022-0093) (FINAL) RDE**
- b) Balderas Ranch Lots 1A and 1B Subdivision, 18500 North Moorefield Road, Leandro Balderas **(SUB2022-0101) (REVISED FINAL) REGA**

4) SUBDIVISIONS:

- a) Olive Grove Estates Subdivision, 3900 Lark Avenue, Mouayad Development, LLC **(SUB2023-0013) (REVISED FINAL) JHE**
- b) Brier Village Phase II Subdivision, 3925 North Bentsen Road, Garman Investments, LP **(SUB2023-0055) (PRELIMINARY) M&H**
- c) McAllen South Industrial Park Phase II Subdivision, 1401 Military Highway, MSIP Affiliates LTD **(SUB2023-0052) (PRELIMINARY) SEC**
- d) Silverado Moon Subdivision, 8100 North Taylor Road, Fortis Land Company, LLC **(SUB2023-0053) (PRELIMINARY) RDE**
- e) McAllen Oaks North Subdivision, 2701 State Highway 107, Mark Wilkins and Noe Gonzalez **(SUB2023-0015) (REVISED PRELIMINARY) MDCE**
- f) Limas Subdivision, 418 Frontera Road, Flor Aurora Limas **(SUB2023-0051) (PRELIMINARY) CHLH**
- g) McCollbak Subdivision, 2100 South McColl Road, Bakke Development **(SUB2023-0057) (PRELIMINARY) HA**
- h) Sycamore Terrace Subdivision, 1107 Tamarack Avenue, Samuel F. Vale **(SUB2023-0056) (PRELIMINARY) SEC**
- i) The Villages at Dallas Subdivision, 601 Dallas Avenue, The Villages at Dallas, LLC **(SUB2023-0054) AE**

5) ORDINANCE:

- a) Consideration and possible approval of an amendment to the zoning ordinance relating to carport special exceptions.

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday June 6, 2023, at 3:35p.m. at the McAllen City Hall, 3rd Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

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| Present: | Michael Fallek Gabriel Kamel Jose Saldana Emilio Santos Jr. Erica De la Garza | Chairperson Vice Chairperson Member Member Member |
| Absent: | Marco Suarez Aaron Rivera | Member Member |
| Staff Present: | Isaac Tawil Evaristo Garcia Michelle Rivera Luis Mora Jose Humberto De la Garza Omar Sotelo Rodrigo Sanchez Mario Escamilla Kaveh Forghanparast Samuel Nunez Samantha J. Trevino Eduardo Garza Jacob Salazar Jessica Puga Magda Ramirez | City Attorney Assistant City Attorney III Assistant City Manager Deputy Director Development Coordinator Senior Planner Senior Planner Planner III Planner III Planner II Planner I Planner I Planner Technician I Planner Technician I Administrative Assistant |

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION- Mr. Emilio Santos Jr.

1) MINUTES:

- a) Approval/disapproval of the minutes for the June 6, 2023 meeting.

The minutes for the regular meeting held on June 6, 2023 was approved as submitted by Vice Chairperson Mr. Gabriel Kamel. Seconding the motion was Mr. Jose Saldana which carried unanimously with 5 members present and voting.

2) PUBLIC HEARING:

- a) **CONDITIONAL USE PERMITS:**

- 1) Request of Daniela V. Morales, on behalf of Getsemani Voluntad de Dios, for a Conditional Use Permit, for one year, for an institutional use (church), at Lot 1 Block 23, McAllen Addition Subdivision, Hidalgo County, Texas; 220 South 16th Street. **(CUP2023-0057)**

Mr. Eduardo Garza stated that the subject property is located on the northwest corner of Chicago Avenue and South 16th Street. It is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. An institutional use is permitted in a C-3 District with a conditional use permit and in compliance with requirements. Surrounding land uses include commercial businesses.

The applicant is proposing to operate a church from an existing 2,000 square foot building. The proposed hours of operation are Sunday 10 AM - 1 PM and Friday prayer meeting from 6 PM - 8 PM. Based on the 40 proposed seats, 10 parking spaces are required; the applicant is showing 10 parking spaces on the site plan which are provided at the rear of the property. The adjacent property (that shares common ownership) has authorized the use of 5 additional parking spaces with access from the alley.

The Fire Department conducted the necessary inspection and has approved for the CUP process to continue. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions noted of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts South 16th Street and Chicago Avenue.

The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas. Based on the proposed 40 seats, 10 parking spots are required; the applicant is showing 10 parking spaces on the site plan which are provided at the rear of the property. The adjacent property (that shares common ownership) has authorized the use of 5 additional parking spaces with access from the alley.

The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;

The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;

Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;

The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;

Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 of the Zoning Ordinance, Building Permits, and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve subject to conditions noted. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

- 2) Request of Tony Garza on behalf of Jaime Gonzalez for a Conditional Use Permit, for life of use, and adoption of an ordinance, for a guest house at Lot 9 Block 2, Maple Addition Subdivision, Hidalgo County, Texas; 700 Laurel Avenue. **(CUP2023-0061)**

Mr. Eduardo Garza stated that the subject property is located along the north side of Laurel Avenue approximately 340 feet west of North 6th Street. The property is zone R-1 (single family residential) District and has a Lot size of 9,937.5 square feet. The applicant is proposing to construct a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District in all directions. Surrounding land uses are single-family residences.

The plat for Maple Addition Subdivision was recorded on July 13, 1949. According to Hidalgo County Appraisal District records, the existing residence was built in 1970. The applicant is proposing to demolish an existing accessory building and carport in order to build the guest house. The application for a Conditional Use Permit for a guest house was submitted on April 18, 2023.

The proposed two-story guest house will have an approximate size of 1,248 square feet. According to the submitted site plan, the proposed guest house will include a garage, one bedroom, one bathroom, a living room, and a kitchen area. There is an existing carport and driveway at the rear of the property. There is an existing driveway that will be repaved for use with the garage. The proposed garage will be used to store the property owner's classic Cadillac.

The proposed guest house is for temporary stays by visiting relatives. A guest house is permitted within an R-1 District with an approved Conditional Use Permit and in compliance with all other requirements.

The guest house must meet the requirements in Section 138-118(a)(5) of the Zoning Ordinance as follows:

- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance as shown on the submitted site plan;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the Lot size is 9,937.5 square feet;

- 5) Separate driveways or garages for the proposed use shall not be permitted. The applicant is proposing a separate garage for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

If approval is granted for this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends disapproval of the request based on noncompliance with requirement listed above as # 5 (separate driveway or garage) and Section 138-118(a)(5)(e) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Jose Saldana seconded the motion, which was disapproved with favorable recommendation with five members present and voting.

- 3) Request of Ramiro Armendavis, for a Conditional Use Permit, and adoption of an ordinance, for one year, for a Bar (Bourbon Street) at Lot 1, Palm Manor Subdivision, Hidalgo County, Texas; 4800 North 10th Street, Suite A **(CUP2023-0059)**.

Ms. Samantha Trevino stated that the property is located at the northeast corner of North 10th Street and Violet Avenue and is zoned C-3 (general business) District. The adjacent zoning is R-3A (multifamily residential apartments) District to the North and East, and C-3 (general business) District to the South and West across North 10th Street. A bar business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

This is the initial application for a Conditional Use Permit with a variance to the distance requirement for a bar business being at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property. It is within 400 feet of a residential zone and use.

The applicant is proposing to operate a bar under the name Bourbon Street from the approximately 3,127 square foot building. The proposed hours of operation are from 11 a.m. to 2 a.m. Monday through Sunday. The proposed Suite (Suite A) is part of a retail center plaza on North 10th street.

The Fire Department based on initial inspection determined the CUP process may be allowed to continue. The Health Department inspected the bar and determined the property to be in compliance. The Planning Department has received no complaints regarding the proposed use. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of a residential zone/use to the east;
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to North 10th Street; on Violet Avenue, both commercial streets.
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. The plaza has shared parking for all suites.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Jose Saldana seconded the motion, which was disapproved with favorable recommendation with five members present and voting.

- 4) Request of Joe Hernandez (SLR Building Contractors LLC) on behalf of

Cavazos Elementary School, for a Conditional Use Permit, for one year, for an Institutional Use (gym addition) at Lot 1, Southwest Elementary School Subdivision, Hidalgo County, Texas; 1501 Freddy Gonzalez Drive. **(CUP2023-0060)**

Ms. Samantha Trevino stated that the property is located at the southwest corner of Freddy Gonzalez Drive and North Bicentennial Boulevard. The subject property is zoned A-O (agricultural and open space) District. The adjacent zoning is R-1 district to the north, east and west. There is A-O District to the south. A school is permitted in the A-O district with a Conditional Use Permit and in compliance with requirements.

The original Conditional Use Permit for an Institutional Use for a school was submitted and approved in 1996. The application to amend the Conditional Use Permit request was submitted April 28, 2023 and is for one year.

The applicant is proposing to construct an addition and make improvements to the existing gymnasium at Cavazos Elementary School. The proposed addition is approximately 1,530 square feet and will consist of two restrooms and an office.

Parking remains compliant with requirements.

The Fire Department has completed their inspection and have determined the CUP process may continue. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions noted on the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts Freddy Gonzalez Drive.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas. The parking must be clear of potholes and be properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened

by a 6 ft. opaque fence.

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 (as applicable) and Section 138-400 of the Zoning Ordinance, and Building Code and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

b) REZONING:

- **Chairperson Mr. Michael Fallek requested to read item 2b4 first.**

- 4) Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: An 8.11 acre tract out of Lot 9, E.M. Card Survey No.1, Hidalgo County, Texas; 9228 North Bicentennial Boulevard. **(REZ2023-0021)**

Mr. Samuel Nunez stated the applicant requested to table the item. Chairperson Mr. Michael Fallek asked if anyone was present that wanted to have their concerns on record. There were eight citizens:

Citizen Laura Garcia Vilas, did not specify address but said she lives north of the property of concern, stated her concerns are traffic, drainage, developers building other apartment complexes and the quality of life that may be affected. Ms. Vilas stated she is interested in sitting with the developer and coming into a compromise.

Citizen Jaime Gonzalez, 1500 Northgate Lane, stated he had the same concerns as Ms. Laura Vilas stated above.

Citizen Gene Reed, did not specify address but said he lives in Villageo Subdivision, stated they have a petition by home owners (63) that are in opposition to this request.

Citizens Leonel Garza (1413 Northgate Lane), Roberto Tijerina (1420 Northgate Lane), Ricardo Gonzalez (1401 Northgate Lane), Fidencio Flores (1600 Northgate Lane), Betty Melhart (1700 Northgate Lane) all stated they are opposed to the above request and agree with the above citizen statements.

After a lengthy discussion, Vice Chairperson Mr. Gabriel Kamel moved to table the item. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

- 1) Rezone from I-1 (light industrial) District to I-2 (heavy industrial) District: 73.58 acres out of Lot 6 & Lot 5, Block 3, Rio Bravo Plantation Company's Subdivision, Hidalgo County, Texas; 4101 Idela Avenue. **(REZ2023-0022)**

Mr. Samuel Nunez stated that The subject property is located on the southwest corner of South

Ware Road and Idela Avenue. The property is part of a larger tract of land, which also fronts the north side of Sarah Avenue. The property being rezoned has a depth of 2,535 feet at its highest point and 1,275 feet of width at its highest point for a total lot size of 73.58 acres.

The applicant is requesting to rezone the property to I-1 (light industrial) District, in order to develop the tract of land for an (I-2) industrial park. A feasibility plan has not been submitted.

The subject property is part of a larger tract of land which is zoned both I-1 District and I-I-2 (heavy industrial) District to the south. The adjacent zoning is A-O (agricultural and open space) District to the west, I-1 District, C-4 (commercial industrial) District, C-3L (light commercial) District, and C-2 (neighborhood commercial) District to the north across Idela Avenue, R-1 (single-family residential) District to the east across South Ware Road, and I-2 District to the south.

The subject property is currently vacant. Surrounding land uses include an Idea Public School, City of McAllen's South Wastewater Treatment Plant, industrial, commercial, and single family residential uses.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as industrial, which is comparable to the C-4, I-1, and I-2 Districts.

The development trend for this area along South Ware Road is a mix of industrial, commercial, and residential uses.

The property was initially zoned I-1 (light industrial) District at the City Commission meeting of March 23, 1992, and has remained I-1 District ever since. An application for a proposed subdivision under the name "McAllen Near-Shoring Industrial Park" was submitted in April 17, 2023 and is underway.

The requested zoning conforms to the Industrial land use designation as indicated on the Foresight McAllen Comprehensive Plan. The rezoning trend along South Ware Road also includes industrial districts and uses.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Compliance with off-street parking, landscaping, and various building and fire codes are required as part of the building permitting process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends approval of the rezoning request to I-2 (heavy industrial) District since it conforms to the Industrial land use designation as indicated on the Foresight McAllen Comprehensive Plan.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Vice Chairperson Mr. Gabriel Kamel requested to correct the L1 –L2 proposal to L2 proposal section in memo to say applicant was requesting to rezone to L-2 District to develop the tract into a L-2 Development.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Mr. Jose Saldana

seconded the motion, which was approved with five members present and voting.

- 2) Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: the north 74.00 feet of the south 230.75 feet of the west 184.10 feet of Lot 16, and the south 156.75 of the west 184.10 feet of Lot 16, Stewart's Addition, Hidalgo County, Texas; 808 Houston Avenue. **(REZ2023-0023)**

Mr. Samuel Nunez stated that the subject properties are located on the northwest corner of Houston Avenue and South 8th Street. The tracts being rezoned have a total depth (from Houston Avenue) of 230.75 feet and 184.10 feet of width for a total lot size of 42,481.07 square feet.

The applicant is requesting to rezone the property to R-3A (multi-family apartment residential) District in order to develop the tract of land for a mixed multi-family development that would include duplexes through fourplexes. A single-family residence is also proposed to the north of the subject properties. A site plan for the proposed development was submitted along with this rezoning request.

The adjacent zoning is C-1 (office building) District to the west, R-1 (single-family residential) and R-2 (duplex-fourplex residential) District to the north, R-1 District to the east across South 8th Street, and R-3A (multi-family apartment residential) District to the south across Houston Avenue.

The subject property is currently vacant. Surrounding land uses include Grand Terrace Rehabilitation and Healthcare, Travis Middle School, Jackson Square Apartments, single-family residential uses, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as auto urban single family, which is comparable to R-1 (single-family residential) District.

The development trend for this area along Houston Avenue is commercial with a mix of single and multi-family residential uses.

The property was zoned R-1 (single-family residential) District during McAllen's Comprehensive Zoning of 1979. A rezoning request to C-3 (general business) District was submitted on February 23, 2011 and was disapproved by City Commission on April 11, 2011 due to concerns over traffic and surrounding residential uses. This rezoning request was submitted on May 3, 2023.

The requested zoning does not conform to the auto urban single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, the rezoning and development trends along South 8th Street and Houston Avenue include multi-family zones and uses.

The proposed apartment development would have access through South 8th Street. According to the Traffic Department, any proposed access through Houston Avenue will require a variance approval from the Traffic Commission Board. Access through South 8th Street may cause traffic congestion due to the existing width of the main road.

The proposed lot will have approximately 0.975 acres (42,471 square feet). Based on the maximum density per gross acres in the R-3A District: 42-one bedroom units, 34-two bedroom units, and 28-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area

for any R-3 multifamily residential district use, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Compliance with off-street parking, landscaping, and various building and fire codes are required as part of the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends disapproval of the rezoning request to R-3A (multi-family apartment residential) District since it does not conform to the land use designation under the Foresight McAllen Comprehensive Plan, and the proposal may create traffic issues along South 8th Street.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

After a brief discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove. Mr. Jose Saldana seconded the motion, which was disapproved with five members present and voting.

- 3) Rezone from R-1 (single-family residential) District to R-3T (multi-family townhouse residential) District: Lots 1, 2, 3, and 4, MFTWS LLC Subdivision, Hidalgo County, Texas; 501 East Yuma Avenue, 417 East Yuma Avenue, 409 East Yuma Avenue, 401 East Yuma Avenue. **(REZ2023-0020)**

Mr. Samuel Nunez stated that the properties (lots 1, 2, 3, and 4) are located along the north side of East Yuma Avenue, west of McColl Road. The lots have 120.50 feet of frontage and 300 feet of depth as per the subdivision plat.

The applicant is requesting to rezone the properties from R-1 (single-family residential) District to R-3T (multi-family townhouse residential) District. The applicant is proposing to construct townhomes.

The subject property is zoned R-1 District, and is zoned R-1 to the north and south. Properties to the north are zoned C-1 (office building) District and C-3 (general business) District. There is C-2 (neighborhood commercial) District to the east, and C-3L (light commercial) District to the south.

The properties are currently vacant. Surrounding land uses include single-family residences, Alfredo Gonzalez Texas State Veterans Home, and Just-A-Closet Self Storage.

The Foresight McAllen Comprehensive Plan designates the future land use for these properties as Suburban Commercial, which is comparable to the C-1 District, C-2 District, and C-3L District. The proposed rezoning of the property does not follow the Foresight McAllen Comprehensive Plan.

The development trend for this block are mixed light commercial use and single-family residences.

The properties were zoned R-1 District upon annexation into the city on November 1995. On June 11, 2001, City Commission approved a rezoning request to C-1 District for lot 1 and lot 2; however, the lots were never developed for commercial use. On January 11, 2021, City Commission approved a rezoning request to R-1 District for lot 1 and lot 2; however, the lots remained vacant.

The requested zoning does not conform to the Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the request constitutes a downzoning that is similar with the surrounding residential land use to the south.

The permitted uses within the proposed zoning district are all uses listed as permitted uses in the R-2 duplex-fourplex residential district, townhouse buildings with five or more attached townhouses, and storage buildings not used for living quarters and accessory to the residential use.

To the east of South McColl Road, a proposed "Garden Rose Subdivision" is currently zoned as R-3T District. The surrounding properties to the east of South McColl Road are zoned for multi-family residential such as R-3C (condominium residential) District and R-3A (apartment residential) District.

Staff has not received any phone calls nor emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request since based on the future land use designation; the rezoning request constitutes a downzoning that is similar with the surrounding residential land use to the south.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

3) SITE PLAN:

- a) Site plan approval for Lot 1A, TOYS-R-US Lot 1A Subdivision, Hidalgo County, Texas; 1101 Expressway 83. **(SPR2022-0061)**

Mr. Samuel Nunez stated that the subject property is located on the south side of Expressway 83, west of South 11th Street. The property is 33,767.20 square feet (0.775 acre). The surrounding land use is C-3 (general business) District in all directions, the tract is also zoned C-3 District. Surrounding land uses include as follows: Floor & Décor, Starbucks, Men's Warehouse, and UBS.

The applicant is proposing to construct and operate a coffee shop (Dutch Bros. Coffee).

Based on the 950 square footage of the proposed coffee shop, 10 parking spaces are required. There are 22 parking spaces provided on site as per the site plan. One of the proposed parking spaces must be accessible, which must also be van accessible with an 8-foot wide aisle. Access to the site is from a proposed access from South 11th Street. Required landscaping for the lot is 3,376.72 square feet of which 6,649 square feet of landscaping is being provided. The tree requirement is as follows: 12- 2 ½" caliper trees, 7-4" caliper trees, 4-6" caliper trees, or 6 palm trees. A minimum 10-foot wide landscaped strip is required inside the property line along US Expressway 83 (Frontage Road) and South 11th Street. Fifty percent of the landscaping must be visible from the street, and each parking space must be within 100 feet of a landscaped area with a tree, as required by ordinance. A 6-foot buffer is required around dumpsters/compactors if visible

from the street. The setbacks are as follows: from US Expressway 83/ South 11th Street as shown on plat (75' from US Expressway 83 and 30' from South 11th Street), Rear setback is in accordance with the zoning ordinance or greater for easements or approved site plan whichever is greater applies, Side setbacks is in accordance with the zoning ordinance or greater for easement or approved site plan whichever is greater applies.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review Sheet. Site plan approval by the Planning and Zoning Commission is required prior to building permit issuance.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements and the subdivision and zoning ordinances

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve site plan subject to conditions noted. Mr. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

4) CONSENT:

- a) Silver Oak Subdivision, 9229 North Bicentennial Boulevard, RD Silver Oak, LLC **(SUB 2023-0049) (FINAL) JHE**
- b) Sister's Subdivision, 12200 Mile 7 Road, Sansire Silva & Patty Cash **(SUB2023-0038) (FINAL) SEA**
- c) Arellano Subdivision, 6416 South 11th Street, Eva Yolanda Castillo Ibarra **(SUB2023-0050) (FINAL) SEA**
- d) Mikada Subdivision, 5000 Pecan Boulevard, Mikada, LLC **(SUB2023-0042) (FINAL) JHE**

Chairperson Mr. Michael Fallek stated he will abstain from voting on item 4c.

Being no discussion, Ms. Erica De la Garza moved to approve subdivision in consent form for Items 4a, 4b and 4d. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

Vice Chairperson Mr. Gabriel Kamel asked if there were any questions for Item 4c (Consent form). Being no discussion, Ms. Erica De la Garza moved to approve subdivision in consent form for Items 4c. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting with one member abstaining.

5) SUBDIVISIONS:

- a) Felix Subdivision, 3024 South 1st Street, Patricia Salazar **(SUB2022-0120)**

(REVISED PRELIMINARY) SEA

Mr. Kaveh Forghanparast stated South 1st Street: Dedication as needed for 25 ft. from centerline for 50 ft. Total ROW.(Existing 30 ft. total ROW) Paving: 32 ft. (Existing Approximately 18.3 ft.) Curb & gutter: Both Sides. Engineer submitted a variance application on May 5, 2023, to maintain the existing 30 ft. ROW and existing paving of approximately 18.3 ft., and not require sidewalk on S. 1st Street. As per the submitted survey there is an existing ROW of 30 ft. and approximately 18.3 ft. of paving with no curb and gutter or sidewalk. The subdivision is scheduled to be heard in revised preliminary form by the Planning and Zoning Commission on June 6, 2023, subject to the conditions noted, and clarification of the Board on the variance request. The variance request is scheduled to be heard by the City Commission on June 12, 2023. Revisions needed: Please label centerline on plat prior to final. requirements was submitted on. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Front: 25 ft. or greater for easements or inline with average setback of existing structures, whichever is greater applies. Zoning Ordinance: Section 138-356. Rear:10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides:6 ft. or greater for easements. Revisions needed: Revise note as shown above or clarify prior to final. Proposing Sides: In accordance with the Zoning Ordinance, or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft., except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along S. 1st Street. Engineer submitted a variance application on May 5, 2023, to maintain the existing 30 ft. ROW and existing paving of approximately 18.3 ft., and not require sidewalk on S. 1st Street. As per the submitted survey there is an existing ROW of 30 ft. and approximately 18.3 ft. of paving with no curb and gutter or sidewalk. The subdivision is scheduled to be heard in revised preliminary form by the Planning and Zoning Commission on June 6, 2023, subject to the conditions noted, and clarification of the Board on the variance request. The variance request is scheduled to be heard by the City Commission on June 12, 2023. If the variance to sidewalk requirement is approved by the City Commission, the sidewalk note must be removed from the plat prior to final. If the variance to sidewalk requirement is disapproved by the City Commission, Sidewalk requirements may increase to 5 ft. as per the Engineering Department requirements. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, In accordance with McAllen's Park Land Dedication and Park Development Fees Ordinance, Park fees apply at a rate of \$700 per dwelling unit and payable prior to plat recording. If it's only one single family home then the fee is \$700. As per Traffic Department, Trip Generation for 1 lot subdivision will be waived. Pleases add the legal description of the adjacent property on the east side of S. 1st Street prior to final. S.1st Street name on the location map is not legible. Please use a more zoomed in location map, and add the north arrow prior to recording. Must comply with City's Access

Management Policy.

Staff recommends approval of the subdivision in revised preliminary form, subject to the conditions noted, and clarification of the board's recommendation on the variance requests.

Chairperson Mr. Michael Fallek asked for clarification on the variance request.

After a brief discussion, Mr. Jose Saldana moved to approve subject to conditions noted including the variance request. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

b) Casa Corsica Subdivision, 3700 North Ware Road, Graco Real Estate
(SUB2023-0048) (PRELIMINARY) KH

Mr. Kaveh Forghanparast stated N. Ware Road: Dedication as required for 60 ft. from centerline for 120 ft. total ROW Paving: By the State Curb & gutter: By the State Revisions needed: If 120 ft. ROW is existing please add "existing" to the label, prior to final. Show and label CL to establish the ROW requirement for this property, prior to final. Show and label the existing ROW on both sides of the centerline, prior to final. Reference the document number for the existing ROW from the centerline and provide a copy for staff review, prior to final. It's not clear where the boundary for "CALLED EXHIBIT E" ends. Please correct it prior to final. All ROW requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Nolana Avenue: Dedication as required for 60 ft. from centerline for 120 ft. total ROW Paving: 65 ft. to 85 ft. Curb & gutter: Both sides Revisions needed: Change the street label from "Nolana Loop" to "Nolana Avenue" prior to final. If 96 ft. is the existing ROW, add "existing" to the label, prior to final. Label the CL to establish the ROW requirement for the property, prior to final. Show and label the existing ROW on both sides of centerline, prior to final. Reference the document number for the existing ROW on the plat and provide a copy for staff review, prior to final. The boundaries of ROW labeled as "CALLED 0.52 ACRES" are not clear. Please correct it prior to final. The boundaries of ROW labeled as "CALLED EXHIBIT B" are not clear. Please correct it prior to final. Show the ROW from centerline and total ROW after the dedication at various points to show the range, prior to final. All ROW requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Proposed: VARIABLE WIDTH ACCESS EASEMENT (TO BE RECORDED BY THIS PLAT). Revise the label for the access easement to the following prior to final: PRIVATE ACCESS/SERVICE DRIVE EASEMENT (BY THIS PLAT) Show the width of the access/service drive easement on variance points on the plat, prior to final. Revise the access/service drive easement layout prior to final as the service drive must loop back and may not be dead-end. Corner clip of 20 ft. by 20 ft. is needed for a service drive easement. Access/service drive easement layout must be approved by Fire and Public Works Departments. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Nolana Avenue/N. Ware Road: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Add a plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Add a plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. Interior Sides: In accordance with the Zoning Ordinance or greater for approved site plan or

easements, whichever is greater applies. Add a plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. Corner: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Add a plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Ware Road and Nolana Avenue. Add a plat note as shown above prior to final. Sidewalk requirement might increase to 5 ft. as per the Engineering Department prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy Applied. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Required. Common Areas, any private/service drive easements, etc. must be maintained by the lot owners and not the City of McAllen. Add a plat note as shown above prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Revise the plat layout to provide street frontage for Lot 5, prior to final. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation is under review to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Add required plat notes to the plat prior to final. If a second sheet is needed to accommodate the plat notes, please provide it prior to final. Revise the wording for the easements from "TO BE RECORDED BY THIS PLAT" to "BY THIS PLAT" prior to final. Provide the legal description of the adjacent property to the east prior to final. Must comply with City's Access Management Policy. Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form subject to conditions noted. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

- c) Plaza Las Fuentes Fortis Subdivision, 5800 North 10th Street, Fortis Land Holdings, LLC and El Pistalon, LLP **(SUB2022-0093) (REVISED PRELIMINARY) RDE**

Mr. Mario Escamilla stated N. 10th Street: 60 ft. ROW existing from centerline for 120 ft. ROW Paving: by the state Curb & gutter: by the state. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. Dove Avenue: Dedication required for 75 ft. ROW from centerline for 150 ft. ROW Paving: 65 ft. Curb & gutter: both sides. The Foresight Comprehensive Map calls Dove Avenue to be 75 ft. from centerline for 150 ft. total ROW. Plat submitted demonstrates existing 100 ft. ROW with no additional dedication, Engineer submitted a variance request to allow existing 100 ft. ROW with no additional dedication and at the City Commission meeting of December 12, 2022, the board recommended approval of the variance request to ROW requirement for Dove Avenue. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Proposing Plat Note: "A minimum 24 ft. private

service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the City of McAllen. Subdivision Ordinance: Section 134-106. Front: North 10th Street: 60 ft. or greater for approved site plan, or easements, whichever is greater applies. Dove Avenue: 50 ft. or greater for approved site plan, or easements, whichever is greater applies. Front setback note wording and requirements must be finalized prior to final. Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner. Setbacks for North 10th Street and Dove Avenue as noted above. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. Proposing: 5 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses or greater as per agreement. Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy Applied. Site plan must be approved by the Planning & Zoning Commission prior to issuance of building permit. Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. Proposing: Common areas, 24 ft. private service drive easement, etc., must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets Pending Items: Current subdivision layout does not comply with lot frontage requirements as it does not front a public street, Engineer submitted a variance request on May 16th, 2023 requesting to allow frontage to a existing common access easement in lieu of a public street, the easement provides access to the overall development and connects to North 10th Street and Dove Avenue within the existing parking areas. Provide a copy of referenced recorded document of existing easement for staff review, prior to final. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 (General Business) District. Proposed: C-3 (General Business) District. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation approved, TIA is waived. Comments/Revisions needed: Must comply with City's Access Management Policy. Name of subdivision on application must be revised to "Plaza Las Fuentes Fortis", prior to recording. Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. Subdivision was approved in Final form at the Planning and Zoning Commission meeting of November 16th, 2022, as a 2-lot subdivision.

Staff recommends approval of the subdivision in revised preliminary form subject to conditions noted, drainage and utilities approvals and clarification of the requested variance.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in revised preliminary form subject to conditions noted including variance. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

- d) Pioneer Estates Subdivision, 9400 North Shary Road, Aldape Development, LLC (SUB2023-0040) (FINAL) MAS

Mr. Mario Escamilla stated North Shary Road: 30 ft. ROW dedication for 60 ft. from centerline for 120 ft. total ROW Paving: By the state Curb & gutter: By the state Revisions needed: Clarify 30 ft. additional ROW by this plat as it appears to be outside plat boundaries, finalize ROW requirements prior to recording. Label ROW dedication, centerline, total ROW after dedication and ROW on both sides of centerline to verify if any additional ROW dedication is required prior to recording. Please show document wherein the existing 60 ft. ROW was dedicated prior to recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. 6 Mile Line: 50 ft. from centerline for 100 ft. total ROW. Paving: 65 ft. Curb & gutter: Both sides Revisions needed: Please show document wherein the existing 40 ft. ROW was dedicated prior to recording. Clarify access from 6 Mile Line as plat boundary does not extend to ROW, and ownership is by United Irrigation District as per plat submitted on October 5th, 2022. As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan Monies must be escrowed if improvements are not constructed prior to recording. North 56th Street (N/S Collector Road-east boundary line): 30 ft. dedication for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both sides. Revision Needed: Include street name labeling, prior to recording. Revise reference from "Right of Way dedicated to McAllen Public Utility by this plat" to "R.O.W dedicated by this plat", prior to recording. Engineer submitted a variance application on October 7, 2021 requesting to dedicate 15 ft. of ROW for North 56th Street. The Planning and Zoning Commission considered the subdivision in revised preliminary form at their meeting of April 5, 2022. Following discussion, the board unanimously voted to approve the subdivision in revised preliminary form, and recommended approval of the variance for 15 ft. ROW dedication for N. 56th Street. There were 6 members present and voting. At the City Commission meeting of April 25, 2022, the City of McAllen Board of Commissioners considered the request and was approved. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. Internal Streets: 60 ft. ROW Paving: 40 ft. Curb & gutter: Both sides Pending Items: Revise street names as follows: E/W street at entrance: Ozark Avenue. N/S Street west of Lot 1: North 59th Lane-E/W interior street: Princeton Avenue-N/S street at Cul-De-Sac: North 56th Lane-Finalize street names on plat prior to recording. Engineer submitted a variance application on April 21st, 2023 requesting that the ROW be reduced from 60 ft. to 50 ft., the engineer has indicated that the 40 ft. paving width will remain. Development staff has reviewed the request and indicated that if approved that a 10 ft. U.E and Sidewalk Easement be dedicated along the front of the lots as applicable. Submit gate details, ROW and paving at gate locations may increase to accommodate proposed improvements, finalize prior to NTP/recording. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize Cul-De-Sac paving and ROW requirements prior to NTP/ Recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize Cul-De-Sac paving and ROW requirements prior to NTP/ Recording. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties and multi-family properties. Subdivision layout is being processed with public works centralized locations. As per public works, must build dumpster enclosure at the time the subdivision is built. Must comply with Chapter 90 of McAllen's Solid Waste Ordinance. Subdivision Ordinance: Section 134-106. Front: Proposing 20 ft. or greater for easement. Pending Items: Engineer submitted variance request on April 21st, 2023 to allow a 15 ft. front setback for unenclosed carports only. If variance request for the front setback for unclosed carports is approved, front setback note wording must be finalized prior to recording. Zoning

Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions needed: Revise note as shown above prior to recording. Proposing Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater. Zoning Ordinance: Section 138-356. Interior sides: 6 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: Revise note as shown above prior to recording. Proposing: 6 ft. or greater for easement. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: Revise note as shown above prior to recording. Proposing Corner :10 feet or greater for easement. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required along North Shary Road and 4 ft. wide minimum sidewalk required on N. 56th Street and both sides of all interior streets. Revisions needed: Revise plat note #3 as shown above prior to recording. As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. Proposing: 5 ft. wide minimum sidewalk required along North Shary Road and 4 ft. wide minimum sidewalk required on N. 56th Street , 6 Mile Line and both sides of all interior streets. 5 ft. sidewalks required along North Shary Road as per Engineering Department. Sidewalk requirements may increase to 5 ft. per Engineering Department requirements, finalize prior to recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Shary Road , and North 56th Street. Revisions needed: Revise plat note#12 as shown above prior to recording. Clarify if buffer is proposed along northern plat boundaries as it may trigger changes to note requirements, finalize note wording prior to recording. Proposing: 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Shary Road ,6 Mile Line, and North 56th Street. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North Shary Road and North 56th Street. Revision needed: Revise plat note #14 as shown above, prior to recording. Proposing: No curb cut, access, or lot frontage permitted along North Shary Road, 6 Mile Line and North 56th Street. As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. Must comply with City Access Management Policy Required. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Zoning Ordinance: Section 138-210. Common Areas, drainage detention pond ,any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Revise plat note #10 as shown above prior to recording. Proposing: Common areas and drainage detention pond must be maintained by the homeowner association lot owner or his assigns, not the City of McAllen or other public entity. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions needed: Section 110-72 applies if subdivision is proposed to be public. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association

Covenants must be submitted for staff review, prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-3A(apartment residential) District Proposed: R-3A(apartment residential) District. Rezoning from R-1 (Single Family Residential) District to R-3A(apartment residential) District approved at City Commission meeting of November 28, 2022. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Rezoning from R-1 (Single Family Residential) District to R-3A (apartment residential) District approved at City Commission meeting of November 28, 2022. Zoning Ordinance: Article V Completed. Land dedication in lieu of fee. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted – as part of the annexation process, Park fees were waived. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted as part of the annexation process, Park fees were waived. Pending review by City Management. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted – as part of the annexation process, Park fees were waived. As per Traffic Department, Trip Generation approved no TIA required. Must comply with City's Access Management Policy Must comply with Fire Department requirements. Label Drainage Area with a letter or number prior to recording. Clarify access from 6 Mile Line as plat boundary does not extend to ROW, and ownership is by United Irrigation District as per plat submitted on October 5th, 2022. As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. Subdivision previously approved in Revised Preliminary form at the Planning and Zoning Commission meeting of April 5th, 2022 as a single family development, as per plat submitted on October 5th, 2022 multi-family subdivision now proposed. Submit gate details, ROW and paving at gate locations may increase to accommodate proposed improvements, finalize prior to NTP/recording.

Staff recommends approval of subdivision in final form subject to conditions noted and drainage approvals and clarification of the requested variances.

Chairperson Mr. Michael Fallek requested clarification on variance requests.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in final form subject to conditions noted including variances. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel Kamel adjourned the meeting at 4:15p.m. with Mr. Jose Saldana seconding the motion and with five members present and voting.

Chairperson Michael Fallek

ATTEST: _____
Magda Ramirez, Administrative Assistant

Memo

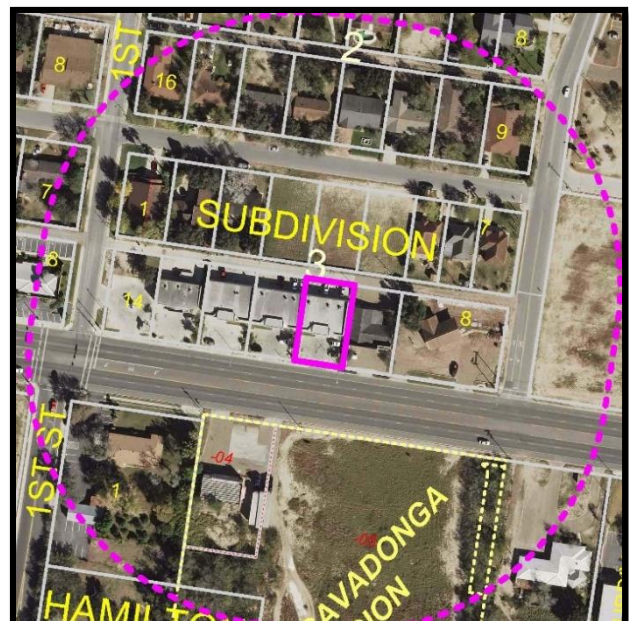
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 14, 2023

SUBJECT: REQUEST OF RICARDO RAMOS, ON BEHALF OF THE VINEYARD WINE LOUNGE, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BOUTIQUE WINE SHOP AT LOT 10, BLOCK 3, CLUB ADDITION AMENDED SUBDIVISION, HIDALGO COUNTY, TEXAS; 125 EAST PECAN BOULEVARD. (CUP2023-0062)

BRIEF DESCRIPTION: The subject property is located on the north side of Pecan Boulevard approximately 293 feet east of North 1st Street. The property is zoned C-3L (light commercial) District. The adjacent zoning is R-1 (single-family residential) District to the north, C-2 (neighborhood commercial) District to the east, R-3A (multifamily residential) District and C-1 (office building) District to the south, and C-2 (neighborhood commercial) District and C-3L (light commercial) District to the west. Surrounding land uses include residential homes, Cathey Middle School, Watermill Express, Blue Robyn Tattoos, and vacant land. A boutique wine shop is permitted in a C-3L District with a conditional use permit and in compliance with requirements.



HISTORY: This is the first Conditional Use Permit request for this property. The Conditional Use Permit request application was submitted on May 04, 2023.

SUMMARY/ANALYSIS: The applicant is proposing to operate a boutique wine shop with

proposed hours of operation from 10 AM - 9 PM, Monday through Saturday, the business will also offer a weekly Wine Education Class. According to the submitted floor plan layout, there are five tables, five wine shelves, and two coolers.

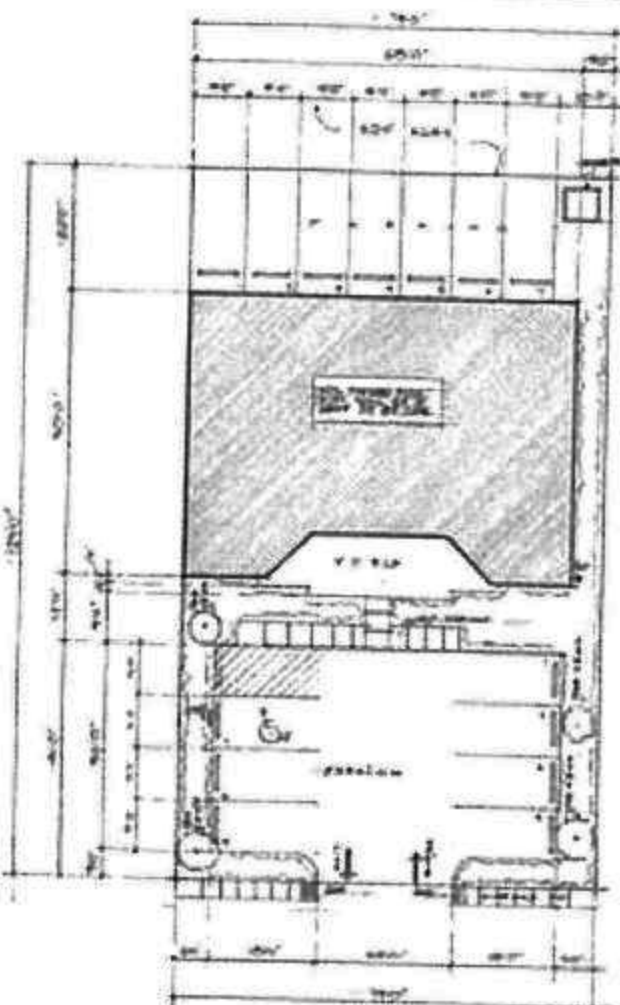
Inspections from the Fire and Health Department are pending. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of a residential zone/use to the north and a school to the northeast;
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to Pecan Boulevard;
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on square footage of the suite, 9 parking spaces are required; 14 parking spaces are provided on site.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

If approval is granted, the establishment must comply with all other Zoning Ordinance, Building Code, and Fire Department requirements

Staff did not receive any phone calls, emails, or letters in opposition to this request.

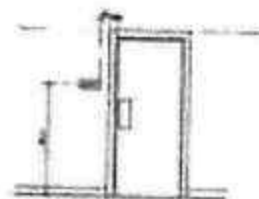
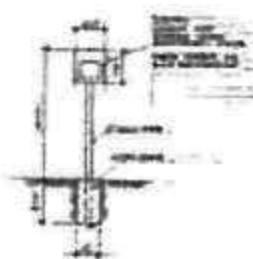
RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement # 1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.



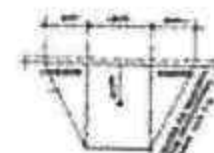
SITE PLAN

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| France 5 | 3.1 | 5 | 2.3 |

SUBJECT: TRIDENT
LOCATION: AND MEANS~~TYPE WALL BATH~~

REPLICATING FOLDING SIGN



EDUCATION GRAD CUT



SNOWWALK SECTION



PLAN N° 3806

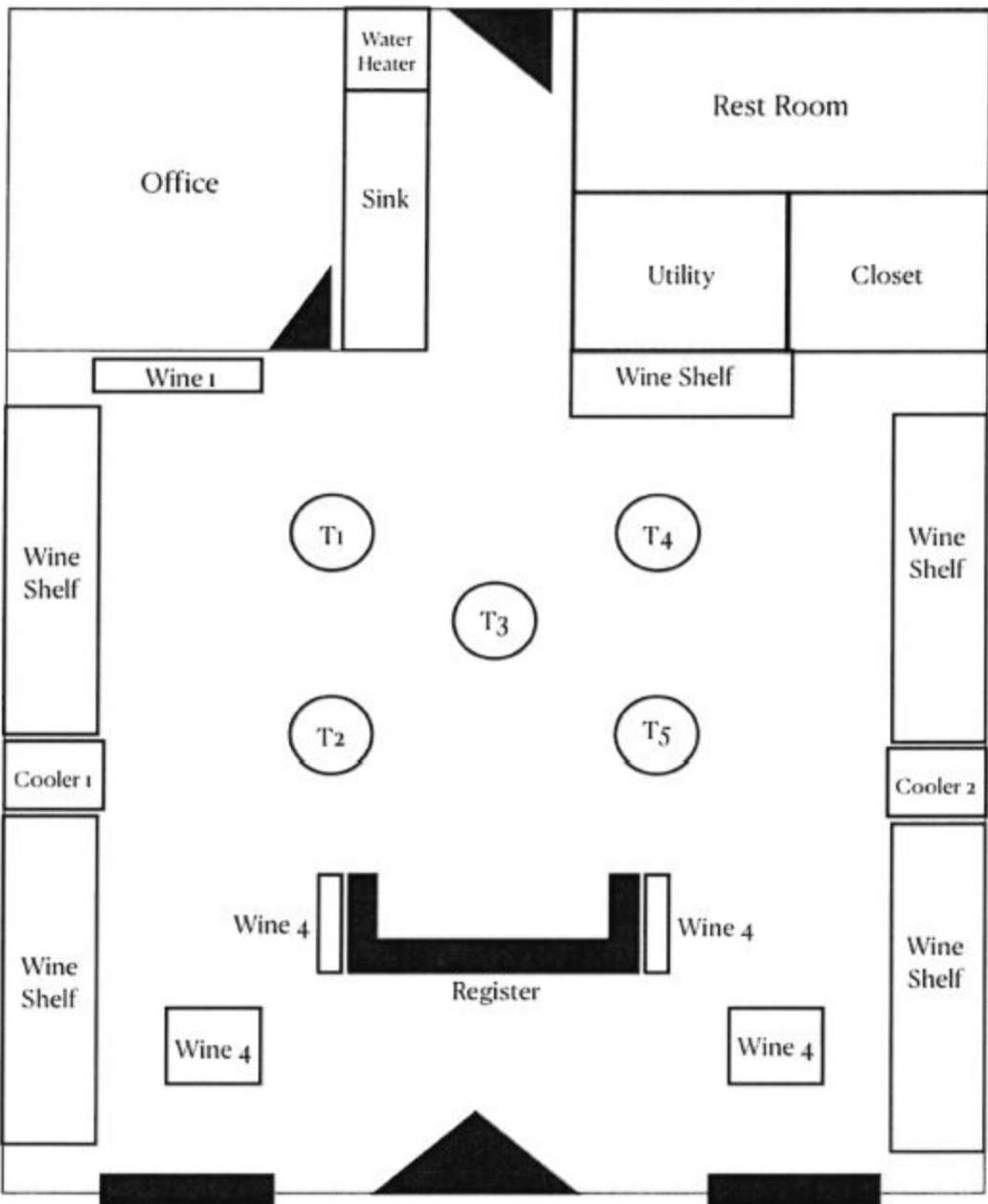
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- Acry Love
- MC Nails
- Preciosa Crystal
- Ez Flow
- Super Nail
- Barber Supplies
- Beauty Supplies

**NOTICE
LIQUOR
STORE
FOR
THIS PROPERTY
CUP2023-0062**
CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET

Memo

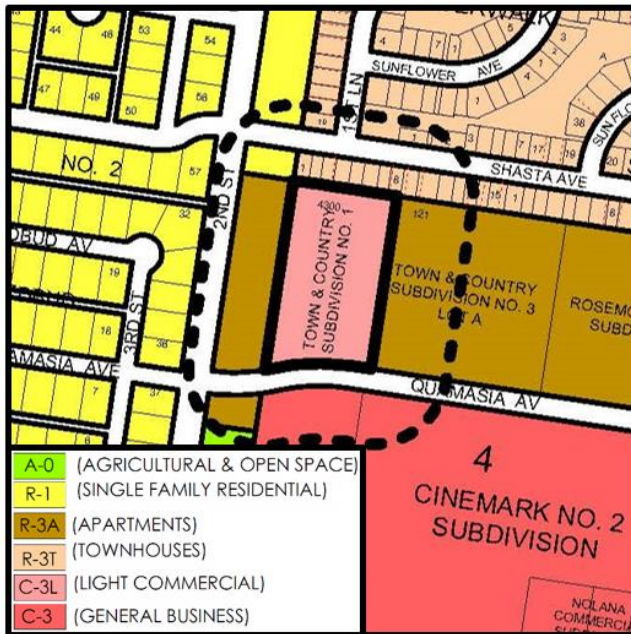
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 14, 2023

SUBJECT: REQUEST OF ROLANDO LIMON, ON BEHALF OF ARBOL DE FE ESPERANZA Y AMOR, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE, FOR AN INSTITUTIONAL USE (CHURCH) AT LOT 1, TOWN & COUNTRY SUBDIVISION, HIDALGO COUNTY, TEXAS; 4300 NORTH 2ND STREET. (CUP2023-0064)

BRIEF DESCRIPTION: The subject property is located along the north side of Quamasia Avenue approximately 150 feet west of North 2nd Street (Colonel Rowe Boulevard). The property is zoned C-3L (light commercial) District. The adjacent zoning is R-3T (multifamily residential townhouse) District to the north, R-3A (multifamily residential apartment) District to the east and west, C-3 (general business) to the south, and R-1 (single-family residential) District to the northwest. Surrounding land uses include residential homes, apartments, and Mr. Gatti's Pizza. An Institutional Use is permitted in a C-3L District with a Conditional Use Permit and in compliance with requirements.



HISTORY: This is the first Conditional Use Permit request for this property. The Conditional Use Permit request application was submitted on May 02, 2023.

SUMMARY/ANALYSIS: There is an existing 12,948 sq. ft. (as per appraisal district) building which was previously the site for La Cabana Sinaloense. The applicant is proposing to

operate a church with a main sanctuary area and 3 areas that will be used as classrooms for the youth of different age groups. The days and hours of the services of the church will be on Sunday from 11:00 AM to 2:00 PM and Monday from 7:00 PM – 9:00 PM. Based on the 96 seats proposed in the sanctuary area, 24 parking spaces are required; 261 parking spaces are provided on site.

The Fire Department has been in contact with the applicant; however, a Fire Inspection is still pending. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The church must comply with the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The business has frontage on Quamasia Avenue with access onto North 2nd Street, a principal arterial.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 96 seats in the sanctuary, 24 parking spaces are required; 261 parking spaces are provided on site.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The numbers of persons within the building shall be restricted to the existing seating capacity for the building.
- 7) Sides adjacent to commercially and residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

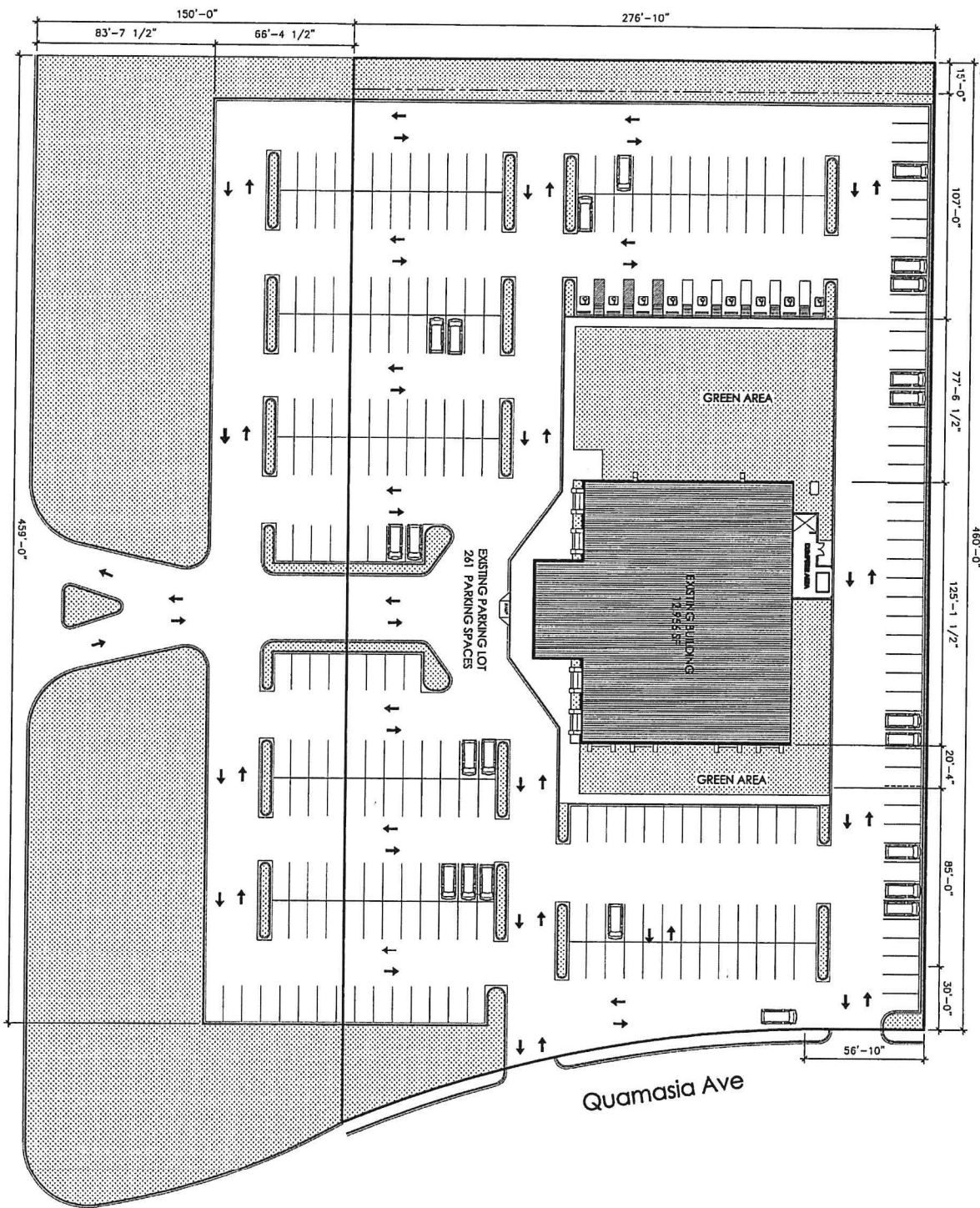
Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for life of the use, subject to compliance with requirements of the Zoning Ordinance, Building Department, and Fire Department requirements.

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S-S-23

N Col Rowe Blvd



Quamasia Ave

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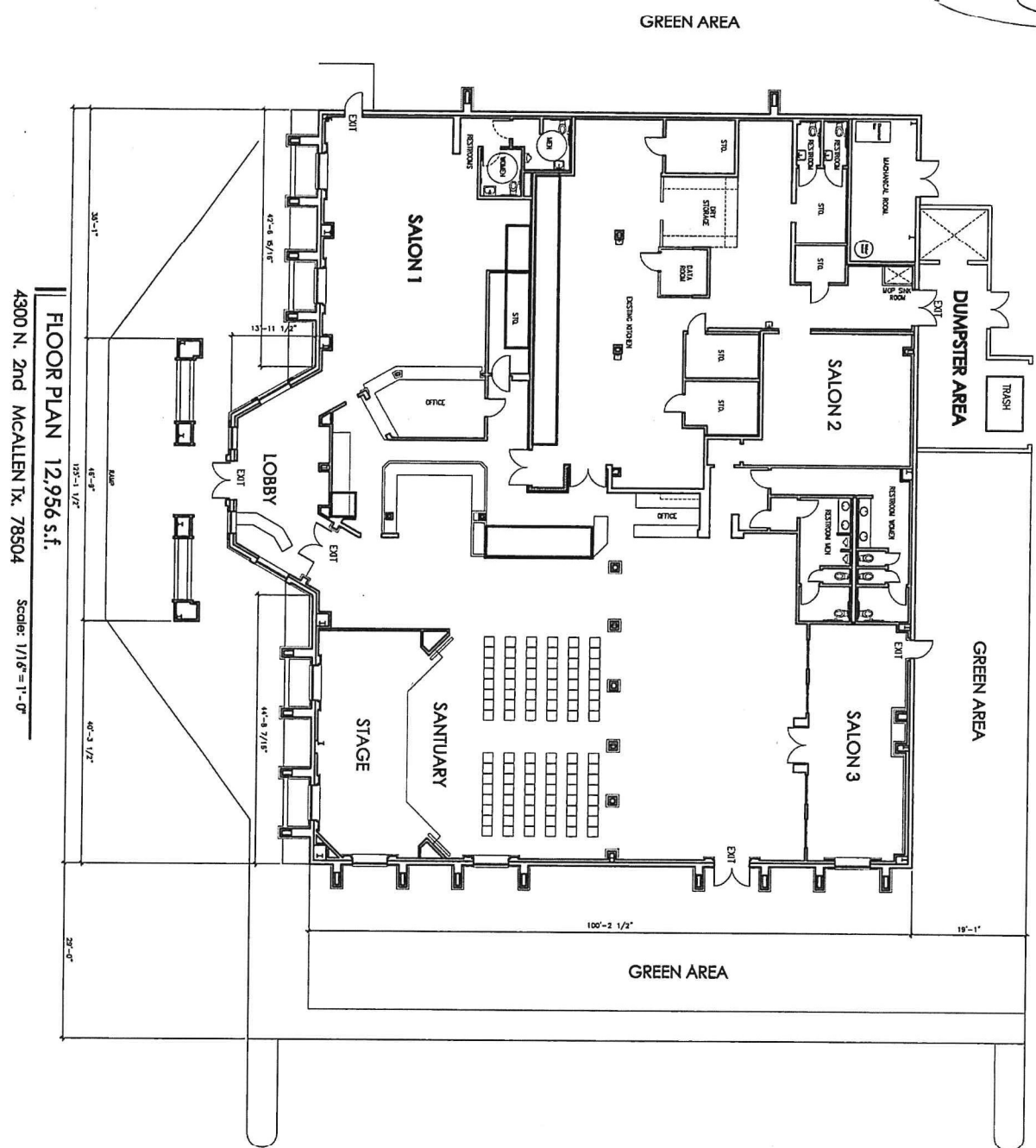
4300 N. 2nd McALLEN Tx. 78504

MASTER PLAN

EXISTING LAYOUT



5-5-22

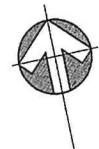


FLOOR PLAN 12,956 s.f.
4300 N. 2nd McALLEN Tx. 78504
Scale: 1/16" = 1'-0"

A-200

IGLESIA ARBOL DE FE ESPERANZA Y AMOR
4300 N. 2nd McALLEN Tx. 78504

MASTER PLAN
EXISTING LAYOUT



30th
ANNIVERSARY

4300

LE
23
TOR®
29
OR®

**NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2023-0064**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



Memo

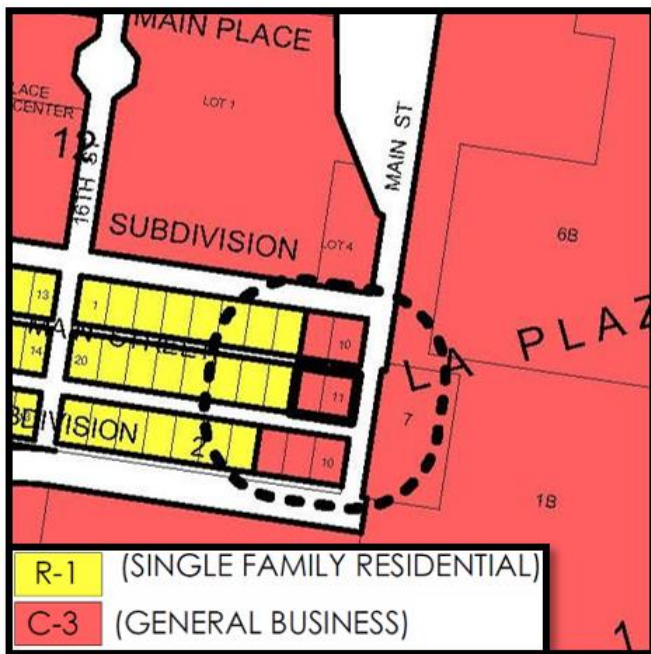
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 14, 2023

SUBJECT: REQUEST OF MIGUEL CARLOS MACIAS PADILLA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (BEAUTY SCHOOL), AT LOTS 11 & 12, BLOCK 1, SOUTH MAIN STREET SUBDIVISION, HIDALGO COUNTY, TEXAS; 1912 & 1916 SOUTH MAIN STREET. (CUP2023-0066)

BRIEF DESCRIPTION: The subject property is located on the northwest corner of South Main Street and Toronto Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, east, and south and R-1 (single family residential) District to the west. Surrounding land uses include residential homes, Regency Jewelers, Prestige, and La Plaza Mall. An Institutional Use (beauty school) is permitted in a C-3 District with a Conditional Use Permit.



HISTORY: This is the first Conditional Use Permit request for this property. The Conditional Use Permit request application was submitted on May 04, 2023.

SUMMARY/ANALYSIS: The applicant is proposing to operate a beauty school out of two adjacent two-story suites. The first suite with 2,312 square feet of floor area will consist of a classroom, a restroom, and two storage areas on the first floor and 3 storage rooms on the second floor. The second suite with 2,314 square feet of floor area will consist of a reception

area and a workstation hall on the first floor and 2 storage rooms on the second floor. As per Zoning Ordinance Section 138-195 (4) the parking requirements are (5) parking spaces per classroom area and (1.5) parking spaces for each administrative office (reception area), 12 parking spaces are required; 26 parking spaces are provided on site. The parking spaces are provided as part of shared parking for the existing commercial development.

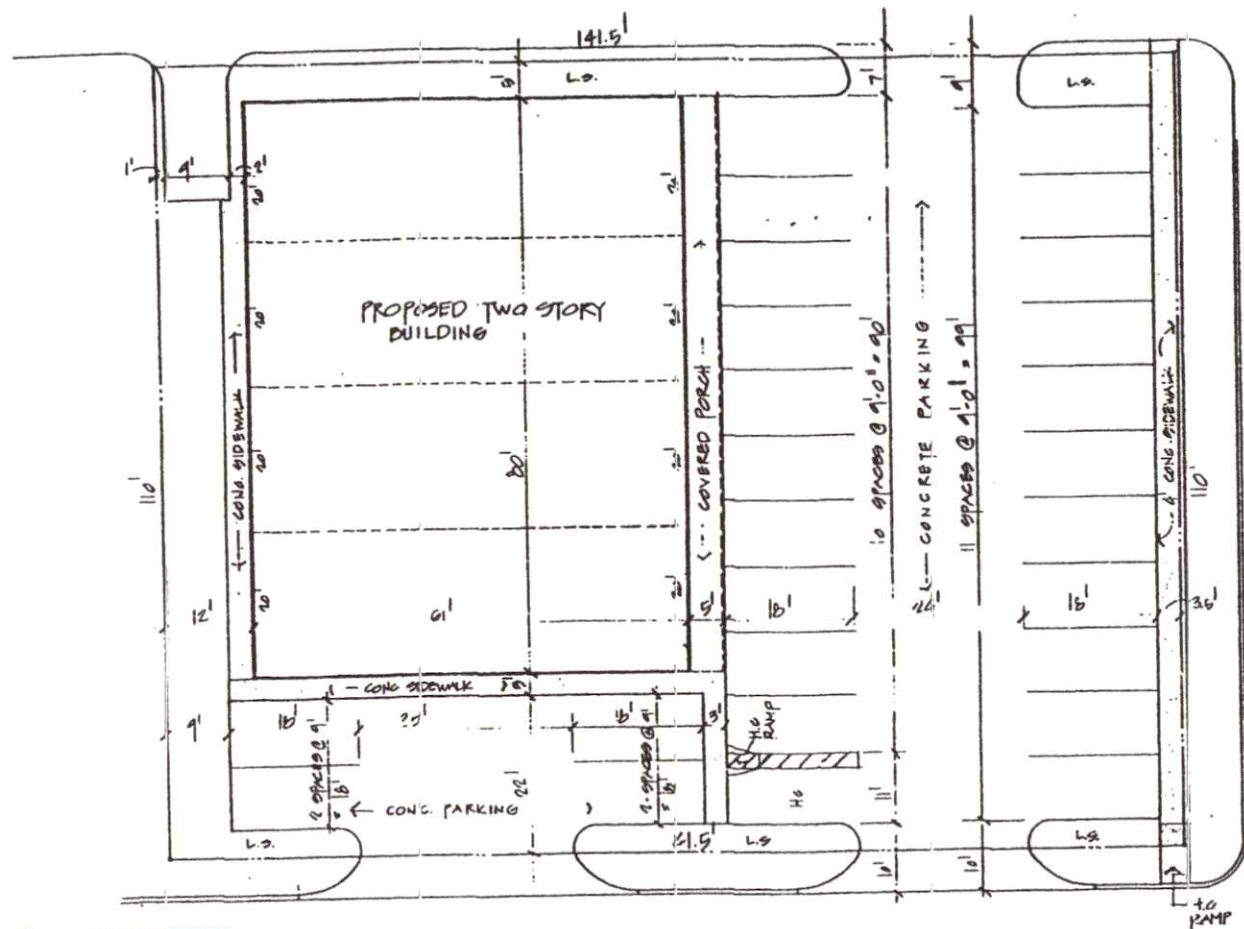
The Fire Department inspection is still pending. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts South Main Street and Toronto Avenue.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas. As per the proposed floor plan, 12 parking spaces are required; 26 parking spaces are provided on site. The parking spaces are provided as part of shared parking for the existing commercial development.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence.

If approval is granted, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff has not received any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to compliance with requirements of the Zoning Ordinance, Building Department, and Fire Department requirements.



SITE PLAN - b1

LEGAL: LOTS 11, 12 BLOCK 1
SOUTH MAIN STREET SUBDIVISION
CITY OF McALLEN
TARRANT COUNTY, TEXAS

12:50

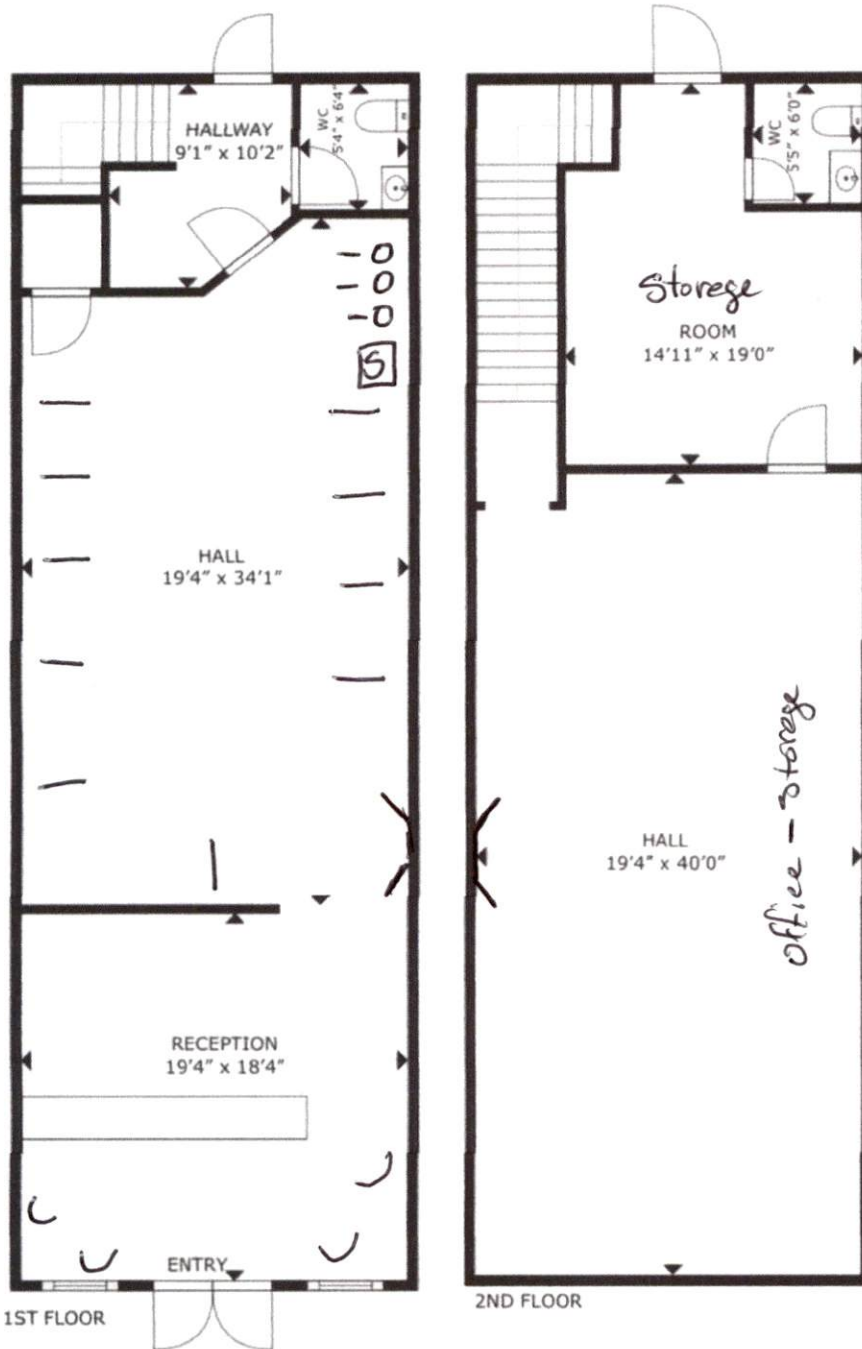
LTE



1916 Floor plan.pdf

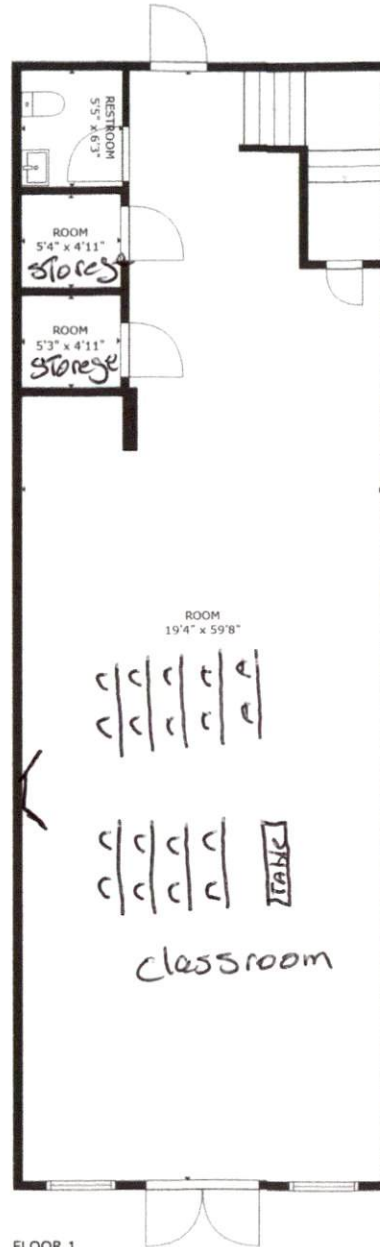


South Main ST McAllen Tx 78501



GROSS INTERNAL AREA
1ST FLOOR: 1,160 sq. ft, 2ND FLOOR: 1,153 sq. ft
TOTAL: 2,314 sq. ft
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY





FLOOR 1



FLOOR 2

9 student desks



Connecting door

ROOM
19'4" x 59'8"
classroom



GROSS INTERNAL AREA
FLOOR 1: 1153 sq. ft, FLOOR 2: 1158 sq. ft
TOTAL: 2312 sq. ft
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.

South
1912 main st
Mc Allen TX 78501



image SHOTS

Portrait Studio *Passport Photos*



IMMORTAL
IRON GYM

IMAGE SHOTS
Portrait Studio Passport Photos

10
MIN
RESULTS
Rapid/PCR
COVID TESTING
TELEHEALTH SCREENING
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NOTICE
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CUP 2023-0066
CITY OF MCALLEN PLANNING DEPT
956-651-1250
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Planning Department

Memo

TO: Planning and Zoning Commission

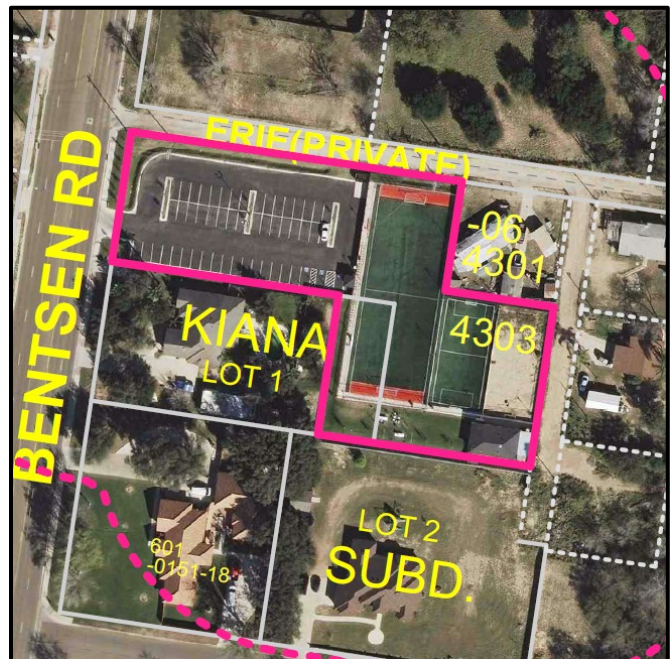
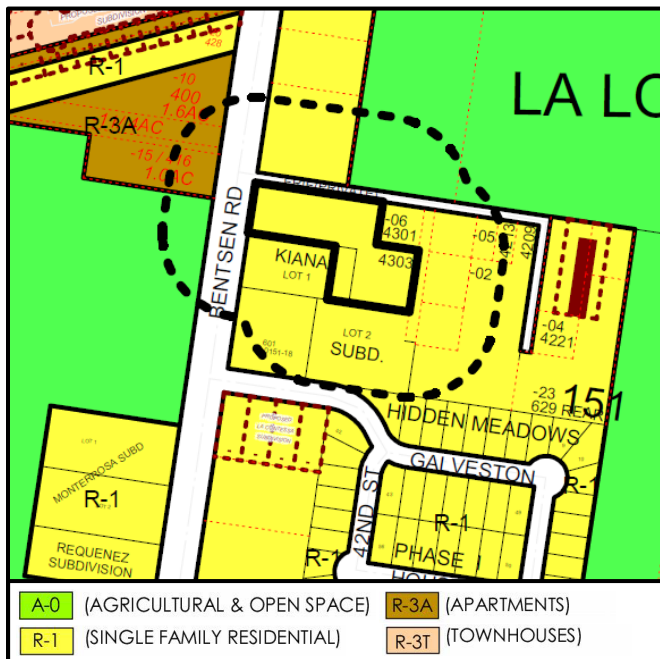
FROM: Planning Staff

DATE: June 14, 2023

SUBJECT: REQUEST OF MARIA D. ACUNA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR AN OUTDOOR COMMERCIAL RECREATION (SOCCER FIELDS), AT 1.405 ACRE TRACT (DEED) OUT OF LOT 151, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 501 SOUTH BENTSEN ROAD. (CUP2023-0067)

BRIEF DESCRIPTION:

The property is located at the southeast corner of Erie Avenue and South Bentsen Road and is zoned R-1 (single-family residential) District. The adjacent zoning is A-O (agricultural and open space) District to the north and west, R-1 (single-family residential) District to the north, east, and south, and R-3A (multifamily residential apartment) District to the west across Bentsen Road. Surrounding land uses include single-family residences and vacant land. Currently there are two soccer fields on this property. This facility was originally established in an A-O Zoning District. In 2014 the subject property underwent rezoning through the city initiated A-O rezoning project and was approved for R-1 District.



HISTORY:

The initial conditional use permit for this use was approved for one year, on October 10, 2011 by the City Commission with variances and restrictions as follows: A variance to the distance requirement from a residence; allowing only the construction of restrooms on site without subdividing the property, no concession stand or other construction; allowing the usage of the large field and one small soccer field; hours of operation to conclude at 11:00 p.m. during the week; comply with landscaping; allow the use with a Conditional Use Permit in an R-1 zone; and other Zoning Ordinance standards.

On November 5, 2013 the Planning and Zoning Commission disapproved the request, but with a favorable recommendation to grant the variance to the distance requirements subject to the gate being closed when not in operation, security on site, no one allowed in the soccer fields after 11:00 p.m., parking lot lights off when not in operation, and no trespassing to adjacent properties. The City Commission approved the request for one year, on November 25, 2013 with the variances to the distance requirement and conditions as noted. The permit had been renewed annually until 2017.

The Conditional Use Permit was disapproved in City Commission on February 27, 2017. A surrounding neighbor had been in opposition to the soccer fields for several years, claiming that people would go into her property to get soccer balls that would go over the fence, and that the applicant was not able to address the issues discussed in previous Planning and Zoning Commission and City Commission meetings.

On April 8, 2019, the City Commission approved the CUP for one year with variance to distance requirement, subject to the following conditions required on previous permits: variance to distance from a residence, no new construction without the benefit of a subdivision, use of the large field and one small field only, hours of operation from 4:00 p.m. to 8:00 p.m. for youth, 8:00 p.m. to 10:00 p.m. for adults, special events and tournaments from 9:00 a.m. to 5:00 p.m. on Saturday and Sunday, close and secure gates when not in operation, security on site, and lights to be turned off when not in operation. The CUP expired in 2020 and was not renewed until May 2022 due to the COVID-19 pandemic.

REQUEST/ANALYSIS:

The applicant, Maria Acuna, on behalf of the property owner, Leticia Alvarez, is proposing to continue operation of the outdoor commercial recreation use for the existing soccer fields on the property. The soccer fields' proposed hours of operation will be Monday through Sunday 3:00 PM – 10:00 PM. There is a "security" office stand on the parking lot, before the entrance to the fields.

The establishment must comply with the Zoning Ordinance and requirements in the application as follows:

- 1) No form of pollution shall emanate beyond the immediate property line of the permitted use. This includes lighting, littering and noise which may include sound systems or PA

speakers;

- 2) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use;
- 3) The proposed use shall not be located within 300 ft. of residential uses. This property is located within 300 feet of a residentially use to the east, and south;
- 4) Sides adjacent to a residentially zone or use property shall be screened by a 6 ft. opaque fence. A 6 ft. opaque fence is provided along most of the property perimeter.
- 5) The proposed use shall comply with the Off-street Parking and loading Ordinance and make provisions to prevent the use of street parking especially in residential areas. In the past, parking requirements to accommodate game personnel have been 30 parking spaces for the main soccer field, and 14 parking spaces for the smaller soccer field. (This includes parking for players, coaches and referees). The applicant states the number of proposed seats as 80 fixed and 30 removable ones for a total of 110 seats. A total of 22 parking spaces are required for the seating area. In the past, the proposed hours of use for each field have not overlapped. A total of 52 parking spaces are required and the site plan shows 52 parking spaces are provided. The establishment complies with the parking requirement. The parking lot has to be maintained free of potholes and must be clearly striped;
- 6) The proposed use shall comply with the City of McAllen Health Ordinances regulating food preparation and public lavatories. The soccer facility has on-site bathroom facilities. The facility will not have on-site food preparation.
- 7) Lighting shall be shielded from residentially zoned or use property.

RECOMMENDATION:

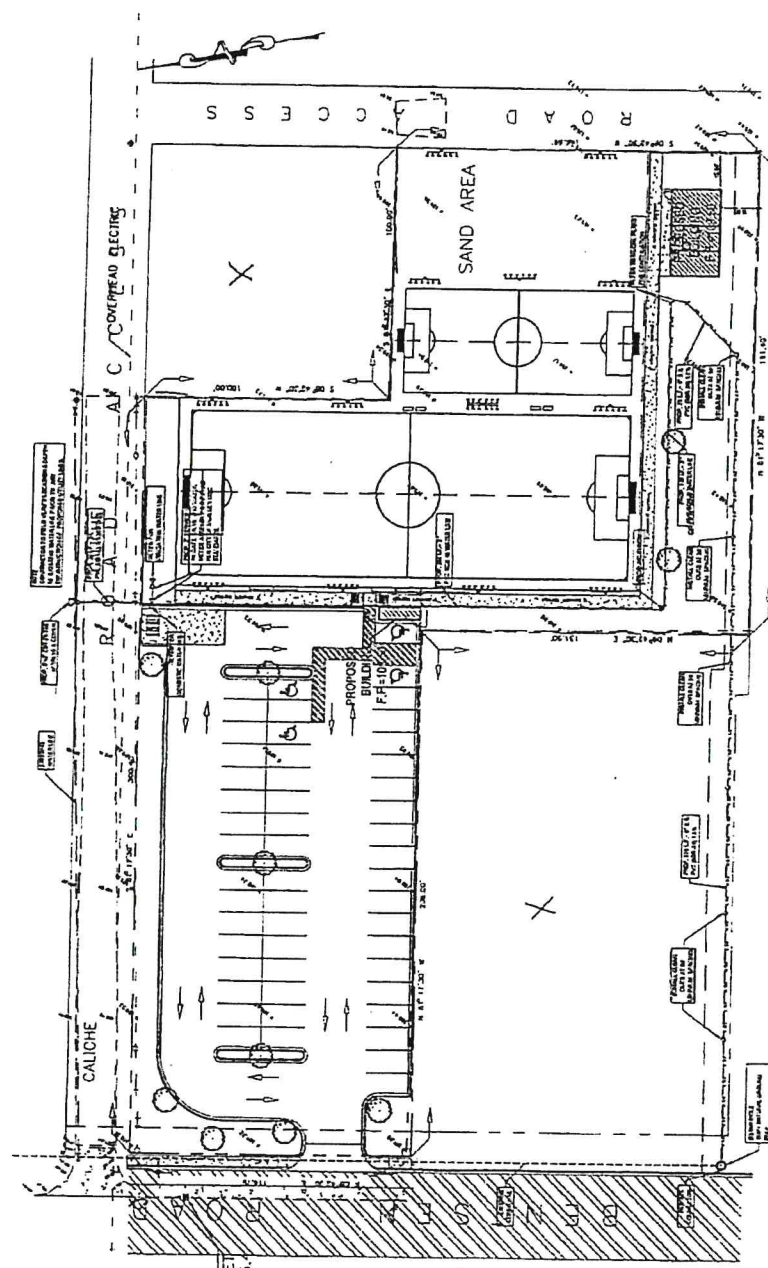
Staff recommends disapproval of the request based on noncompliance with requirement #3 (distance to residential use).



| | |
|----------------|---------------------------------------|
| PROJECT TITLE | SOCCER FIELD |
| ADDRESS | 14101 N. 10TH AVE. CHANDLER, AZ 85226 |
| DATE | OCTOBER 7, 2011 |
| PROJECT NUMBER | |
| COMMENTS | AS NOTED |

| | |
|--------------|----------------|
| SHEET NAME | UTILITIES PLAN |
| SHEET NUMBER | C2 |

501. Denton Rd



1 UTILITIES PLAN

GENERAL NOTES:

1. ALL UTILITIES SHOWN ARE BASED ON THE LATEST AVAILABLE RECORD DRAWINGS AND FIELD SURVEY DATA.
2. THE UTILITIES SHOWN ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED.
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ENTERED

APR 06 2012

Initial: *AK*





NOTICE
OUTDOOR
RECREATION
FOR
THIS PROPERTY
CUP2023-0067

Memo

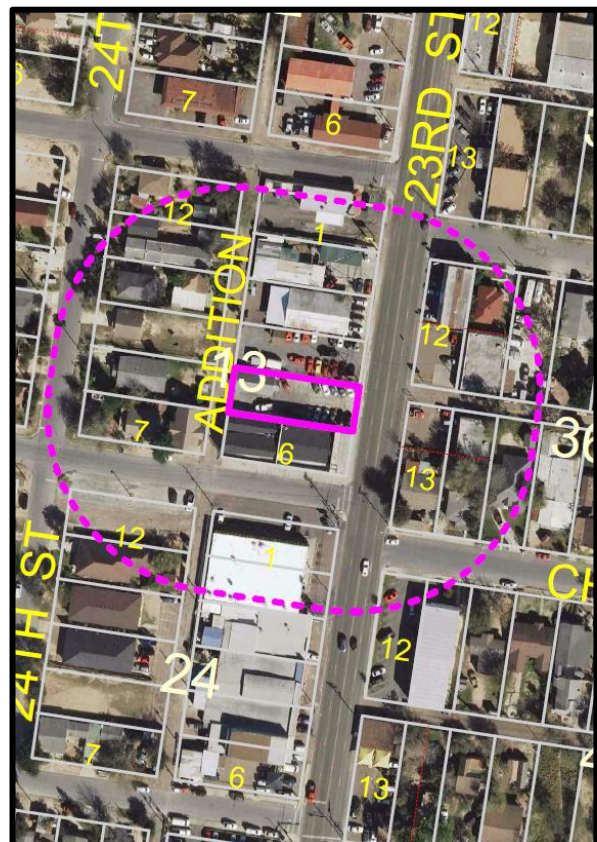
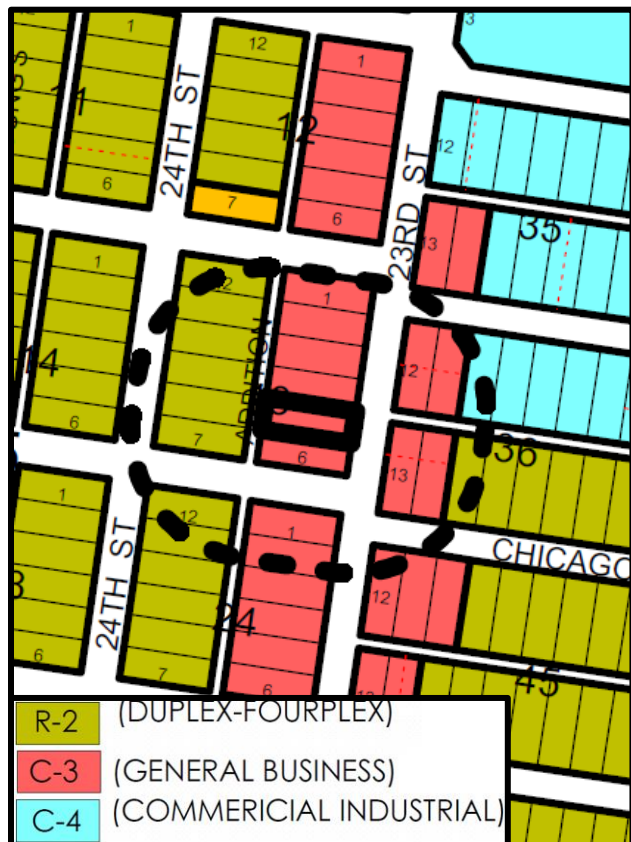
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 5, 2023

SUBJECT: REQUEST OF MOISES MARTINEZ DE LA CRUZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR AN AUTOMOTIVE SERVICE AND REPAIR SHOP (MECHANIC SHOP), AT LOT 5, BLOCK 13, YOUNG'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 218 SOUTH 23RD STREET. (CUP2023-0072)

BRIEF DESCRIPTION: The property is located on the west side of South 23rd Street, approximately 50 feet north of Chicago Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south, and east across South 23rd Street, with R-2 (duplex-fourplex) District to the west across an existing alley. The surrounding land uses are commercial and residential. An automotive service and repair shop is permitted as a primary use within a C-3 District with a Conditional Use Permit and in compliance with all other requirements.



HISTORY: A non-compliance notice was issued on May 12, 2023 for no permit on file for a change of occupancy. A commercial building permit was submitted that same day for the existing mechanic shop. The building permit was later disapproved since the use required a Conditional Use Permit for an automotive service and repair shop as a primary use.

A review of Planning Department records revealed a Conditional Use Permit for an automotive service and repair shop that was approved for this property for a tire shop by City Commission in August 2017. At the time, the subject property included the west half of Lot 6, which amounted to 10,000 square feet of property area. The use was later changed in 2020 to a car wash, however no permit was found on record for any use changes after 2020.

REQUEST/ANALYSIS: The applicant is proposing to continue the mechanic shop use. According to the submitted floor plan, the shop includes two bay areas and one office building that is used to create new appointments and payment processing. The hours of operation for the business are Monday through Friday from 8:00 AM to 6:00 PM, and Saturdays from 8:00 AM to 3:00 PM. Based on the total square footage of the existing office building (306 square feet), 5 parking spaces are required; 7 parking spaces are provided on site (excluding bay area).

The Fire Department inspection is pending for the property. The mechanic shop must comply with the following special conditions set forth for automotive repair as a primary use in Section 138-281 of the Zoning Ordinance:

- 1) A minimum lot size of 10,000 square feet is required. According to Hidalgo County Appraisal District records, the subject property's total lot size is 7,000 square feet.
- 2) All service, repair, maintenance, painting, and other work shall take place within an enclosed area. The work is performed under unenclosed carport structures. A building permit for the existing carport structures was not found on file.
- 3) Outside storage of materials is prohibited. Storage area for certain mechanic shop tools are within the unenclosed carport structures. According to the applicant, electrical equipment are stored within an enclosed area (closet) that is between the bay areas.
- 4) The building where the proposed work is to take place shall be at least 100 feet from the nearest residence. There are at least five single-family dwellings within 100 feet to the west across the alley and southeast across South 23rd Street.
- 5) A 6-foot opaque fence to buffer the proposed use from any residential use or residentially zoned area is required. No opaque fence would be required since the lot's property lines are not adjacent to any residential uses or zones.
- 6) New buildings and all conversions of existing buildings to such uses shall meet current Building Code and Fire Code requirements in terms of separation of high hazard uses from other occupancy use classifications, etc.

If approval is granted, the auto shop must comply with all other Zoning Ordinance, Building Code, and Fire Department requirements that will be requested during the building permitting process.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirements #1 (minimum lot size), #2 (work area), #3 (storage of materials), and #4 (distance from nearest residence) of Section 138-281 of the Zoning Ordinance.

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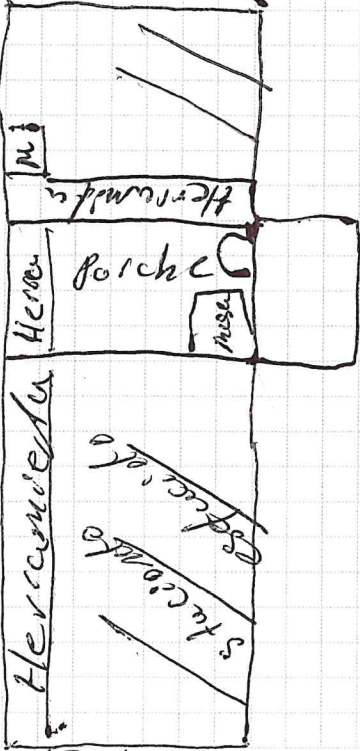
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Beaumont Ave

Chicago

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Entrada

Wall Legend:

- Existing
- Proposed
- Demolition

Symbol Legend:

- Door
- Window
- Electrical Panel
- A/C Unit

RECEIVED
MAY 16 2023
By

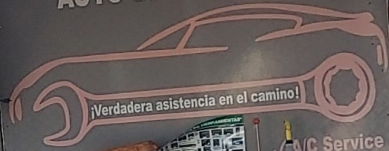
Application and documents can be submitted electronically to
BLDGPERMITS@MCALLEN.NET

←

→ Note 23

218

AUTO SERVICIO MTZ.



✓ Tune-Up
✓ Oil Change
✓ A/C Service
✓ Mechanic Service

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6/12V AUTOMATIC
BATTERY CHARGER
FAST CHARGE





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PUTER DIAGNOSTIC

CONDITIONING SE

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DOMICI

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WALKINGS WELCOME

GLOW

222 S. 23rd Street
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Phone: (956) 252-4992

SERVICIOS MTZ.

ALER MECANICO MTZ.

DIAGNOSTICO POR COMPUTADORA

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CAMBIO DE ACEITE
BANDAS
MARCHAS
ALTERNADORES
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Memo

TO: Planning and Zoning Commission

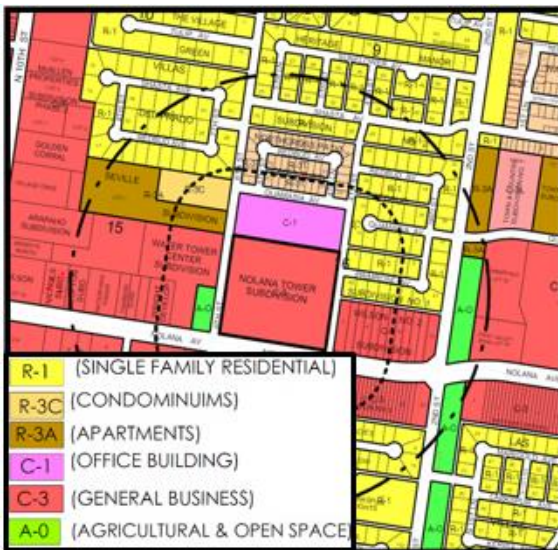
FROM: Planning Staff

DATE: June 1, 2023

SUBJECT: REQUEST OF JESSICA AGUILAR, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR A BAR (THE BEARDED LADY), AT LOT A-1, NOLANA TOWER SUBDIVISION, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITE Q. (CUP2023-0073)

DESCRIPTION:

The property is located at the northeast corner of Nolana Avenue and North 6th Street, and is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C-3 (general business) District to the east, south and west, R-1 (single family residential) District also to the east, and A-O (agricultural and open space) District also to the west. The property is located within the Nolana Tower Subdivision and is the site for Nolana Tower Shopping Center. Surrounding land uses include Chanin Engineering, Kemper Life, Jump, a water tower, and residential homes. A bar is permitted in a C-3 District with a conditional use permit and in compliance with requirements.



HISTORY: The initial Conditional Use Permit application for this establishment was submitted on December 18, 2020 and was disapproved with a favorable recommendation at the Planning and Zoning Commission meeting of January 19, 2021. The City Commission later approved the request for one year on February 8, 2021. The establishment has renewed their permit every year since, without issue. This Conditional Use Permit application was submitted on May 17, 2023.

ANALYSIS: The applicant is proposing to continue to operate a bar (The Bearded Lady) from the existing 1,940 square feet of leased space. The proposed hours of operation will be daily from 12:00 PM to 2:00 AM.

Inspections from the Fire and Health Departments are pending. A current police activity report for service calls for the past year was requested and is included in the agenda packet documents.

As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 PM) must be at least 400 feet from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 feet of residential zones and uses to the north and east, and a water tower to the west.
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has direct access to Nolana Avenue, North 4th Street, and North 6th Street. The existing gates on North 4th Street need to be closed as required from other Conditional Use Permits in this commercial plaza;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on-site parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, restaurants, a children's event center, and bars. 729 parking spaces are provided on the common parking area in the front and rear of the building. For the 729 parking spaces of the common parking area, 15 accessible parking spaces are required and are provided on site. Based on the square footage of the building, 20 parking spaces are required. Parking spaces are provided on site during the applicable hours of operation for this business;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

- 7) The business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director. The occupancy load for this establishment will be established by the Building Department as part of the building permitting review.

If approval is granted, the establishment must comply with all other zoning ordinance, building code, and Fire Department requirements.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

[illegible]

DEC 18 2020
BY: *ag*

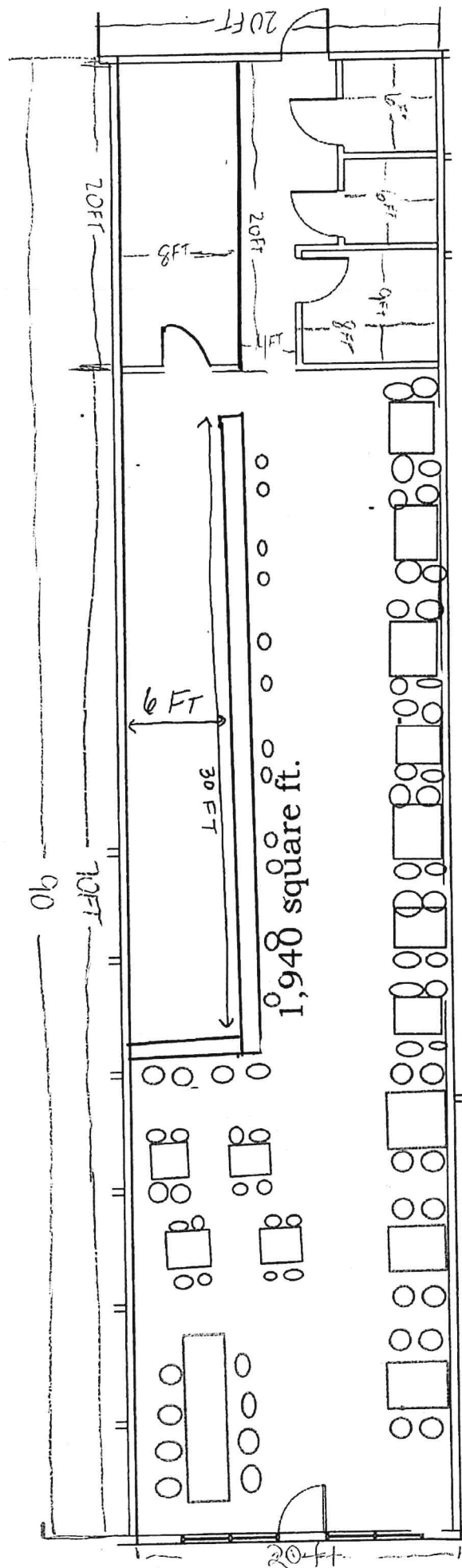
SUITE No. Q
SALSA
TOTAL: 1,940 SF.



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WE BRING THE TEQUILA
YOU BRING THE BAD
DECISIONS

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76★
AND KITCHEN



**NOTICE
BAR
FOR
THIS PROPERTY
CUP2023-0073**



CITY OF MCALLEN PLANNING DEPT.
956-684-1250
WWW.MCALLEN.NET



Planning Department

Memo

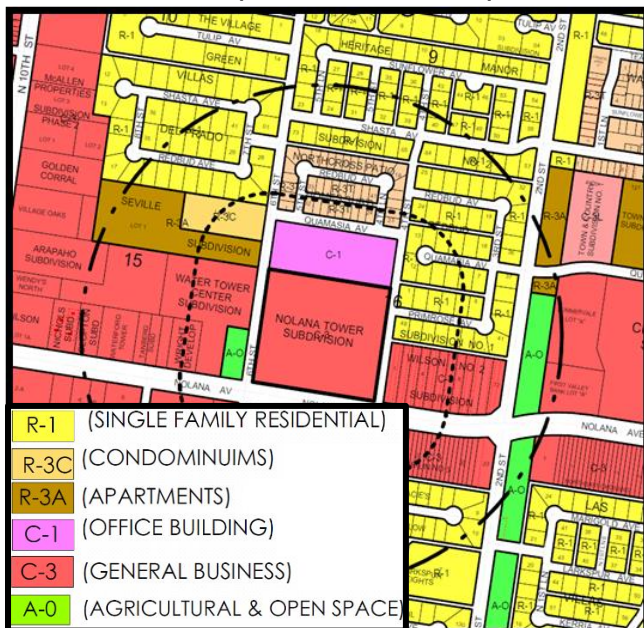
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 1, 2023

SUBJECT: REQUEST OF JESSICA AGUILAR, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR A BAR (SUERTE BAR & GRILL UPTOWN), AT LOT A-1, NOLANA TOWER SUBDIVISION, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITES N1-N2. (CUP2023-0074)

DESCRIPTION: The property is located at the northeast corner of Nolana Avenue and North 6th Street, and is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C-3 (general business) District to the east, south and west, R-1 (single family residential) District also to the east, and A-O (agricultural and open space) District also to the west. The property is located within the Nolana Tower Subdivision and is the site for Nolana Tower Shopping Center. Surrounding land uses include Chanin Engineering, Kemper Life, Jump, a water tower, and residential homes. A bar is permitted in a C-3 District with a conditional use permit and in compliance with requirements.



HISTORY: The initial Conditional Use Permit application was submitted on December 18, 2019, which was disapproved by the Planning and Zoning board on January 21, 2020 with a “favorable recommendation to the distance requirement”. The City Commission later approved the Conditional Use Permit request on February 10, 2020 for one year. The establishment has renewed their permit every year in the same way ever since, without issue. This Conditional Use Permit application was submitted on May 17, 2023.

ANALYSIS: The 4,080 square feet two-floor building will consist of a dining area, three restrooms, conference room, kitchen, server area room, two storage rooms, two offices, and a main bar as shown on the submitted floor plan. The proposed hours of operation for Suerte Bar and Grill are daily from 12:00 PM to 2:00 AM. As per the zoning ordinance, Section 138-395 (14), the business requires 41 parking spaces, and 729 spaces are provided, which complies with the parking requirement.

Inspections from the Health Department have been completed and no violations were found. The Fire Department inspection is pending. A current police activity report for service calls for the past year was requested and is included in the agenda packet documents.

As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 PM) must be at least 400 feet from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 feet of residential zones and uses to the north and east, and a water tower to the west.
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has direct access to Nolana Avenue, North 4th Street, and North 6th Street. The existing gates on North 4th Street need to be closed as required from other Conditional Use Permits in this commercial plaza;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on-site parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, restaurants, a children's event center, and bars. 729 parking spaces are provided on the common parking area in the front and rear of the building. For the 729 parking spaces of the common parking area, 15 accessible parking spaces are required and are provided on site. Based on the square footage of the building, 41 parking spaces are required. Parking spaces are provided on site during the applicable hours of operation for this business;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after

having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director. The occupancy load for this establishment will be established by the Building Department as part of the building permitting review.

If approval is granted, the establishment must comply with all other zoning ordinance, building code, and Fire Department requirements.

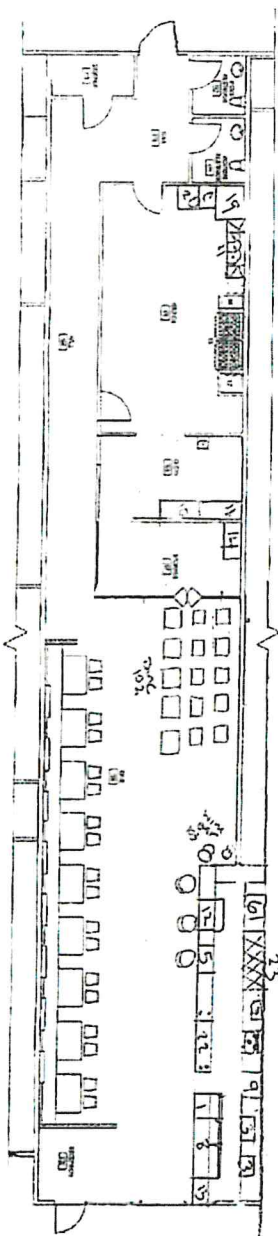
Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

400 Nolana Ste. N 1

CMS 2017-0898
 REVISED Floor Plan



1 Floor Plan Layout
 Scale: 3/16" = 1'-0"

EQUIPMENT SCHEDULE

| NO. | DESCRIPTION | QTY | UNIT | MANUFACTURER | MODEL | DATE |
|-----|-------------|-----|------|--------------|------------|------------|
| 1 | STOVE | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 2 | REF | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 3 | DISHWASHER | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 4 | SINK | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 5 | CUPBOARD | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 6 | STOVE | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 7 | REF | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 8 | DISHWASHER | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 9 | SINK | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |
| 10 | CUPBOARD | 1 | UNIT | FRIGIDAIRE | FRIGIDAIRE | 07/03/2017 |

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES THAT ARE NOT TO BE REMOVED OR ALTERED.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL ON THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN A CLEAN WORKING ENVIRONMENT AT ALL TIMES AND SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE.
7. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL WORK DONE AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE RECORD.
8. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL MATERIALS USED AND SHALL BE RESPONSIBLE FOR THE QUALITY OF THE MATERIALS.
9. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL LABORERS EMPLOYED AND SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL WAGES AND BENEFITS.
10. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL SUBCONTRACTORS EMPLOYED AND SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK DONE BY THE SUBCONTRACTORS.

PERMIT PURPOSES ONLY - NOT FOR CONSTRUCTION

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INFORMATION ON THIS SHEET IS
 FOR PERMIT PURPOSES ONLY.
 IT IS NOT TO BE USED FOR
 CONSTRUCTION WITHOUT THE
 APPROVAL OF THE
 CITY OF MCALLEN, TEXAS.

**LA CUCINA
 FOOD CORP.**

MCALLEN, TEXAS

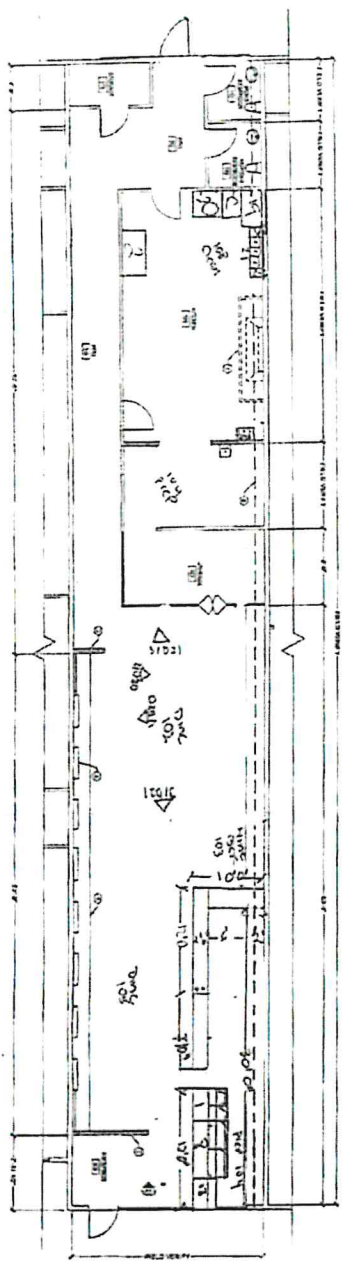
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400 W. Nolana

Base L.S.
31 40 5 20



1 Dimensional Floor Plan
Scale: 3/16" = 1'-0"

PERMIT PURPOSES ONLY - NOT FOR CONSTRUCTION

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VENTILATION AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DAMAGE TO EXISTING VENTILATION.

AREA SCHEDULE

| NO. | AREA | NO. | AREA |
|-----|-----------------|-----|---------------|
| 1 | KITCHEN | 2 | STORAGE |
| 3 | RESTROOM | 4 | LOBBY |
| 5 | OFFICE | 6 | MEETING ROOM |
| 7 | CONFERENCE ROOM | 8 | TRAINING ROOM |
| 9 | RECEPTION | 10 | SECURITY |
| 11 | MAINTENANCE | 12 | STORAGE |
| 13 | RESTROOM | 14 | LOBBY |
| 15 | OFFICE | 16 | MEETING ROOM |
| 17 | CONFERENCE ROOM | 18 | TRAINING ROOM |
| 19 | RECEPTION | 20 | SECURITY |
| 21 | MAINTENANCE | 22 | STORAGE |
| 23 | RESTROOM | 24 | LOBBY |
| 25 | OFFICE | 26 | MEETING ROOM |
| 27 | CONFERENCE ROOM | 28 | TRAINING ROOM |
| 29 | RECEPTION | 30 | SECURITY |
| 31 | MAINTENANCE | 32 | STORAGE |
| 33 | RESTROOM | 34 | LOBBY |
| 35 | OFFICE | 36 | MEETING ROOM |
| 37 | CONFERENCE ROOM | 38 | TRAINING ROOM |
| 39 | RECEPTION | 40 | SECURITY |
| 41 | MAINTENANCE | 42 | STORAGE |
| 43 | RESTROOM | 44 | LOBBY |
| 45 | OFFICE | 46 | MEETING ROOM |
| 47 | CONFERENCE ROOM | 48 | TRAINING ROOM |
| 49 | RECEPTION | 50 | SECURITY |
| 51 | MAINTENANCE | 52 | STORAGE |
| 53 | RESTROOM | 54 | LOBBY |
| 55 | OFFICE | 56 | MEETING ROOM |
| 57 | CONFERENCE ROOM | 58 | TRAINING ROOM |
| 59 | RECEPTION | 60 | SECURITY |
| 61 | MAINTENANCE | 62 | STORAGE |
| 63 | RESTROOM | 64 | LOBBY |
| 65 | OFFICE | 66 | MEETING ROOM |
| 67 | CONFERENCE ROOM | 68 | TRAINING ROOM |
| 69 | RECEPTION | 70 | SECURITY |
| 71 | MAINTENANCE | 72 | STORAGE |
| 73 | RESTROOM | 74 | LOBBY |
| 75 | OFFICE | 76 | MEETING ROOM |
| 77 | CONFERENCE ROOM | 78 | TRAINING ROOM |
| 79 | RECEPTION | 80 | SECURITY |
| 81 | MAINTENANCE | 82 | STORAGE |
| 83 | RESTROOM | 84 | LOBBY |
| 85 | OFFICE | 86 | MEETING ROOM |
| 87 | CONFERENCE ROOM | 88 | TRAINING ROOM |
| 89 | RECEPTION | 90 | SECURITY |
| 91 | MAINTENANCE | 92 | STORAGE |
| 93 | RESTROOM | 94 | LOBBY |
| 95 | OFFICE | 96 | MEETING ROOM |
| 97 | CONFERENCE ROOM | 98 | TRAINING ROOM |
| 99 | RECEPTION | 100 | SECURITY |

WALL LEGEND

| WALL TYPE | WALL THICKNESS | WALL FINISH |
|-----------|----------------|-------------|
| 1 | 12" | CONCRETE |
| 2 | 8" | CONCRETE |
| 3 | 6" | CONCRETE |
| 4 | 4" | CONCRETE |
| 5 | 2" | CONCRETE |
| 6 | 12" | BRICK |
| 7 | 8" | BRICK |
| 8 | 6" | BRICK |
| 9 | 4" | BRICK |
| 10 | 2" | BRICK |
| 11 | 12" | CMU |
| 12 | 8" | CMU |
| 13 | 6" | CMU |
| 14 | 4" | CMU |
| 15 | 2" | CMU |
| 16 | 12" | GLASS |
| 17 | 8" | GLASS |
| 18 | 6" | GLASS |
| 19 | 4" | GLASS |
| 20 | 2" | GLASS |

KEY NOTES

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FOOD CORP.

MCVILLE, TEXAS

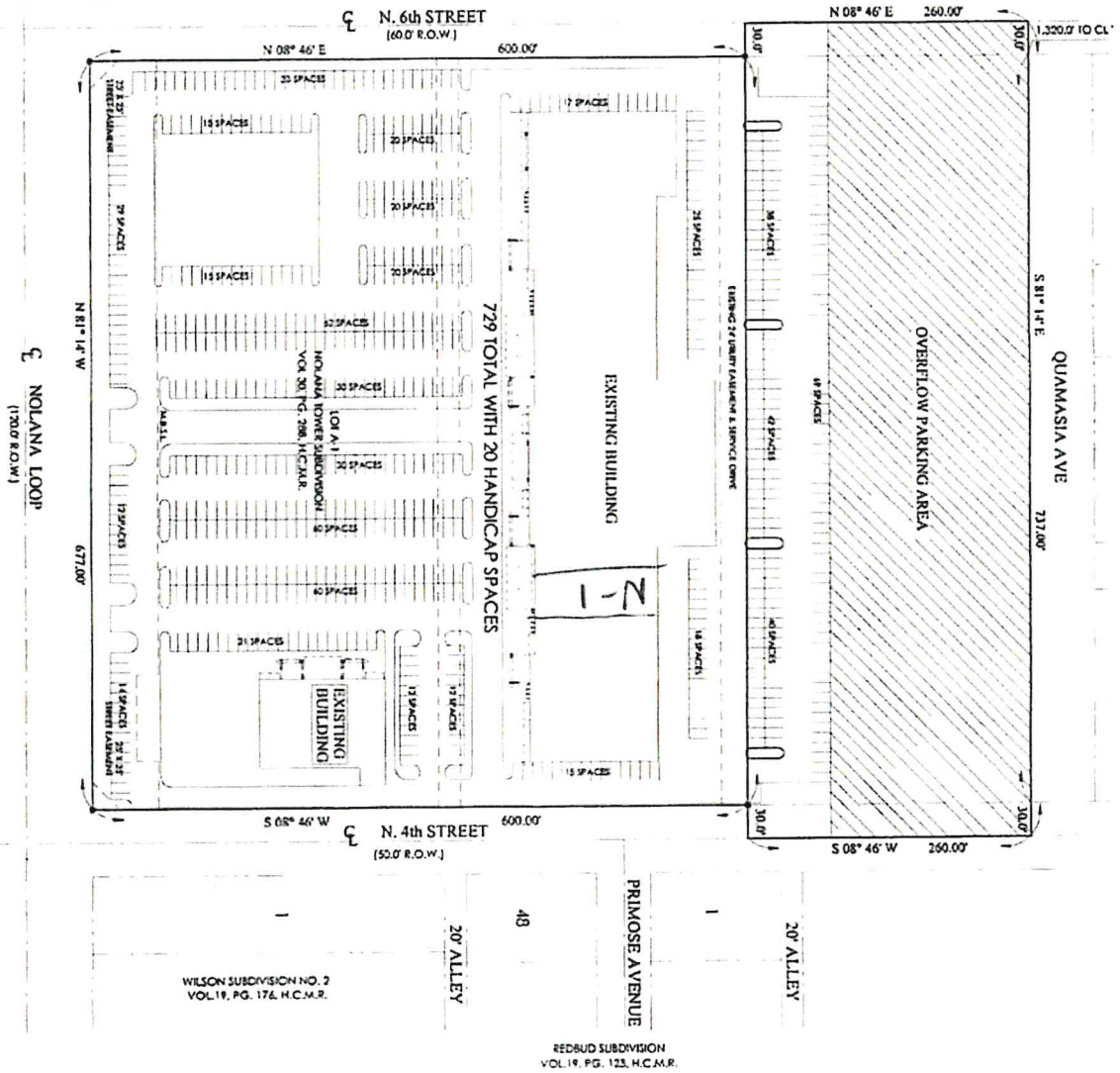
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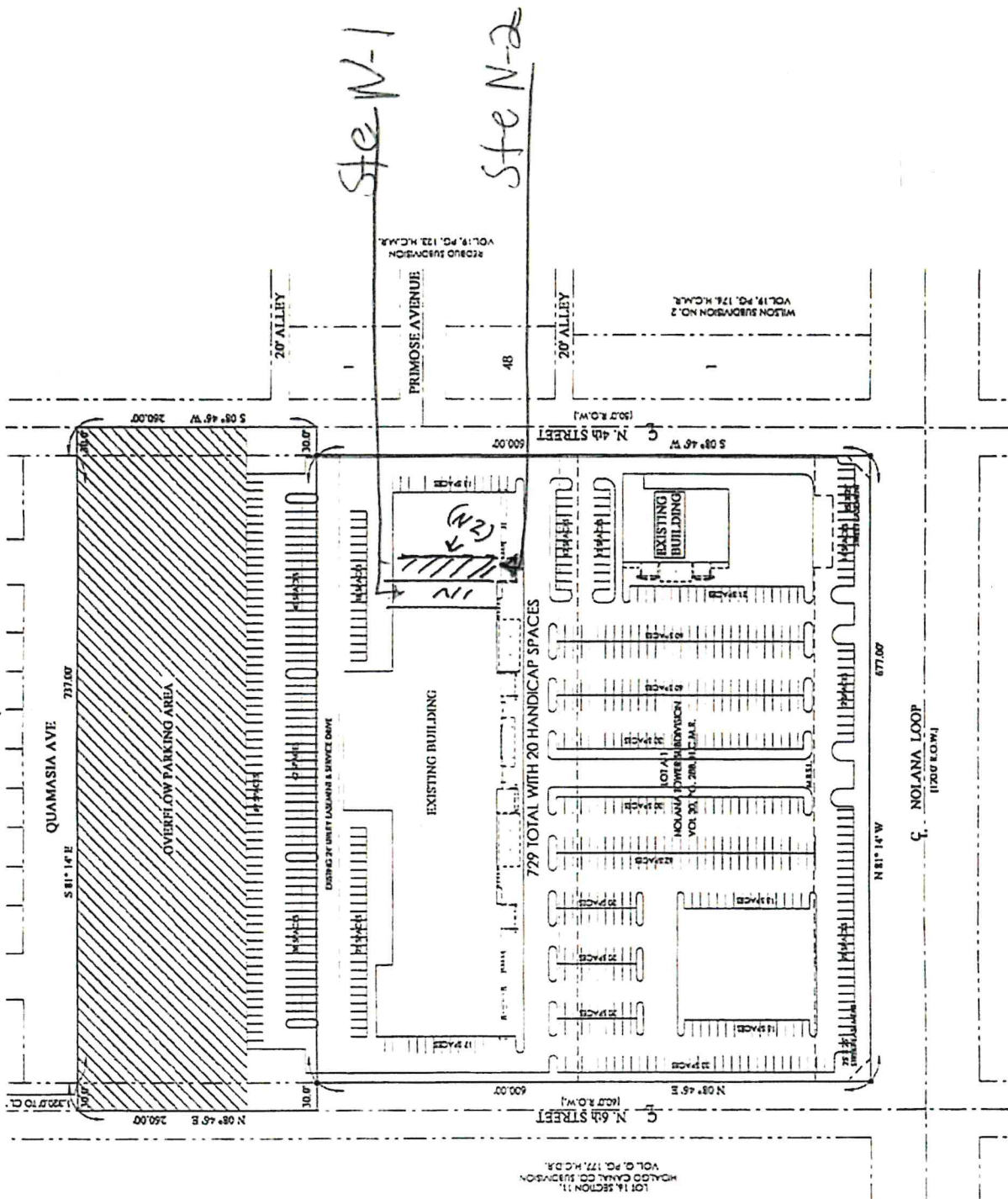
LOT 1A, SECTION 11,
HIDALGO CANAL CO. SUBDIVISION
VOL. Q, PG. 177, H.C.D.R.



400 NO PARKING
SHE N-1

5/17/23

5/17/23



PERLife

Suerte
BAR & GRILL



FIRE LANE PARKING PROHIBITED

FIRE LANE PARKING PROHIBITED

**NOTICE
BAR
FOR
THIS PROPERTY
CUP2023-0074**



CITY OF MCALLEN PLANNING DEPT.
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Memo

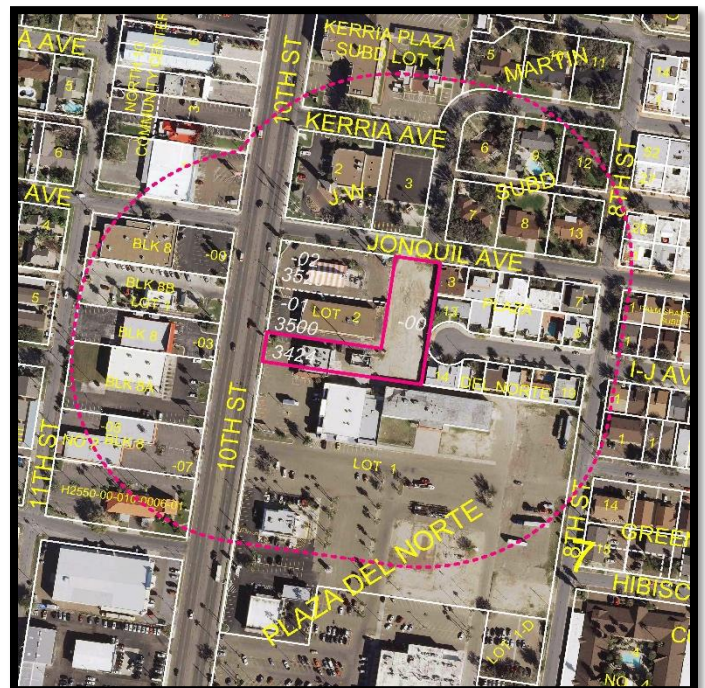
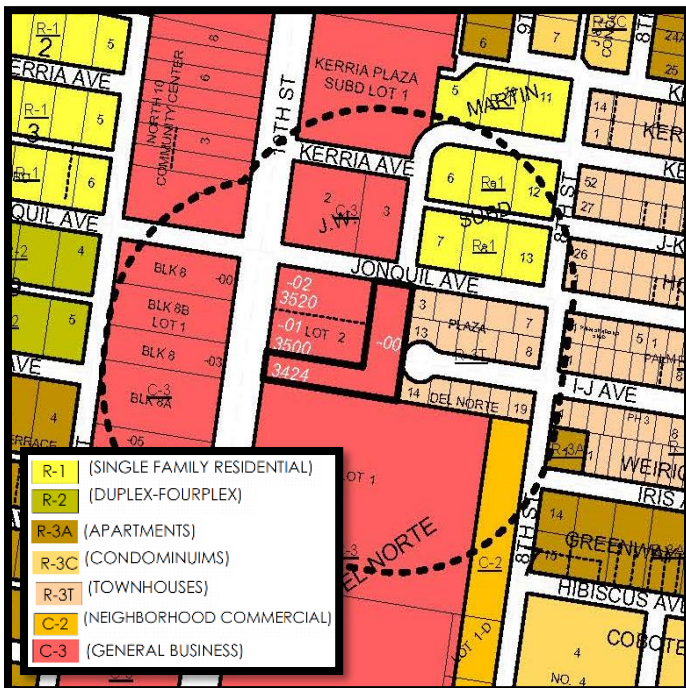
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 1, 2023

SUBJECT: REQUEST OF JESSICA AGUILAR, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR A BAR (LOVE BUZZ), AT THE NORTH 20 FEET OF LOT 1 & ALL OF LOT 2 EXCLUDING THE NORTHWEST 225 FEET BY 240 FEET OF LOT 2, PLAZA DEL NORTE SUBDIVISION, HIDALGO COUNTY, TEXAS; 3424 NORTH 10TH STREET. (CUP2023-0075).

BRIEF DESCRIPTION: The property is located on the east side of North 10th Street, approximately 200 ft. south of Jonquil Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south and west, R-3T (multifamily-townhouses) District to the east and R-1 (single-family) District to the northeast. Surrounding land uses include retail stores, restaurants, multifamily residences, and single-family residences. A bar is allowed in a C-3 district with a Conditional Use Permit and in compliance with requirements.



HISTORY: The initial bar Conditional Use Permit requested was submitted on March 31, 2021 and was approved by City Commission on May 24, 2021. The establishment has renewed their permit every year since, without issue. This Conditional Use Permit request was submitted on May 17, 2023.

REQUEST/ANALYSIS: The applicant is proposing to continue operating a bar (Love Buzz) from an existing 3,850 SF building. The proposed days and hours of operation are, Monday through Sunday from 12:00 PM to 2:00 AM.

The Fire and Health Departments have inspected the bar and the property is in compliance. The police activity report for service calls from February 2021 to present is attached. The Planning Department has received no complaints regarding the present use as a bar. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the above mentioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 PM. The establishment is less than 400 feet of a residential zone/use, to the northeast and east of the subject property
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has access from north 10th Street.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The bar requires 39 parking spaces based on SF of building and additional 3 parking spaces for the existing outside seating area (3 benches) for a total of 41 parking spaces
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

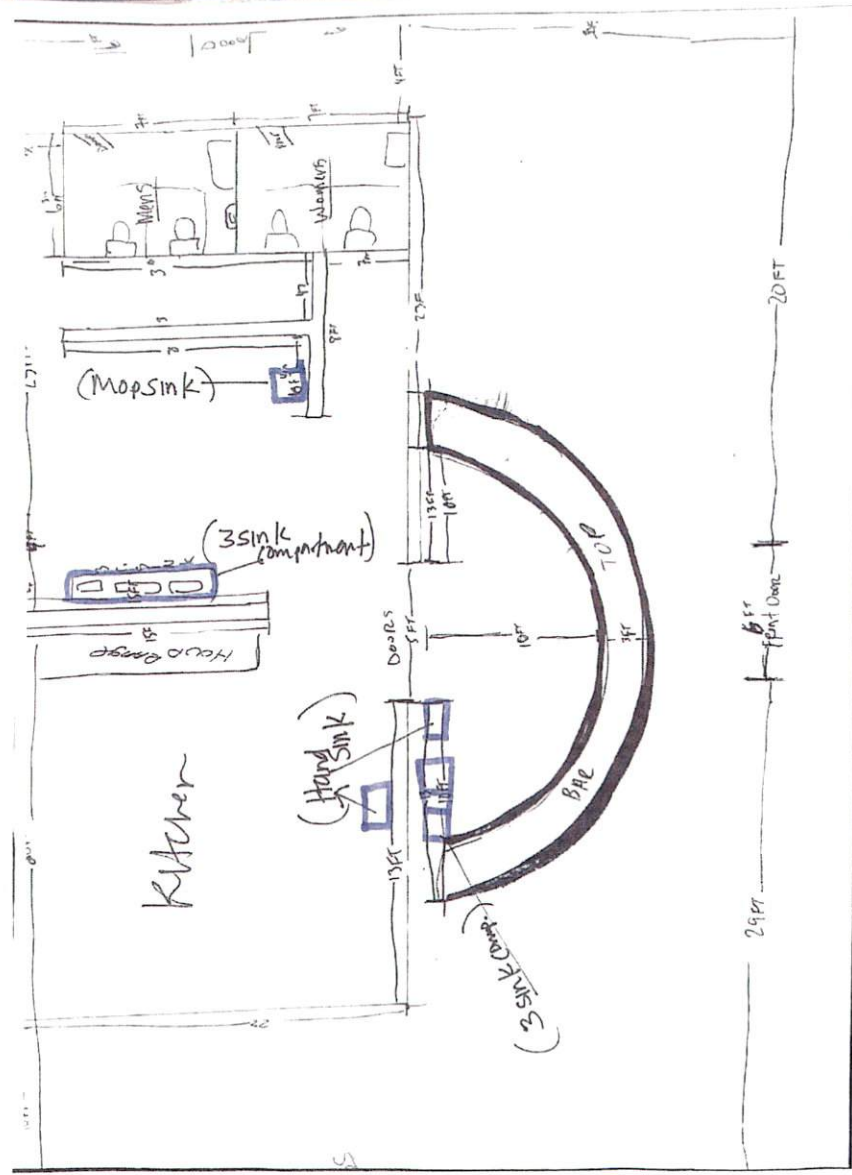
If approval is granted, the establishment must comply with all other zoning ordinance, building code, and Fire Department requirements.

Staff did not receive any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION:

Staff recommends disapproval of the request due to noncompliance with requirement #1 (distance) of Section 138-118(a) (4) of the Zoning Ordinance.

[illegible]



RECEIVED
MAY 17 REC'D
BY *gml*



**NOTICE
BAR
FOR
THIS PROPERTY
CUP2023-0075**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



21 SALON IN THE RGV
APPOINTMENTS WELCOME
(956) 800-4400

Planning Department

Memo

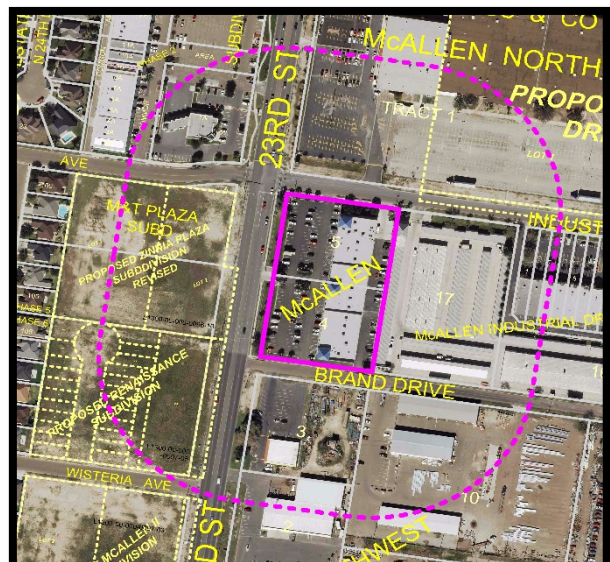
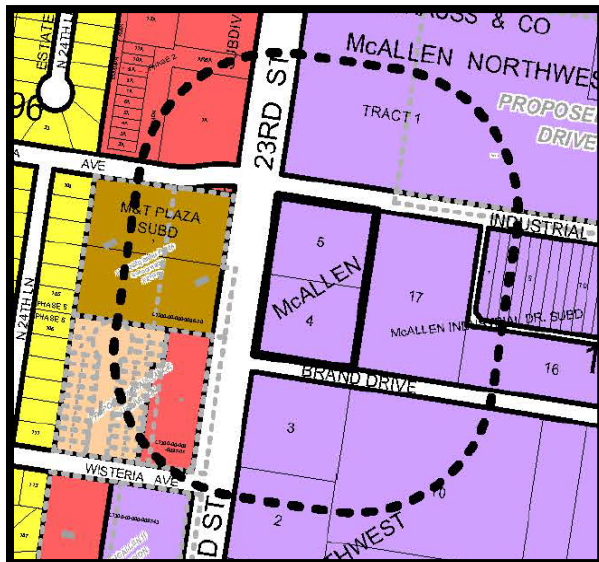
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 14, 2023

SUBJECT: REQUEST OF CARLOS MALDONADO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A SMOKE SHOP, AT LOTS 4 AND 5, MCALLEN NORTHWEST INDUSTRIAL SUBDIVISION NO. 2, HIDALGO COUNTY, TEXAS; 5000 NORTH 23RD STREET, SUITE F. (CUP2023-0068)

BRIEF DESCRIPTION: The property is located along the east side of North 23rd Street between Industrial Avenue and Brand Drive, and is zoned I-1 (light industrial) District. The proposed use is to be located as part of Texas Plaza. The adjacent zoning is C-3 (general business) District to the northwest and southwest, R-3A (multifamily residential apartments) District to the west, and I-1 District to the north, east and south. Surrounding land uses include commercial businesses, offices, restaurants, and multifamily residences, vacant land, and a water tower. A smoke shop is allowed in an I-1 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: This is the initial request by the applicant for a Conditional Use Permit for a bar and a vape shop at this location.

REQUEST/ANALYSIS: The applicant is proposing to operate a smoke shop under the name of “Goodtimes” to operate from the existing 2,125 sq. ft. lease space within the retail center. The proposed hours of operation are from 10:00 a.m. to 12:00 a.m (midnight), Monday thru Saturday and 12:00 p.m. to 8:00 p.m. on Sundays.

The Fire Department conducted an inspection of the establishment and determined to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. of residential zones and uses;
- b) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property has direct access to North 23rd Street;
- c) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Currently there is a multi-tenant commercial building on the property. The shopping center consists of various uses, retail, vacant suites, and restaurants. The proposed 2,125 sq. ft. smoke shop hall requires 6 parking spaces; parking spaces are provided as part of a common parking area in the front and rear of the building. For the parking spaces of the common parking area, 1 accessible parking space is required and provided on site, as per section 138-400(a) of the Off-Street Parking and Loading requirements, all off-street parking must be clearly striped and free of potholes;
- d) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- e) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- f) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- g) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal,

Building Official and Director of Planning. The occupancy load for this establishment will be established by the Building Inspection Department as part of the building permit review process.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

23rd St.



Front Entrance

Displays

Displays

Incense holder

Recall space

Clothing racks

shelves

Displays

shelves

shelves

Storage

Storage

Restroom

Restroom

Office

Back door



NOTICE
SMOKE
SHOP
FOR
THIS PROPERTY
CUP2023-0068
CITY OF McALLEN PLANNING DEPT.
956-11-1250
WWW.MCALLEN.NET

Memo

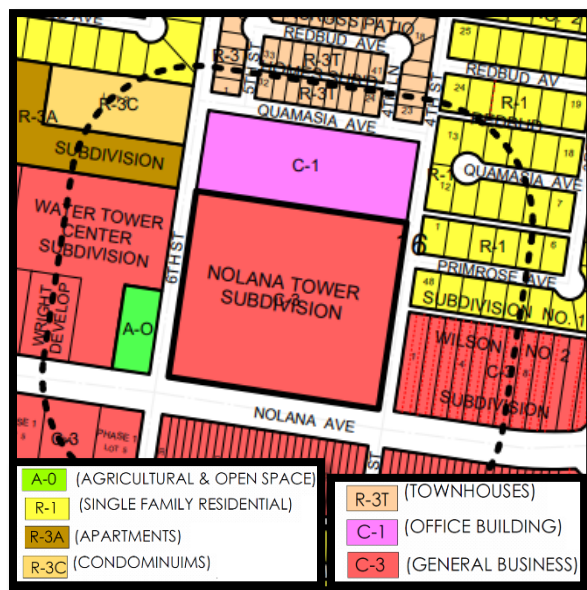
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 31, 2023

SUBJECT: REQUEST OF DAVID A. LISAUCKIS, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR AT LOT A-1, NOLANA TOWER, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITE H1. (CUP2023-0076)

BRIEF DESCRIPTION: The subject property is located north of Nolana Avenue and east of North 6th Street. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C-3 District and A-O (agricultural and open space) District to the west, C-3 District to the south, R-1 (single family residential) District to the east. Surrounding land uses include commercial plazas, restaurants, a water tower and single-family residences. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: The Conditional Use Permit for this establishment was approved by the City Commission on July 11, 2022. The applicant is renewing their Conditional Use Permit.

REQUEST/ANALYSIS: The applicant is proposing to continue operating a bar, The Rockwell Taphouse & Grill, from an existing 4,814 sq. ft. suite. The hours of operation will be from Monday thru Sunday 3:00 PM to 2:00 AM.

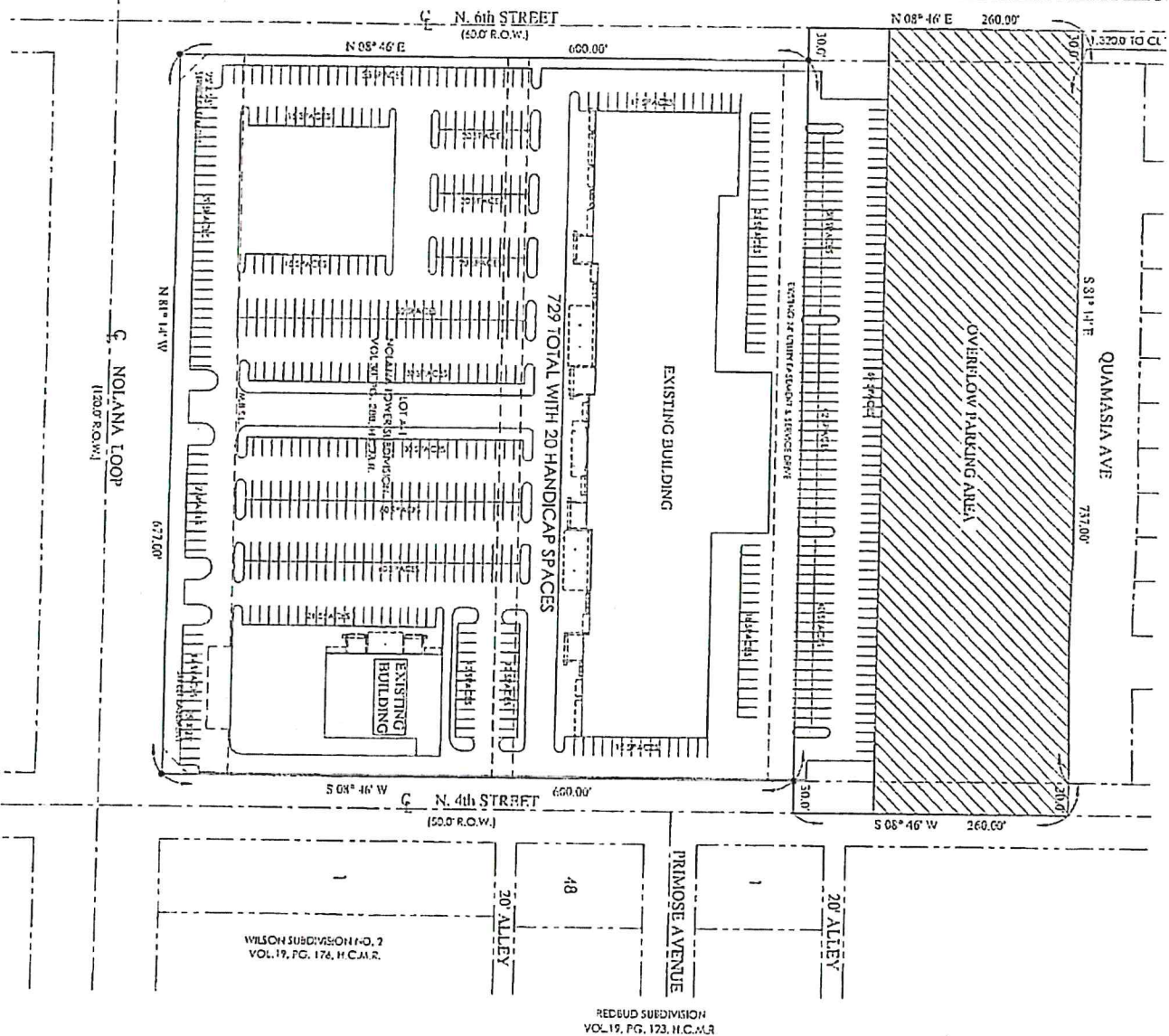
The Fire Department and Health Department has inspected the establishment, and the property is in compliance. Attached is the police report from May 31, 2022 to May 31, 2023. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 PM. The proposed establishment is within 400 ft. of residential zones and uses, and publicly owned property;
- b) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets or allow such traffic to exist into and disrupt residential areas. The property has direct access to Nolana Avenue and North 6th Street. The existing gates on North 4th Street need to be closed as required from other Conditional Use Permits issued in this commercial plaza;
- c) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. There is an existing commercial building on the property. The commercial plaza is composed of restaurants and other bars. The current bar requires 49 parking spaces; 729 parking spaces are provided on site, both in the front and rear of the building.
- d) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses of residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- e) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- f) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- g) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. The occupancy load for this establishment will be established by the Building Inspections Department as part of the building permit review process.

Staff has not received any phone calls, emails, or letters in opposition to the CUP request.

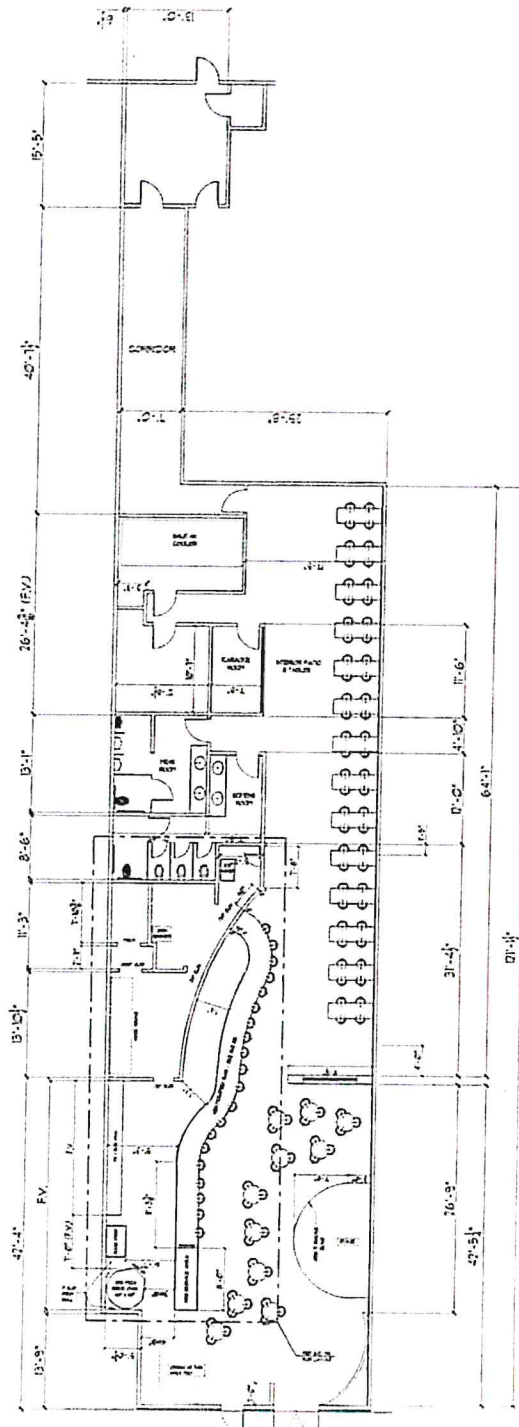
RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 distance to a residential use or a residential zoned property and publicly owned land of Section 138-118(4) of the Zoning Ordinance.

LOT 16, SECTION 11,
HIDALGO CANAL CO. SUBDIVISION
VOL. G, PG. 177, H.C.D.R.



ENTERED

MAY 18 2022



NEW FLOOR PLAN

M. PALACIOS & SONS

GENERAL CONTRACTING
1935N. GAGE PHOENIX, AZ 85016 (602) 272-1733

THE ROCKWELL

PIZZA & TAP HOUSE
RESTAURANT & BAR
RENOVATIONS

502 W. VANDER AVENUE • SUITE 111
SCOTTSDALE, AZ 85261

SHEET STATUS

| NO. | DATE | DESCRIPTION |
|-----|--------|-------------|
| 1 | 4-2-20 | PERMIT SET |
| | | |
| | | |
| | | |

CONTRACT NO.

DATE

ENTERED

MAY 18 2022

Initial: Nm





McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/31/2022
To Date/Time: 05/31/2023

Incident Type: All
Location: 400 Nolana ave., Ste H1

| Incident Number | Call Date/Time | Location | Incident Type |
|-----------------|------------------|----------------------------|----------------------|
| 2022-00091489 | 12/29/2022 2:34 | 400 NOLANA AVE H1, MCALLEN | Police Services |
| 2022-00089686 | 12/22/2022 2:14 | 400 NOLANA AVE H1, MCALLEN | Domestic Disturbance |
| 2022-00086819 | 12/11/2022 1:09 | 400 NOLANA AVE H1, MCALLEN | Assault |
| 2022-00086815 | 12/11/2022 0:59 | 400 NOLANA AVE H1, MCALLEN | Police Services |
| 2022-00083858 | 11/29/2022 20:18 | 400 NOLANA AVE H1, MCALLEN | Police Services |
| 2022-00075638 | 10/29/2022 0:30 | 400 NOLANA AVE H1, MCALLEN | Intoxicated Person |
| 2022-00074804 | 10/26/2022 1:24 | 400 NOLANA AVE H1, MCALLEN | Suspicious Activity |
| 2022-00070129 | 10/8/2022 1:35 | 400 NOLANA AVE H1, MCALLEN | Suspicious Activity |
| 2022-00069589 | 10/6/2022 2:19 | 400 NOLANA AVE H1, MCALLEN | Theft |
| 2022-00054705 | 8/7/2022 21:13 | 400 NOLANA AVE H1, MCALLEN | WELFARE CONCERN |
| 2022-00051492 | 7/25/2022 22:49 | 400 NOLANA AVE H1, MCALLEN | Narcotics |

Memo

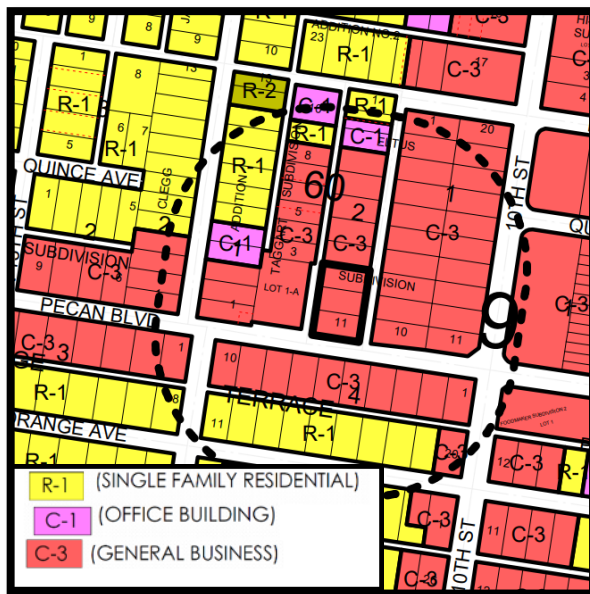
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 5, 2023

SUBJECT: REQUEST OF DAVID A. LISAUCKIS, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR AT LOTS 9, 10 & 11, BLOCK 2, ELTUS SUBDIVISION, HIDALGO COUNTY, TEXAS; 1116 PECAN BOULEVARD. (CUP2023-0077)

BRIEF DESCRIPTION: The subject property is located north of Pecan Boulevard and west of North 11th Street. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the west, north, east and south. Surrounding land uses include restaurants and commercial plazas. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: A Conditional Use Permit for this subject property was approved by the City Commission on July 11, 2022. A renewal for the Conditional Use Permit was submitted May 17, 2023.

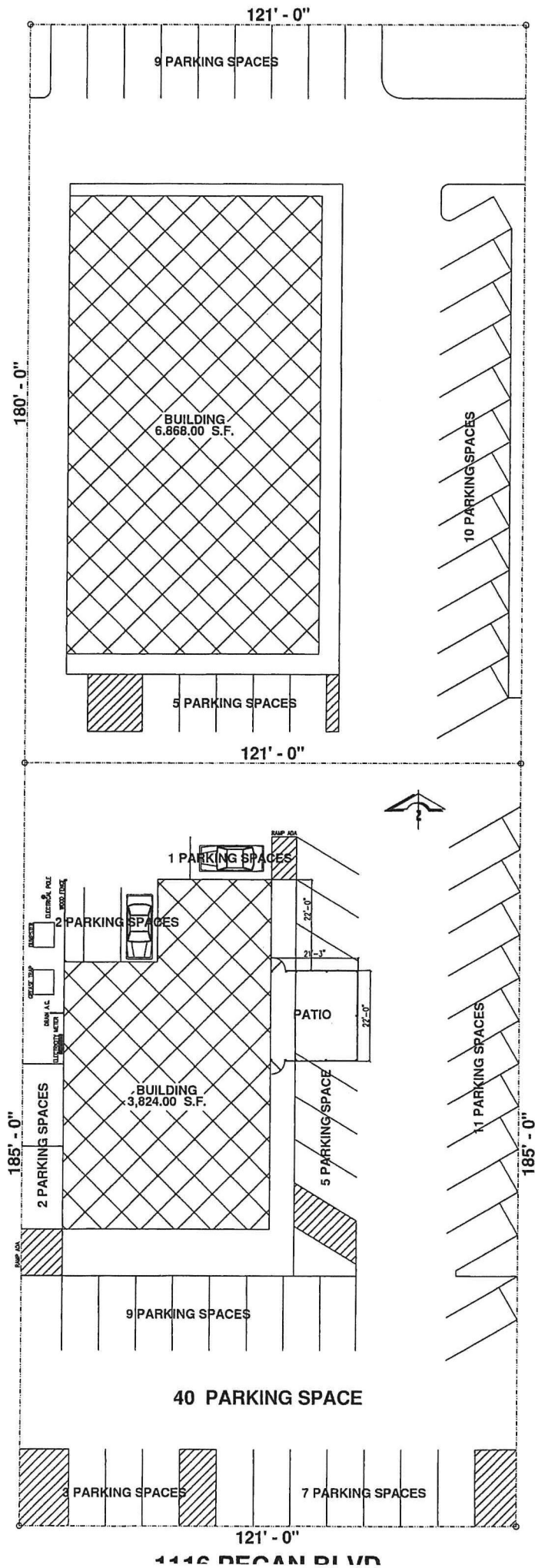
REQUEST/ANALYSIS: The applicant is proposing to continue operating a bar from the existing 4,260 square foot building and outdoor patio. The proposed hours of operation are Monday thru Sunday 1:00 PM to 2:00 AM.

The Fire Department and Health Department has completed their inspection and has allowed the CUP process to continue. The establishment must comply with the requirements set forth in Section 138-118a (4) of the Zoning Ordinance and specific requirements as follows:

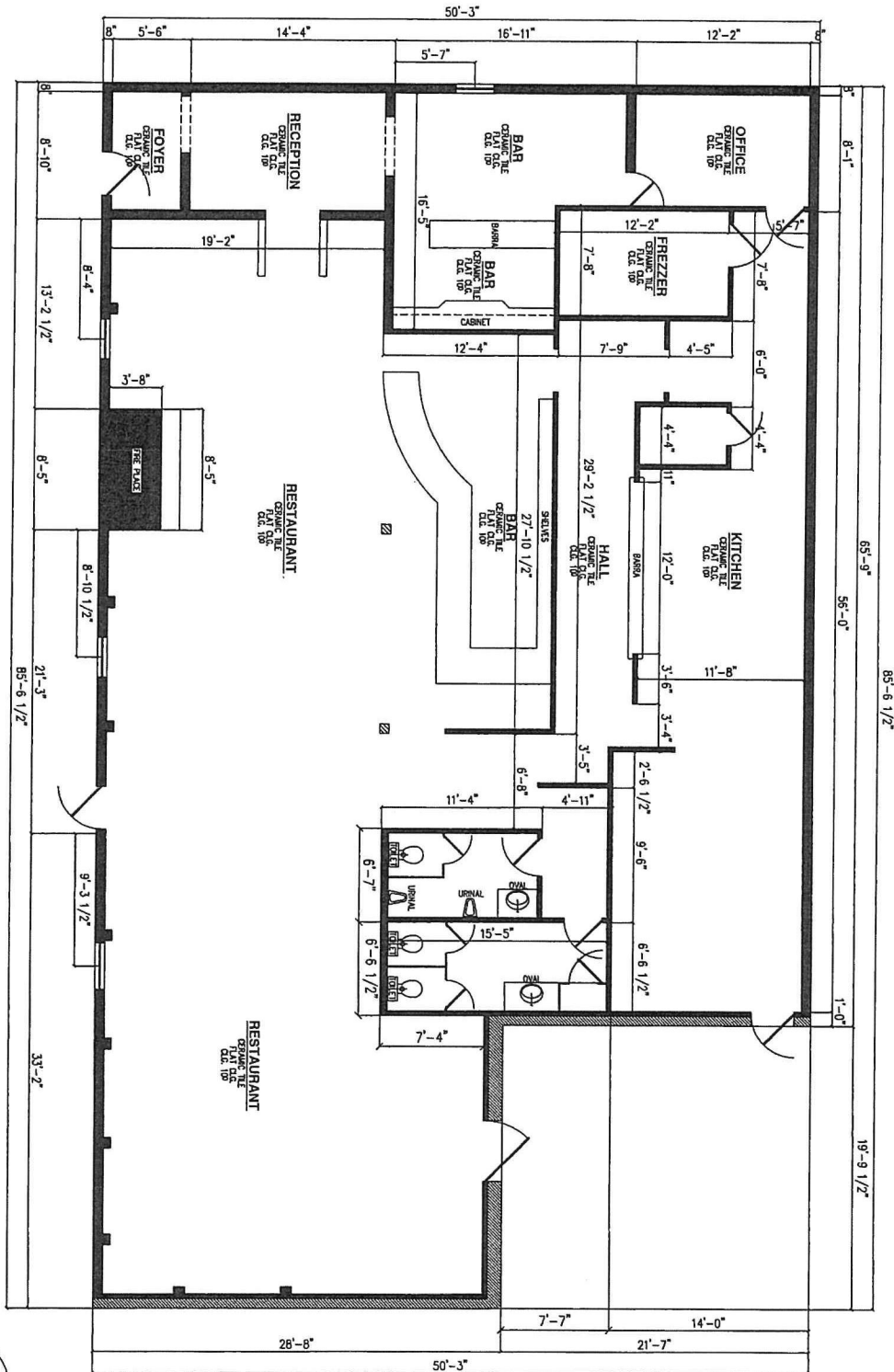
- a) The property line of those businesses having late hours (after 10:00 PM) must be at least 400 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 ft. of residential zones and uses;
- b) The property must be as close as possible to a major arterial and shall not generate traffic onto residential-sized streets. The establishment has direct access to north Pecan Boulevard and North 11th Street and does not generate traffic into residential areas;
- c) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the floor area of 4,260 square feet, 43 parking spaces are required; 40 parking spaces are provided on site. Applicant has also obtained a parking agreement with Armstrong McCall Professional Beauty Supply for the use of their parking area of 35 spaces.
- d) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- e) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street to discourage vandalism and criminal activities;
- f) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- g) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance after taking into account the recommendations of the Fire Marshal, Building Official, and Planning Director. The occupancy load for this establishment will be established by the Building Inspections Department as part of the building permit review process.

Staff has not received any phone calls, emails, or letters in opposition to the CUP request.

RECOMMENDATION: Staff recommends disapproval of the request based on non-compliance with requirement #1 distance from nearest residence or residentially owned property of Section 138-118a(4)a of the Zoning Ordinance.



3,824.00 S.F.



FLOOR PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: O.C.
CHECKED BY:
COMPUTER:

REVISED DATE:
JUN-03-2022

PROJECT NAME:
Proposed Residence for

LEGAL DESCRIPT.
1116 PECAN BLVD. 78501
MCALLEN, HIDALGO, COUNTY OF TEXAS.

J.M.MOFFITT
construction

McAllen, Hidalgo
County of Texas

phone (956) 686 8374
(956) 686 0076

PROJECT NO.
10100

SHEET NO.
1-1

Zo.S DESIGNS

1116 Pelican - The
400 W. Noland
- Rockwell.
Submitting
Renewals

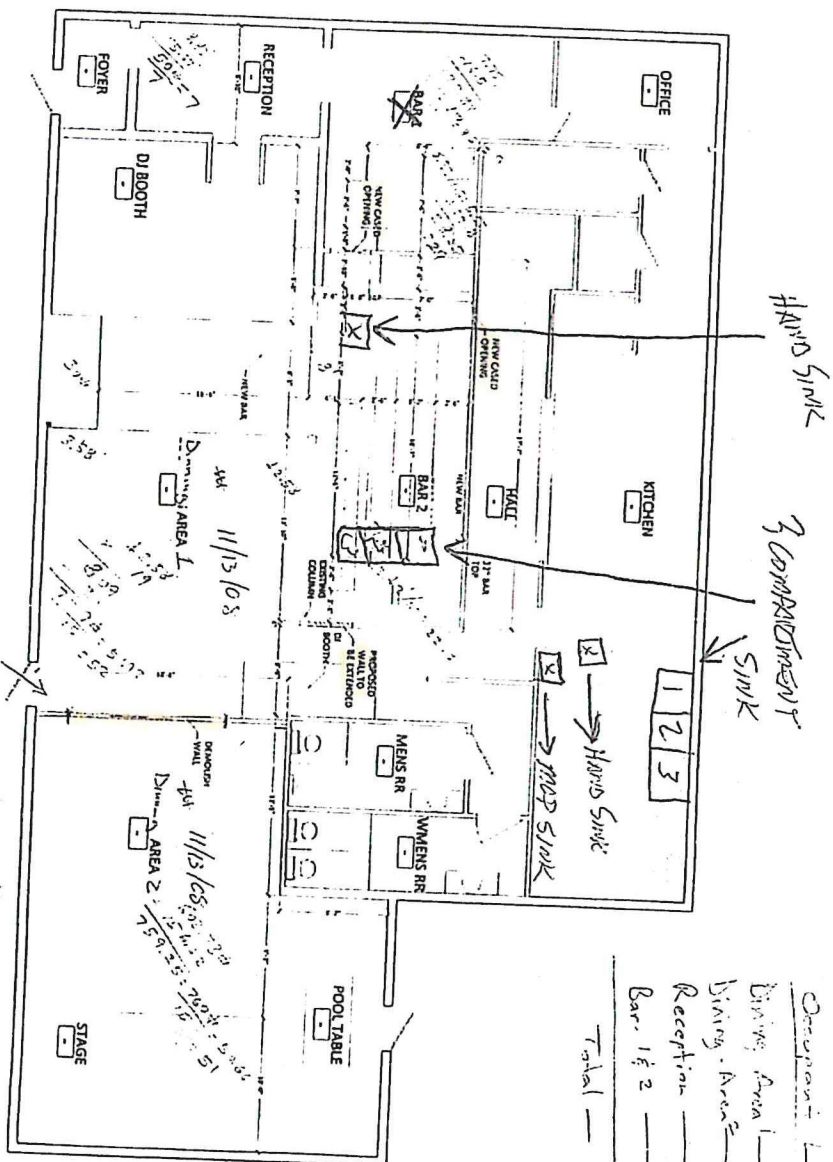
| | |
|----------------|---------|
| PROJECT | T.K.O.S |
| PROJECT NUMBER | 08002 |
| DRAWN BY | L.M.M. |
| DRAWN BY | |

ENAL10
RED

MAY 18 2022
Initial: *AK*

Occupant Load:

| | |
|---------------|------------|
| Dining Area 1 | 51 |
| Dining Area 2 | 52 |
| Reception | 7 |
| Bar 1 & 2 | 38 |
| Total | 148 |



1 FLOOR PLAN

removed. Sheet rock
no studs were behind
sheetrock.

5/13/22







McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/31/2022

Incident Type: All

To Date/Time: 05/31/2023

Location: 1116 Pecan Blvd.

| Incident Number | Call Date/Time | Location | Incident Type |
|-----------------|------------------|--------------------------|----------------------------|
| 2023-00037941 | 5/26/2023 23:26 | 1116 PECAN BLVD, MCALLEN | Intoxicated Driver |
| 2023-00035362 | 5/16/2023 21:26 | 1116 PECAN BLVD, MCALLEN | Domestic Disturbance |
| 2023-00034701 | 5/14/2023 2:47 | 1116 PECAN BLVD, MCALLEN | Domestic Disturbance |
| 2023-00033044 | 5/8/2023 2:09 | 1116 PECAN BLVD, MCALLEN | Domestic Disturbance |
| 2023-00027747 | 4/19/2023 14:48 | 1116 PECAN BLVD, MCALLEN | Disturbance - Non Domestic |
| 2023-00024760 | 4/7/2023 16:35 | 1116 PECAN BLVD, MCALLEN | Theft |
| 2022-00090876 | 12/26/2022 18:53 | 1116 PECAN BLVD, MCALLEN | Domestic Disturbance |
| 2022-00085014 | 12/4/2022 2:21 | 1116 PECAN BLVD, MCALLEN | Domestic Disturbance |
| 2022-00080795 | 11/17/2022 23:33 | 1116 PECAN BLVD, MCALLEN | Assist Other Agency |
| 2022-00075668 | 10/29/2022 2:17 | 1116 PECAN BLVD, MCALLEN | PI |
| 2022-00068788 | 10/2/2022 19:50 | 1116 PECAN BLVD, MCALLEN | Hit and Run |
| 2022-00068056 | 9/30/2022 1:22 | 1116 PECAN BLVD, MCALLEN | Suspicious Person/Vehicle |

Memo

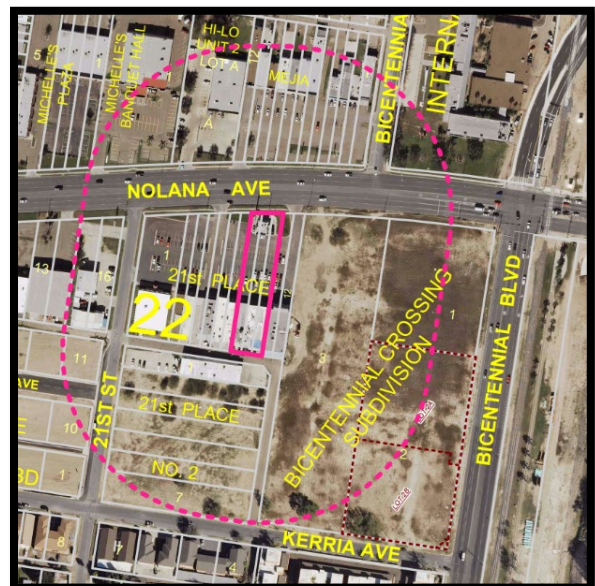
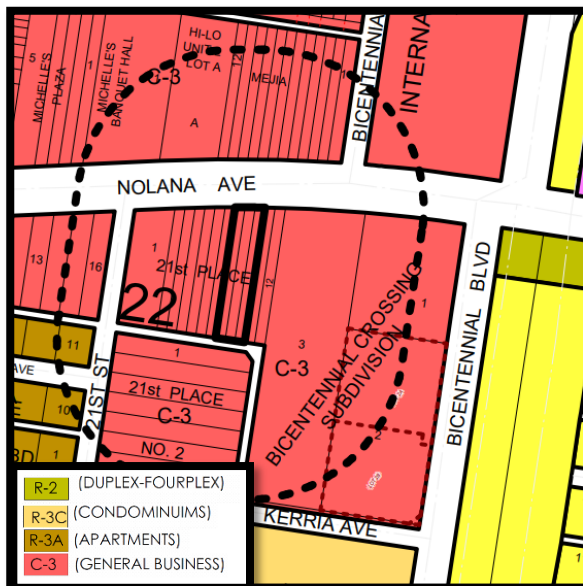
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 6, 2023

SUBJECT: REQUEST OF TOMAS FLORES MARTINEZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR AT LOTS 10, 9 & 8, 21ST PLACE SUBDIVISION, HIDALGO COUNTY, TEXAS; 2005 NOLANA AVENUE. (CUP2023-0078)

BRIEF DESCRIPTION: The subject property is located south of Nolana Avenue and west of Bicentennial Boulevard. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District and R-3A (apartments) District to the southwest corner. Surrounding land uses include commercial plazas, restaurants, bars and apartments. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: This subject property does have a history of approved Conditional Use Permits. A Conditional Use Permit was last approved for this location on September 27, 2021. A Conditional Use Permit request was submitted on May 17, 2023.

REQUEST/ANALYSIS: The applicant is proposing to operate a bar, Cobras Bar & Grill, within a 7,500 sq. ft. suite. The hours of operation are Monday thru Sunday from 6:00 PM to 2:00 AM.

The Fire Department and Health Department has inspected the establishment, and has allowed the CUP process to continue. Attached is the police report from May 31, 2022 to May 31, 2023. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

a) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of publicly owned property and R-3A District to the southwest of the property;

b) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The location fronts Nolana Avenue and does not generate traffic into residential areas;

c) The abovementioned businesses must provide parking in accordance with the city off street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. The proposed bar requires 75 parking spaces, which are provided on the common parking area in the front of building. All 75 parking spaces must comply with Section 138-400 of the Ordinance and must be clearly striped and pavement surface shall be maintained free of litter, debris, loose gravel, cracks and potholes before CUP issuance.

d) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.;

e) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;

f) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;

g) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. The occupancy load for this establishment will be established by the Building Inspections Department as part of the building permit review process.

Staff has not received any phone calls, emails, or letters in opposition to the CUP request.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 distance to a residential use or a residential zoned property and publicly owned land of Section 138-118(4) of the Zoning Ordinance.

Living
and kitchen

PATIO

Office

codega

VIP

VIPs

VIP

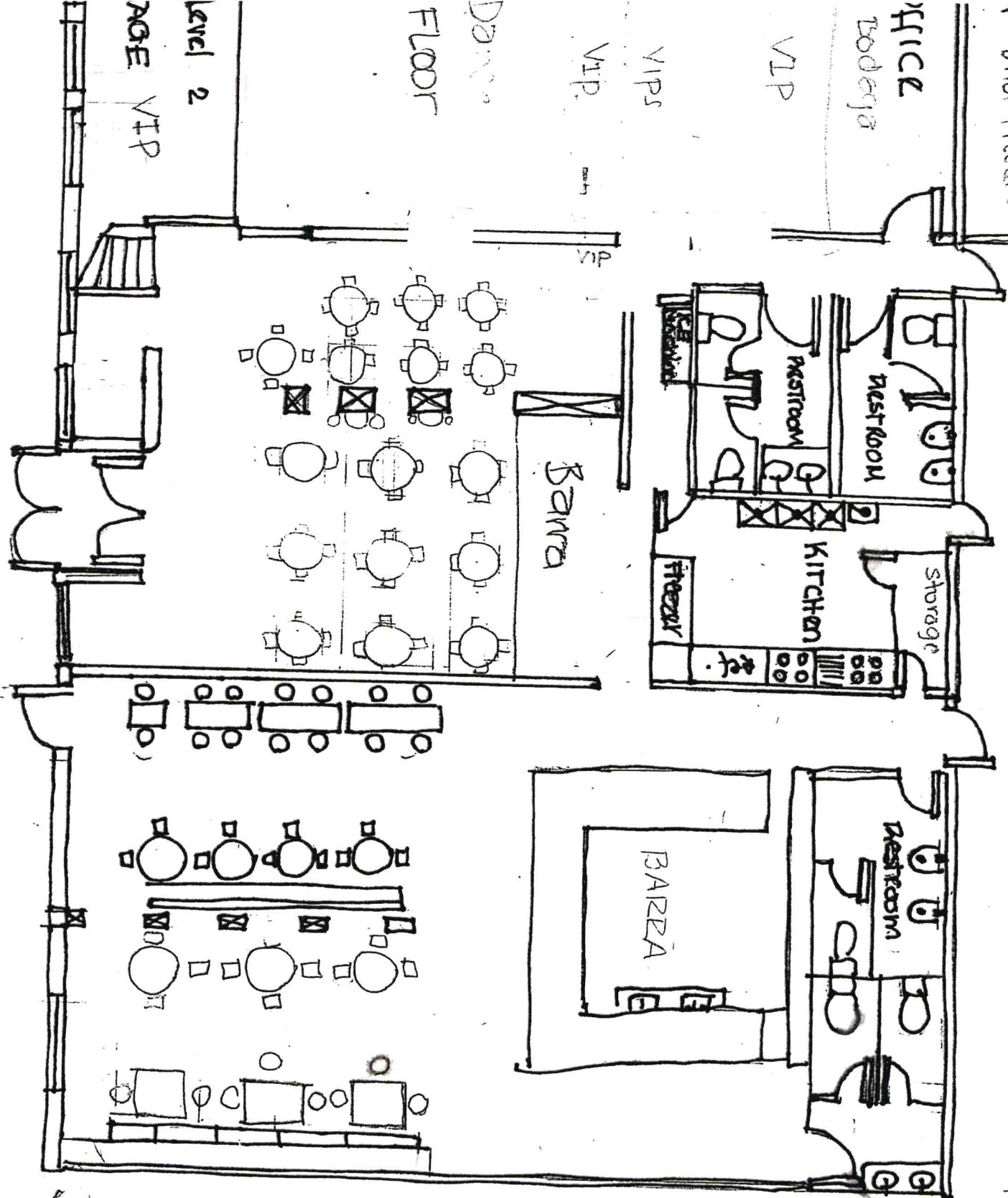
Dance

FLOOR

Level 2

AGE VIP

NOLANA



RECEIVED
MAY 17 2023
By





McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/31/2022
To Date/Time: 05/31/2023

Incident Type: All
Location: 2005 Nolana Ave.

| Incident Number | Call Date/Time | Location | Incident Type |
|-----------------|----------------|--------------------------|----------------------|
| 2023-00028757 | 4/23/2023 1:30 | 2005 NOLANA AVE, MCALLEN | Domestic Disturbance |
| 2022-00054490 | 8/7/2022 0:51 | 2005 NOLANA AVE, MCALLEN | Assault |

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

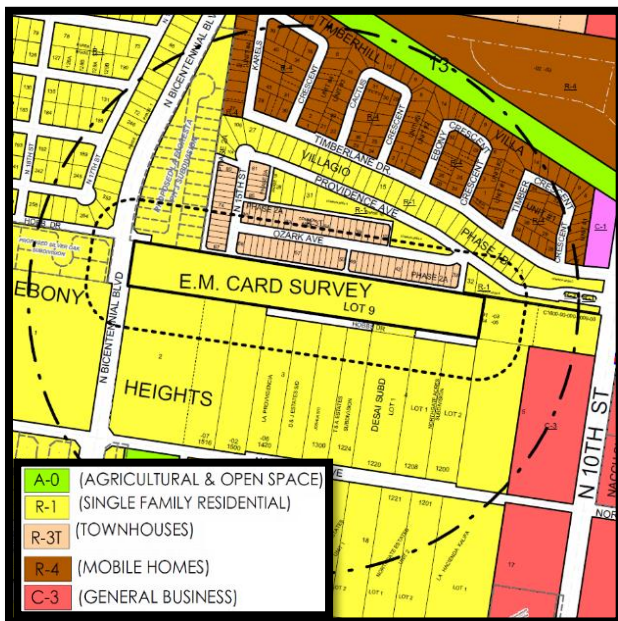
DATE: June 14, 2023

SUBJECT: Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: An 8.11 acre tract out of Lot 9, E.M. Card Survey No.1, Hidalgo County, Texas; 9228 North Bicentennial Boulevard. (REZ2023-0021)(Item requested to be tabled by applicant at the Planning and Zoning meeting held on 6/6/2023).

LOCATION: The subject property is located east of North Bicentennial Boulevard, approximately 740 feet north of Northgate Avenue. The lot has 215.70 feet of frontage and 1,382.05 feet of depth as per the submitted survey.

PROPOSAL: The applicant is requesting to rezone the property from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District. A feasibility plan has been submitted to the Planning Department, the applicant is proposing to construct multifamily residences in a proposed 20-lot subdivision.

ADJACENT ZONING: The subject property is zoned R-1 District, and is zoned R-1 in all directions. There is R-3T (townhouse residential) District to the north.



LAND USE: The property is currently vacant. Surrounding land uses include townhomes and single-family residences.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Residential, which is comparable to R-1 District. The proposed rezoning of the property does not follow the Foresight McAllen Comprehensive Plan.

DEVELOPMENT TRENDS: The development trend for this section along North Bicentennial Road is primarily single-family residential use. Directly to the south of the subject property, there are single-family residences. There are townhomes to the north of the subject property.

HISTORY: The property was initially zoned R-1 District upon annexation on August 05, 1985. There have been no rezoning requests since then.

The adjacent property to the east was zoned from A-O (agricultural-open space) District to R-1 District in 2015 during the City initiated rezoning project in 2015.

ANALYSIS: The requested zoning does not conform to the Suburban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. The development trend for this section along North Bicentennial Road is primarily single-family land use. The proposed rezoning request is not compatible with the surrounding zoning and development trend in this area. There are upcoming single-family residential developments that are currently undergoing subdivision process to the north and west of the subject property. Bicentennial Boulevard is designated as a hi-speed arterial with 150 feet of right-of way and is currently constructed with four travel lanes.

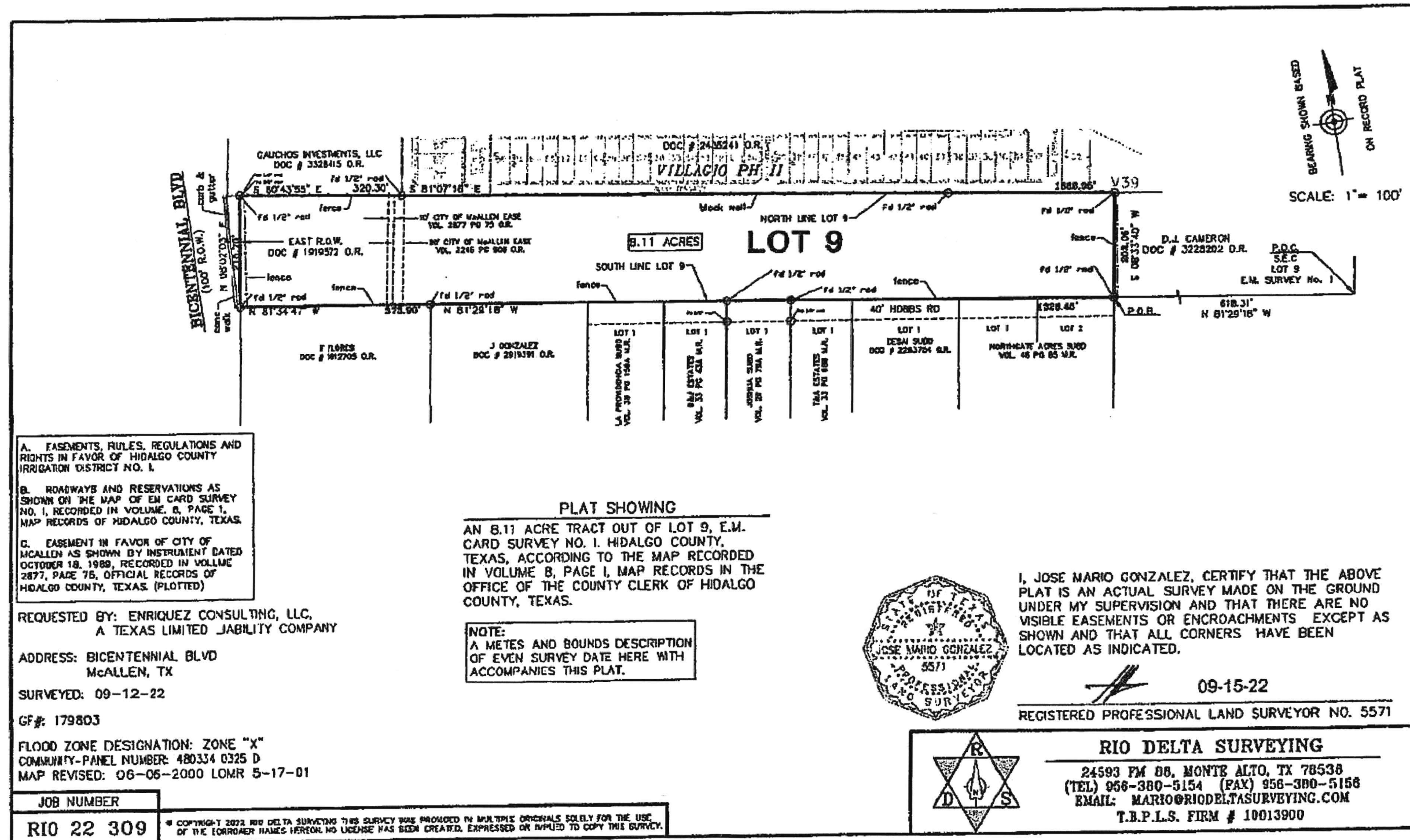
The permitted uses within the proposed zoning district are all uses listed as permitted uses in the R-2 duplex-fourplex residential district, apartment buildings with five or more units, and storage buildings not used for living quarters and accessory to the residential use. Approval of the rezoning request will allow multi-family residential development of the vacant lot.

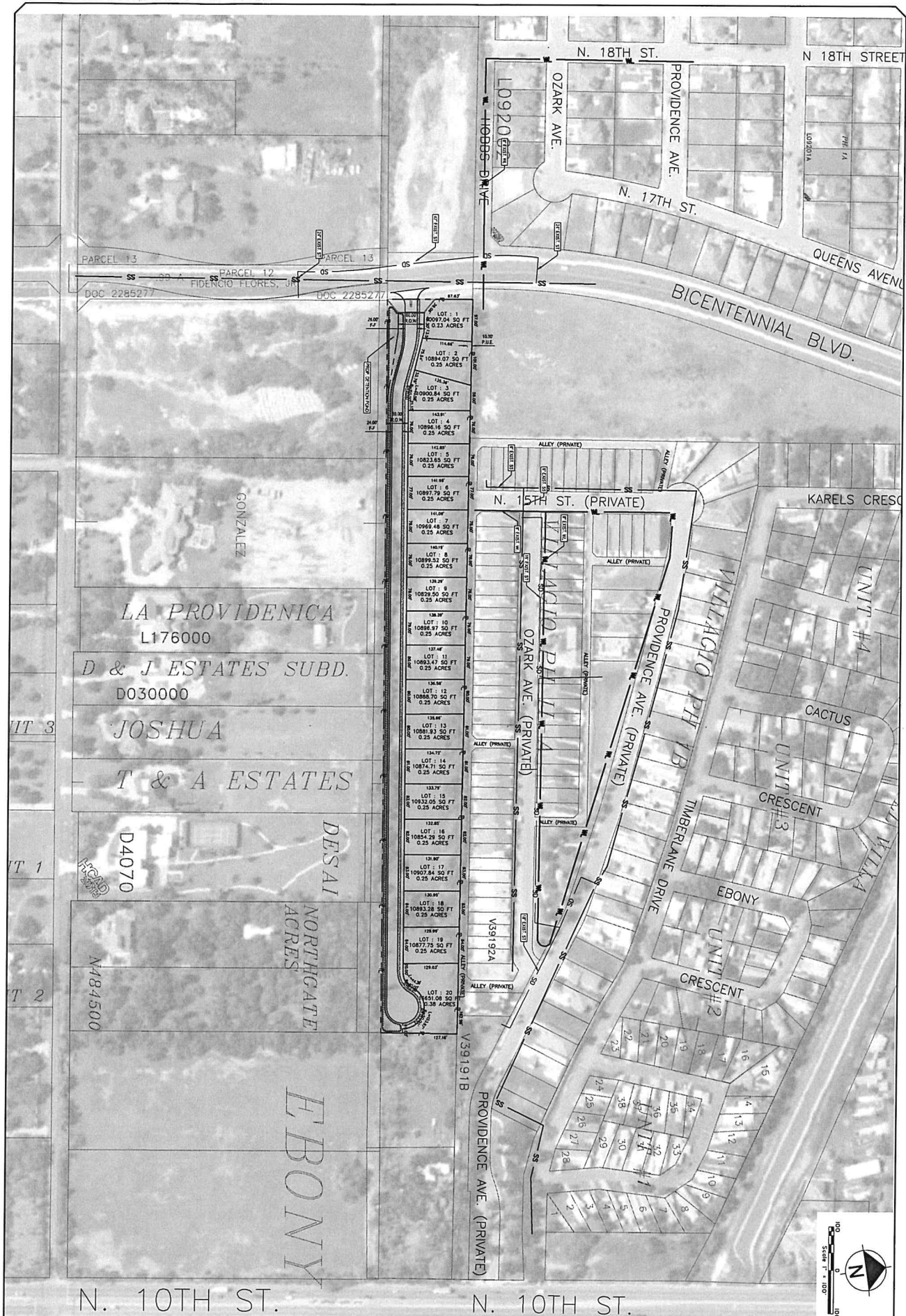
The proposed development is approximately 8.11 acres (353,271.6 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 353-one bedroom units, 282-two bedroom units, and 235-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Required parkland dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

At the Planning and Zoning meeting held on June 06, 2023, citizens spoke in opposition of the rezoning request as citizens had concerns with potential drainage and traffic issues that the possible rezoning may cause. Staff has received a petition from citizens in opposition of the rezoning request with concerns regarding increase traffic, decrease property values, and overdevelopment due to multifamily development in the mainly single-family residential area. Due to the total percentage of opposition received, it has triggered super majority.

RECOMMENDATION: Staff recommends disapproval of the rezoning request since it does not follow the development trend for this section along North Bicentennial Road, and since there is potential for up to 353 units with only one exit on Bicentennial Boulevard.





| |
|--------------|
| OFF23013 |
| 04/12/2023 |
| DP |
| CM |
| VERIFY SCALE |
| 0 |

CITY OF McALLEN
 PROPOSED SUBDIVISION
 PRELIMINARY LOT LAYOUT

PCE
 Professional Consulting Engineers
 8000 Cotton Ave. Suite 100, Dallas, Texas 75201
 (214) 457-4402 Fax (214) 457-1545





CITY OF McALLEN

JAVIER VILLALOBOS, Mayor
JOAQUIN "J.J." ZAMORA, Mayor Pro Tem & Commissioner District 2
TONY AGUIRRE, JR., Commissioner District 1
J. OMAR QUINTANILLA, Commissioner District 3
RODOLFO "RUDY" CASTILLO, Commissioner District 4
VICTOR "SEBY" HADDAD, Commissioner District 5
PEPE CABEZA DE VACA, Commissioner District 6

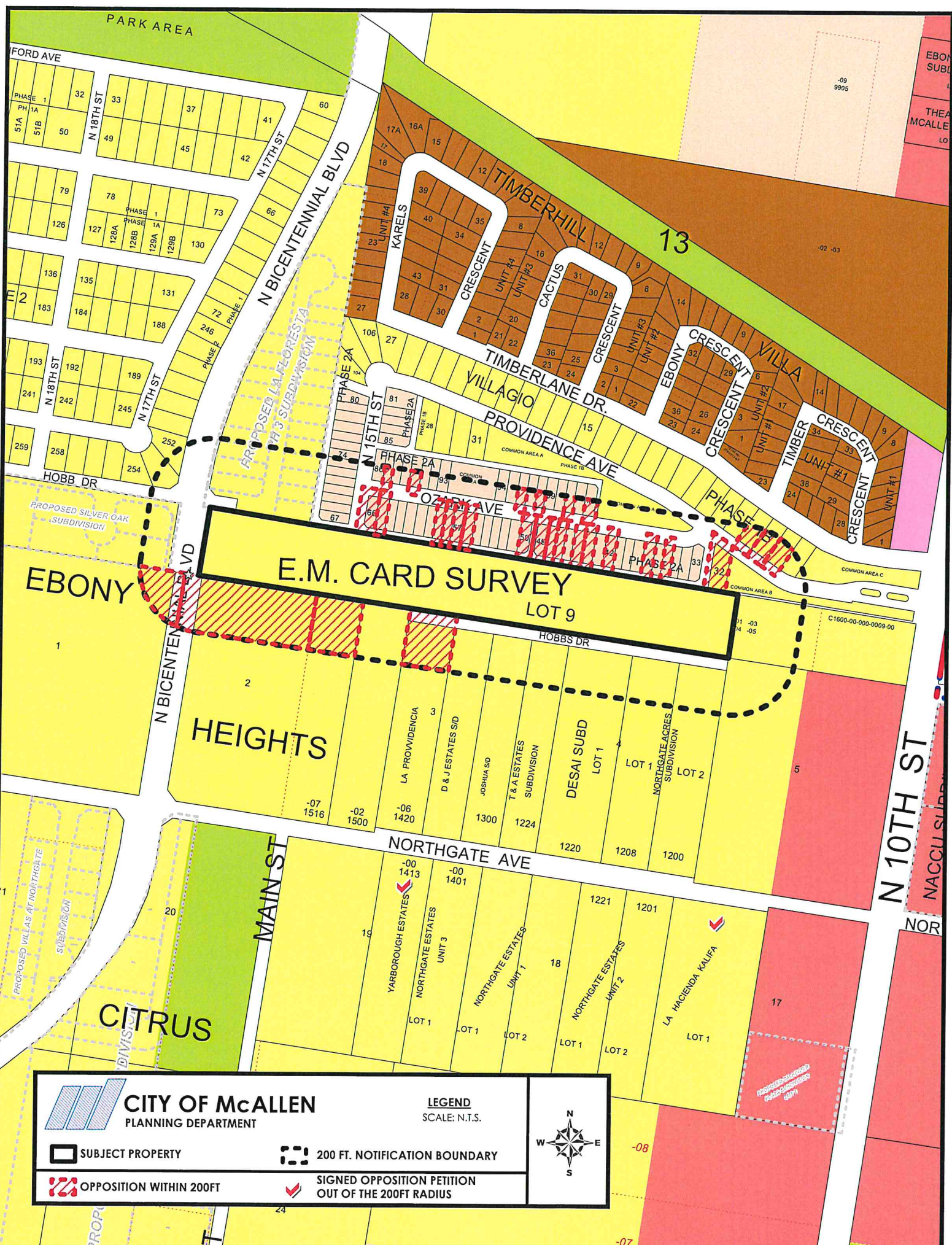
ROEL "ROY" RODRIGUEZ, P.E., City Manager

REZ2023-0021
9228 N BICENTENNIAL BLVD
8.21AC TR O/O LOT 9 E.M. CARD SURVEY NO. 1

200 Ft. Radius: 1,245,000 Sq. Ft.
Subject Property: 356,300 Sq. Ft.
Total Area of Opposition: 265,250 Sq. Ft.

| | | | |
|---------------------------|---------------------------------|-----------------|----------------|
| 200 Ft Radius | <u>Total Area of Opposition</u> | = 0.*** x 100 = | Percentage |
| - <u>Subject Property</u> | Total Adjusted Area | | for Opposition |
| Total Adjusted Area | | | |

| | | | |
|-------------------------|-------------------------|-----------------|-------------------|
| 1,245,000 Sq.Ft. | - <u>265,250 Sq.Ft.</u> | = 0.298 x 100 = | 29.8 % Opposition |
| - <u>356,300 Sq.Ft.</u> | 888,700 Sq.Ft. | | |
| 888,700 Sq.Ft. | | | |



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

 SUBJECT PROPERTY

 200 FT. NOTIFICATION BOUNDARY

 OPPOSITION WITHIN 200FT

 SIGNED OPPOSITION PETITION
OUT OF THE 200FT RADIUS



Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: Laura Garcia Aviles

Address: 1325 Ozark Ave McAllen, TX 78504

Phone number: (956) 929 2565

Date: 6/4/23

63504

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature:



Printed name: PATRICIA GONZALEZ-SALAS DIAZ LOMBARDO

Address: 1108 PROVIDENCE AVE. McAllen, TX 78504

Phone number: (956) 429-5164

Date: 06/05/2023

5,790⁴

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: PATRICIO GONZALEZ SALAS DIAZ LOMBARDI

Address: 1104 PROVIDENCE AVE. McAllen, TX 78504

Phone number: (956) 429-5164

Date: 06/05/2023

5,697#

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature:

Printed name:

Address: 1117 Providence Ave McAllen, TX 78504

Phone number: 956-562-4400

Date: 06-05-2023

11,720*

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: SH-Zaraienh

Printed name: Shahin Zaraienh

Address: 1221 Ozark Ave McAllen, TX 78504

Phone number (956) 605-3672

Date: 6-4-23

4911

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: Sylvia A Cardenas

Printed name: Sylvia A Cardenas

Address: 1305 Ozark Ave McAllen, TX 78504

Phone number: 343-4443

Date: 6-4-23

4,9014

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: Gene Reed

Printed name: Gene Reed

Address: 1317 Oak Ave. McAllen, TX 78504

Phone number: 956-603-5640

Date: 6-4-2023

4,0984

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

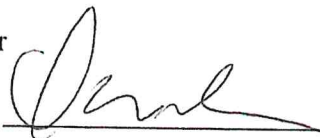
Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: 

Printed name: PATRICIA MERINO

Address: 1213 Ozark Ave McAllen, TX 78504

Phone number: 956-648-6410

Date: 6-4-2023

4,0796

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: Julio C. Hernandez

Address: 1413 Oak Ave McAllen, TX 78504

Phone number: 956-984-9815

Date: 6-4-23

4,068*

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: LM Aguilar

Printed name: WILLIAM M AGUIAR

Address: 1313 02 ARK McAllen, TX 78504

Phone number: 956-655-6327

Date: 06-05-2023

4,056A

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

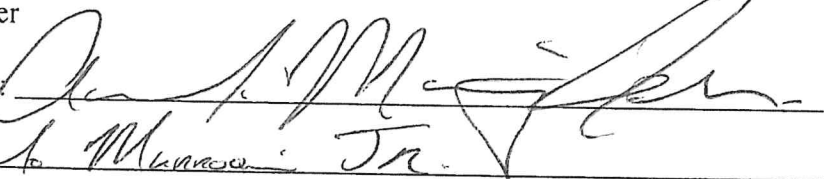
Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: 

Printed name: Amador M. Jr.

Address: 1428 Ozark McAllen, TX 78504

Phone number: (361) 701-5728

Date: 6/4/23

2,5324

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: _____

Address: 1321 Ozark Ave McAllen, TX 78504

Phone number: 210-884-5302

Date: 6/4/23

6,5024

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

✓ Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: _____

Address: 1112 Providence Avenue McAllen, TX 78504

Phone number: _____

Date: _____

49668

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: Joel A Garza

Address: 1312 Ozark Ave _____ McAllen, TX 78504

Phone number: 956-457-8016

Date: 06/05/2023

2.2604

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely;
Concerned property owner

✓ Property owner signature: Elizabeth Hernandez

Printed name: Marc & Elizabeth Hernandez

Address: 1304 Ozark Ave. McAllen, TX 78504

Phone number: 956-330-6697

Date: 6-5-2023

29924

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: _____

Printed name: Amanda Saldaña

Address: 1358 Ozark Ave. McAllen, TX 78504

Phone number: 956-607-6169

Date: 06/05/2023

1/2 Address exist

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature:

Amanda Saldaña

Printed name: Amanda Saldaña

Address: 1420 Ozark Ave. McAllen, TX 78504

Phone number: 956-607-6169

Date: 06/05/2023

IN BUT
NOT THE
OWNER

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓Property owner signature: _____



Printed name: Mami Investments LLC Melba Gutiérrez Franklin

Address: 1405, 1409, 1441 Ozark Ave McAllen, TX 78504

Phone number: 956-655-9318

Date: 6/5/23

1405 - 4,906 ft
1409 - 4,934 ft
1441 - 4,915 ft

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: _____

Printed name: Mami Investments LLC Melba Gutiérrez Franklin

Address: 1405, 1409, 1441 Ozark Ave McAllen, TX 78504

Phone number: 956-655-9318

Date: 6/5/23

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

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We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: _____

Printed name: Mami Investments LLC Melba Gutiérrez Franklin

Address: 1405, 1409, 1441 Ozark Ave McAllen, TX 78504

Phone number: 956-655-9318

Date: 6/5/23

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

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We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: _____

Printed name: **Larry Safir**

Address: **1308 Ozark Ave.** _____ McAllen, TX 78504

Phone number: **956-341-1528**

Date: **06/05/23**

NOT THE
OWNER

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: _____

Printed name: **Larry Safir**

Address: **1316 Ozark Ave.** McAllen, TX 78504

Phone number: **956-341-1528**

Date: **06/05/23**

IN BUT
NOT THE
OWNER

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.


Allowing any other type of development on this lot would increase traffic congestion, decrease property values, and negatively impact the quality of life for those who live nearby.

Furthermore, changing the zoning could potentially lead to overdevelopment in our community which would further exacerbate these issues.

We urge you to consider these factors when making your decision about whether or not to change the current zoning for E.M Card Survey Lot 9. Please keep in mind that maintaining R-1 single family status is crucial for preserving our community's character and ensuring its continued success.

Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature:  _____

Printed name: Joseph Cadena

Address: 1417 Ozark Ave. _____ McAllen, TX 78504

Phone number: 956-340-5061

Date: 06/05/2023

4,0834

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

The current zoning for E. M. Card Survey Lot 9 as R-1 single family has been in place for many years and has served the community well. Changing it would have negative consequences on the surrounding neighborhoods and their residents.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: Max Glax Ordonez

Address: 1332 Ozark Ave McAllen, TX 78504

Phone number: 956 533 1204

Date: 06/05/23

212546

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: Melinda Saenz

Printed name: Melinda Saenz

Address: 1324 Ozark Ave, McAllen TX 78504 McAllen, TX 78504

Phone number: +19567925195

Date: 06/05/2023

22564

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: _____

Printed name: Anthony Richardson

Address: 1301 Ozark Ave. McAllen, TX 78504

Phone number: (956) 279-8690

Date: 6/5/23

48954

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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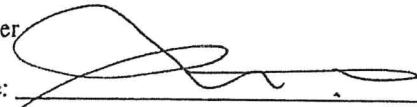
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Thank you for your time and consideration on this matter.

Sincerely,

Concerned property owner

✓ Property owner signature: 

Printed name: CAMILLO REQUIJO

Address: 1445 OZZEK AVE McAllen, TX 78504

Phone number: (956) 3402105

Date: 06/05/23

Q 15454

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: Edna De Saro

Printed name: Edna De Saro

Address: 1440 Ozark Ave. McAllen, TX 78504

Phone number: 956 802-3262

Date: 6/5/23

2,104

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: Betty Jean Melhart

Printed name: Betty Jean Melhart

Address: 1700 Northgate Lane McAllen, TX 78504

Phone number: (956) 648-5000

Date: 6/6/23

17,450+

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,

Concerned property owner

✓ Property owner signature: _____

Printed name: _____

Address: 1428 Northgate Ln McAllen, TX 78504

Phone number: (958) 739-4639

Date: 6/2/23

260904

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

OUT
✓ Property owner signature: _____

Printed name: LEONIL GARCIA JR.

Address: 1413 Northgate Lane McAllen, TX 78504

Phone number: 956-607-7992

Date: 6/2/23

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: [Signature]

Printed name: FIDENCIO FLORES JR

Address: 1600 NORTHGATE LANE McAllen, TX 78504

Phone number: 956-607-8513

Date: 06-06-2023

7313904

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

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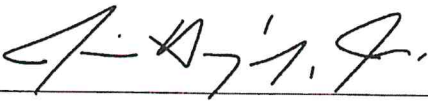
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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

✓ Property owner signature: 

Printed name: Jaime A Gonzalez Jr

Address: 1500 Northgate Lane McAllen, TX 78504

Phone number: 956-358-1510

Date: 06/06/23

269304

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,
Concerned property owner

Property owner signature: Alma D. Kalifa

Printed name: ALMA D. KALIFA

Address: 1101 Northgate Ln McAllen, TX 78504

Phone number: 956-389-1189

Date: June 6, 2023

Return to 1221

Request current zoning for E. M. Card Survey Lot 9 remain as R-1 single family.

To the Zoning Board and City Council Members:

It has come to our attention that there is a proposal to change the current zoning for E. M. Card Survey Lot 9 from R-1 single family to a different type of zoning. We, the concerned citizens of this community, strongly oppose this proposal.

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Thank you for your time and consideration on this matter.

Sincerely,

Concerned property owner

✓ Property owner signature: Karen Moxley

Printed name: Karen Moxley

Address: 1237 Ozark Ave McAllen, TX 78504

Phone number: 907-209-0860

Date: 6-5-23

4,883.5

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

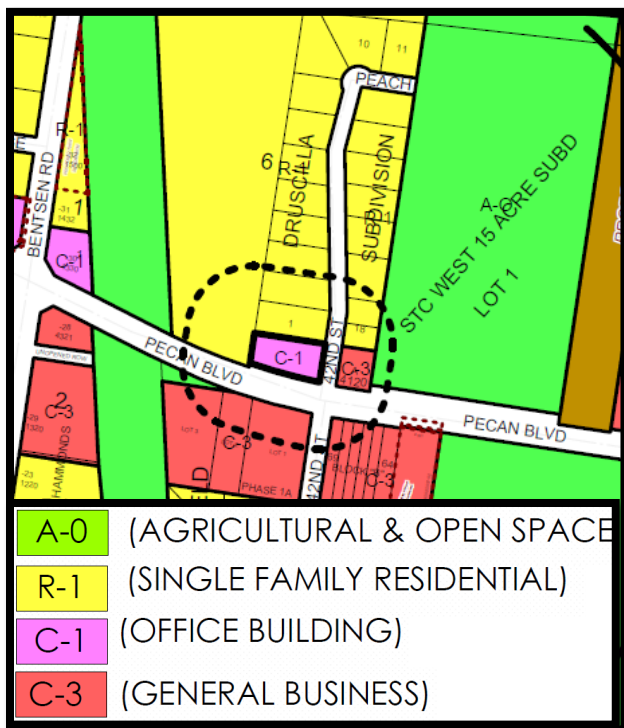
DATE: June 14, 2023

SUBJECT: Rezone from C-1 (office building) District to C-2 (neighborhood commercial) District: South 161.6 feet of the West 212.0 feet of the East 10.04 acres of the West 20.04 acres of Lot 6, Block 2, C.E. Hammond's Subdivision, Hidalgo County, Texas; 4200 Pecan Boulevard. (REZ2023-0024)

LOCATION: The subject property is located on the northwest corner of Pecan Boulevard and North 42nd Street. The lot has 161.6 feet of frontage and 212 feet of depth, for a total lot area of 0.79 acre as per the submitted survey.

PROPOSAL: The applicant is requesting to rezone the property from C-1 (office building) District to C-2 (neighborhood commercial) District. A feasibility plan has not been submitted to the Planning Department, the applicant is proposing to operate a plant nursery at the subject property.

ADJACENT ZONING: The subject property is zoned C-1 District. There is R-1 (single-family residential) District to the north and west. There is C-3 (general business) District to the east and south.



LAND USE: The property currently has an office. Surrounding land uses single-family residences, Wise Choice Insurance, and Mancha Screen Painting and Embroidery.

FUTURE LAND USE PLAN: The future land use plan designated for this area is classified as a mixed-used node. Nodes are central areas of commercial or mixed-use development.

DEVELOPMENT TRENDS: The development trend for this section along Pecan Boulevard is primarily commercial use.

HISTORY: The property was zoned A-O during comprehensive zoning in May 1979. On April 14, 1997, City Commission approved to rezone the property from A-O District to C-1 District. There have not been any rezoning requests since that time. Prior to the proposed use (plant nursery) there used to be a daycare at the property.

ANALYSIS: The requested zoning does conform to the future land use plan. The development trend for this section along Pecan Boulevard is primarily commercial use. The proposed rezoning request is compatible with the surrounding zoning and development trend in this area.

Pecan Boulevard is designated as a principal arterial with 120 feet of right-of-way and is currently constructed with four travel lanes.

Some of the permitted uses within the proposed zoning district are as follows: convenience stores, neighborhood meat or produce markets, bakeries, florists and gift stores, medical offices. The C-2 District must provide sufficient space and off-street parking in appropriate locations in proximity to residential areas, for commercial development catering to the convenience shopping and service needs of the occupants of nearby residences.

A recorded subdivision plat would be required should the development be expanded or should the existing building require repairs that exceed 10 percent of its replacement cost. An approved site plan must comply with all Zoning, landscaping, buffer, parking, and maneuvering requirements should the proposed facility be expanded. Currently, the applicant is proposing to operate the business from the existing building on site.

Staff has not received any calls or emails in opposition of the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request since it does follow the development trend for this section along Pecan Boulevard, and conforms to the mixed use node classification on the future land use plan.



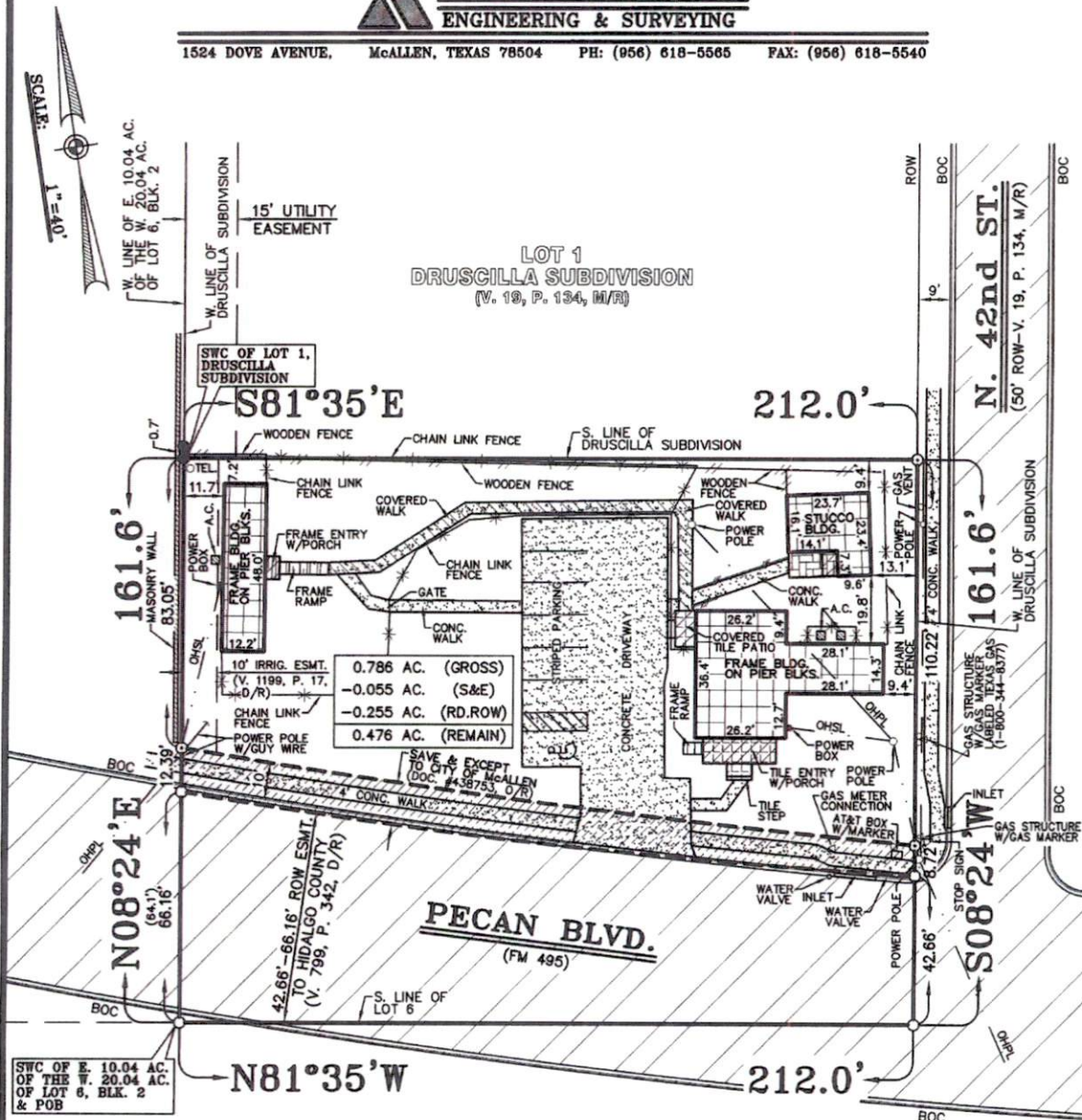
ART SALINAS
ENGINEERING & SURVEYING

1524 DOVE AVENUE,

McALLEN, TEXAS 78504

PH: (956) 618-5565

FAX: (958) 618-5540



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone C. Zone C areas are areas of "minimal flooding" and are not designated flood prone areas as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0005-C dated 11-02-82.

PLAT. NOTES:

1. There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
 2. This survey plat is prepared in connection with Title Policy G.F. # 248958 and does not guarantee title. This survey is for the exclusive use of the client named herein and may not be copied or transferred to another party without the express written consent of the surveyor.
 3. This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 4. This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 5. Right of Way Easement dated September 26, 1927, recorded in Volume 262, Page 173, Deed Records, Hidalgo County, Texas. (Blanket)
 6. Easement and/or other rights, if any, as set forth in Warranty Deed dated March 8, 1958, recorded in Volume 1199, Page 17, Deed Records, Hidalgo County, Texas. (Blanket)
 7. Subject to any portion of the land described herein lying within canal right of way.
 8. Easements, rules, regulations and rights in favor of HIDALGO COUNTY IRRIGATION DISTRICT NO. 1. (Blanket)
 9. Building setback requirements shall comply with the City zoning ordinance.
 10. Subject to any oil, gas and mineral lease of record.
 11. Bearing Basis: "S. line of Lot 6, Block 2, C.E. Hammond's Subdivision"
- BORROWER(s): Maria Isabel Benavides

LEGEND

- - DENOTES FOUND 1/2" ROD
- - DENOTES SET 1/2" ROD
- - DENOTES NO MONUMENT
- ROW - DENOTES RIGHT OF WAY
- BOC - DENOTES BACK OF CURB
- TEL - DENOTES TELEPHONE PEDESTAL
- OHPL - DENOTES OVERHEAD POWER LINE
- OHSL - DENOTES OVERHEAD SERVICE LINE
- POB - DENOTES POINT OF BEGINNING

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT 4208 PECAN BLVD., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:

A TRACT OF LAND BEING THE SOUTH 161.6 FEET OF THE WEST 212.0 FEET OF THE EAST 10.04 ACRES OF THE WEST 20.04 ACRES OF LOT 6, BLOCK 2, C.E. HAMMOND'S SUBDIVISION, RECORDED IN VOLUME 18, PAGE 439, DEED RECORDS, HIDALGO COUNTY, TEXAS.

RECORDS, HIDALGO COUNTY, TEXAS.
SAVE AND EXCEPT ALL THAT PORTION THEREOF CONVEYED TO THE CITY OF McALLEN BY DEED DATED FEBRUARY 17, 1995, EXECUTED BY JUAN GAYTAN d/b/a SUNRISE BUILDERS, RECORDED UNDER CLERK'S FILE NO. 438753, OFFICIAL
RECORDS, HIDALGO COUNTY, TEXAS.

| | | |
|-----------------|-----------------|-----------------|
| <u>23-64962</u> | <u>05-10-23</u> | <u>05-11-23</u> |
| Job No. | Survey Date | Revised Date |

© COPYRIGHT 2023 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.



Registered Professional Land Surveyor No. 4802

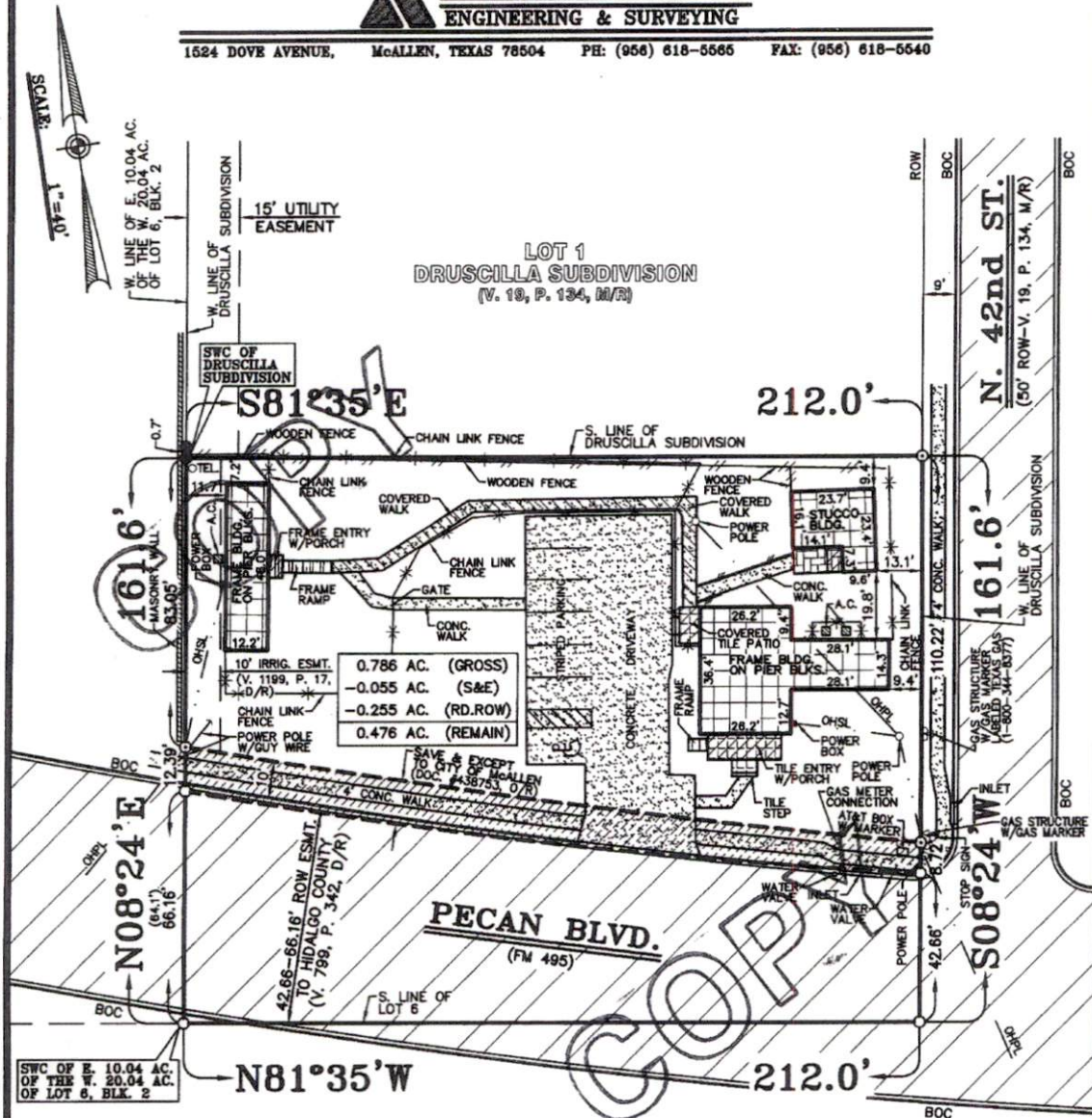
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MAY 1 1960
BY *CM*



ART SALINAS

ENGINEERING & SURVEYING

1524 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5565 FAX: (956) 618-5540



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- Easements, rules, regulations and rights in favor of HIDALGO COUNTY IRRIGATION DISTRICT NO. 1. (Blanket)
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- Bearing Basis: "S. line of Lot 6, Block 2, C.E. Hammond's Subdivision"
- BORROWER:** Maria Isabel Benavides

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- - DENOTES SET 1/2" ROD
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23-64962
Job No.

05-10-23
Date

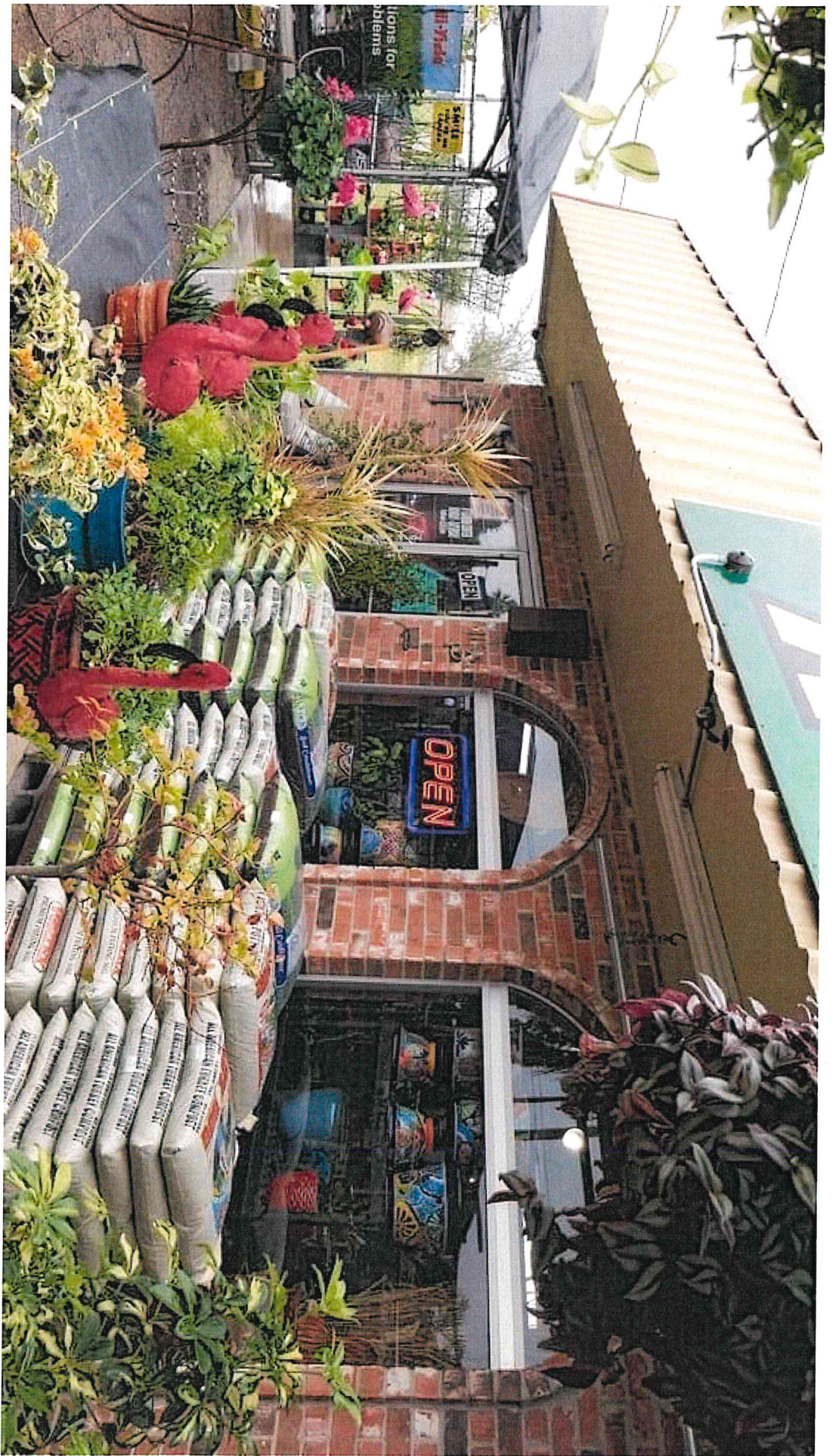
© COPYRIGHT 2023 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.

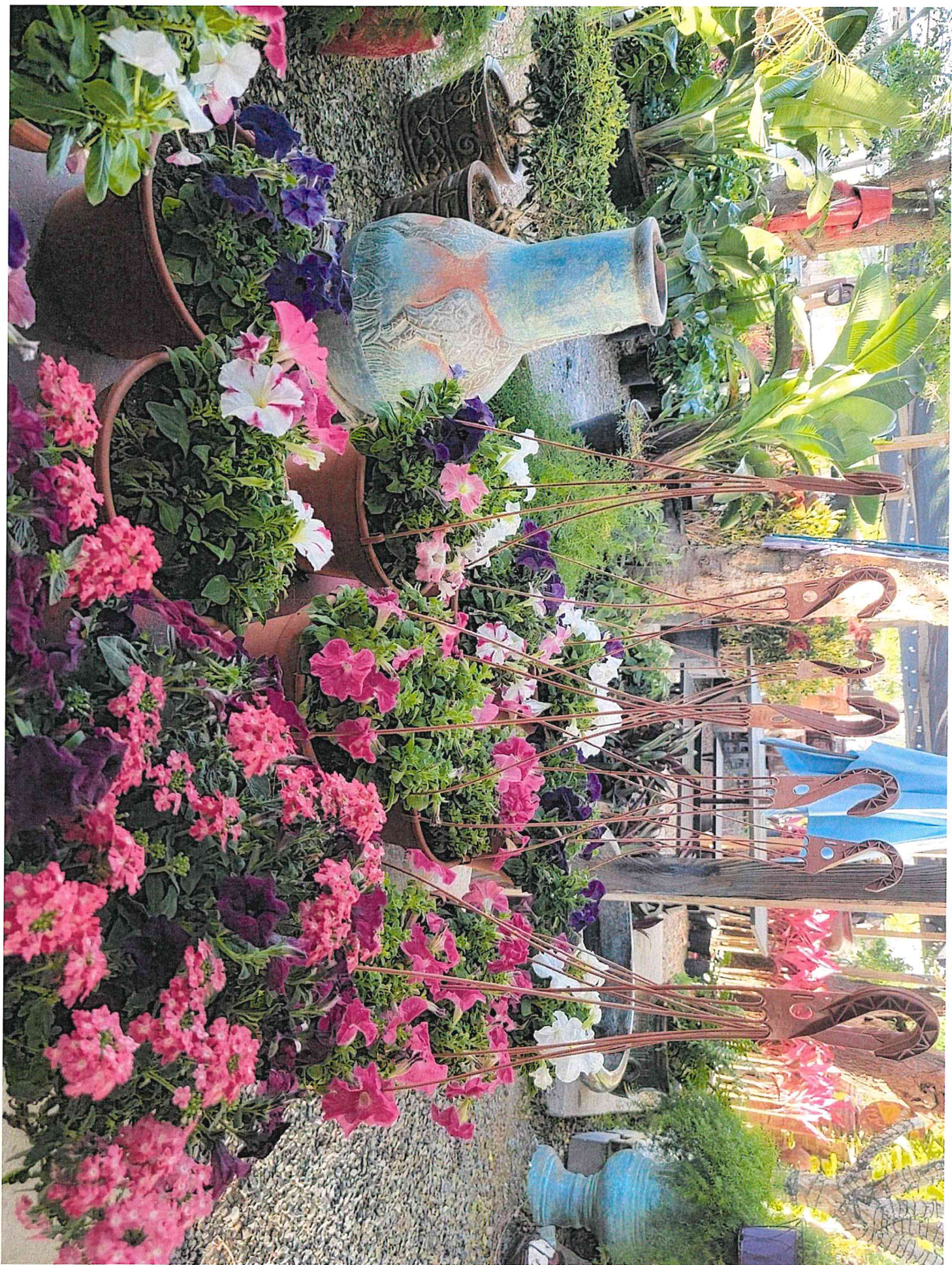
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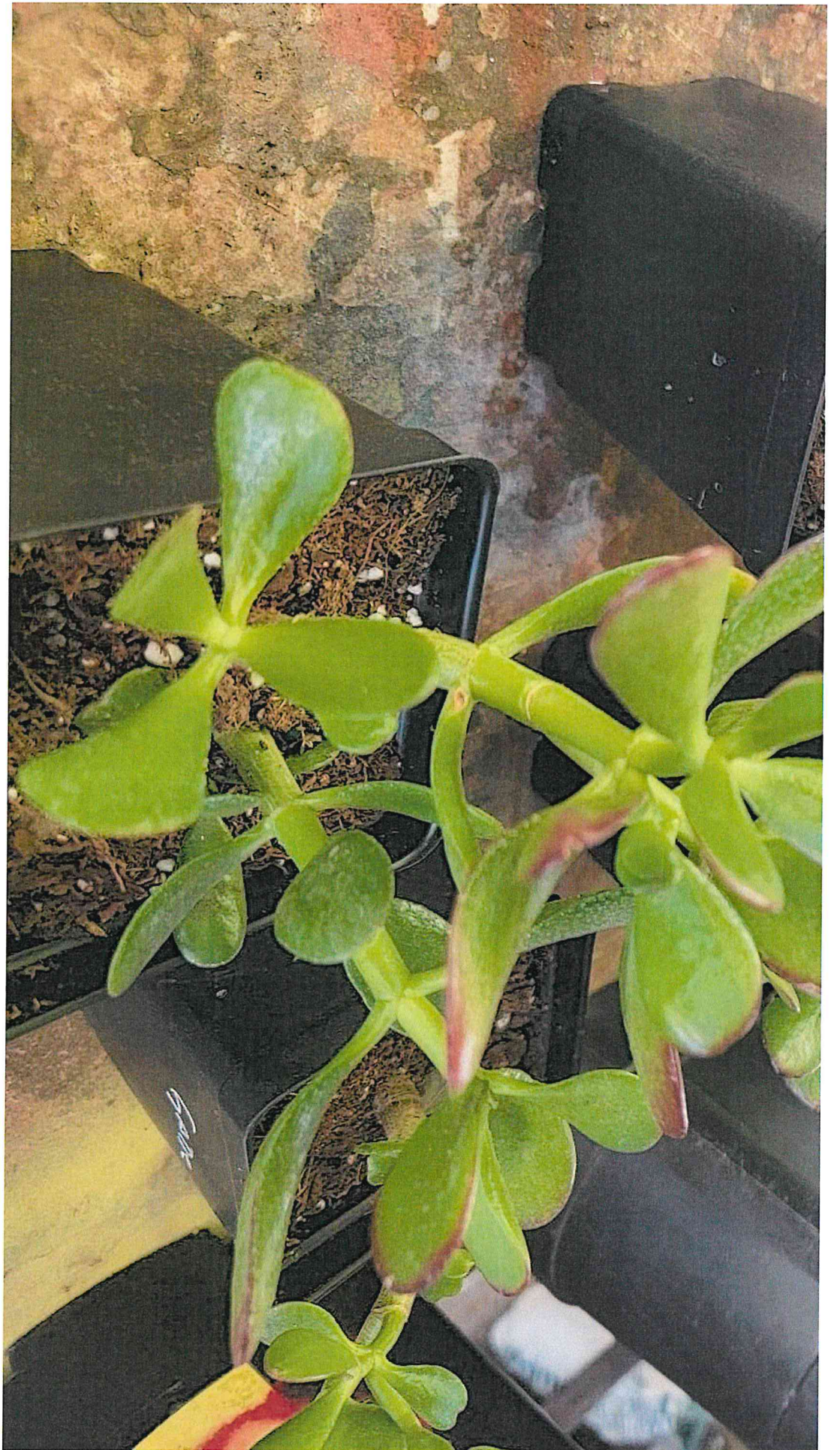




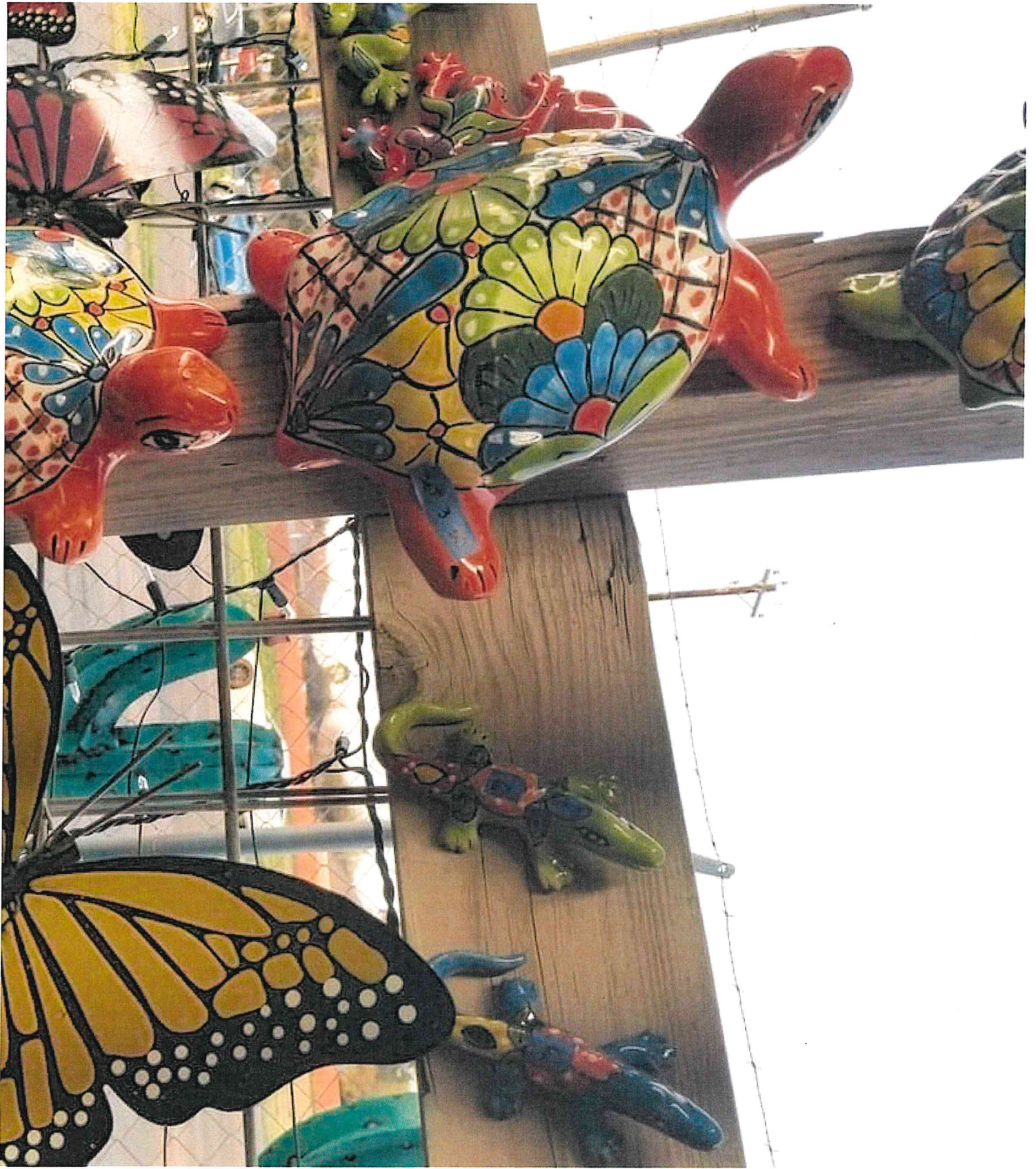


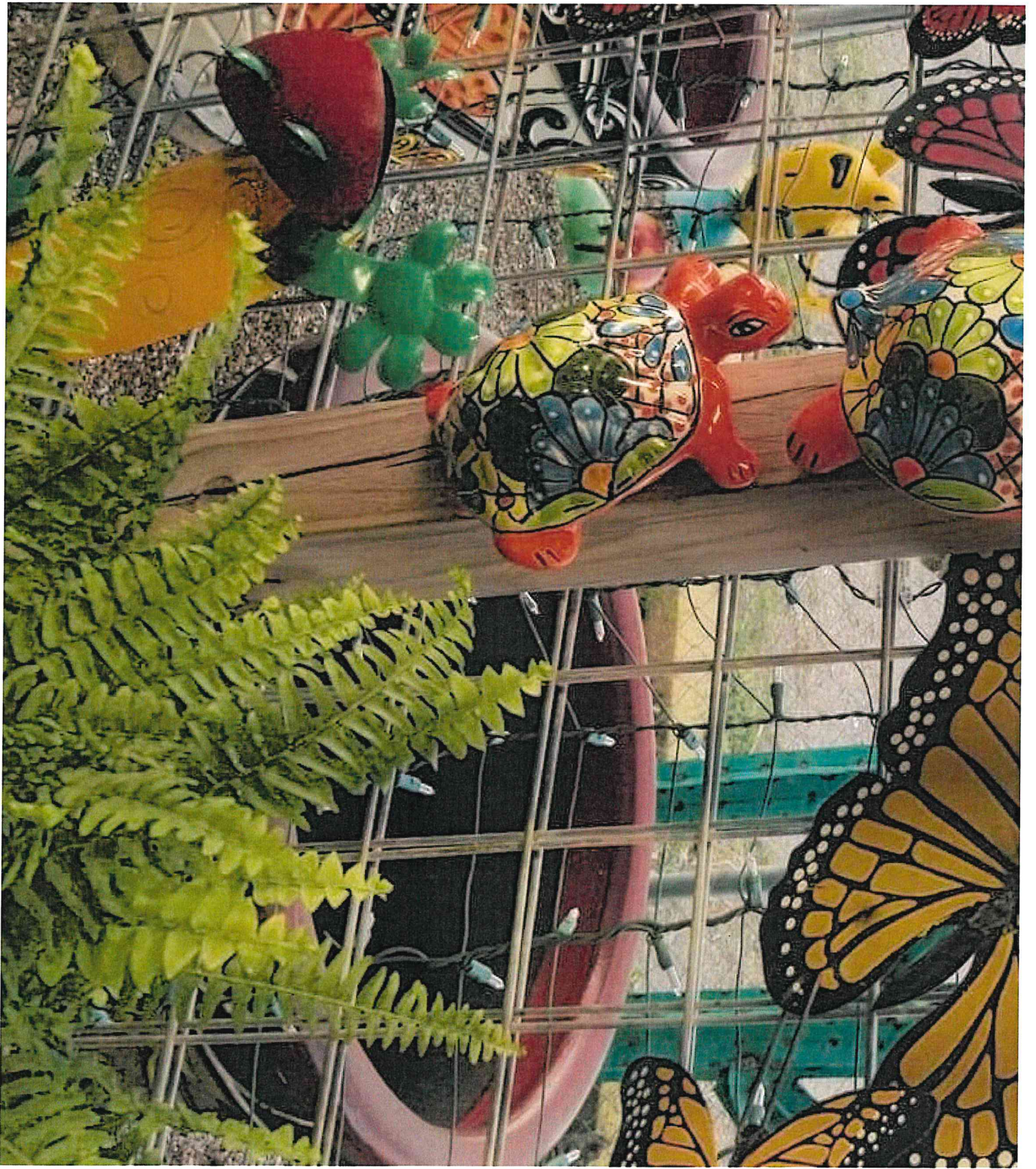


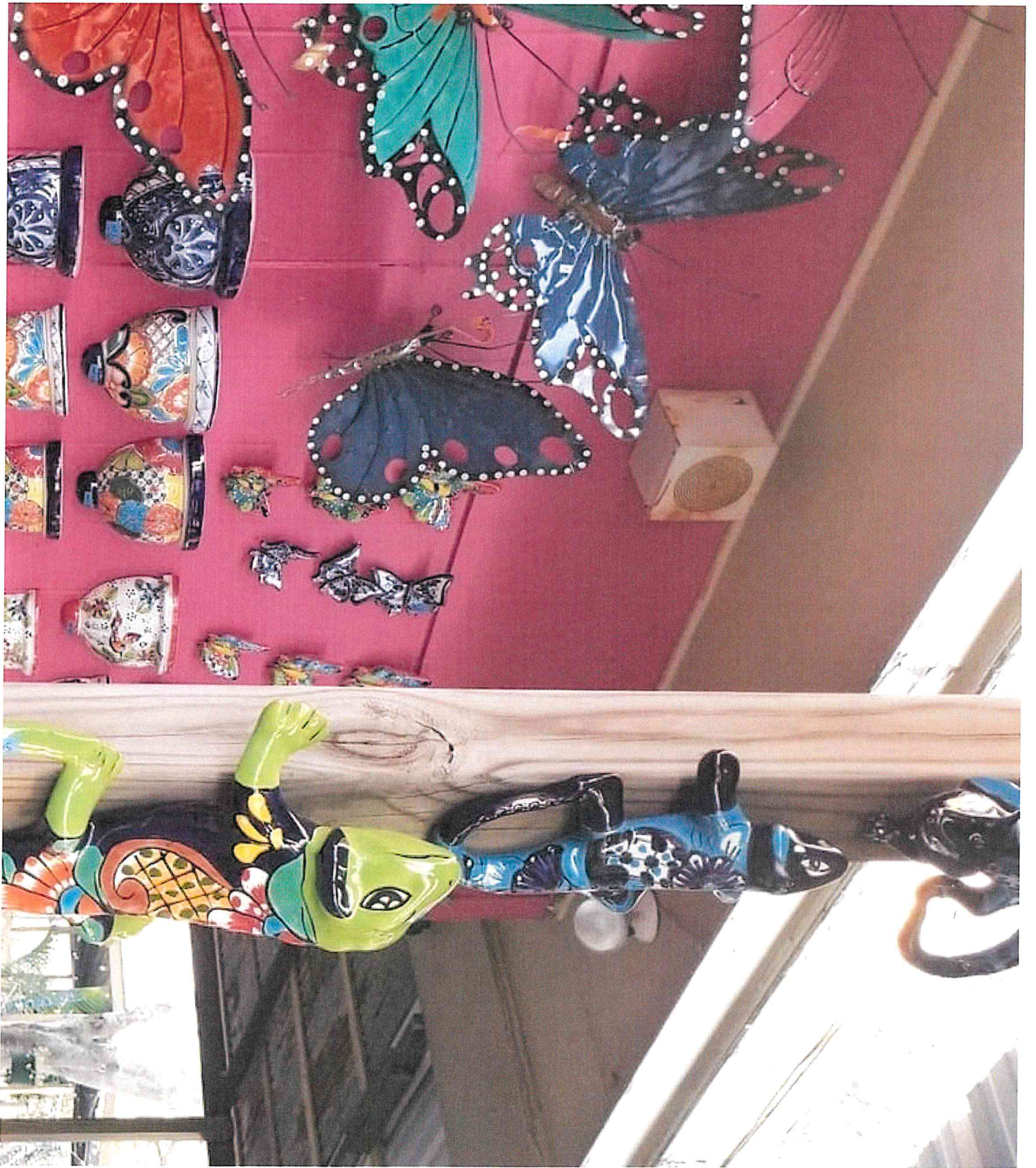
























Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

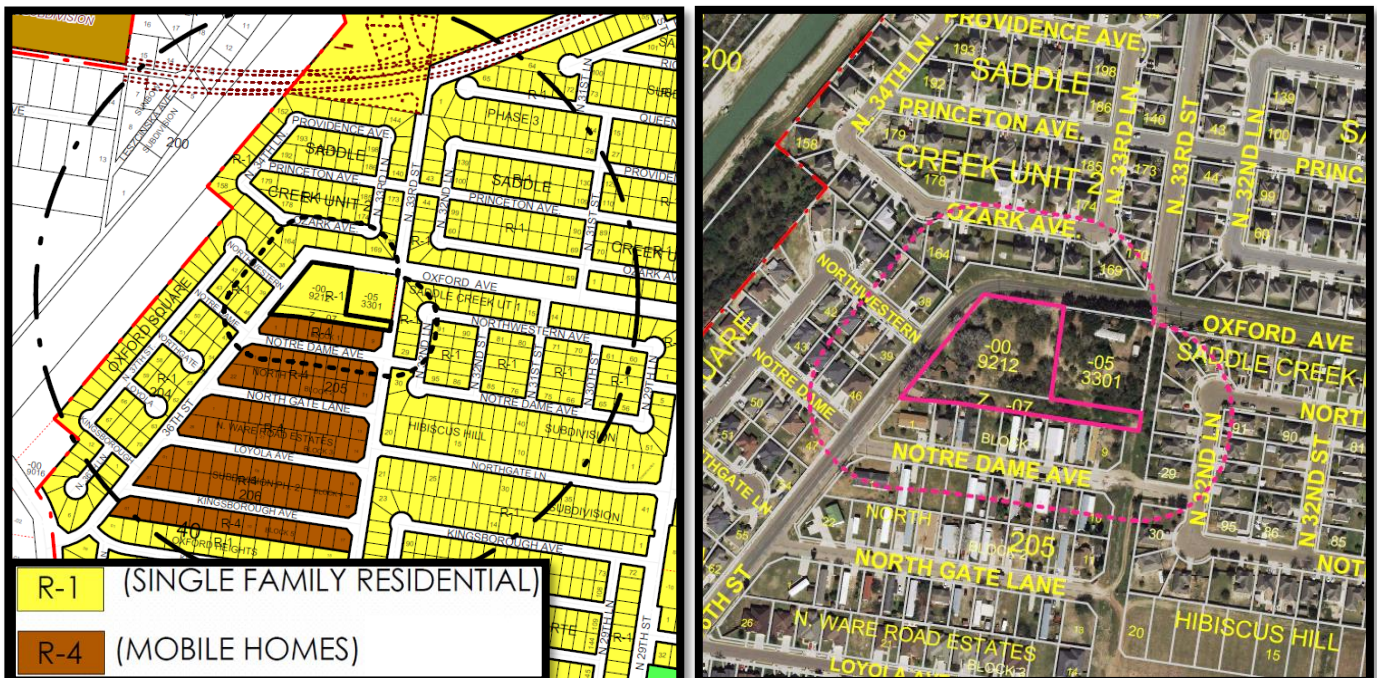
DATE: June 12, 2023

SUBJECT: Rezone from R-1 (single-family residential) District to R-3A (multifamily apartment residential) District: 2.025 acres, consisting of 1.493 acres out of a part or portion out of Lot 202, and 0.532 acre out of a part or portion out of Lot 205, Pride O' Texas Subdivision, Hidalgo County, Texas; 9212 North 36th Street. **(REZ2023-0025)**

LOCATION: The subject property is located at the south of Oxford Avenue, east of North 36th Street. The tract is irregular; it is comprised of 2.025 acres as per the submitted survey.

PROPOSAL: The applicant is requesting to rezone the property from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District. A feasibility plan has been submitted to the Planning Department, the applicant is proposing to construct multifamily residences in a proposed one-lot subdivision.

ADJACENT ZONING: The subject property is property is zoned R-1 District. It is also zoned R-1 District to the north, east, and west. There is R-4 (mobile home and modular home) District to the south of the subject property.



LAND USE: The property currently has a 950 square-foot house. Surrounding land uses include single-family residences and mobile homes.

FUTURE LAND USE PLAN: The future land use plan designated for this area is classified as complete communities. Complete communities include single-family homes, townhomes, and small multi-family (duplex).

DEVELOPMENT TRENDS: The development trend for this section along North 36th Street and Oxford Avenue is primarily single-family residential land use. Directly to the south there are mobile homes. Saddle Creek Subdivision developments are located to the north and east. North Ware Road Estates Subdivision is located to the south. Oxford Square Subdivision is located to the west.

HISTORY: The tract was initially zoned R-1 District upon annexation in 2008. There have been no other rezoning requests since that time.

ANALYSIS: The development trend for this area is primarily single-family land use. The proposed rezoning request is not compatible with the surrounding zoning and development trend in this area.

Oxford Avenue and North 36th Street are designated on the Thoroughfare Plan as collectors and are constructed as two lane rural roadways with greater pavement width adjacent to subdivision developments. There are no curb and gutter or sidewalk adjacent to the subject tract. North 36th Street has a posted speed limit of 30 miles per hour down to 20 miles per hour as it curves to connect with Oxford Avenue.

The permitted uses within the proposed zoning district are all uses listed as permitted uses in the R-2 duplex-fourplex residential district, apartment buildings with five or more units, and storage buildings not used for living quarters and accessory to the residential use. Approval of the rezoning request will allow multi-family residential development of the vacant lot.

The proposed development is approximately 2.025 acres (88,209 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 89-one bedroom units, 71-two bedroom units, and 59-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Required parkland dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any emails nor phone calls in opposition of the rezoning request.

RECOMMENDATION: Staff recommends disapproval of rezoning request since not follow development trend in this area (primarily single-family residences and mobile homes), and since there is potential for up to 89 units with an access to a collector road (North 36th Street).

LAI SHOWING

2.025 ACRES, CONSISTING OF 1.493 ACRES
F A PART OR PORTION OUT OF LOT 202,
.532 ACRE OUT OF A PART OR PORTION
F LOT 205, PRIDE-O-TEXAS SUBDIVISION,
JO COUNTY, TEXAS, AS PER MAP RECORDED
JUNE 5, PAGE 58, MAP RECORDS OF
JO COUNTY, TEXAS.

00031981B5

ESS: 9212 N. 36TH STREET
MCALLEN TEXAS

EVED: MAY 4, 2023

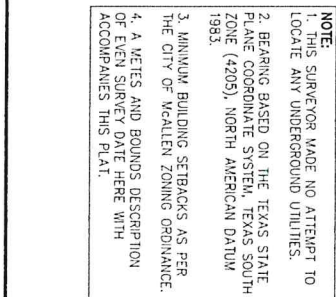
ESTED BY: RAFAEL MENDOZA

) ZONE DESIGNATION: ZONE "X"
NHT-PARCEL NUMBER: 460354 0295 D
EVESED: JUNE 6, 2000



B NUMBER

23 126


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is prohibited. All rights reserved. CONFIDENTIAL



Professional Land Surveyor Seal for Jose Mario Gonzalez, State of Texas, No. 5571. The seal is circular with a five-pointed star in the center. The text around the star reads "STATE OF TEXAS" at the top, "REGISTERED" on the right, "PROFESSIONAL LAND SURVEYOR" on the left, and "JOSE MARIO GONZALEZ" at the bottom. The number "5571" is in the center.

I, JOSE MARIO GONZALEZ, CERTIFY THAT THE ABOVE
 PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND
 UNDER MY SUPERVISION AND THAT THERE ARE NO
 VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS
 SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED
 AS INDICATED.



05-06-23

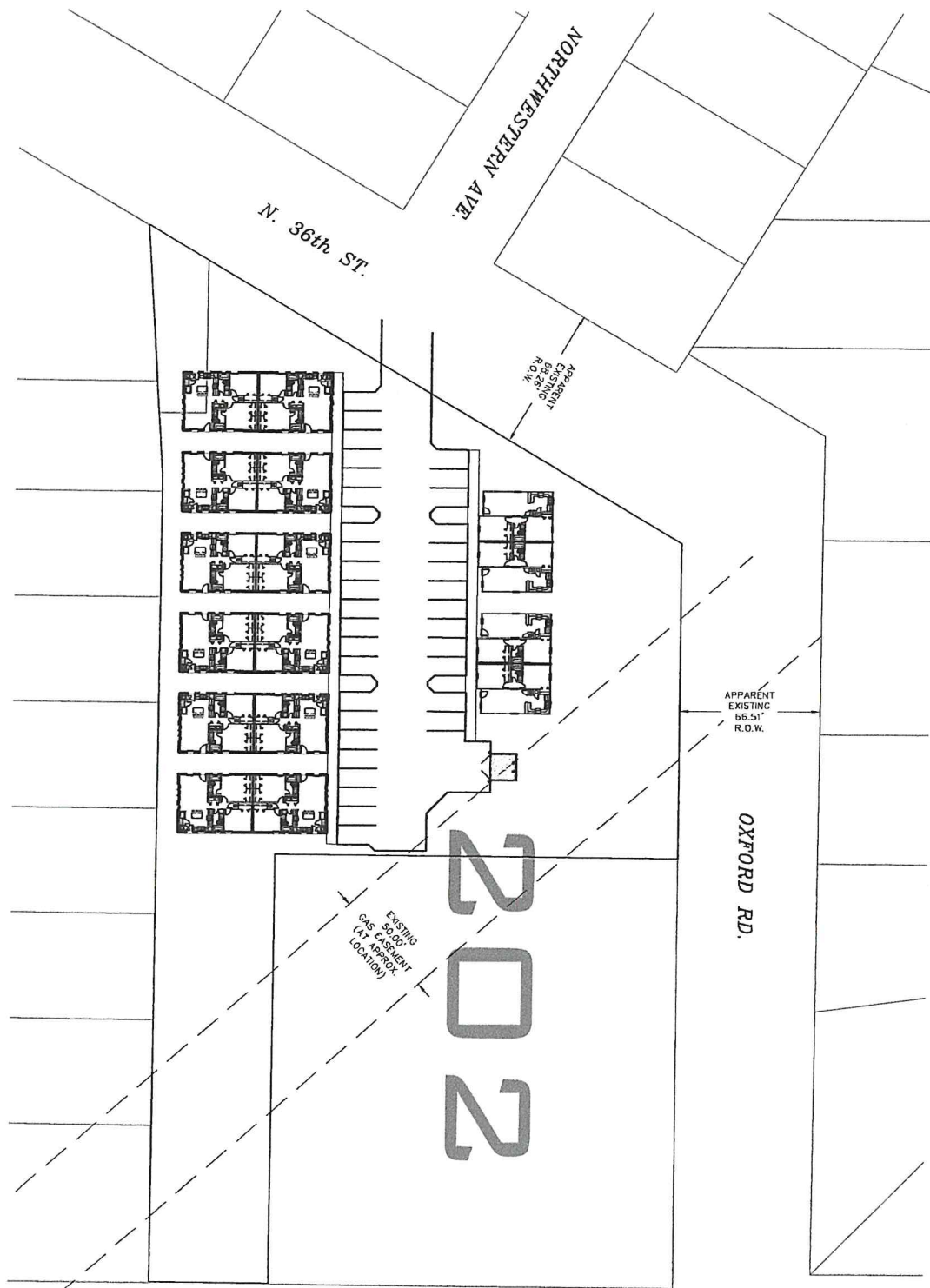
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5571

RIO DELTA SURVEYING

24593 FM 88, MONTE ALTO, TX 78538
 (TEL) 956-380-5154 (FAX) 956-380-5156
 EMAIL: MAHRO@RIODELTASURVEYING.COM

T.P.E.L.S. FIRM # 10013800

[illegible]



N. 33rd ST.





OXFORD
APARTMENTS
9212 N. 36th ST.
MCALLEN, TEXAS

PRELIMINARY
DIMENSIONED SITE PLAN
SCALE: 1"=30'

23-015
04/25/23
C-3

RECEIVED
MAY 17 2023
By *mr*



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

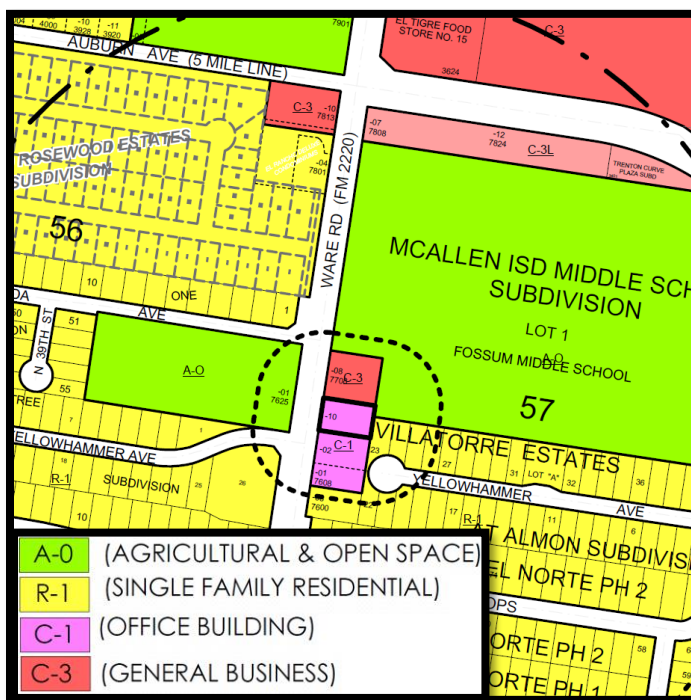
DATE: June 14, 2023

SUBJECT: Rezone from C-1 (office building) District to C-2 (neighborhood commercial) District: 0.32 of acre tract of land being a portion of Lot 57, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 7612 North Ware Road. (REZ2023-0026)

LOCATION: The subject property is located on the east side of North Ware Road (FM 2220), approximately 900 feet south of Trenton Road. The lot has 100 feet of frontage and 140 feet of depth, for a total lot area of .32 gross acre as per the submitted survey.

PROPOSAL: The applicant is requesting to rezone the property from C-1 (office building) District to C-2 (neighborhood commercial) District. A feasibility plan has been submitted to the Planning Department, the applicant is proposing to operate a water retail and office facility at the subject property. The applicant has also submitted a business plan regarding the proposed facility.

ADJACENT ZONING: The subject property is zoned C-1 District, there is also C-1 District to the south. There is C-3 (general business) District to the north. There is A-O (agricultural and open space) District to the east and west. There is also R-1 (single-family residential) District to the east.



LAND USE: The property currently has a vacant one story metal building. Surrounding land uses include single-family residences, Michael E. Fossum Middle School, and 5 Star Embroidery, Printing, and Signs.

FUTURE LAND USE PLAN: The future land use plan designated for this area is classified as mixed used corridors. Corridors are linear commercial or mixed-use development that happen along roadways.

DEVELOPMENT TRENDS: The development trend for this section along North Ware Road is light commercial.

HISTORY: The property was zoned A-O District upon annexation in 1989. On October 12, 2015, the subject property was rezoned to C-1 District during the City initiated A-O rezoning project. There have not been any rezoning requests since that time.

ANALYSIS: The development trend for this section along North Ware Road is that of light commercial use. Ware Road is designated as a high-speed arterial with 150 feet of right-of-way.

Some of the permitted uses within the proposed zoning district are as follows: convenience stores, neighborhood meat or produce markets, bakeries, florists and gift stores, medical offices. The C-2 District must provide sufficient space and off-street parking in appropriate locations in proximity to residential areas, for commercial development catering to the convenience shopping and service needs of the occupants of nearby residences.

The approved site plan must comply with all Zoning, landscaping, buffer, parking and maneuvering, and other requirements set forth by the Development Team.

Staff has not received any phone calls or emails in opposition of the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request since it does follow the development trend for this section along North Ware Road of light commercial use.

LOCATION: 1612 N. WARE RD MATHEN, TX-78504

Tru Bleu Pure Water LLC is a company that provides residential/commercial water treatment systems such as:

- Reverse Osmosis Systems (Under the Sink)
- Water Softeners
- Purified, Distilled, Alkaline Water (refill in 5gal/3/2/1ga Containers)

Bottles are sanitized/~~_____~~ washed in order to be filled with choice of water.

Most, if not all of our work is done out of the office where the RO systems/Water Softeners mentioned above are installed. Which is 95% of our business.

The vehicles we use to operate are Transit Vans/Sprinter Van and a GMC Service Truck.

We will be planning to connect to the existing building where we will run our billing department.

We are not a retail shopping center, we do however have about 4-10 people a day come in weather to pay a bill, inquire information about home systems/view our showroom, or fill up a bottle container.

We do not operate heavy machinery that will disrupt or cause havoc in the neighboring businesses/residence.

We will be storing our Reverse Osmosis Systems, Water Softeners and any office supplies we need in the warehouse.

We will also store anywhere between 40-80 bottles in 3 bottle racks that manually get loaded into the business vehicles (Vans), to be delivered to residential/commercial locations.

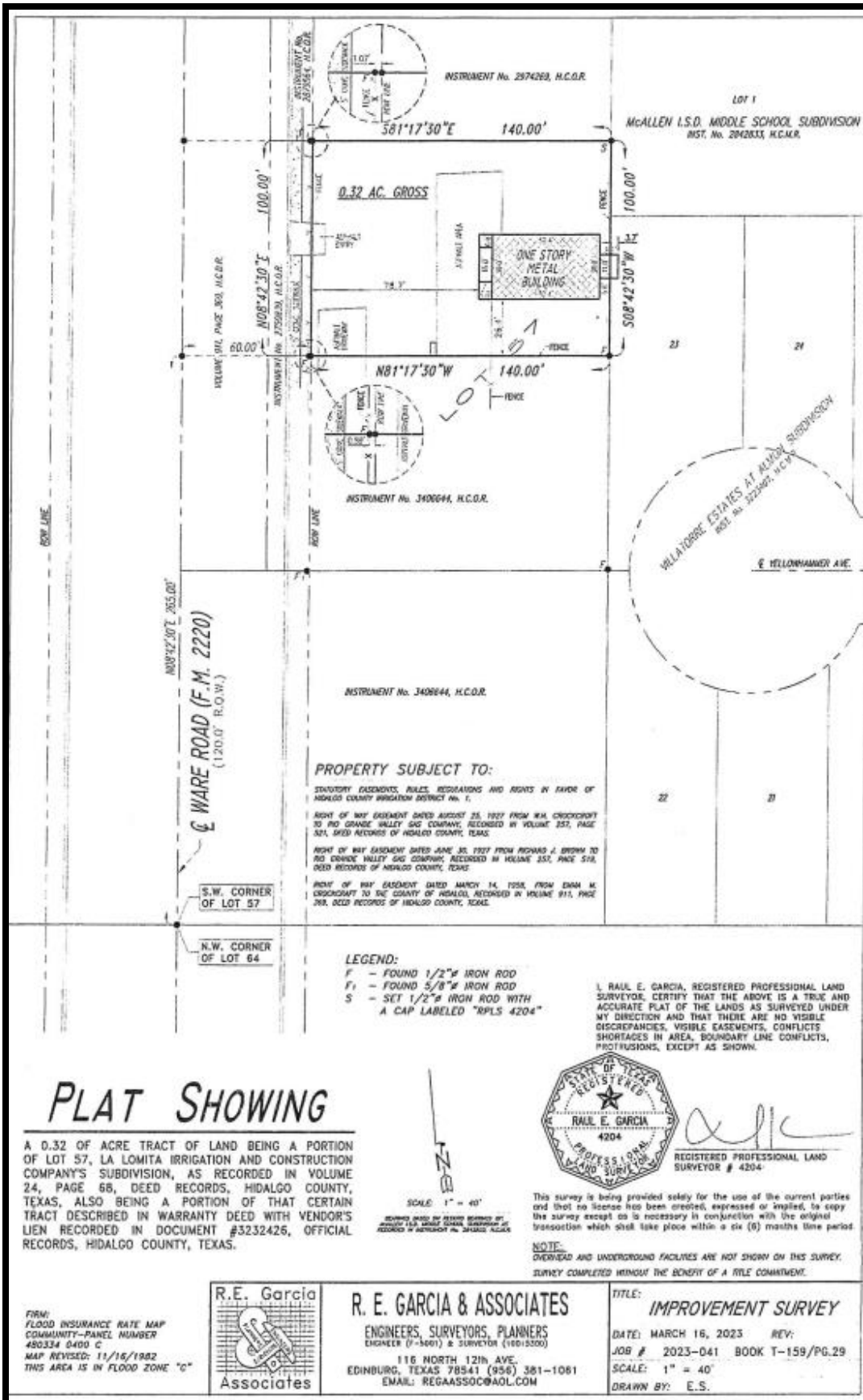
Our hours of operation are Monday - Friday from 8am - 6pm.

Journa Aguirre



5/16/2023







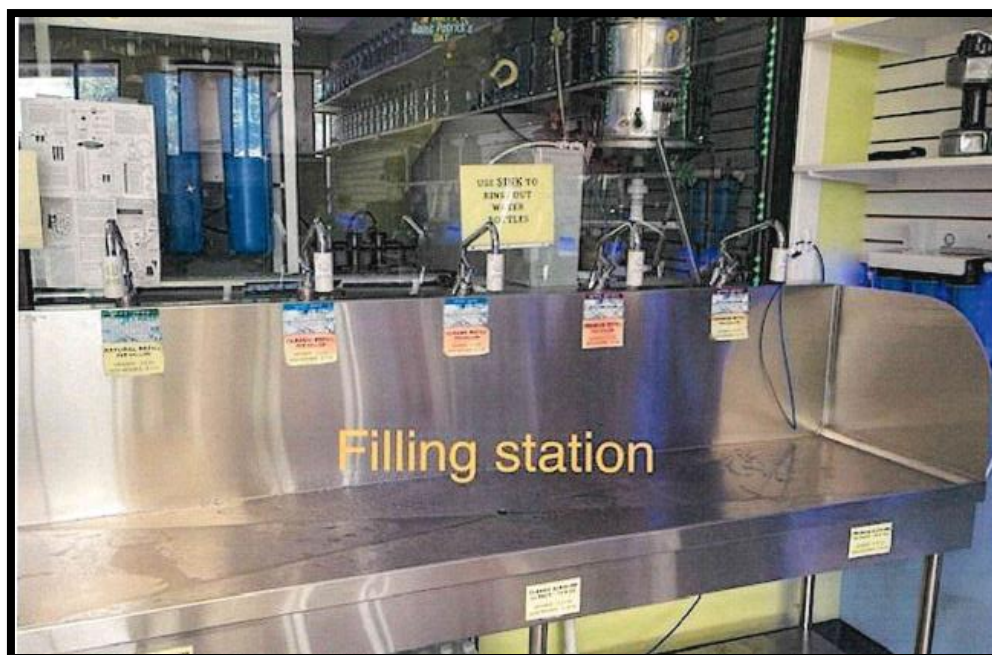
Bottle washer/filler

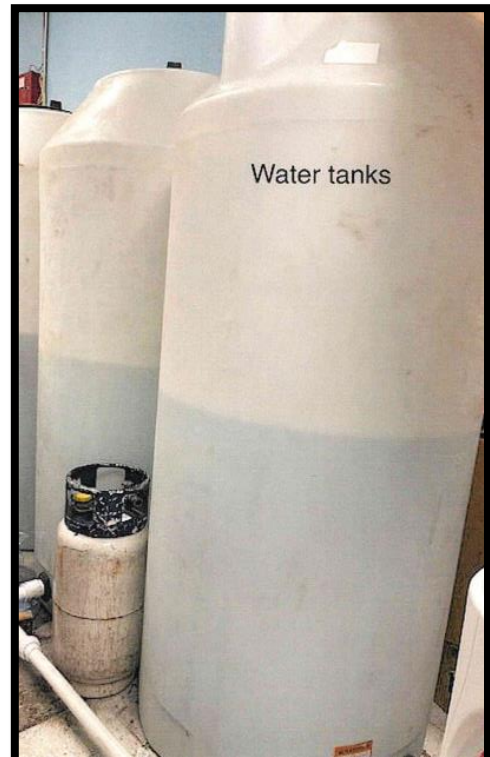
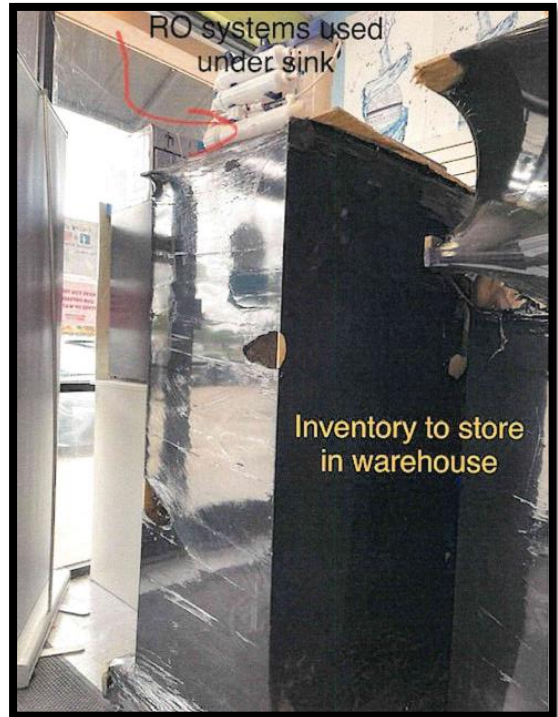
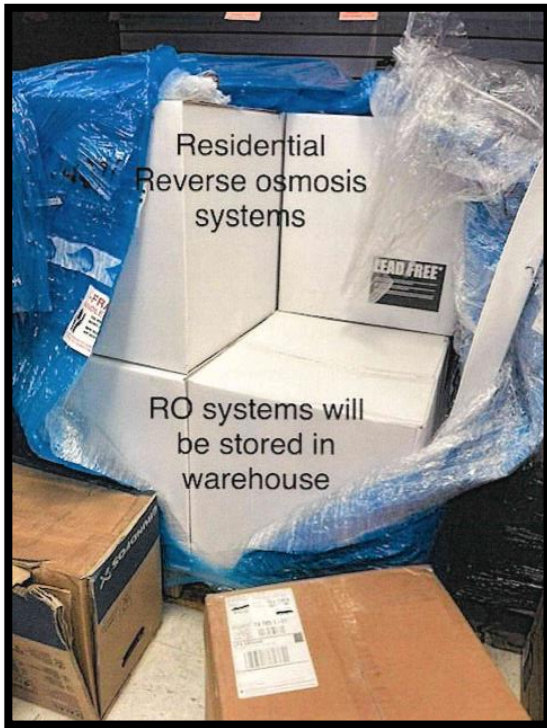


Filling station for
purified, alkaline
and distilled
water













City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

SUB2022-0093

Project Description

Subdivision Name FORTIS PLAZA LAS FUENTES
Location _____
City Address or Block Number 5700 N. 10th ST
Number of lots 1 Gross acres 1.45 Net acres N/A
Existing Zoning C-3 Proposed C-3 Rezoning Applied For ☐ Yes ☒ No Date _____
Existing Land Use VACANT Proposed Land Use COMMERCIAL Irrigation District # 3
Residential Replat Yes ☐ No ☒ Commercial Replat Yes ☒ No ☐ ETJ Yes ☐ No ☒
Agricultural Tax Exempt Yes ☐ No ☒ Estimated Rollback tax due \$
Parcel No. 726295 Tax Dept. Review MRB
Legal Description BLOCK 1 - BEING A 1.70 ACRES OUT OF LOT A1 AND LOT 1B, PLAZA LAS FUENTES, AS PER MAP RECORDED IN VOLUME 55, PG 105, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
BLOCK 2 - BEING A 14.92 ACRES OUT OF LOT A1 AND LOT 1B, PLAZA LAS FUENTES, AS PER MAP RECORDED IN VOLUME 55, PG 105, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Owner

Name FORTIS LAND HOLDINGS, LLC AND EL PISTALON LLP Phone (956) 682-4775
Address 5111 N. 10TH STREET #324
City McALLEN State TX Zip 78504
E-mail OMAR@OGBUILD.COM

Developer

Name FORTIS LAND HOLDINGS, LLC AND EL PISTALON LLP Phone (956) 682-4775
Address 5111 N. 10TH STREET #324
City McALLEN State TX Zip 78504
Contact Person OMAR GARCIA
E-mail FORTIS LAND HOLDINGS, LLC

Engineer

Name RIO DELTA ENGINEERING Phone (956) 380-5152
Address 921 S. 10TH AVENUE
City EDINBURG State TX Zip 78539
Contact Person IVAN GARCIA P.E., R.P.L.S.
E-mail RIODELTA2004@YAHOO.COM

Surveyor

Name RIO DELTA ENGINEERING Phone (956) 380-5152
Address 921 A. 10TH AVENUE
City EDINBURG State TX Zip 78539

ENTERED

AUG 15 2022

Initial: AM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 8/12/22

Print Name Ivan Garcia P.E., R.P.L.S.

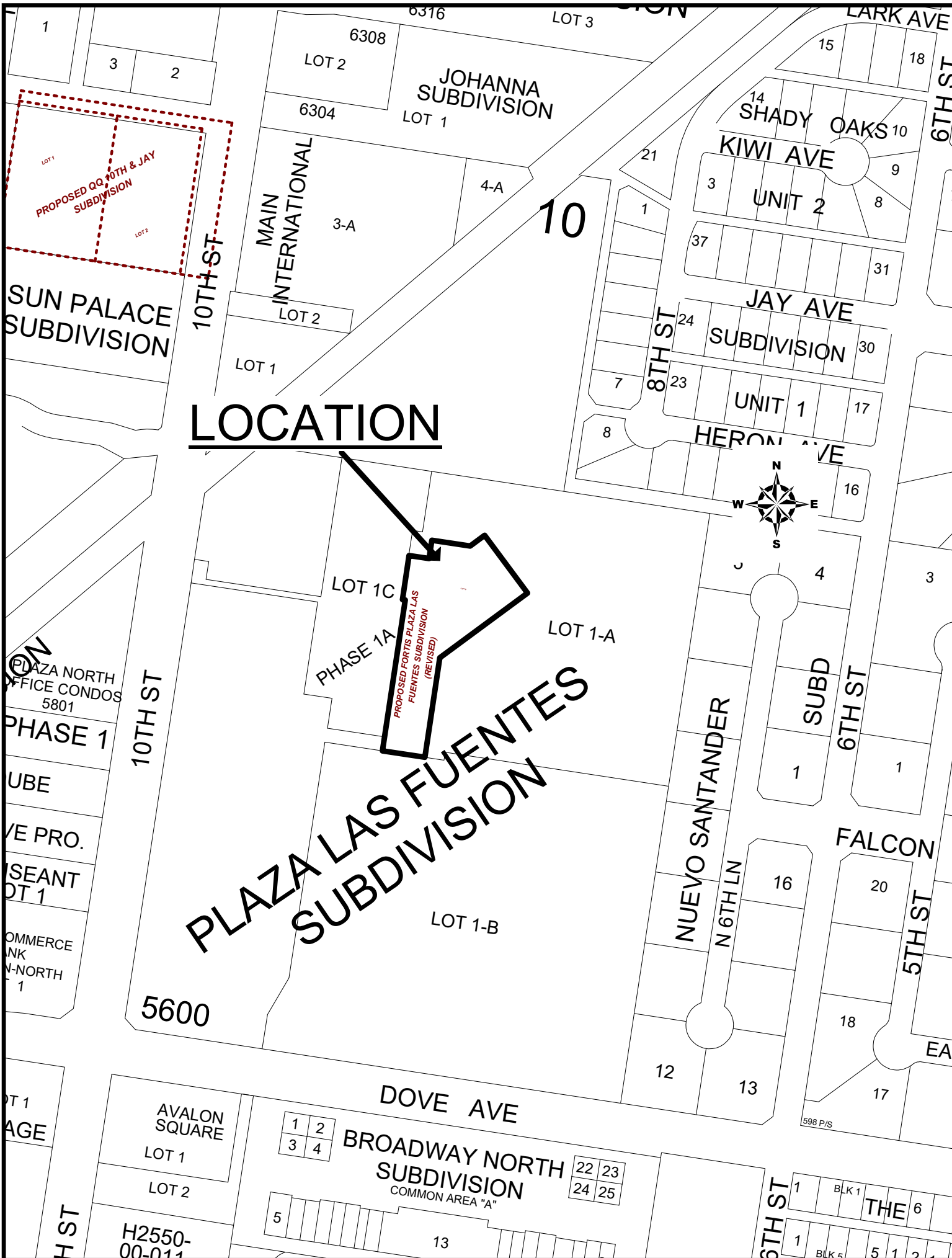
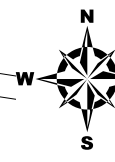
Owner ☐

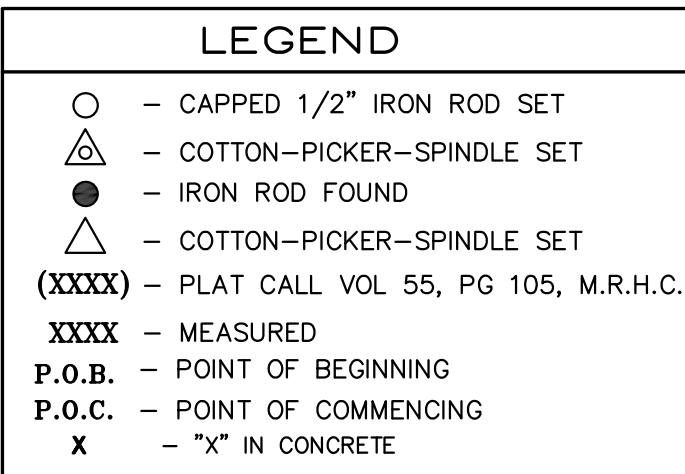
Authorized Agent ☒

LOCATION

PLAZA LAS FUENTES SUBDIVISION

PROPOSED FORTIS PLAZA LAS FUENTES SUBDIVISION (REVISED)

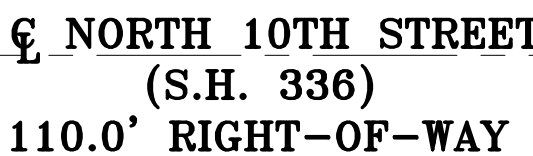




ISSUED FOR:
FINAL

PLAT SHEET
PLAZA LAS FUENTES FORTIS SUBDIVISION
CITY OF MCALLEN
HIDALGO COUNTY, TEXAS

PAGE NO. SHT 1



| NAME | | ADDRESS | | PHONE & FAX | |
|-------------------------------------|---------------|--------------------------|---------------------|----------------|----------------|
| OWNER(S): FORTIS LAND HOLDINGS, LLC | | 5111 N. 10TH STREET #324 | MCALLEN, TX. 78504 | | |
| SURVEYOR: IVAN GARCIA | P.E. R.P.L.S. | 921 S. 10TH AVENUE | EDINBURG, TX. 78539 | (956) 380-5152 | (956) 380-5083 |
| ENGINEER: IVAN GARCIA | P.E. R.P.L.S. | 921 S. 10TH AVENUE | EDINBURG, TX. 78539 | (956) 380-5152 | (956) 380-5083 |

TEXAS COMMERCE BANK
McALLEN-NORTH
LOT 1
VOL. 28, PG. 1768
H.C.M.R.

BY: _____ DEPUTY

PLAZA LAS FUENTES FORTIS SUBDIVISION

BEING A 1.45 ACRES OUT OF LOT 1A OF "LOT 1A & 1B, PLAZA LAS FUENTES", AS PER MAP RECORDED DOCUMENT # 1905892, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

OWNER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PLAZA LAS FUENTES FORTIS SUBDIVISION, TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINE, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OMAR GARCIA, MANAGER
FORTIS LAND HOLDINGS, LLC
5111 N 10TH STREET #324
MCALLEN, TX 78504

DATE

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OMAR GARCIA KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 2023.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES ____-____-____

STATE OF TEXAS COUNTY OF HIDALGO PLANNING AND ZONING COMMISSION CHAIR CERTIFICATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN

DATE

STATE OF TEXAS COUNTY OF HIDALGO MAYOR'S CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

STATE OF TEXAS -- COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E., R.P.L.S.
REG. PROFESSIONAL ENGINEER No. 115662

DATE

LIENHOLDER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND THE DESIGNATED HEREIN AS THE PLAZA LAS FUENTES FORTIS SUBDIVISION OF THE CITY OF MCALLEN, TEXAS DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

VICTOR HADDAD
LONE STAR NATIONAL BANK
520 E. NOLANA AVE.,
MCALLEN, TEXAS 78504

STATE OF TEXAS COUNTY OF HIDALGO:

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED VICTOR HADDAD, AND PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 2023.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

GENERAL PLAT NOTES:

1. MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT.
2. MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
FRONT (NORTH 10TH STREET): 60 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
FRONT (DOVE AVENUE): 50 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
- REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
- SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
3. THE SUBDIVISION IS IN ZONE "B", AREAS BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WHERE THE CONTRIBUTION DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, MAP COMMUNITY PANELS NO.: 490343.0005 C, MAP REVISED: NOVEMBER 2, 1992.
4. A DRAINAGE DETENTION OF 22,033 OF OR 0.51 ACRE FEET IS REQUIRED FOR LOT 1D. DETENTION SHALL COMPLY WITH MASTER DRAINAGE PLAN. THE CITY OF MCALLEN WILL NOT MAINTAIN DETENTION AREA.
5. ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER PLAN.
6. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
7. THE CITY OF MCALLEN TO HAVE A 25'X25' CORNER CLIP EASEMENT AT STREET INTERSECTIONS MEASURED FROM STREET CURB INTERSECTION.
8. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH 10TH STREET AND DOVE AVENUE.
9. CITY OF MCALLEN BENCHMARK (MC55-1) - LOCATED AT THE INSIDE ROBIN PARK. THE PARK IS BEHIND FINE GAS STATION THE MONUMENT IS 2 FEET WEST FROM A WOODEN POST AND 118 FEET NORTH FROM C. L. OF ROBIN AVENUE.
10. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
11. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES OR GREATER AS PER AGREEMENT.
12. ALL UTILITY AND DRAINAGE EASEMENTS TO BE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
13. A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
14. SITE PLAN MUST BE APPROVED BY THE PLANNING & ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMIT.
15. COMMON AREAS, 24' PRIVATE SERVICE DRIVE EASEMENT, ETC., MUST BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF MCALLEN.
16. A 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

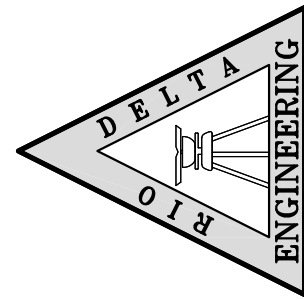
PRINCIPAL CONTACTS:

| NAME | ADDRESS | PHONE & FAX |
|--|--|-------------------------------|
| OWNER(S): FORTIS LAND HOLDINGS, LLC | 5111 N. 10TH STREET #324 MCALLEN, TX. 78504 | |
| SURVEYOR: IVAN GARCIA P.E. R.P.L.S. | 921 S. 10TH AVENUE EDINBURG, TX. 78539 | (956) 380-5152 (956) 380-5083 |
| ENGINEER: IVAN GARCIA P.E. R.P.L.S. | 921 S. 10TH AVENUE EDINBURG, TX. 78539 | (956) 380-5152 (956) 380-5083 |

RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027

921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:
FINAL

PLAT SHEET
PLAZA LAS FUENTES FORTIS SUBDIVISION
CITY OF MCALLEN
HIDALGO COUNTY, TEXAS

PROJECT :

ENGINEER:
IVAN GARCIA P.E., R.P.L.S.

SURVEYOR:
IVAN GARCIA P.E., R.P.L.S.

CHECKED:
IVAN GARCIA P.E., R.P.L.S.

DRAWN:
EDWIN PENA

SCALE:
AS SHOWN

DATE:
MARCH 21, 2023

PROJECT:
SUB 22.032

REVISIONS:

PAGE NO:
SHT 2 OF 2



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/15/2023

SUBDIVISION NAME: PLAZA LAS FUENTES FORTIS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 10th Street: 60 ft. ROW existing from centerline for 120 ft. ROW

Paving: by the state Curb & gutter: by the state

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Dove Avenue: Dedication required for 75 ft. ROW from centerline for 150 ft. ROW

Paving: 65 ft. Curb & gutter: both sides

*The Foresight Comprehensive Map calls Dove Avenue to be 75 ft. from centerline for 150 ft. total ROW

**Plat submitted demonstrates existing 100 ft. ROW with no additional dedication, Engineer submitted a variance request to allow existing 100 ft. ROW with no additional dedication and at the City Commission meeting of December 12, 2022, the board recommended approval of the variance request to ROW requirement for Dove Avenue.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Paving _____ Curb & gutter _____

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Applied

Applied

NA

NA

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

**Proposing Plat Note: "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the City of McAllen.

**Subdivision Ordinance: Section 134-106

Applied

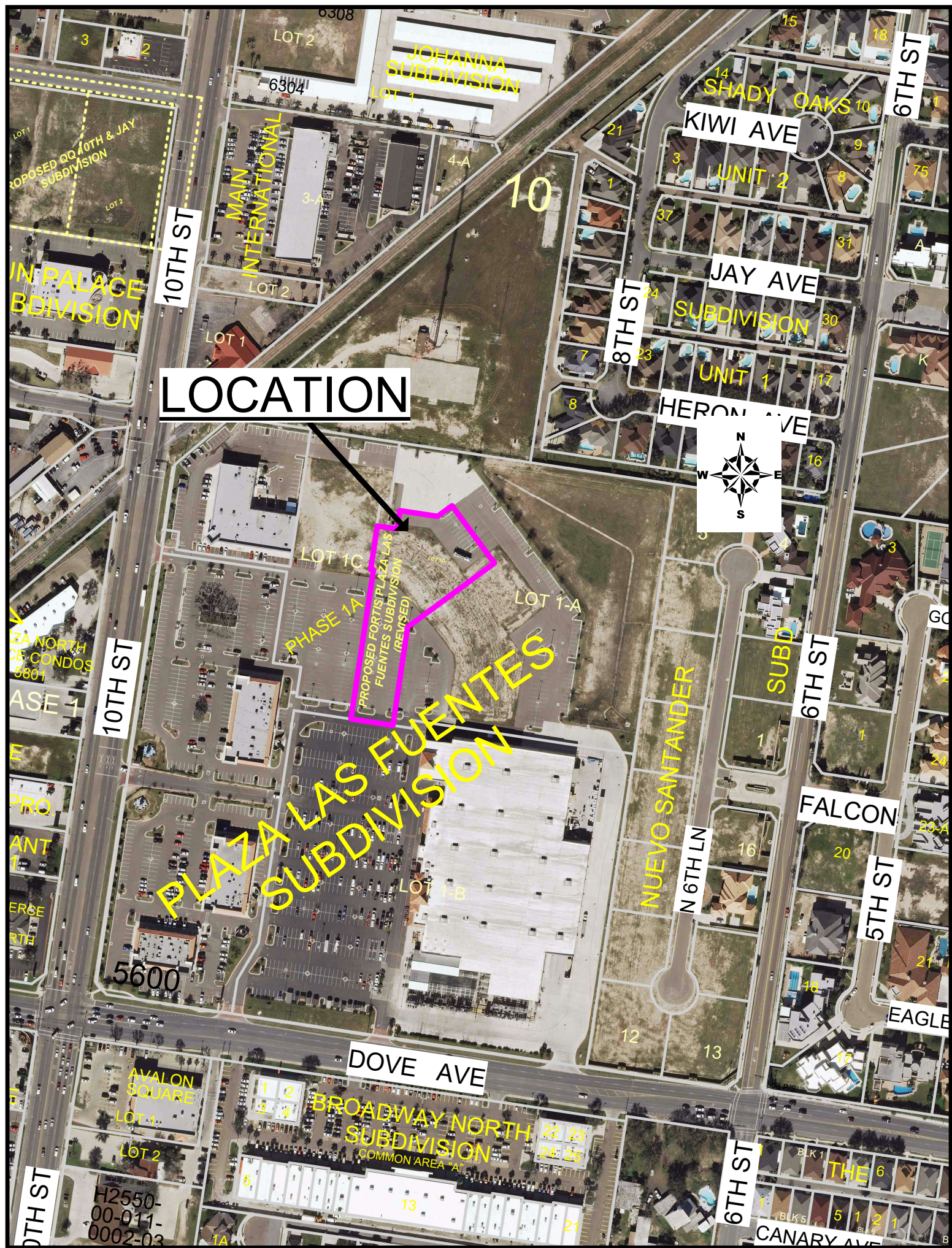
| SETBACKS | |
|--|----------|
| <p>* Front: North 10th Street: 60 ft. or greater for approved site plan, or easements, whichever is greater applies.</p> <p>Dove Avenue: 50 ft. or greater for approved site plan, or easements, whichever is greater applies.</p> <p>**Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. ***Zoning Ordinance: Section 138-356</p> <p>* Rear: In accordance with the Zoning Ordinance, or greater for easements or approved site plan **Zoning Ordinance: Section 138-356</p> <p>* Sides: In accordance with the Zoning Ordinance, or greater for easements or approved site plan **Zoning Ordinance: Section 138-356</p> <p>* Corner **Setbacks for North 10th Street and Dove Avenue as noted above. **Zoning Ordinance: Section 138-356</p> <p>* Garage: Commercial Development. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| | Applied |
| | Applied |
| | Applied |
| | NA |
| | Applied |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. **Proposing: 5 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. ***Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Applied |
| | Required |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses or greater as per agreement. **Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Applied |
| | Applied |
| | Required |
| NOTES | |
| <p>**Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning & Zoning Commission prior to issuance of building permit. ***Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat.</p> | Applied |
| | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|------------|
| <ul style="list-style-type: none"> * Proposing: Common areas, 24 ft. private service drive easement, etc., must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | Applied |
| | Required |
| | NA |
| | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets *Current subdivision layout does not comply with lot frontage requirements as it does not front a public street, Engineer submitted a variance request on May 16th, 2023 requesting to allow frontage to a existing common access easement in lieu of a public street, the easement provides access to the overall development and connects to North 10th Street and Dove Avenue within the existing parking areas. The Planning and Zoning Commission considered the subdivision in revised preliminary form and the variance request at their meeting of June 6, 2023. Following a brief discussion, the board voted to approve the subdivision in revised preliminary form, and recommend approval of the requested variance to the frontage requirements as requested and at the City Commission meeting of June 12th, 2023 the request was approved. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 | Applied |
| | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: C-3 (General Business) District. Proposed: C-3 (General Business) District. ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | Compliance |
| | NA |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks. * Pending review by the City Manager's Office. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks. | NA |
| | NA |
| | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|-----------|
| TRAFFIC | |
| * As per Traffic Department, Trip Generation approved, TIA is waived. | Completed |
| * Traffic Impact Analysis (TIA) required prior to final plat. | NA |
| **As per Traffic Department, Trip Generation approved, TIA is waived. | |
| COMMENTS | |
| Comments/Revisions needed: *Must comply with City's Access Management Policy. *Name of subdivision on application must be revised to "Plaza Las Fuentes Fortis", prior to recording. *Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. *Subdivision was approved in Final form at the Planning and Zoning Commission meeting of November 16th,2022, as a 2-lot subdivision. *At the Planning and Zoning Commission meeting of June 6th,2023, the subdivision was approved in revised preliminary form, as a 1-lot subdivision. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED. | Applied |



SUB 2022-0101



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | <p>Subdivision Name <u>Re-Plat of Lot 1, Balderas Ranch Subdivision</u></p> <p>Location <u>East Side of FM 681 (Moorfield Road) 1.7 Miles North of FM 1925</u></p> <p>City Address or Block Number <u>18500 N MOOREFIELD RD</u></p> <p>Number of lots <u>2</u> Gross acres <u>6.70</u> Net acres <u>6.70</u></p> <p>Existing Zoning <u>n/a</u> Proposed <u>n/a</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u> </u></p> <p>Existing Land Use <u>Single Family</u> Proposed Land Use <u>Single Family</u> Irrigation District # <u>None</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Parcel No. <u>1178212</u> Tax Dept. Review <u>N/A</u></p> <p>Legal Description <u>A 6.70 acre tract of land being all of Lot 1, Balderas Ranch Subdivision</u></p> |
| Owner | <p>Name <u>Leandro Balderas</u> Phone <u>(956) 222-4564</u></p> <p>Address <u>22680 N MOOREFIELD RD</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> <p>E-mail <u>rosa20064@yahoo.com</u></p> |
| Developer | <p>Name <u>Leandro Balderas</u> Phone <u>(956) 222-4564</u></p> <p>Address <u>22680 N. Moorefield Road</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> <p>Contact Person <u>Leandro Balderas</u></p> <p>E-mail <u>rosa20064@yahoo.com</u></p> |
| Engineer | <p>Name <u>R. E. Garcia & Associates</u> Phone <u>(956) 381-1061</u></p> <p>Address <u>116 N. 12th</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> <p>Contact Person <u>Raul E. Garcia, PE, RPLS, CFM</u></p> <p>E-mail <u>regaassoc@aol.com</u></p> |
| Surveyor | <p>Name <u>R. E. Garcia & Associates</u> Phone <u>(956) 381-1061</u></p> <p>Address <u>116 N. 12th</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> |

ENTERED

AUG 25 2022

Initial: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☐ Letter of Authorization from the owner, if applicable
- ☐ Proof of authority of person signing application on behalf of partnership/corporation, if applicable


PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 8/24/22

Print Name Leandro Balderas

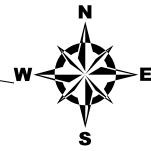
Owner ☒

Authorized Agent ☐

LOCATION

N MOOREFIELD RD

BALDERAS RANCH SUBDIVISION
LOT 1 LOT 1 LOT 1A



1

2

3

4

12

11

10

9

1

2

3

4

61

12

11

10

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8

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2

3

4

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60

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1

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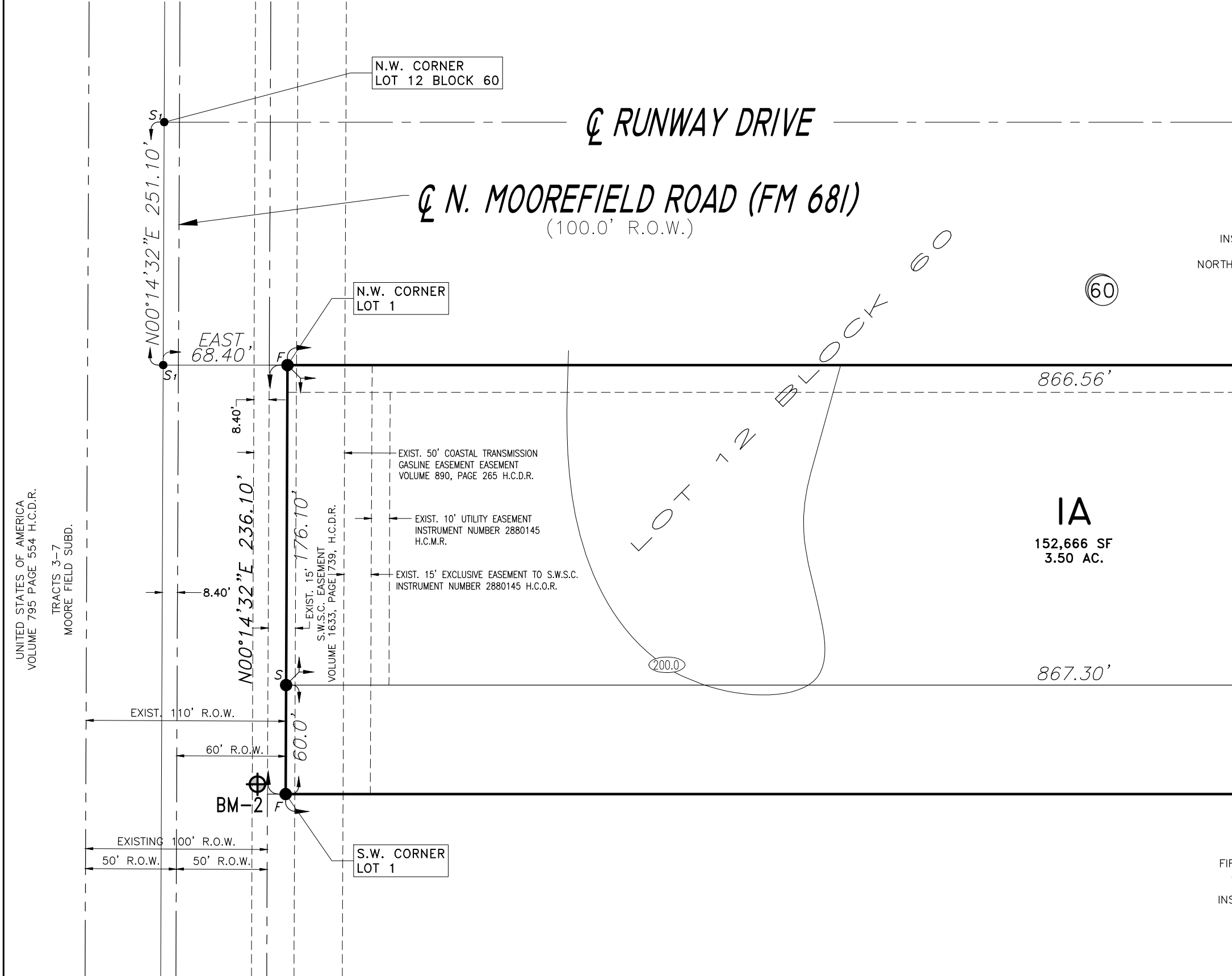
3

4

5

41

| REVISION NOTES | | | | |
|----------------|-------|--------------------------------|----------|----------|
| NO. | SHEET | REVISION | DATE | APPROVED |
| 1 | PLATS | NAME, NOTES AND CERTIFICATIONS | 06-09-23 | R.E.G. |
| | | | | |



UNITED STATES OF AMERICA
TRACTS 3-7
MOORE FIELD SUBD.

METES AND BOUNDS DESCRIPTION
A 6.70 ACRE TRACT OF LAND BEING ALL OF LOT 1, BALDERAS RANCH SUBDIVISION AS RECORDED IN DOCUMENT NUMBER 2880145, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN SECOND TRACT DESCRIBED IN PARTITION DEED RECORDED IN DOCUMENT NUMBER 2133064, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND ONE-HALF INCH IRON ROD ON THE EAST RIGHT-OF-WAY LINE OF FM 681 (MOOREFIELD ROAD) ALSO BEING THE SOUTH LINE OF THAT CERTAIN TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 3349673, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, BEING THE NORTHWEST CORNER OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, FOR THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE **EAST 1,235.56 FEET** ALONG THE SOUTH LINE OF SAID TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 3349673, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THE NORTH LINE OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, TO A FOUND ONE-HALF INCH IRON ROD ON THE WEST LINE OF THAT CERTAIN TRACT DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT NUMBER 3290153, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, BEING THE SOUTHEAST CORNER OF SAID TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 3349673, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THE NORTHEAST CORNER OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, FOR THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT.

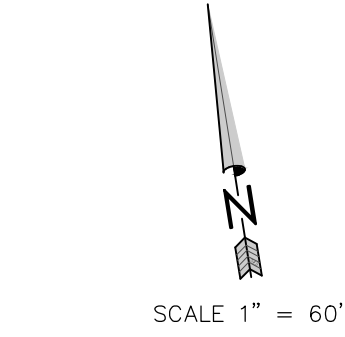
THENCE **SOUTH 236.10 FEET** ALONG SAID WEST LINE OF TRACT DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT NUMBER 3290153, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THE NORTH LINE OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, TO A FOUND ONE-HALF INCH IRON ROD ON THE WEST LINE OF THAT CERTAIN TRACT DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT NUMBER 3214647, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, BEING THE SOUTHEAST CORNER OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, FOR THE SOUTHEAST CORNER OF HEREIN DESCRIBED TRACT.

THENCE **WEST 1,236.56 FEET** ALONG SAID NORTH LINE OF TRACT DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT NUMBER 3214647, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THE SOUTH LINE OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, TO A FOUND ONE-HALF INCH IRON ROD ON THE EAST RIGHT-OF-WAY LINE OF SAID FM 681 BEING THE SOUTHWEST CORNER OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, FOR THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE **N00°14'32"E 236.10 FEET** ALONG SAID EAST RIGHT-OF-WAY LINE OF FM 681 ALSO BEING THE WEST LINE OF SAID LOT 1, BALDERAS RANCH SUBDIVISION, TO THE POINT OF BEGINNING AND CONTAINING 6.70 ACRES OF LAND, MORE OR LESS.

GIOVANA L. BENETIZ
INSTRUMENT NO. 3349673 H.C.O.R.
NORTH 251.1' OF LOTS 11 & 12 BLOCK 60
JACKSON SUBDIVISION

FIFTH ALLAN FRANCIS MANN MERCADO
& CORAZON GLADYS WHITE AJERO
FAMILY REAL ESTATE LIMITED
INSTRUMENT NUMBER 3214647 H.C.O.R.
SOUTH 287.80' OF
LOTS 11 & 12 BLOCK 60
JACKSON SUBDIVISION



BEARINGS BASED ON RECORD
BEARINGS OF: TIERRA HERMOSA
SUBDIVISION, AS RECORDED IN
VOLUME 48, PAGE 49, H.C.M.R.

LEGEND:
F - FOUND 1/2" IRON ROD
F1 - FOUND COTTON PICKER SPINDLE
S - SET 1/2" IRON ROD WITH
A CAP LABELED "RPLS 4204"
S1 - CALCULATED POINT
B - BENCHMARK



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

N.E. CORNER
LOT 1
SOUTH 236.10'
BIANCA RENEE BALDERAS
INSTRUMENT NO. 3260765 H.C.O.R.
LOT 10 BLOCK 60
JACKSON SUBDIVISION
EAST 369.00'
EXIST. 40' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 1235.56'
EXIST. 15' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 866.56'
EXIST. 60' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 867.30'
EXIST. 15' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 840'
EXIST. 50' COASTAL TRANSMISSION
GULF LINE EASEMENT
VOLUME 890, PAGE 265 H.C.D.R.
EAST 68.40'
EXIST. 10' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 176.10'
EXIST. 15' UTILITY EASEMENT
INSTRUMENT NUMBER 2880145 H.C.M.R.
EAST 60.0'
EXIST. 110' R.O.W.
EXISTING 100' R.O.W.
50' R.O.W.
50' R.O.W.
60' R.O.W.
N.W. CORNER
LOT 1
N.W. CORNER
LOT 12 BLOCK 60

**THE STATE OF TEXAS
COUNTY OF HIDALGO
LIENHOLDER'S ACKNOWLEDGEMENT:**

I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION** OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

INTERNATIONAL BANK OF COMMERCE
8998 RESEARCH BOULEVARD
AUSTIN, TEXAS 78558

SHARYLAND WATER SUPPLY CORPORATION:

I, **CARLOS LIMA**, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR **BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION** LOCATED AT McALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHAYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

**THE STATE OF TEXAS
COUNTY OF HIDALGO**

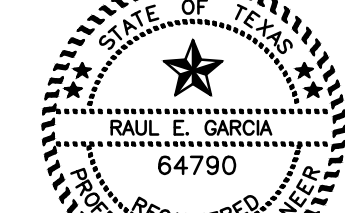
I, RAUL GARCIA, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.



REGISTERED PROFESSIONAL LAND SURVEYOR #4204

**THE STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



REGISTERED PROFESSIONAL ENGINEER #64790

PLAT OF BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION

A 6.70 ACRE TRACT OF LAND BEING ALL OF LOT 1, BALDERAS RANCH SUBDIVISION AS RECORDED IN DOCUMENT NUMBER 2880145, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN SECOND TRACT DESCRIBED IN PARTITION DEED RECORDED IN DOCUMENT NUMBER 2133064, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DATE: OCTOBER 11, 2022



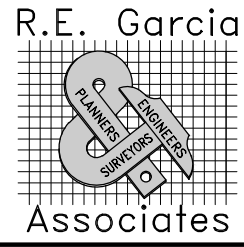
SCALE: 1" = 60'

PREPARED BY:

R. E. GARCIA & ASSOCIATES

ENGINEERS, SURVEYORS, PLANNERS

(F-5501) & SURVEYOR (10015500)
116 NORTH 12TH AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM



THE STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S CERTIFICATION, DEDICATION, & ATTESTATION

I, **LEANDRO BALDERAS** THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION** LOCATED AT McALLEN, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE PUBLIC USE OF THE ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS WILL MEET THE MINIMUM STANDARDS;
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS WILL MEET THE MINIMUM STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS OR SEPTIC TANKS WILL MEET THE MINIMUM STATE STANDARDS;
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS WILL MEET THE MINIMUM STATE STANDARDS;

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

LEANDRO BALDERAS
22680 N. MOOREFIELD ROAD
PALMHURST, TEXAS 78573

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY APPEARED **LEANDRO BALDERAS**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS

CITY OF McALLEN
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE
§212.009(C) & §212.0115(B)

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

THE STATE OF TEXAS
COUNTY OF HIDALGO
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 20____.

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE _____

CITY OF McALLEN CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE §212.009(C) & §212.0115(B)

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

APPROVAL BY HIDALGO COUNTY DRAINAGE DISTRICT NO. 1:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION COMPANY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURE DESIGN DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.

DATE _____

GENERAL MANAGER

COUNTY OF HIDALGO

CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE §232.028(a)

WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____, 20____.

HIDALGO COUNTY JUDGE _____

DATE _____

ATTEST:

HIDALGO COUNTY CLERK _____

DATE _____

LOCATION MAP

SCALE: 1" = 2000"



PRINCIPAL CONTACTS:

OWNER: LEANDRO BALDERAS
ENGINEER: RAUL E. GARCIA
SURVEYOR: RAUL E. GARCIA

NAME: LEANDRO BALDERAS
ADDRESS: 22680 N. MOOREFIELD ROAD
116 N. 12TH
116 N. 12TH

CITY, STATE & ZIP: EDINBURG, TX 78541 (956) 222-4564
PHONE #/ FAX #: 116 N. 12TH
116 N. 12TH

SHEET NO. 1 OF 2 SHEETS

LOCATION OF SUBDIVISION WITH RESPECT TO THE
EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

REPLAT OF BALDERAS RANCH SUBDIVISION IS LOCATED IN WEST CENTRAL HIDALGO COUNTY IN H.C.P. #3 ON THE EAST SIDE OF MOOREFIELD ROAD, APPROXIMATELY 1 1/2 MILES NORTH OF MOOREFIELD ROAD (FM681) AND MONTE CRISTO (FM1925) INTERSECTION. THE NEAREST MUNICIPALITY IS THE CITY OF McALLEN POPULATION 138,082 (2015 CENSUS). ACCORDING TO THE OFFICIAL MAP LOCATED IN THE OFFICE OF THE SECRETARY OF THE CITY OF McALLEN, REPLAT OF BALDERAS RANCH SUBDIVISION LIES ADJACENT TO THE CITY LIMITS AND IS WITHIN THE CITY'S TWO MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE §42.021.

INDEX OF SHEETS

| DESCRIPTION |
|---|
| 1. HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS AND EASEMENT DESIGNATION; METES & BOUNDS; SURVEYOR'S & ENGINEER'S CERTIFICATION; PLAT NOTES & RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY APPROVAL; DESCRIPTION OF LOCATION WITH RESPECT TO THE ETJ OF A MUNICIPALITY; H.C.D.O. APPROVAL; REVISION NOTES; CITY APPROVAL AND H.C.H.D. CERTIFICATION |
| 2. WATER DISTRIBUTION AND SANITARY SEWER (OSSF) MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER (OSSF) AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH); SAMPLE OF LOG BORE FOR OSSF SYSTEM. TYPICAL WATER SERVICE CONNECTION; SUBDIVIDER CERTIFICATE AND STATEMENT, MAP OF TOPOGRAPHY & DRAINAGE WITH ENGINEER'S CERTIFICATION, REVISION NOTES, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT |



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/13/2023

SUBDIVISION NAME: BALDERAS RANCH LOTS 1A AND 1B SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Moorefield Road (FM 681): 60 ft. from centerline existing for 120 ft. ROW
Paving: by the state Curb & gutter: by the state

Revisions Needed:

-Please provide how existing ROW was dedicated on plat prior to recording.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

N/S Collector(eastern boundary): 60 ft. of total ROW

Paving: 40 ft. Curb & gutter: both sides

***Balderas ranch subdivision was approved in final form at the Planning and Zoning Commission meeting of October 17, 2017 subject to plat note regarding future dedication of ROW along eastern boundary. Plat note provided states "The owner of Lot 1 shall dedicate/donate thirty feet (30.00') of Right-of Way along the east side of lot 1 should future collector roadway be required along the east side of this subdivision.", wording or revisions for note as needed prior to recording.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Paving _____ Curb & gutter _____

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Paving _____ Curb & gutter _____

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Required

Applied

NA

NA

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial and multi-family properties.

**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front(Lot 1A/Lot 1B) :60.00 feet or easement, whichever is greater.

**Existing setback as per recorded plat.

***Zoning Ordinance: Section 138-356

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------|
| <p>* Rear(Lot 1A/Lot 1B) : 60.00 feet or easement, whichever is greater. **Existing setback as per recorded plat. **Zoning Ordinance: Section 138-356</p> <p>* Sides: Lot 1A:15.00 feet or easement, whichever is greater. Lot 1B: 15.00 feet along the north side or easement, whichever is greater. 60.00 feet along the south side or easement, whichever is greater. **Existing setback as per recorded plat. ***Zoning Ordinance: Section 138-356</p> <p>* Corner: Interior Lot **Zoning Ordinance: Section 138-356</p> <p>* Garage(Lot 1A/Lot 1B): 18 ft. except where greater setback is required; greater setback applies. Revisions Needed: - Revise note as shown above prior to recording. **Proposing: 18 feet or easement, whichever is greater. ***Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| | Applied |
| | NA |
| | Required |
| | Applied |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on N. Moorefield Road (FM 681). ** Proposing:5 ft. wide minimum sidewalk required on N. Moorefield Road (FM 681). ***Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Applied |
| | Required |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Applied |
| | Applied |
| | Required |
| NOTES | |
| <p>*Must comply with City Access Management Policy.</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> | Applied |
| | NA |
| | Applied |
| | NA |

| | |
|---|------------|
| <ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | NA |
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 | Compliance |
| <ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 | Applied |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing : ETJ (Extraterritorial jurisdiction) Proposed: ETJ (Extraterritorial jurisdiction) **Proposed land use is single-family. **Zoning Ordinance: Article V | Completed |
| <ul style="list-style-type: none"> * Rezoning Needed Before Final Approval. ***Zoning Ordinance: Article V | NA |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. As per Parks Department, according to the application development is in the ETJ therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed in the near future. | NA |
| <ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, according to the application development is in the ETJ therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed in the near future. | NA |
| <ul style="list-style-type: none"> * Pending review by the Parkland Dedication Advisory Board and CC. As per Parks Department, according to the application development is in the ETJ therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed in the near future. | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation for 2-Lot Single Family subdivision is waived. | Completed |
| <ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip Generation for 2-Lot Single Family subdivision is waived. | NA |

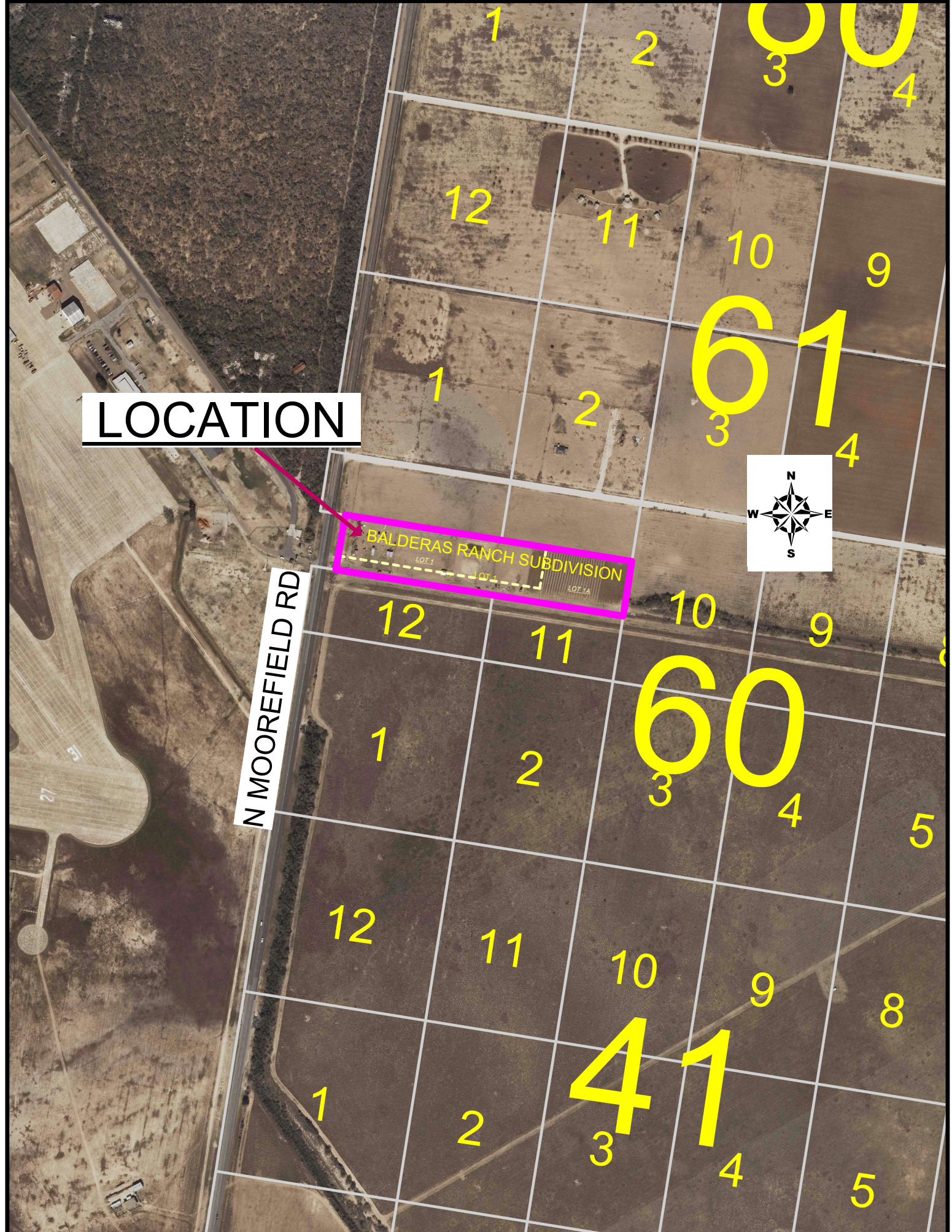
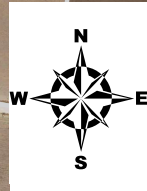
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| COMMENTS | |
|--|---------|
| <p>Comments:</p> <p>*Must comply with City's Access Management Policy.</p> <p>**Revise name as shown, on plat and all corresponding documents as applicable: Balderas Ranch Lots 1A and 1 B Subdivision., finalize prior to recording.</p> <p>****Please provide ownership map to verify that no landlocked properties exist or will be created, prior to recording.</p> <p>*****Existing contractual agreement regarding public improvements must be revised/amended, finalize prior to recording.</p> <p>*****Subdivision approved in final form at the Planning and Zoning Commission meeting of February 7th,2023.</p> | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED. | Applied |

LOCATION

N MOOREFIELD RD

BALDERAS RANCH SUBDIVISION
LOT 1 LOT 2 LOT 3A





City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

| | | |
|--|--|--|
| Project Information | Subdivision Name <u>Olive Grove Estates Subdivision</u> | |
| | Location <u>208 feet west of N. Ware Road along the south side of Lark Avenue</u> | |
| | City Address or Block Number <u>3900 LARK AVE</u> | |
| | Number of Lots <u>2</u> Gross Acres <u>5.96</u> Net Acres <u>5.16</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| | Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ | |
| | Existing Land Use <u>Open</u> Proposed Land Use <u>Single Family Residential</u> Irrigation District # <u>1</u> | |
| | Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____ | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>0</u> | |
| | Parcel # <u>210702</u> Tax Dept. Review <u>MB</u> | |
| | Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ | |
| Legal Description <u>5.96 Acres out of Lot 80, La Lomita Irrigation and Construction Company Subdivision, Map Ref.: Vol. 24, Pg. 68, Hidalgo County Deed Records</u> | | |
| Owner | Name <u>Mouayad Development, LLC</u> Phone <u>(956) 457-9643</u> | |
| | Address <u>400 W. Cornell Avenue</u> E-mail <u>gnz3@hotmail.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> | |
| Developer | Name <u>Mouayad Development, LLC</u> Phone <u>(956) 457-9643</u> | |
| | Address <u>400 W. Cornell Avenue</u> E-mail <u>gnz3@hotmail.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> | |
| | Contact Person <u>Noe Gonzalez</u> | |
| Engineer | Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u> | |
| | Address <u>416 E. Dove Ave.</u> E-mail <u>javier@javierhinojosaeng.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> | |
| | Contact Person <u>Javier Hinojosa</u> | |
| Surveyor | Name <u>C.V.Q. Land Surveyors, LLC</u> Phone <u>(956) 618-1551</u> | |
| | Address <u>517 Beaumont Ave.</u> E-mail <u>cvq@cvqlandsurvey.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> | |

ENTERED

NOV 01 2022

Initial: Nm

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 10/25/22

Print Name Javier Hinojosa

Owner ☐ Authorized Agent ☒

The Planning Department is now accepting DocuSign signatures on application



City of McAllen
Planning Department
VARIANCE TO SUBDIVISION
PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project

Legal Description 5.96 Acres being a part or portion of Lot 80, La Lomita Irrigation and Construction
Company's Subdivision as recorded in Vol. 24, Pg.68 Hidalgo County Deed Records
Street Address 3900 Lark Avenue
Number of lots 2 Gross acres 5.96
Existing Zoning R-1 Existing Land Use Undeveloped (trees)
☒ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant

Name Javier Hinojosa Phone (956) 668-1588
Address 416 E. Dove Ave. E-mail javier@javierhinojosaeng.com
City McAllen State TX Zip 78504

Owner

Mouayad Development, LLC
Name Noe Gonzalez Phone (956) 457-9643
Address 400 W. Cornell Ave. E-mail _____
City McAllen State TX Zip 78504

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes ☒ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable)
OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature]

Date 4/28/23

Print Name Javier Hinojosa

☐ Owner ☒ Authorized Agent

Office

FOR OFFICE USE ONLY

APPLICATION FILING FEE: ☐ \$250.00

Accepted by _____ Payment received by _____ Date _____

Rev 06/21



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The developer is requesting 20 feet additional right-of-way along the south side of Mile 4 instead

30 feet as requested by the City of McAllen.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The proposed 20' of additional right-of-way is not detrimental to public safety, the welfare or

legal rights of others in the area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

This variance request will not effect the development of the areas around this subdivision.

Noe Gonzalez

PO Box 1042
Edinburg, TX 78541
956-457-9643

City of McAllen, Texas
Mr. Roel Roy Rodriguez, P.E., M.P.A. City Manager
311 N. 15th Street
McAllen, TX 78501

RE: Olive Grove Estates Subdivision

Dear Mr. Rodriguez,

This letter is sent in order to attempt to reach a resolution to some unresolved issues in the subdivision process on my personal real estate.

The subject property is 5.96 acres that fronts and is adjacent to Lark Avenue just West of Ware road in the City of McAllen.

The 5.96 acres is being subdivided into 2 residential lots that front on Lark Avenue

The property being subdivided will not place a strain on the existing Lark Avenue roadway improvements as the property will only contain 2 residences that will not generate any discernable traffic onto Lark Avenue

Lark Avenue is designated as a Minor Arterial Street in the City of McAllen's thoroughfare plan.

A Minor Arterial Street in the City of McAllen's thoroughfare plan is 52 feet wide.

City Council approved the future width of Lark Avenue to be 53.9 ft wide in accordance with the City of McAllen's thoroughfare plan.

I am proposing to give the City of McAllen 20 feet on the pending subdivision plat in addition to the existing ROW that will allow Lark to be widened to 53.9 ft wide in the future in accordance with the City of McAllen's thoroughfare plan.

Planning and Zoning has requested that I give 30 ft on the proposed subdivision plat in addition to the existing ROW

There is a row of mature Palm trees, many Texas Wild Olive trees (Anacahuillas) along with several mature Oak tree (believed to be over 50 years old) on our property that are located along Lark Avenue just outside the existing ROW.

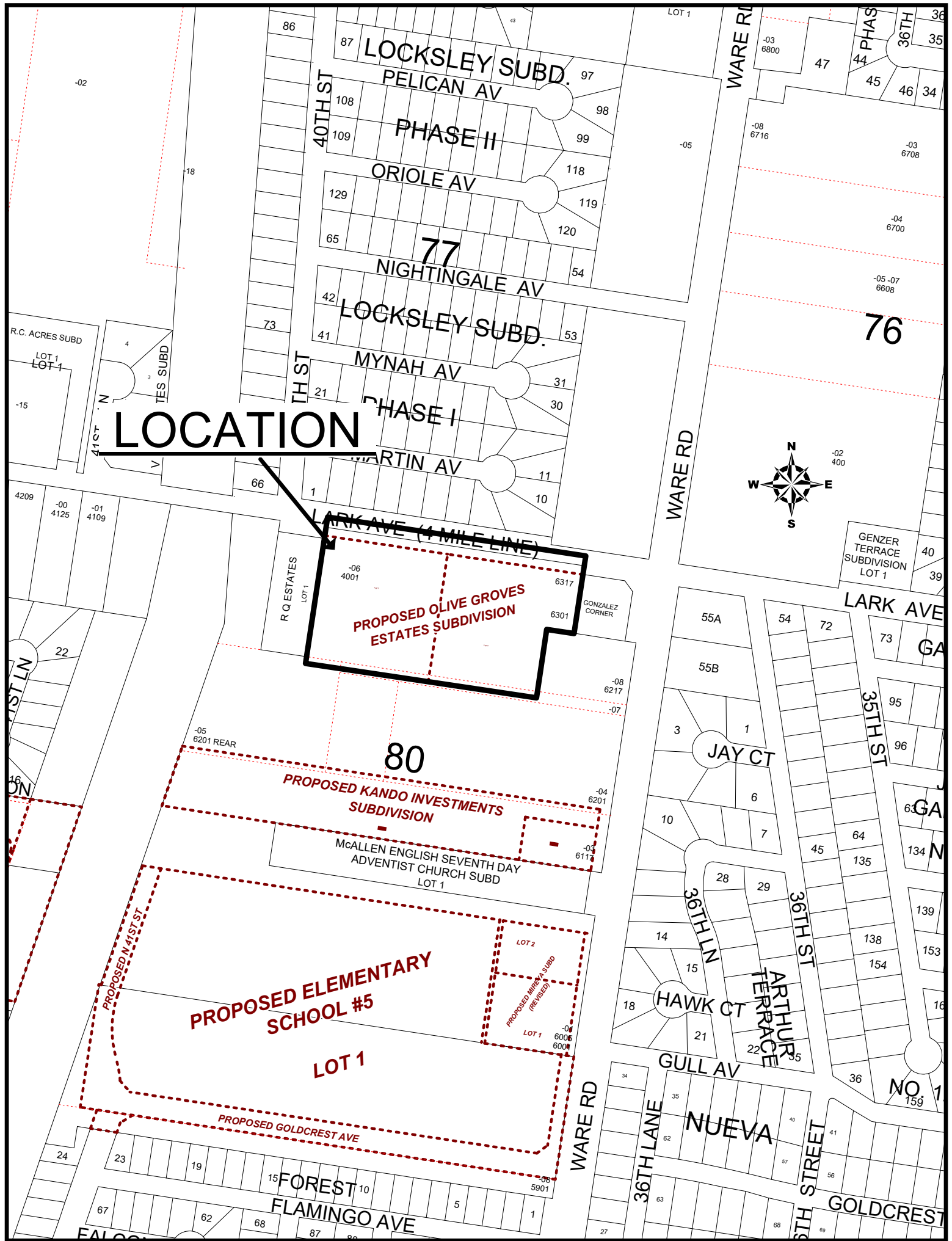
By giving the city 20 feet of additional ROW on the plat all the Anacahuillas , Mature Oak Trees, and all improvements made on the property (for security & enjoyment) will remain in the event Lark is further widened by the City of McAllen in the future.

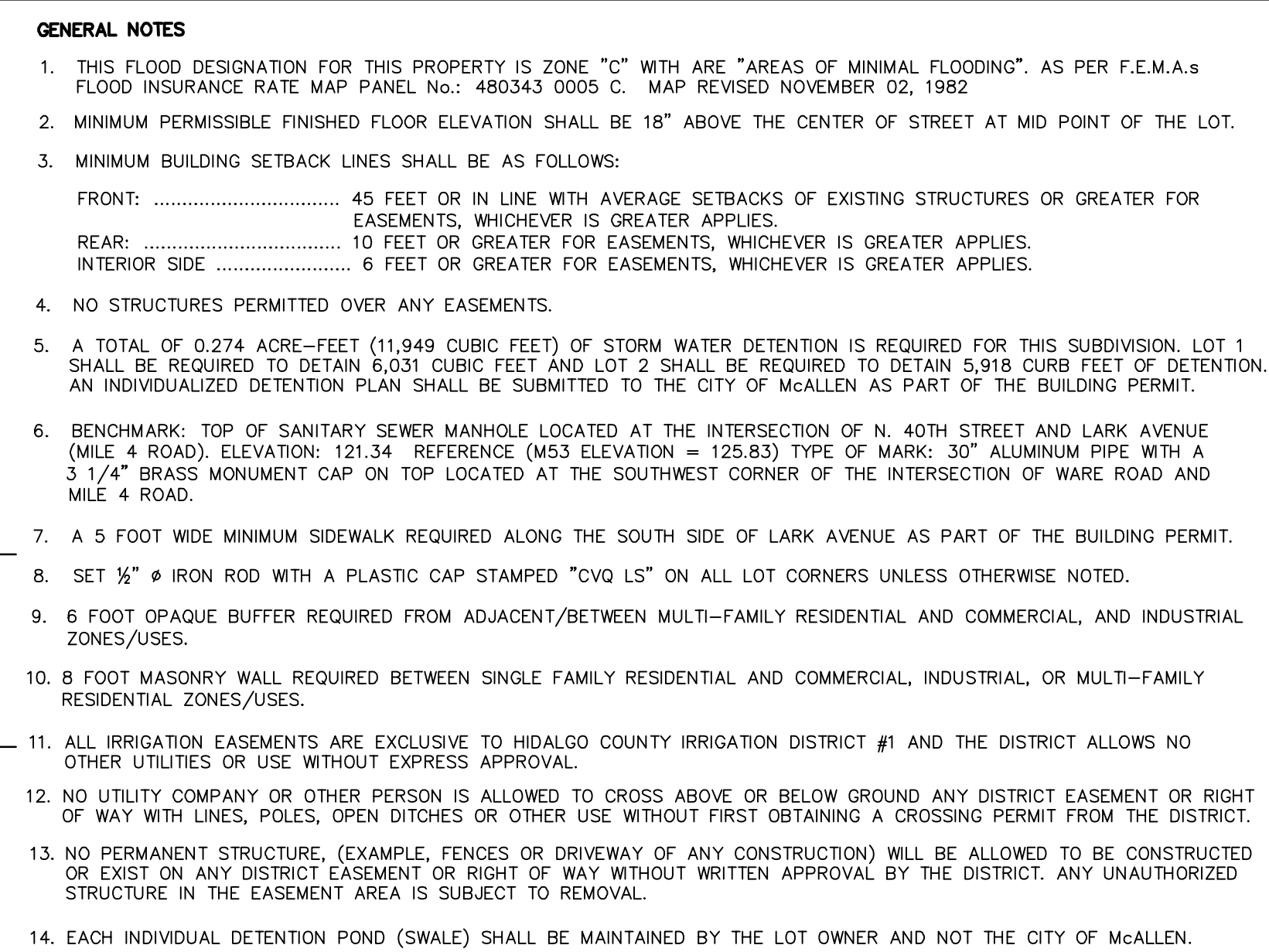
Sincerely,

A handwritten signature in dark ink, appearing to read 'Noe Gonzalez', with a stylized, somewhat scribbled appearance.

Noe Gonzalez

LOCATION





A TRACT OF LAND CONTAINING 5.96 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 24, PAGE 68, DEED RECORDS, HIDALGO COUNTY

1, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS OLIVE GROVE ESTATES SUBDIVISION PLAT, AN ADDITION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR TO BE INSTALLED TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN. ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

DATE: _____

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY _____ THE
OWNER PERSONALLY APPEARED _____ KNOWN TO
ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING
INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME
PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE
CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF
OFFICE

THIS THE _____ DAY OF _____, 2022 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES ON: _____

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E.
REGISTERED PROFESSIONAL ENGINEER NO. 74808

I, CARLOS VASQUEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

| | |
|--|----------------|
| CARLOS VASQUEZ, R.P.L.S. | DATE |
| REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4608 | |
| C.V.Q. LAND SURVEYORS, LLC | |
| 517 BEAUMONT AVE. | |
| McALLEN, TEXAS 78501 | |
| TEL. (956) 618-1551 | DATE SURVEYED: |
| TBPELS FIRM NO. 10119600 | JULY 16, 2022 |

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

| PRINCIPAL CONTACTS: | | | | |
|---------------------------------|---------------------|-------------------|----------------|--|
| NAME | ADDRESS | CITY & ZIP | PHONE # | |
| OWNER: MOUAYAD DEVELOPMENT, LLC | 400 W. CORNELL AVE. | McALLEN, TX 78504 | (956) 457-9643 | |
| ENGINEER: JAVIER HINOJOSA | 416 E. DOVE AVENUE | McALLEN, TX 78504 | (956) 668-1588 | |
| SURVEYOR: CARLOS VASQUEZ | 517 BEAUMONT AVE. | McALLEN, TX 78501 | (956) 618-1551 | |

A TRACT OF LAND CONTAINING 5.96 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 24, PAGE 68, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND SAID 5.96 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING, ON A NAIL SET WITHIN THE RIGHT-OF-WAY OF LARK AVENUE AND THE NORTH LINE OF SAID LOT 80 AND THE NORTHWEST CORNER OF LOT 1, GONZALEZ CORNER SUBDIVISION, MAP REFERENCE: DOCUMENT NUMBER 2064062, MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE S 08° 34' 29" W, ALONG THE WEST LINE OF SAID LOT 1, AT A DISTANCE OF 20.00 FEET PASS A ½" IRON ROD WITH A PLASTIC CAP STAMPED "CVQV LS" SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF SAID LARK AVENUE (MILE 4 ROAD), AT DISTANCE OF 50.00 FEET PASS A ½" IRON ROD FOUND ON THE NORTHWEST CORNER OF LOT 1 OF SAID GONZALEZ CORNER SUBDIVISION AND A TOTAL DISTANCE OF 208.71 FEET TO A ½" IRON ROD WITH A PLASTIC CAP STAMPED "CVQV LS" SET, ON THE SOUTHWEST OF SAID GONZALEZ CORNER SUBDIVISION, FOR AN OUTSIDE CORNER OF THIS TRACT;

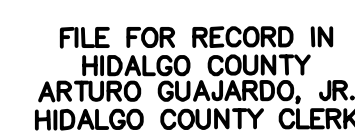
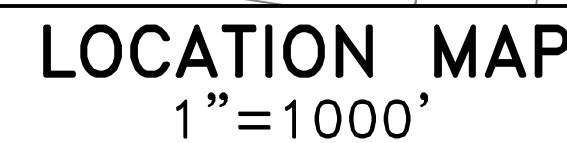
THENCE N 81° 25' 31" W, A DISTANCE OF 73.33 FEET TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE S 08° 34' 29" W, A DISTANCE OF 184.35 FEET TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" SET, ON THE NORTH LINE OF A TRACT OF LAND DEEDED TO BILL ATCHISON AND MARTHA ATCHISON, RECORDED IN DOCUMENT NUMBER 2650446, H.C.D.R., FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N 81° 25' 31" W, ALONG THE NORTH LINE OF SAID ATCHISON TRACT A DISTANCE OF 621.24 FEET TO AN IRON PIPE FOUND, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE N 08° 34' 29"E, AT A DISTANCE OF 30.10 FEET PASS A 1/2" IRON ROD FOUND ON THE SOUTHEAST CORNER OF LOT 1, R. Q. ESTATES, MAP REFERENCE: VOLUME 55, PAGE 196, MAP RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING ALONG THE EAST LINE OF SAID LOT 1, AT A DISTANCE OF 373.06 FEET PASS A 1/2" IRON WITH A PLASTIC CAP STAMPED "CVQ LS" SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF SAID LARK AVENUE (MILE 4 ROAD), AND CONTINUING A TOTAL DISTANCE OF 393.06 FEET TO A NAIL SET ON THE NORTHWEST CORNER OF SAID R.Q. ESTATES AND THE NORTH LINE OF SAID LOT 80, FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE S 81° 25' 31" E, ALONG THE WITHIN THE RIGHT-OF-WAY OF SAID LARK AVENUE (MILE 4 ROAD) AND THE NORTH LINE OF SAID LOT 80, A DISTANCE OF 694.57 FEET TO THE POINT OF BEGINNING, CONTAINING 5.96 ACRES OF LAND, MORE OR LESS.



ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY _____

DATE OF PREPARATION: AUGUST, 2022

DRAWN BY: P.GONZALEZ

416 E. DOVE AVENUE McALLEN, TEXAS 78504

PHONE (956) 668-1588
javier@javierhinojosaeng.com
TBPELS FIRM NUMBER F-1295



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/13/2023

SUBDIVISION NAME: OLIVE GROVE ESTATES SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Lark Avenue (4 Mile Line): 30 ft. ROW dedication for 50 ft. from centerline for 100 ft. ROW
Paving: 53.9 ft. Curb & gutter: Both Sides
Revisions Needed:
-Provide Document number regarding existing ROW dedication on both sides of centerline prior recording .
-Engineer/developer submitted a variance application on May 1st, 2023 requesting that the additional ROW requirement be reduced from 30 ft. to 20 ft., by this plat for 40 ft. from centerline for a future total ROW width of 80ft. Development staff has reviewed the request and recommended disapproval of the request.
*Engineer submitted a variance request in reference to the required 65 ft. paving width, and at the City Commission meeting of February 27th,2023 a variance to paving width was approved for a paving width of 53.9 ft.
***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
***Monies must be escrowed if improvements are not constructed prior to recording.

Required

Paving _____ Curb & gutter _____

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
***Monies must be escrowed if improvements are not constructed prior to recording.

NA

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

Compliance

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

NA

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial and multi-family properties.

**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 45 ft. or in line with average setbacks of existing structures or greater for easements, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

* Rear: 10 ft. or greater for easements, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

* Sides: 6 ft. or greater for easements, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

* Corner: Interior Lots

**Current subdivision layout does not propose any buildable lots abutting a street.

***Zoning Ordinance: Section 138-356

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------|
| * Garage: 18 ft. except where greater setback is required, greater setback applies. Revisions Needed: -Include note as shown above prior to recording. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Required |
| | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required along Lark Avenue. Revisions Needed: -Revise note#7 as shown above, prior to recording. **Proposing: A 5 foot wide sidewalk required along the south side of Lark Avenue as part of the building permit. **Sidewalk requirement may be increased to 5 ft. per Engineering Department, finalize note wording prior to recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. | Required |
| | Required |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| | Applied |
| | Required |
| NOTES | |
| *Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | Applied |
| | NA |
| | Applied |
| | NA |
| | NA |
| | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| LOT REQUIREMENTS | |
|--|------------|
| * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 | Compliance |
| * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 | Compliance |
| ZONING/CUP | |
| * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V | Compliance |
| * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | NA |
| PARKS | |
| * Land dedication in lieu of fee. | NA |
| * Park Fee of \$1,400 (\$700 per lot/dwelling unit) to be paid prior to recording. | Required |
| * Pending review by the City Manager Office. | NA |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation for 2 lot single family residence is waived. | Compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, Trip Generation for 2 lot single family residence is waived. | NA |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy. **License agreement request and requirements as applicable must be finalized prior to recording. ***At the Planning and Zoning Commission meeting of March 7th,2023, the subdivision was approved in Final form subject to conditions noted in the Planning Department review. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED AND CLARIFICATION OF THE REQUESTED VARIANCE FOR LARK AVENUE. | Applied |



Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB 2023-0055

| | | | | | |
|---------------------|------------------------------|--|---|--|----------------------------------|
| Project Information | Subdivision Name | <u>Proposed Brier Village Phase II</u> | | | |
| | Location | <u>Southwest corner of North Bentsen Road and Nolana Avenue</u> | | | |
| | City Address or Block Number | <u>3925 N BENTSEN RD</u> | | | |
| | Number of Lots | <u>1</u> | Gross Acres | <u>.878</u> | |
| | | | Net Acres | <u>.878</u> | |
| | | | ETJ | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| | Existing Zoning | <u>R-1</u> | Proposed Zoning | <u>R-3A</u> | |
| | | | Rezoning Applied for | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date | |
| | Existing Land Use | <u>Vacant</u> | Proposed Land Use | <u>MULTI-FAM</u> | |
| | | | Irrigation District # | <u>UID</u> | |
| | Replat | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Commercial | <input type="checkbox"/> Residential | |
| | Agricultural Exemption | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Estimated Rollback Tax Due | <u>NA</u> | |
| | Parcel # | <u>281659</u> | Tax Dept. Review | <u>EV</u> | |
| | Water CCN | <input checked="" type="checkbox"/> MPU | <input type="checkbox"/> Sharyland Water SC | Other | |
| | Legal Description | <u>Being a .0878 tract of land out of Lot 308, Joh H. Shary Subdivision, Volume 1, Page 17, Hidalgo County Map Records, City of McAllen, Hidalgo County, Texas</u> | | | |
| Owner | Name | <u>Four Stone Assets LLC</u> | | Phone | <u>956-381-0981</u> |
| | Address | <u>5111 North 10th Street</u> | | E-mail | |
| | City | <u>McAllen</u> | State | <u>TX</u> | Zip |
| Developer | Name | <u>Garman Invesments LP</u> | | Phone | <u>(956) 381-0981</u> |
| | | | | | <u>ruben@meldenandhunt.com</u> |
| | Address | <u>1804 North 23rd Street</u> | | E-mail | <u>drobles@meldenandhunt.com</u> |
| | City | <u>MCALLEN</u> | State | <u>TX</u> | Zip |
| | Contact Person | <u>Roberto Garza</u> | | | |
| Engineer | Name | <u>Melden and Hunt Inc.</u> | | Phone | <u>956-381-0981</u> |
| | | | | | <u>ruben@meldenandhunt.com</u> |
| | Address | <u>115 W. McIntyre Street</u> | | E-mail | <u>drobles@meldenandhunt.com</u> |
| | City | <u>Edinburg</u> | State | <u>TX</u> | Zip |
| | Contact Person | <u>Ruben James De Jesus and/or Della Robles</u> | | | |
| Surveyor | Name | <u>Same as Engineer</u> | | Phone | |
| | Address | | | E-mail | |
| | City | | State | | Zip |



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Date 06/03/2023

Print Name

Ruben James De Jesus R.P.L.S.,P.E

Owner ☐

Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

MAINTENANCE FACILITY 318

LOCATION

NOLANA AVE

**PROPOSED BRIER VILLAGE
SUBDIVISION
(REVISED)**

-35

PROPOSED BRIER
VILLAGE SUBD



4300/4350

N. 43RD ST

VENTANA DE

NOLANA AVE

BENTSEN ROAD

I.D. #1

308

-45

-15
3637

-22
3701

-20
3717

4325

1

32

43RD ST

RINCON

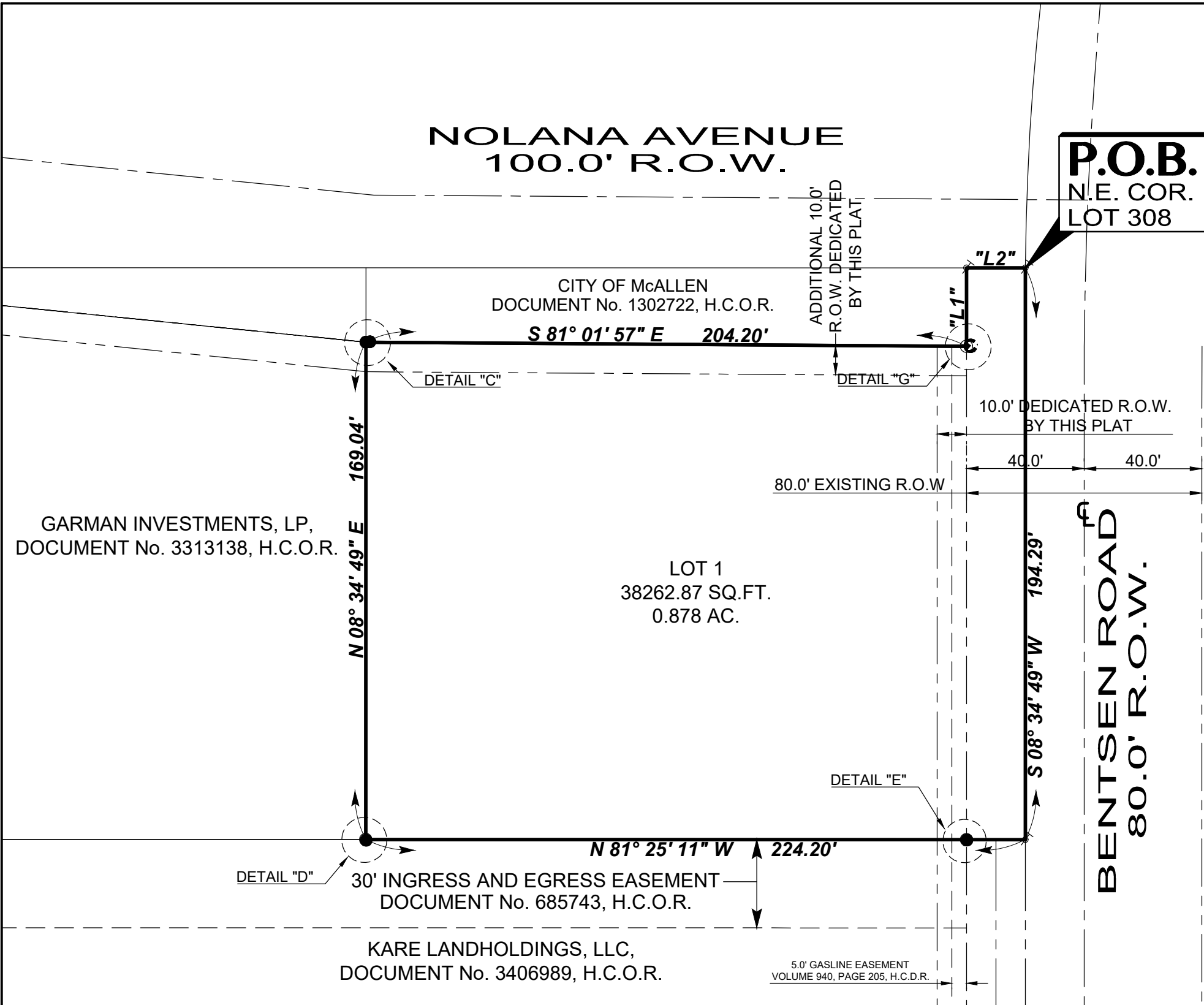
2

13

14

20' R.O.W.

HACIENDA



GARMAN INVESTMENTS, LP,
DOCUMENT No. 3313138, H.C.O.R.

LOT 1
38262.87 SQ. FT.
0.878 AC.

KARE LANDHOLDINGS, LLC,
DOCUMENT No. 3406989, H.C.O.R.

METES AND BOUNDS DESCRIPTION:

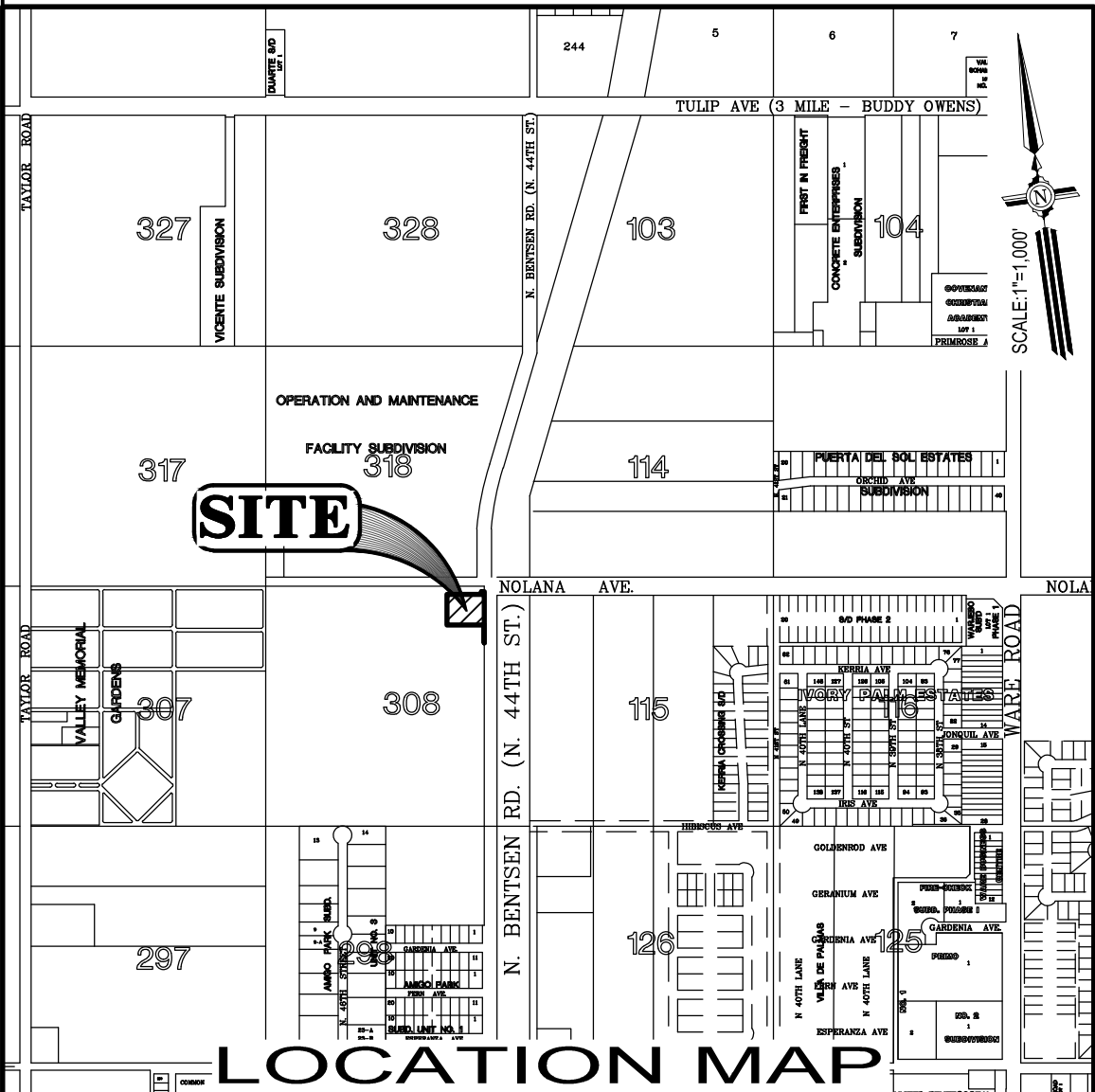
A TRACT OF LAND CONTAINING 0.878 OF ONE ACRE SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 308, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED UNDER VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS, SAID 0.878 OF ONE ACRE WAS CONVEYED TO FOUR STONES ASSETS, LLC, BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 3316172, HIDALGO COUNTY OFFICIAL RECORDS, SAID 0.878 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A NAIL SET AT THE NORTHEAST CORNER OF SAID LOT 308 AND WITHIN THE EXISTING RIGHTS-OF-WAY OF NOLANA AVENUE AND BENTSEN ROAD, FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 08° 34' 49" W ALONG THE EAST LINE OF SAID LOT 308 AND WITHIN THE EXISTING RIGHT-OF-WAY OF BENTSEN ROAD, A DISTANCE OF 194.29 FEET TO A NAIL SET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 25' 11" W AT A DISTANCE OF 40.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD FROM WHICH A NO. 4 REBAR FOUND BEARS S 26° 44' 16" E A DISTANCE OF 0.23 FEET, CONTINUING A TOTAL DISTANCE OF 224.20 FEET TO A NO. 4 REBAR SET, FROM WHICH A NO. 4 REBAR FOUND BEARS S 19° 17' 40" E, A DISTANCE OF 0.27 FEET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 34' 49" E A DISTANCE OF 169.04 FEET TO A NO. 4 REBAR SET, ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF NOLANA AVENUE, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 01' 57" E ALONG THE EXISTING SOUTH RIGHT-OF-WAY OF NOLANA AVENUE, AT A DISTANCE OF 1.34 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 204.20 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, FROM WHICH A CUT "X" IN CONCRETE FOUND BEARS S 88° 50' 26" E, A DISTANCE OF 1.37 FEET, FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, N 08° 34' 49" E, ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, A DISTANCE OF 26.63 FEET TO A NAIL SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 81° 25' 11" E A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.878 OF ONE ACRE, OF WHICH 0.089 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF BENTSEN ROAD LEAVING A NET OF 0.789 OF ONE ACRE OF LAND, MORE OR LESS.

SUBDIVISION MAP OF BRIER VILLAGE II PRIVATE SUBDIVISION

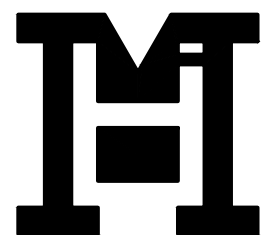
BEING A SUBDIVISION OF A 0.878 OF ONE ACRE
BEING OUT OF LOT 308,
JOHN H. SHARY SUBDIVISION
VOLUME 1, PAGE 17, H.C.M.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS



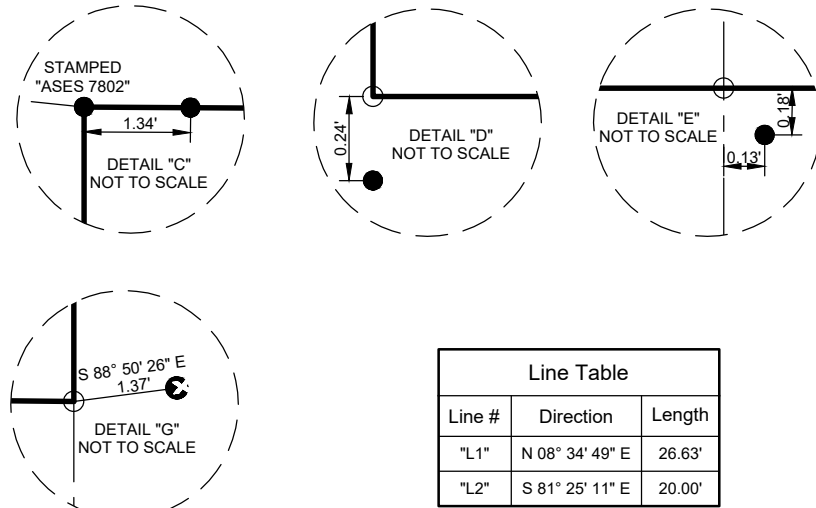
SITE

DRAWN BY: E.V.Z. DATE 06-01-23
SURVEYED, CHECKED DATE
FINAL CHECK DATE

TBPE FIRM # F-1435



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE PH: (956) 381-0881
EDINBURG, TX 78541 FAX: (956) 381-1839
ESTABLISHED 1947 www.meldenandhunt.com



| Line Table | | |
|------------|-----------------|--------|
| Line # | Direction | Length |
| "1" | N 08° 34' 49" E | 26.63 |
| "2" | S 81° 25' 11" E | 20.00 |

LEGEND

- FOUND PIPE (SIZE AS NOTED)
- FOUND "X" MARK ON CONCRETE
- FOUND NO. 4 REBAR
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- SET NAIL
- R.O.W. - RIGHT OF WAY
- N.E. COR. - NORTHEAST CORNER
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- P.O.B. - POINT OF BEGINNING

GENERAL NOTES :

- THE SITE LIES IN ZONE "C".
ZONE "C" IS DEFINED AS "AREAS OF MINIMAL FLOODING."
ZONE "C" SHOWN ON: COMMUNITY-PANEL NUMBER: 480334 0400 C
MAP REVISED-NOVEMBER 16, 1982.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:
FRONT: 20 FEET OR GREATER FOR EASEMENT OR APPROVED SITE PLAN
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN
SIDE CORNER INTERIOR SIDES: 10 FEET OR GREATER FOR EASEMENTS OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN
GARAGE : 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED: GREATER SETBACK APPLIES.
- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 33,775 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION PONDS WITH A CAPACITY OF 36,633 CUBIC FEET. WATER WILL THEN DISCHARGE THROUGH AN 36" LINE INTO AN EXISTING CITY OF McALLEN STORM SEWER NETWORK LOCATED ON THE NORTH SIDE OF THE PROPERTY.
- CITY OF McALLEN BENCHMARK: (BENTSEN) FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINN ON OCTOBER 08, 1999, BEING LOCATED INSIDE THE McALLEN PUBLIC WORKS WHICH IS IN BENTSEN RD AND SOUTH OF 3 MILE LINE. STAINLESS STEEL, 3/8" BOLT, COVERED WITH AN ALUMINUM LOGO CAP. CAP ON TOP AT ELEVATION = 123.99, NORTHING: 16614919.50858, EASTING: 10616594.29109 (NAVD88).
- NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
- 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG THE SOUTH SIDE WEST NOLANA AVENUE, AND A 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG WEST SIDE OF NORTH BENTSEN.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG WEST NOLANA AVENUE.
- SITE PLAN MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENTS PRIOR TO BUILDING PERMIT ISSUANCE.

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

CITY SECRETARY DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MY HAVE WHETHER SHOWN OR NOT.

PRESIDENT ATTEST: SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

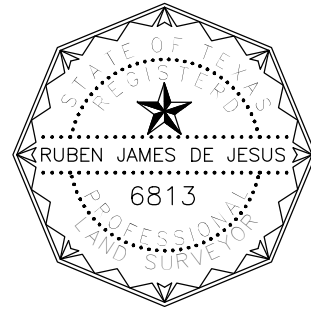
HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, RUBEN JAMES DE JESUS, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF BRIER VILLAGE II SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 06-01-2023, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

RUBEN JAMES DE JESUS, R.P.L.S. # 6813 DATE: _____
DATE SURVEYED: 06-01-2023
SURVEY JOB No. 21210.02-08



THE STATE OF TEXAS
COUNTY OF BEXAR

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BRIER VILLAGE II SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PRIVATE ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

ELSIE WALL
1934 MT Calf STREET
HOUSTON, TEXAS 77017-1621

THE STATE OF TEXAS
COUNTY OF BEXAR

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BRIER VILLAGE II SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PRIVATE ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

LORETTA WILLIAMS
P.O. BOX 10
SUNDOWN, TX 79372

THE STATE OF TEXAS
COUNTY OF BEXAR

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BRIER VILLAGE II SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PRIVATE ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

DANIEL E. PRUKOP
644 COUNTY ROAD 439
ALICE, TEXAS 78332

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ELSIE WALL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED LORETTA WILLIAMS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DANIEL E. PRUKOP, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, RUBEN JAMES DE JESUS, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RUBEN JAMES DE JESUS, P.E. # 126282 DATE: _____
DATE PREPARED: 06-01-2023
ENGINEERING JOB No. 23094.00



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET ## OF ##



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/15/2023

SUBDIVISION NAME: BRIER VILLAGE PHASE II

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Nolana Avenue: Dedication as needed for 60 ft. from centerline for 120 ft. of total ROW
Paving: 65 ft. Curb & gutter: Both sides
Revisions Needed:
-Label range of dedications, existing ROW, Etc., at various points as ROW varies, prior to final.
-Label centerline to determine final ROW dedication requirements prior to final.
-Review ROW requirements as noted above and revise plat as applicable, prior to final.
-Label existing ROW dedications, from centerline, total, etc.
-Clarify referenced dedication along Nolana Avenue by document number and provide copy of reference of recorded document prior to final.
-Label total ROW after accounting for dedication prior final.
-For lot new line along Nolana Avenue provide for solid line but not as bold as original lot line, prior to final.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

North Bentsen Road: Proposing 10 ft. dedication for 50 ft. from centerline for 100 ft. of total ROW
Paving: 65 ft. Curb & gutter: Both sides
Revisions Needed:
-ROW requirements are under review for 100 ft. Total ROW and alignment to the North, ROW requirements must be finalized prior to final.
-Label total ROW after accounting for dedication from center line prior to final
--Label total ROW after accounting for dedication from Existing ROW line across Bentsen Road, prior to final.
-For lot new line along Bentsen Road provide for solid line but not as bold as original lot line, prior to final.
-As per plat submitted subdivision to be private, please submit gate details, ROW and paving are subject to increase for gate areas, ROW and details for gate areas must be finalized prior to final.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

NA

Compliance

Applied

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| ALLEYS | |
|--|----------------|
| ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties. **Subdivision Ordinance: Section 134-106 | Non-compliance |
| SETBACKS | |
| * Front: 40 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to final. *Proposing Front: 20 feet or greater for easements or approved site plan. ****Zoning Ordinance: Section 138-356 | Non-compliance |
| * Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to final. *Proposing Rear: In accordance with the zoning ordinance or greater for easements or approved site plan ****Zoning Ordinance: Section 138-356 | Non-compliance |
| * Interior sides: 6 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to final. *Proposing :10 feet or greater for easements or approved site plan in accordance with the zoning ordinance or greater for easements or approved site plan. ****Zoning Ordinance: Section 138-356 | Non-compliance |
| * Corner: *Proposing: 10 feet or greater for easements or approved site plan in accordance with the zoning ordinance or greater for easements or approved site plan. Revisions needed: -Note to be established once subdivision layout has been finalized, finalize note wording prior to final. ****Zoning Ordinance: Section 138-356 | Non-compliance |
| * Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356 | Applied |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required on North Bentsen Road and Nolana Avenue. Revisions Needed: -Revise note as shown above prior to final. Proposing: 5ft. wide minimum sidewalk required along the south side west Nolana avenue, and 5ft. wide minimum sidewalk required along west side of north Bentsen. **5 ft. sidewalk might be required by Engineering Dept. prior to final. ***Finalize note wording requirements prior to final. ****Subdivision Ordinance: Section 134-120 | Non-compliance |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Required |

| BUFFERS | |
|--|----------------|
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: -Include note as shown above prior to final. **Note to be subject to change once subdivision layout has been finalized; may be required along N. Bentsen Road and Nolana Avenue prior to final. ***Finalize note prior to final. **Landscaping Ordinance: Section 110-46</p> | Non-compliance |
| <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: -Include note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p> | Applied |
| <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Required |
| NOTES | |
| <p>* No curb cut, access, or lot frontage permitted along Nolana Avenue. Revisions needed: -Revise note as shown above prior to final Proposing: No curb cut, access, or lot frontage permitted along West Nolana Avenue. **Note to be subject to change once subdivision layout has been established, finalize note wording prior to final. ***Must comply with City Access Management Policy ****As per Traffic Department, As per McAllen Access Management Policy, spacing requirement along Bentsen Road is 250 ft. and 360 ft. for Nolana, however, no access through Nolana Avenue will be granted.</p> | Non-compliance |
| <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Revisions Needed: -Remove note#9 as it is a requirement not a required plat note, prior to final. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development.</p> | Non-compliance |
| <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions needed: -Include note as shown above prior to final.</p> | Non-compliance |
| <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> | NA |
| <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p> | NA |

| | |
|--|----------------|
| <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> | NA |
| LOT REQUIREMENTS | |
| <p>* Lots fronting public streets.</p> <p>**Subdivision Ordinance: Section 134-1</p> | Compliance |
| <p>* Minimum lot width and lot area.</p> <p>**Zoning Ordinance: Section 138-356</p> | Compliance |
| ZONING/CUP | |
| <p>* Existing:R-1(Single Family Residential) District Proposed: R-3A (Apartment Residential) District</p> <p>**Rezoning process must be finalized before final plat approval.</p> <p>***Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final.</p> <p>***Zoning Ordinance: Article V</p> | Non-compliance |
| <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p> | Required |
| PARKS | |
| <p>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of dwelling units prior to final to establish parkland dedication requirements.</p> | TBD |
| <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Please provide number of dwelling units prior to final to establish parkland dedication requirements.</p> | TBD |
| <p>* Pending review by the City Manager's Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p> | TBD |
| TRAFFIC | |
| <p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> | Non-compliance |
| <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> | TBD |
| COMMENTS | |
| <p>Comments:</p> <ul style="list-style-type: none"> - Must comply with City's Access Management Policy. - Any abandonments must be done by separate process, not by plat. - Rezoning process must be finalized before final plat approval. - Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. - -As per plat submitted subdivision to be private, please submit gate details, ROW and paving are subject to increase for gate areas, ROW and details for gate areas must be finalized prior to final. - For private subdivision gate details must be approved by development staff. | Required |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| RECOMMENDATION | |
|---|---------|
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS. | Applied |

MAINTENANCE
FACILITY
318

LOCATION

NOLANA AVE

PROPOSED BRIER VILLAGE
SUBDIVISION
(REVISED)

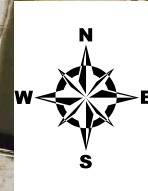
PROPOSED BRIER
VILLAGE SUBD

BENTSEN ROAD

NOLANA AVE

N. 43RD ST

VENTANA DEL C



308

3701

3637

3717

I.D. #1

20' R.O.W.

43RD ST

HACIENDA

RINCON

4325

32

13

14

2

4099

45

44

54

52

-06



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Sub 2023-0052

| | | |
|---|---|---|
| Project Information | Subdivision Name <u>McAllen South Industrial Park Phase II</u> | |
| | Location <u>South Side of FM#1016, 1700 feet west of S. 10th Street</u> | |
| | City Address or Block Number <u>1401 MILITARY HWY</u> | |
| | Number of Lots <u>8</u> | Gross Acres <u>90.63</u> Net Acres <u>90.63</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | Existing Zoning <u>I-1</u> Proposed Zoning <u>I-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ | |
| | Existing Land Use <u>Vacant</u> Proposed Land Use <u>Industrial</u> Irrigation District # <u>2</u> | |
| | Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____ | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>19,958.33</u> | |
| | Parcel # <u>644891 189325</u> Tax Dept. Review <u>Me 5/30/23</u> | |
| | Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ | |
| Legal Description <u>90.63 Acres out of Lots 3, 4, 5, 6, 11, & 12, Hidalgo Canal Co Subdivision</u> | | |
| Owner | Name <u>MSIP Affiliates LTD</u> | Phone <u>956-683-1000</u> |
| | Address <u>4316 N. 10th Street</u> | E-mail <u>mfallek@rgv.rr.com</u> |
| | City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u> | |
| Developer | Name <u>Same as Owner</u> | Phone _____ |
| | Address _____ | E-mail _____ |
| | City _____ State _____ | Zip _____ |
| | Contact Person _____ | |
| Engineer | Name <u>Spoor Engineering Consultants, Inc</u> | Phone <u>956-683-1000</u> |
| | Address <u>202 S. 4th Street</u> | E-mail <u>sec@spooreng.com</u> |
| | City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> | |
| | Contact Person <u>Steve Spoor</u> | |
| Surveyor | Name <u>CVQ Land Surveyors</u> | Phone <u>956-618-1551</u> |
| | Address <u>517 Beaumont Avenue</u> | E-mail <u>cvq@cvqlandsurvey.com</u> |
| | City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> | |
| | | |

KP



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Michael Fallick Date 05-25-23

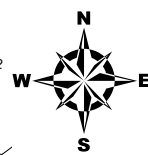
Print Name Michael Fallick

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

LOCATION

4 HIDALGO CANAL COMPANY SUBDIVISION



PROPOSED MCALLEN SOUTH

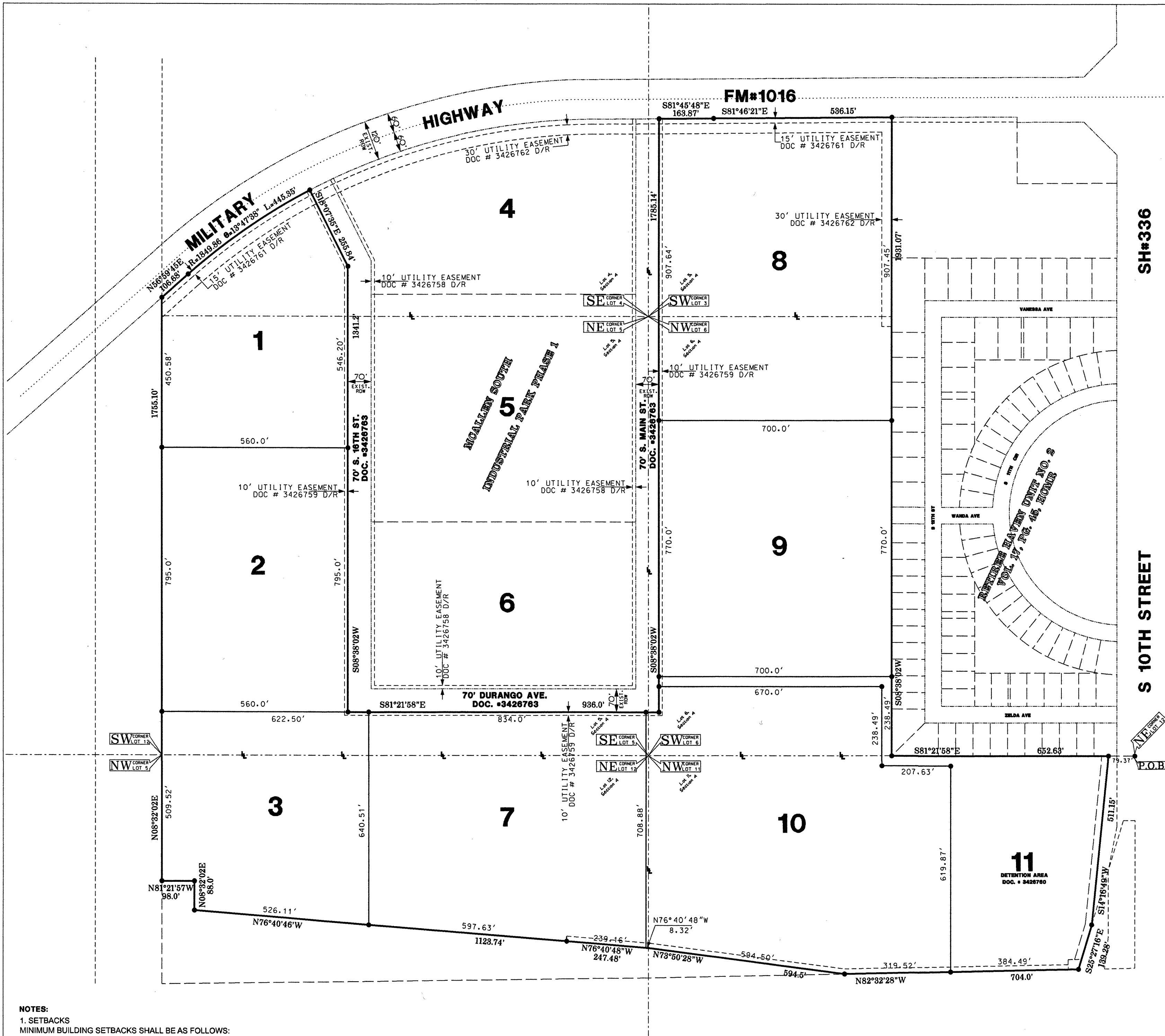
PARK PHASE 2 SUBDIVISION

INDUSTRIAL

6.10AC
TAVAMASO, INC
-00
18.68AC
TAVAMASO, INC

4.52AC
ROBSAND LLC
-00
4.08AC
ROBSAND LLC

-03
63.4AC
QOT, INC



NOTES:

1. SETBACKS
MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
A. FRONT - S. MAIN STREET - 35 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
B. REAR - S. 16TH STREET - 35 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
C. SIDE - MILITARY HIGHWAY - 60 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
D. SIDE - DURANGO AVE. - 45 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
E. OTHER SIDES - IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENT OR APPROVED SITE PLAN.
2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
3. THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP. PANEL NO. 480 343 0400 C, REVISED NOVEMBER 16, 1982. ZONE "B" IS DESCRIBED AS "AREA OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR AND 500 YEAR FLOODS. B ZONES ARE ALSO USED TO DESIGNATE BASE FLOODPLAINS OF LESSER HAZARDS, SUCH AS AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD, OR SHALLOW FLOODING AREAS WITH AVERAGE DEPTHS OF LESS THAN ONE FOOT OR DRAINAGE AREA LESS THAN ONE SQUARE MILE."
4. A 6' OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
5. 5' SIDEWALK IS REQUIRED ALONG MILITARY HIGHWAY
6. BENCHMARK - STATION NAME: MCA 98 SET BY ARANDA & ASSOC. LOCATED ON SOUTH 23RD STREET NEAR FM1016 EXIT - ELEV. 113.01 A.M.S.L.
7. OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
8. STORM WATER DETENTION OF 5.01 AC-FT IS REQUIRED FOR THIS SUBDIVISION
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
10. PRIVATE DRAINAGE SYSTEM SHALL BE OWNED AND MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF McALLEN
11. SITE PLAN APPROVAL IS REQUIRED FOR ALL LOTS.
12. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ON OR TO MILITARY HIGHWAY
13. COMMON AREAS, ANY PRIVATE STREETS, SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
14. PAVED, PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISH AT TIME OF SITE PLAN REVIEWS.

METES AND BOUNDS

A 90.63 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11, AND 12, SECTION 4, HIDALGO CANAL CO. SUBDIVISION, OF PORCIONES 64, 65, AND 66, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME I, PAGE 177, DEED RECORDS, HIDALGO COUNTY, TEXAS

BEGINNING at a point on the North Line of Lot 11, for an interior corner hereof; said point located North 81 Deg. 21 Min. 58 Sec. West, 732.0 feet from the Northeast corner of Lot 11; said point being the Southeast corner of Retiree Haven Unit No. 2, recorded in Volume 17, Page 45, Map Records, Hidalgo County, Texas

THENCE, with the North line of Lot 11 and the South line of Retiree Haven, Unit No. 2, South 81 Deg. 21 Min. 58 Sec. East, 652.63 feet to a point on the West line of South 10th Street (SH# 336) for the most southerly Northeast corner hereof;

THENCE, with the West line of South 10th Street, as follows:

1. South 14 Deg. 16 Min. 49 Sec. West, 511.15 feet; and
2. South 25 Deg. 27 Min. 16 Sec. West, 139.28 feet to a point for the Southeast corner hereof;

THENCE, North 82 Deg. 32 Min. 28 Sec. West, 704.0 feet to an angle point on the south line hereof;

THENCE, North 73 Deg. 50 Min. 28 Sec. West, 394.5 feet to an angle point on the South line hereof; said point located on the west line of Lot 11;

THENCE, North 76 Deg. 40 Min. 48 Sec. West, 247.48 feet, to an angle point on the South line hereof;

THENCE, North 76 Deg. 40 Min. 46 Sec. West, 1123.74 feet to a point the most southerly Southwest corner hereof;

THENCE, North 08 Deg. 32 Min. 02 Sec. East, 88.0 feet, to a point for an interior corner hereof;

THENCE, North 81 Deg. 21 Min. 57 Sec. West, 98.0 feet, to a point on the West line of Lot 12, for the most northerly Southwest corner hereof;

THENCE, with the west line of Lot 12, Lot 5, and Lot 4, North 08 Deg. 38 Min. 02 Sec. East, 378.53 feet pass the common west corner between Lots 12 and 5, at 1700.4 feet pass the common west corner between Lots 6 and 5, and at 1755.10 feet a point for the Northwest corner hereof; said point located on the South line of FM# 1016;

THENCE, with the South line of Military Highway, North 56 Deg. 59 Min. 45 Sec. East, 106.68 feet to the point of beginning of a curve to the right, for a point on the North line hereof;

THENCE, continue with the South line of Military Highway, with said curve to the right, in a northeasterly direction, on a radius of 1849.86 feet, through an arc of 13 Deg. 47 Min. 38 Sec., and at a distance of 445.35 feet to end of curve for a point on the North line hereof;

THENCE, South 18 Deg. 07 Min. 35 Sec. East, 255.84 feet to an angle point on the most westerly West line hereof;

THENCE, parallel to the east line of Lot 5, South 08 Deg. 38 Min. 02 Sec. West, 1341.2 feet to a point for an interior corner hereof;

THENCE, parallel to the South line of Lot 5, South 81 Deg. 21 Min. 58 Sec. East, 936.0 feet to a point for an interior corner hereof;

THENCE, parallel to the east line of Lot 5 and 4, North 08 Deg. 38 Min. 02 Sec. East, at 1190.52 feet pass the North line of Lot 5, and at 1785.14 feet a point on the South line of FM# 1016, for the most northerly Northwest corner hereof;

THENCE, with the south line of FM# 1016 as follows:

1. South 81 Deg. 45 Min. 48 Sec. East, 163.87 feet; and
2. South 81 Deg. 46 Min. 21 Sec. East, 536.15 feet; to a point for the most northerly Northeast corner hereof;

THENCE, parallel to the west line of Lot 3, South 08 Deg. 38 Min. 02 Sec. West, at 422.0 feet pass the Northwest corner of Retiree Haven Unit No. 2, at 590.56 feet pass the North line of Lot 6, and at 1931.07 feet the POINT OF BEGINNING, containing, 90.63 acres of land, more or less.

SURVEY MONUMENT LEGEND

- SET ROD WITH PLASTIC CAP
- SET NAIL
- FOUND ROD
- FOUND NAIL
- FOUND PIPE



MCALLEN SOUTH INDUSTRIAL PARK PHASE II

A 90.63 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11, & 12, SECTION 4, HIDALGO CANAL CO. SUBDIVISION OF PORCIONES 64, 65, AND 66 HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME Q, PAGE 177, DEED RECORDS, HIDALGO COUNTY, TEXAS.

COUNTY CLERK'S RECORDING CERTIFICATE



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____ AM / PM
DOCUMENT NUMBER: _____
OF MAP RECORDS OF HIDALGO COUNTY
BY: _____ DEPUTY: _____

**STATE OF TEXAS
COUNTY OF HIDALGO**

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS MCALLEN SOUTH INDUSTRIAL PARK PHASE II SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN. ALL THE SAME FOR THE PUPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF, OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

MSIP AFFILIATES, LTD.
a Domestic limited partnership

Michael Fallek, Registered Agent
4316 N. 10th Street
McAllen, Texas 78504

**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL FALLEK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS, THE _____ DAY OF _____, 2023

MY COMMISSION EXPIRES: _____

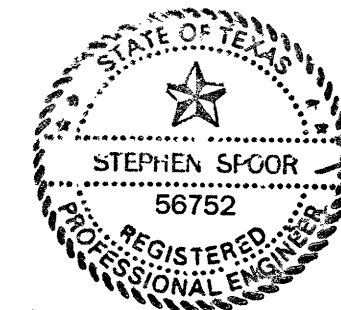
NOTARY PUBLIC FOR THE STATE OF TEXAS

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, CARLOS VASQUEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AND ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



Stephen Spoor
Registered Professional Engineer
P.E. Registration No. 56752

**STATE OF TEXAS
COUNTY OF HIDALGO**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

Raul E. Sesin, P.E., C.F.M.
General Manager

**STATE OF TEXAS
COUNTY OF HIDALGO**

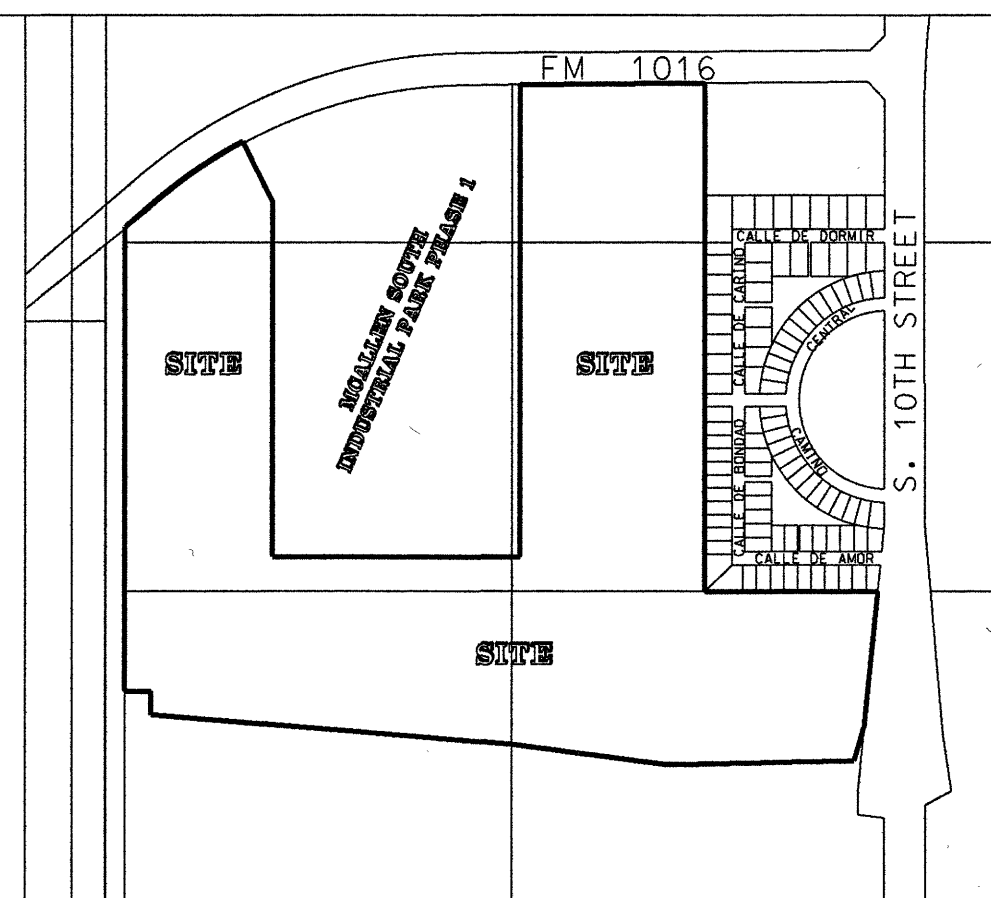
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION Date

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN Date



LOCATION MAP

Prepared by:
Spoor Engineering Consultants, Inc.

Consulting Engineers - Civil Land Planning

FIRM # F-6003

202 South 4th. Street McAllen, Texas 78501

SEC@spooreng.com (956) 683 1000





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/16/2023

| SUBDIVISION NAME: MCALLEN SOUTH INDUSTRIAL PARK PHASE II | |
|---|----------------|
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| <p>Military Highway (F.M. 1016): Dedication as needed for 75 feet from centerline for 150 feet total ROW. Paving: 65-105 ft. Curb & gutter: Both sides Revisions Needed: - Provide for dedication as noted above on plat prior to final. - Label Centerline, existing ROW dedications, from centerline, total, etc. on both sides. prior to final. - Revise all street name references as shown above prior to final. - Please provide how existing ROW was dedicated on plat prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p> | Non-compliance |
| <p>South 10th Street: Dedication as needed for 75 ft. from centerline for 150 ft. total ROW Paving: By the state Curb & gutter: By the State Revisions Needed: - Current subdivision layout does not provide ROW details. - Label existing ROW dedications, from centerline, total, etc. on both sides. - Show ROW for South 10th Street to establish ROW dedication requirements prior to final. - Revise all street name references as shown above prior to final. - Please provide how existing ROW was dedicated on plat prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p> | Non-compliance |
| <p>South 16th Street: 70 ft. ROW Paving: Min 40 ft. Curb & gutter: both sides Pending Items: Provide a copy of referenced document for dedication by separate instrument, prior to final, additional ROW requirements may be applied once submitted documents have been reviewed, finalize prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p> | Non-compliance |
| <p>Durango Avenue: 70 ft. ROW Paving: Min 40 ft. Curb & gutter: both sides Pending Items: Provide a copy of referenced document for dedication by separate instrument, prior to final, additional ROW requirements may be applied once submitted documents have been reviewed, finalize prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p> | Non-compliance |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------------|
| <p>South Main Street : 70 ft. ROW Paving: Min 40 ft. Curb & gutter: both sides Pending Items: Provide a copy of referenced document for dedication by separate instrument , prior to final, additional ROW requirements may be applied once submitted documents have been reviewed, finalize prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p> | Non-compliance |
| <p>* 1,200 ft. Block Length. Revision needed: -Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 1200 ft. maximum block length requirement. **Subdivision Ordinance: Section 134-118</p> | Non-compliance |
| <p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p> | NA |
| <p>* 600 ft. Maximum Cul-de-Sac . **Subdivision Ordinance: Section 134-105</p> | NA |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial, industrial, and multi-family properties. Revisions Needed: -If proposing a note deferring service drive in lieu of alley to site plan stage note wording Please provide plat note "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the city of McAllen." Finalize Private Service Drive Easement requirements prior to final. **Private Access Service Drive Easement must be minimum 24 ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements **Proposing note: Paved, private service drive easement will be established at time of site plan reviews. Finalize note wording prior to final. **Subdivision Ordinance: Section 134-106</p> | Non-compliance |
| SETBACKS | |
| <p>* Front Proposing: S. Main Street: 35 feet or greater for approved site plan or easement. Revisions needed: -Clarify front setback requirements for lots fronting Durango and S.16th Street, front setbacks for all lots will need to be established prior to final. ** Finalize setbacks prior to final, Once finalized plat note should include or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>* Rear Proposing: S.16th Street-35 feet or greater for approved site plan or easement. Revisions needed: -Clarify proposed setback prior to final as it being applied to the rear setback requirements however references a street, finalize prior to final. -Rear setbacks for all lots will need to be established prior to final. ** Finalize setbacks prior to final, Once finalized plat note should include or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> | Non-compliance |

| | |
|---|----------------|
| <p>* Sides Proposing: Military Highway:60 feet or greater for approved site plan or easement. Durango Avenue:45feet or greater for approved site plan or easement. Other Sides: In accordance with the zoning ordinance or greater for easement or approved site plan. Revisions needed: -Clarify proposed setback prior to final as it is only referencing to two streets however other side setbacks remain to be established, finalize prior to final. Proposed side setbacks(Military Highway) may be applied for corner setback requirements finalize prior to final. -Side setbacks for all lots will need to be established prior to final. ** Finalize setbacks prior to final, Once finalized plat note should include or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>* Corner: Proposing: Sides Military Highway:60 feet or greater for approved site plan or easement. Durango Avenue:45feet or greater for approved site plan or easement. Revisions needed: -Clarify proposed setback prior to final as it is only referencing to two streets however other corner side setbacks remain to be established, finalize prior to final. Proposed side setbacks may be applied for corner setback requirements finalize prior to final. -Corner setbacks will need to be established prior to final. ** Finalize setbacks prior to final, Once finalized plat note should include or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>* Garage: Industrial Development. **Zoning Ordinance: Section 138-356</p> | NA |
| <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| SIDEWALKS | |
| <p>* 5 ft. wide minimum sidewalk required on Military Highway (F.M.1016) and South 10th Street. Revisions Needed: -Revise plat as noted above ***5 ft. sidewalk required on Military Highway as per Engineering Department. ***For McAllen South Industrial Park Phase I the Planning and Zoning Board approved a variance to not provide sidewalks along South 16th Street and Durango Avenue subject to prohibit street parking on both sides of the streets at their April 6, 2021 meeting. City Commission approved variance on the April 26, 2021 meeting subject to the conditions recommended by Planning and Zoning Board. Subsequently a revised plat was submitted on February 8th,2022; with a variance submittal regarding the required sidewalk requirements for South Main Street(not part of original request) proposing to not include sidewalks along interior streets. At the Planning and Zoning Commission meeting of April 19, 2022, the Board recommended approval of the variance request to the sidewalk requirement for interior streets and City Commission approved the variance request on June 27, 2022. * Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Non-compliance |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and as may be required by ordinance. Revisions Needed: -Finalize note wording as may be required prior to final. **A buffer shall be provided to screen refuse areas (including refuse dumpsters, compactors and contained compactors), outdoor storage areas and loading docks from public streets. **Landscaping Ordinance: Section 110-46</p> | Non-compliance |

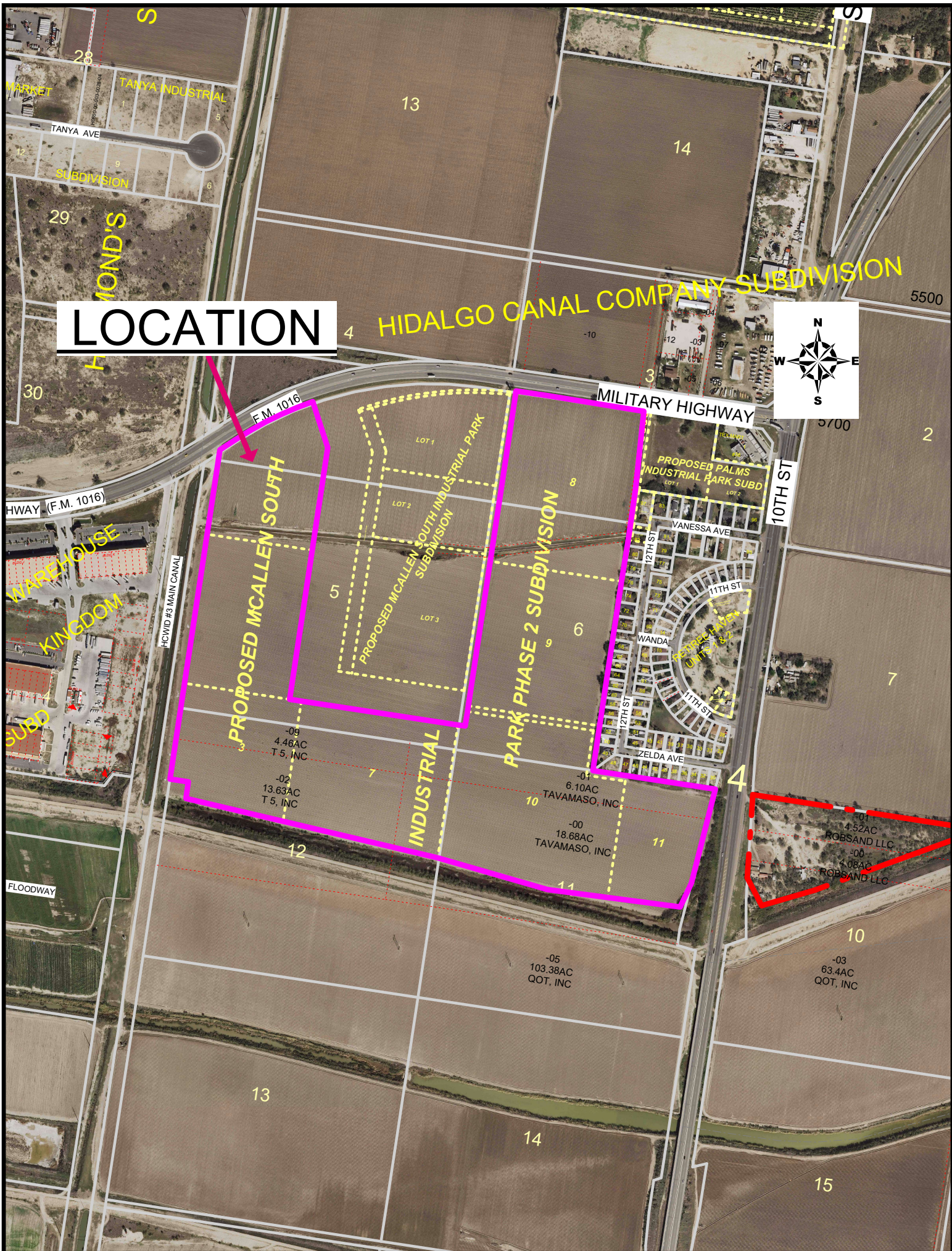
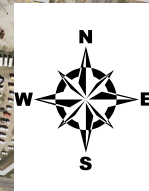
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| | Required |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along Military Highway(F.M.1016) and South 10th Street. Revisions Needed: <ul style="list-style-type: none"> -Revise note #12 as shown above prior to final. **Proposing: No curb cut, access, or lot frontage permitted on or to Military Highway. ***Must comply with City Access Management Policy | Non-compliance |
| <ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Revisions needed: <ul style="list-style-type: none"> -Remove plat note #11 as it is a requirement not a required plat note, prior to final. | Non-compliance |
| <ul style="list-style-type: none"> * Proposing: Common Areas, any private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen. Revision needed: <ul style="list-style-type: none"> -In reference to service drive include "Private", finalize prior to final. **Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final. | Non-compliance |
| <ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | Applied |
| <ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | NA |
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. Revisions needed: <ul style="list-style-type: none"> -Provide dimension of lot frontage of Lot 11 along South Main Street , prior to final. **Subdivision Ordinance: Section 134-1 | TBD |
| <ul style="list-style-type: none"> * Minimum lot width and lot area. Revisions needed: <ul style="list-style-type: none"> -Provide dimension of lot frontage of Lot 11 along South Main Street , prior to final. **Zoning Ordinance: Section 138-356 | TBD |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------------|
| ZONING/CUP | |
| * Existing: I-1(Light Industrial) District Proposed: I-1(Light Industrial) District ***Zoning Ordinance: Article V | Compliance |
| * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | NA |
| PARKS | |
| * Land dedication in lieu of fee. As per application dated May 26,2023 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks. | NA |
| * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated May 26,2023 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks. | NA |
| * Pending review by the City Manager's Office. As per application dated May 26,2023 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks. | NA |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS. | Applied |

LOCATION





City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

| | | |
|---|--|--------------------------------|
| Project Information | Subdivision Name <u>SILVERADO MOON SUBDIVISION</u> | |
| | Location _____ | |
| | City Address or Block Number <u>8100 N TAYLOR RD</u> | |
| | Number of Lots <u>121</u> Gross Acres <u>24.54</u> Net Acres <u>N/A</u> ETJ <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | |
| | Existing Zoning <u>ETJ</u> Proposed Zoning <u>ETJ</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u>J.H. 06-02-23</u> | |
| | Existing Land Use <u>VACANT</u> Proposed Land Use <u>Single family</u> Irrigation District # <u>UD</u> | |
| | Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <input checked="" type="checkbox"/> _____ | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due _____ | |
| | Parcel # _____ Tax Dept. Review _____ | |
| | Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____ | |
| <small>BEING A 24.54 ACRE TRACT OF LAND OUT OF LOT 417, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP THEREOF RECORDED IN VOLUME 1, PAGE 17, AND 42 AND VOLUME 28, PAGE 150, MAP RECORDS, HIDALGO COUNTY, AND ALL OF LOT 1 OF MINERVA SUBDIVISION, AS PER MAP THEREOF RECORDED IN VOLUME 28, PAGE 150, MAP RECORDS, HIDALGO COUNTY</small> | | |
| Owner | Name <u>FORTIS LAND COMPANY, LLC</u> | Phone <u>(956)-292-0008</u> |
| | Address <u>222 WEST UNIVERSITY DRIVE</u> | E-mail <u>OMAR@OGBUILD.COM</u> |
| | City <u>EDINBURG</u> State <u>TX</u> Zip <u>78579</u> | |
| Developer | Name <u>FORTIS LAND COMPANY, LLC</u> | Phone <u>(956)-292-0008</u> |
| | Address <u>222 WEST UNIVERSITY DRIVE</u> | E-mail <u>OMAR@OGBUILD.COM</u> |
| | City <u>EDINBURG</u> State <u>TX</u> Zip <u>78579</u> | |
| | Contact Person <u>OMAR GARCIA</u> | |
| Engineer | Name <u>RIO DELTA ENGINEERING</u> | Phone <u>956 380 5152</u> |
| | Address <u>921 S. 10TH AVENUE</u> | E-mail _____ |
| | City <u>EDINBURG</u> State <u>TX</u> Zip <u>78539</u> | |
| | Contact Person <u>IVAN GARCIA P.E., R.P.L.S.</u> | |
| Surveyor | Name <u>RIO DELTA ENGINEERING</u> | Phone <u>956-380-5152</u> |
| | Address <u>921 S. 10TH AVENUE</u> | E-mail _____ |
| | City <u>EDINBURG</u> State <u>TX</u> Zip <u>78539</u> | |

KF

JUN 02 2023
 BY: Nm/Cw

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

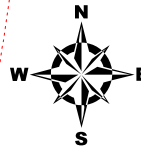
Signature  Date 5/12/23

Print Name Omar Garcia

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

LOCATION



SILVERADO MOON SUBDIVISION

A 24.54 ACRES TRACT OF LAND, MORE OR LESS, OUT OF LOT 417, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE, 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 24.54 ACRES TRACT BEING THE SAME LAND DESCRIBED IN THE FOLLOWING WARRANTY DEEDS:
 1) FROM SANJUAN, LLC TO FORTIS LAND COMPANY, LLC, DATED JANUARY 11, 2023, RECORDED IN DOCUMENT #3412710 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS
 2) FROM SANDRA J. WOMACK AND CANDACE L. MCCOY TO SANJUAN, LLC, DATED OCTOBER 4, 2016, RECORDED IN DOCUMENT #2890550 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS

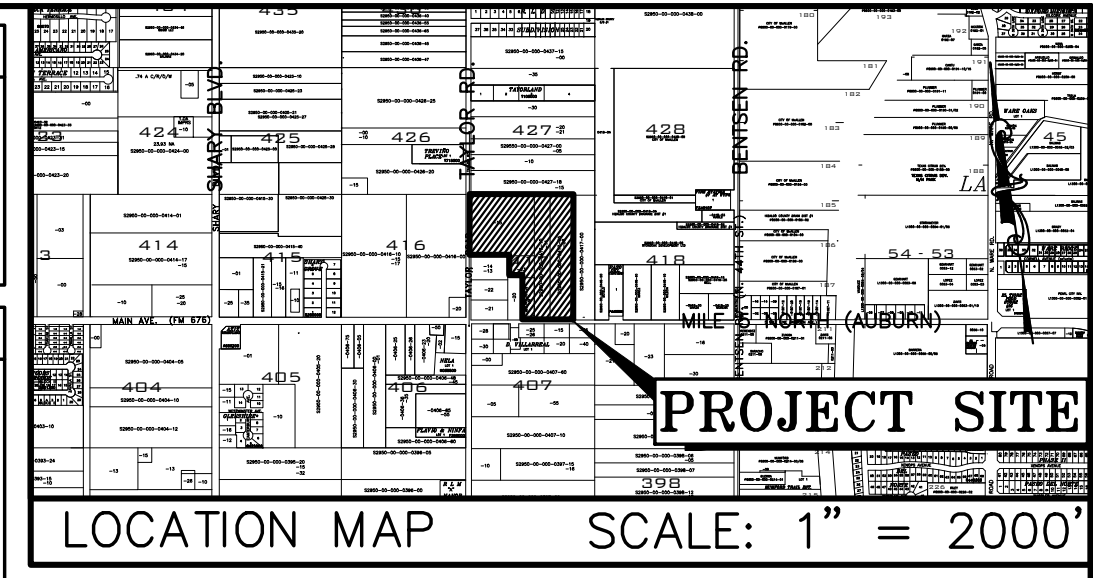
MARIA DEL CARMEN FERNANDEZ SANCHEZ
 LOT 416
 0.760 ACRES
 JOHN H. SHARY SUBDIVISION
 VOL. 1, PG. 17, M.R.H.C.
 DOC# 2948102, D.R.H.C.

SHARYLAND I.S.D. 16.50 ACRES
 LOT 416
 JOHN H. SHARY SUBDIVISION
 VOL. 1, PG. 17, M.R.H.C.
 DOC#361750, D.R.H.C.

SCALE 1" = 100'
 BASIS OF BEARING
 TEXAS STATE PLANE COORDINATES
 NAD 83
 TEXAS SOUTH ZONE (4205)
 WESTERN DATA SYSTEMS NETWORK

| LEGEND | |
|--------|-----------------------------|
| ○ | SET 1/2 INCH IRON ROD |
| ● | FOUND 1/2 INCH IRON ROD |
| ▲ | FOUND COTTON PICKER SPINDLE |
| △ | SET COTTON PICKER SPINDLE |
| XXXX | NATURAL GROUND |
| ○ | CALCULATED POINT |
| ○ | CAPPED IRON ROD SET |

| ABBREVIATION LEGEND | |
|---------------------|---------------------|
| R.O.W. | RIGHT-OF-WAY |
| P.O.B. | POINT OF BEGINNING |
| P.O.C. | POINT OF COMMENCING |
| S.W.C. | SOUTHWEST CORNER |
| F.T. | FARM TRACT |
| F.M. | FARM-TO-MARKET |
| U.E. | UTILITY EASEMENT |
| C.L. | CENTER LINE |
| L.T. | LOT LINE |



METES AND BOUNDS DESCRIPTION

A 24.54 ACRES TRACT OF LAND, MORE OR LESS, OUT OF LOT 417, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE, 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 24.54 ACRES TRACT BEING THE SAME LAND DESCRIBED IN THE FOLLOWING WARRANTY DEEDS:

1) FROM SANJUAN, LLC TO FORTIS LAND COMPANY, LLC, DATED JANUARY 11, 2023, RECORDED IN DOCUMENT #3412710 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS
 2) FROM SANDRA J. WOMACK AND CANDACE L. MCCOY TO SANJUAN, LLC, DATED OCTOBER 4, 2016, RECORDED IN DOCUMENT #2890550 OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS

SAID 24.54 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/2-INCH IRON ROD FOUND AT THE SOUTHWEST CORNER OF A CALLED 1.46 ACRES TRACT CONVEYED TO RGV PARTNERS, LLC, DESCRIBED IN DOCUMENT # 1978999 SAME BEING A POINT ON THE CENTERLINE OF MILE 5 N. ROAD (F.M. 676), OF HIDALGO COUNTY, TEXAS;

THENCE, N 81°28'53" W ALONG THE SOUTH BOUNDARY LINE OF SAID 1.46 ACRE TRACT, PASSING AT 26.26 FEET A 1/2-INCH IRON ROD FOUND ON THE SOUTH BOUNDARY LINE OF THE SAID 1.46 ACRE TRACT, CONTINUING FOR A TOTAL DISTANCE OF 137.13 FEET TO A 1/2-INCH IRON ROD FOUND, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, AND THE POINT OF BEGINNING;

THENCE, N 81°20'50" W ACROSS THE SAID LOT 417, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, PASSING AT 303.51 FEET A 1/2-INCH CAPPED IRON ROD FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 529.71 FEET TO 1/2-INCH IRON ROD FOUND, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 8°39'10" W ACROSS THE EAST BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, SAME BEING THE WEST BOUNDARY LINE OF A CALLED 7.24 ACRES TRACT CONVEYED TO SIVAD ENTERPRISE, INC., DESCRIBED IN DOCUMENT #1272330, DEED RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 1304.00 FEET TO A 1/2-INCH IRON ROD SET, BEING A POINT ON THE SOUTH BOUNDARY LINE OF A CALLED 0.87 ACRE TRACT CONVEYED TO RODNEY C. WOMACK, DESCRIBED IN DOCUMENT #1445547, DEED RECORDS OF HIDALGO COUNTY, TEXAS, AND SAME POINT BEING THE NORTHEAST CORNER FOR THE HEREIN DESCRIBED TRACT;

THENCE, S 81°20'50" E ALONG THE NORTH BOUNDARY LINE OF THE SAID LOT 417, SAME BEING THE SOUTH BOUNDARY LINE OF LOT 427, JOHN H. SHARY SUBDIVISION, SAME BEING THE NORTH BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 1081.81 FEET TO A 1/2-INCH IRON ROD SET, FOR A POINT ALONG THE CENTERLINE OF TAYLOR RD. FOR THE NORTHWEST CORNER OF LOT 17 OF JOHN H. SHARY SUBDIVISION, SAME BEING THE NORTHERLY NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 8°39'10" E ALONG THE CENTERLINE OF TAYLOR ROAD, SAME BEING ALONG THE WEST BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 632.50 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE SOUTHERLY NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 81°20'50" W ACROSS THE SAID LOT 417, SAME BEING THE NORTH BOUNDARY LINE OF A CALLED RUBEN VALDEZ SUBDIVISION, DOCUMENT #1535339, MAP RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 414.00 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 8°39'10" E ALONG THE EAST BOUNDARY LINE OF RUBEN VALDEZ SUBDIVISION, SAME BEING A WEST BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 210.50 FEET TO A 1/2-INCH CAPPED IRON ROD FOUND, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 81°20'50" W ACROSS THE SAID LOT 417, SAME BEING THE NORTH BOUNDARY LINE OF A CALLED 1.46 ACRE TRACT CONVEYED TO RGV PARTNERS, LLC, DESCRIBED IN DOCUMENT #1978999, DEED RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 137.89 FEET TO A 1/2-INCH CAPPED IRON ROD FOUND, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 8°39'10" E ALONG THE EAST BOUNDARY LINE OF THE SAID 1.46 ACRE TRACT, SAME BEING THE EASTERLY WEST BOUNDARY LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 461.00 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 24.54 ACRES OF LAND, MORE OR LESS, OUT OF WHICH 0.468 ACRES LIES WITHIN THE RIGHT-OF-WAY OF MILE 5 N. ROAD (F.M. 676), INCLUDING 0.331 ACRES LIES WITHIN THE RIGHT-OF-WAY OF TAYLOR ROAD.

GENERAL PLAT NOTES:

- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT.
- THE CORNER PINS ALONG AUBURN AVE. (MILE 5 NORTH) FOR LOTS 84, 85, 86, 87, 88, 89, AND 90 ARE SET WITH AN OFF-SET OF 2 FT. INTO THE LOTS.
- THE CORNER PINS ALONG TAYLOR RD. FOR LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, AND 10 ARE SET WITH AN OFF-SET OF 2 FT. INTO THE LOTS.
- MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
 FRONT: 20 FT. OR GREATER FOR EASEMENTS. (AS APPROVED BY CITY COMMISSION ON NOVEMBER 27TH, 2018)
 REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR, GREATER FOR EASEMENTS, EXCEPT 25 FT. FOR DOUBLE FRONTING LOTS.
 INTERIOR SIDES: 5 FT. OR GREATER FOR EASEMENTS. (AS APPROVED BY CITY COMMISSION ON NOVEMBER 27TH, 2018)
 CORNER: 10 FT. OR GREATER FOR EASEMENTS.
 GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.

- THE SUBDIVISION IS IN ZONE "X" (NON-SHADED), AREAS DETERMINED OF MINIMAL FLOODING. (NO SHADING) MAP COMMUNITY PANELS NO.: 480334 0295 D MAP REVISED: JUNE 6, 2000.
- A DRAINAGE DETENTION OF 86.51 OF OR 1986 ACRE FEET IS REQUIRED FOR THIS SUBDIVISION. CURRENT RUNOFF WILL BE DETAINED IN COMMON LOT "A". COMMON LOT "A" WILL BE DESIGNATED FOR DETENTION PURPOSES ONLY. DETENTION SHALL COMPLY WITH MASTER DRAINAGE PLAN. THE CITY OF MCALLEN WILL NOT MAINTAIN DETENTION AREA.
- ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER PLAN.
- EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE CITY OF MCALLEN TO HAVE A 25'X25" SIDE OBSTRUCTION EASEMENT AT STREET INTERSECTIONS MEASURED FROM STREET CURB INTERSECTION.
- MINIMUM 4 FT. WIDE SIDEWALK REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS, EXCEPT SIDEWALKS ARE NOT REQUIRED ON LOTS 88, 89, 2, AND 3. 5 FT. WIDE SIDEWALK REQUIRED ON AUBURN AVE.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG AUBURN AVE. (MILE 5 NORTH) AND NORTH TAYLOR ROAD.
- CITY OF MCALLEN BENCHMARK (MC47) A 30" ALUMINUM PIPE WITH A 3X" BRASS MONUMENT CAP ON TOP. LOCATED APPROXIMATELY 29 FEET EAST TAYLOR ROAD AND 650 FEET NORTH OF MILE 5. NORTHING:1081100.603350 EASTING:16628009.54221 ELEV.=140.02
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES AND ALONG AUBURN AVE. (MILE 5 NORTH).
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- ALL UTILITY AND DRAINAGE EASEMENTS TO BE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- THIS SUBDIVISION IS SUBJECT TO A BLANKET EASEMENT RESERVATION IN FAVOR OF UNITED IRRIGATION DISTRICT AS SET FORTH IN DEED DATED SEPTEMBER 22, 1920, RECORDED IN DOCUMENT # 1140166, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT-OF-WAY WITHIN THE LOT LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT, ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.

- AS PER DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR SILVERADO MOON SUBDIVISION, RECORDED AS DOCUMENT NUMBER 10194027, THE CITY OF MCALLEN, TEXAS, DOES NOT HAVE ANY INTEREST IN THE SUBDIVISION, INCLUDING BUT NOT LIMITED TO THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
- COMMON LOT A, IDENTIFIED AS A DETENTION AREA SHALL BE MAINTAINED BY THE DEVELOPER, WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, SILVERADO MOON HOMEOWNERS' ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF MCALLEN, NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERECTED IN COMMON LOT A, WHICH SHALL BE USED EXCLUSIVELY AS A DETENTION AREA. AFTER COMMON LOT A'S TRANSFER OF TITLE TO THE SILVERADO MOON HOMEOWNERS' ASSOCIATION THE SUBDIVISION LOT OWNER'S PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE SILVERADO MOON HOMEOWNER'S ASSOCIATION, FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF MCALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(d), AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOT A, THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION, RECORDED IN INSTRUMENT NO. 6496, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

OWNER'S ACKNOWLEDGMENT

STATE OF TEXAS
 COUNTY OF HIDALGO
 I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE SILVERADO MOON SUBDIVISION, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF MCALLEN AND THOSE WHO MAY NOW OR HEREINAFTER HOLD FRANCHISE UNDER SAID CITY. THE USE OF THE STREETS, ALLEYS, AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREETS AND ALLEYS ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, TO THE EMPLOYEES OF THE UTILITY OPERATING UNDER FRANCHISE TO THE CITY OF MCALLEN, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. ADDITIONAL PUBLIC RIGHT-OF-WAY FOR AUBURN AVE. (MILE 5 NORTH) IS BEING DEDICATED BY THIS PLAT.

OMAR GARCIA (MANAGING MEMBER) DATE
 FORTIS LAND COMPANY, LLC
 222 WEST UNIVERSITY DRIVE
 EDINBURG, TEXAS 78539

STATE OF TEXAS
 COUNTY OF HIDALGO
 BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OMAR FELIPE GARCIA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, 2023.

NOTARY PUBLIC IN AND FOR THE
 STATE OF TEXAS
 MY COMMISSION EXPIRES ____

SHARYLAND WATER SUPPLY CORPORATION

I, SHERILYN DAHLBERG, HEREBY CERTIFY THAT SHARYLAND WATER SUPPLY CORPORATION HAS APPROVED THE POTABLE WATER INFRASTRUCTURE FOR THE SILVERADO MOON SUBDIVISION, LOCATED AT CITY OF MCALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DESIGN ENGINEER AND ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER INFRASTRUCTURE IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EASEMENT.

CARLOS LIMA DATE
 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION

PRINCIPAL CONTACTS:

| NAME | ADDRESS | PHONE & FAX |
|------------------------------------|-------------------------|---|
| OWNER(S): FORTIS LAND COMPANY, LLC | 222 W. UNIVERSITY DRIVE | EDINBURG, TX. 78539 (956) 292-0008 (956) 292-0896 |
| SURVEYOR: IVAN GARCIA | 921 S. 10TH AVENUE | EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083 |
| ENGINEER: IVAN GARCIA | 921 S. 10TH AVENUE | EDINBURG, TX. 78539 (956) 380-5152 (956) 380-5083 |

LIENHOLDER'S ACKNOWLEDGMENT

STATE OF TEXAS
 COUNTY OF HIDALGO
 I (WE), THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND THE DESIGNATED HEREIN AS THE SILVERADO MOON SUBDIVISION OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

STATE OF TEXAS
 COUNTY OF HIDALGO
 BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GABRIEL GARZA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, 2023.

NOTARY PUBLIC IN AND FOR THE
 STATE OF TEXAS
 MY COMMISSION EXPIRES ____

STATE OF TEXAS UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS ____ DAY OF ____, 2023.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT SECRETARY

STATE OF TEXAS COUNTY OF HIDALGO MAYOR'S CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR DATE

STATE OF TEXAS COUNTY OF HIDALGO PLANNING AND ZONING COMMISSION CHAIR CERTIFICATE

I, THE UNDERSIGNED, CHAIR OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING CHAIR DATE

ON: ____ AT ____ AM/PM

INSTRUMENT NUMBER ____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: ____ DEPUTY

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE
 GENERAL MANAGER

STATE OF TEXAS – COUNTY OF HIDALGO

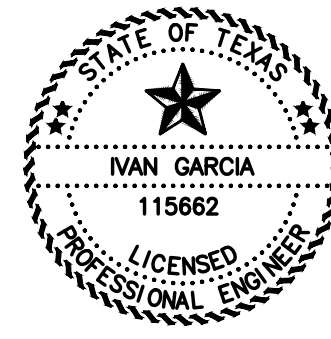
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E., R.P.L.S. DATE
 REG. PROFESSIONAL ENGINEER NO. 115662

STATE OF TEXAS – COUNTY OF HIDALGO

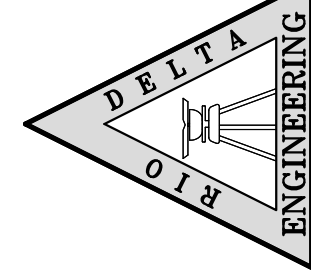
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA P.E., R.P.L.S. DATE
 REG. PROFESSIONAL LAND SURVEYOR NO. 6469
 SURVEY FIRM NO. 10194027



RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
 SURVEY FIRM No. 10194027
 921 S. 10TH AVENUE, EDINBURG, TEXAS 78539
 (TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS
 RELEASED FOR THE
 PURPOSE OF INTERIM
 REVIEW UNDER THE
 AUTHORITY OF
 IVAN GARCIA,
 P.E. 115662 ON
 MAY 26, 2023
 IT IS NOT TO BE
 USED FOR CONSTRUCTION,
 BIDDING OR PERMIT
 PURPOSES.

ISSUED FOR:
PRELIMINARY

PLAT SHEET
 SILVERADO MOON SUBDIVISION
 CITY OF MCALLEN
 HIDALGO COUNTY, TEXAS

PROJECT :

ENGINEER:

IVAN GARCIA P.E., R.P.L.S.

SURVEYOR:

IVAN GARCIA P.E., R.P.L.S.

CHECKED:

IVAN GARCIA P.E., R.P.L.S.

DRAWN:

O.A./H.G./Y.V.

SCALE:

1" = 100'

DATE:

MAY 26, 2023

PROJECT:

SUB 22 064

REVISIONS:

PAGE NO.

SHT 2



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/15/2023

SUBDIVISION NAME: SILVERADO MOON SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North Taylor Road: Proposing 10 ft. of dedication for 40 ft. from centerline for 80 ft. total ROW
Paving: 52 ft. Curb & gutter: both sides

Revisions Needed:

- Provide existing dedications from centerline along subdivision boundary prior to final.
- Label total ROW after accounting for dedication from center line prior to final
- Label total ROW after accounting for dedication from Existing ROW line across Bentsen
- **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
- **Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Auburn Avenue (5 Mile Line Road) : Proposing 40 ft. of dedication for 60 ft. from centerline for 120 ft. total ROW.

Paving: 65 ft. Curb & gutter: Both sides

Revision Needed:

- Centerline should be a continuous line, review and revise prior to final.
- Revise street name as shown above where applicable prior to final.
- Label total ROW after accounting for dedication from center line prior to final
- Label total ROW after accounting for dedication from Existing ROW line across Bentsen Road, prior to final.
- **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
- **Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Interior Street: Dedication as needed for 50 ft. total ROW.

Paving: 32 ft. Curb & gutter: Both Sides

Revisions Needed:

- Subdivision layout currently exhibits stub outs, clarify stub outs along lots 90 and 91 and lots 108 and 109, subdivision layout will have to be revised to provide for "Knuckle" design as dead end street are not permitted as this is a private subdivision, review and revise prior to final.
- Street names will be established prior to final and plat will need to revised accordingly.
- As per plat submitted on June 2nd,2023 subdivision proposed to be private and for single family use, gate details are required. Submit gate details and ROW are subject to increase for gate areas, finalize prior to final.
- **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
- **Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

E/W Quarter Mile Collector (northern boundary):Dedication as needed for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: Both sides

Pending Items:

- Please provide ownership map to verify that no landlocked properties exist or will be created, prior to final
- *Street alignment ,R.O.W, and dedication requirements being reviewed by staff and plat would need to be revised accordingly.
- **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
- **Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not constructed prior to recording.

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <p>* 1,200 ft. Block Length. **Subdivision layout subject to change to comply with subdivision requirements, verify compliance with block length requirements as noted above prior to final. **Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac Revisions Needed: -Provide "Cul-De Sac" and "Knuckle" details prior to final. Auto Turn Study may be required to verify compliance with maneuvering space needed at "Cul-De Sac" and "Knuckle's", prior to final. -ROW at "Cul-De Sac" areas may have to be increased to comply with Fire Department requirements, finalize prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required. **Subdivision Ordinance: Section 134-105</p> | TBD |
| | NA |
| | Non-compliance |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties. **Subdivision Ordinance: Section 134-106</p> | NA |
| SETBACKS | |
| <p>* Front: 25 ft. or greater for easements. Revisions Needed: -Engineer must clarify or revise proposed setback as shown above prior to final, please see setback requirements as it may require a variance submittal. **Proposing:20 ft. or greater for easements. ***Zoning Ordinance: Section 138-356</p> <p>* Rear:10 ft. or greater for easements. Revisions needed: -Revise setback note as shown above prior to final. **Proposing: In accordance with the Zoning Ordinance, or greater for easements, except 25 ft. for double fronting lots. ***Zoning Ordinance: Section 138-356</p> <p>* Interior sides: 6 ft. or greater for easements. Revisions Needed: -Engineer must clarify or revise proposed setback as shown above prior to final, please see setback requirements as it may require a variance submittal. **Proposing:5 ft. or greater for easements. ***Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements ***Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies. ***Zoning Ordinance: Section 138-356</p> <p>ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Non-compliance |
| | Non-compliance |
| | Non-compliance |
| | Applied |
| | Applied |
| | Applied |

| SIDEWALKS | |
|---|---|
| <p>* 4 ft. wide minimum sidewalk required along Auburn Avenue (5 Mile Line Road), North Taylor Road, and both sides of all interior streets.</p> <p>Revisions needed:</p> <p>-Revise note#8 as shown above prior to final. Sidewalks required on both sides of all interior streets, including entrance streets.</p> <p>**Proposing: Minimum 4 ft. wide sidewalk required on both sides of all interior streets, except sidewalks are not required on lots 88,89,2 and 3. 5 ft. wide sidewalk required on Auburn Avenue.</p> <p>*****5 ft. sidewalk might be required by Engineering Dept. prior to final.</p> <p>***Finalize note wording requirements prior to final.</p> <p>***Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | <p>Non-compliance</p> <p>Required</p> |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Auburn Avenue (5 Mile Line Road) and North Taylor Road.</p> <p>Revision Needed:</p> <p>-Revise note#11 as shown above prior to final.</p> <p>Proposing: 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Auburn Ave (Mile 5 North).</p> <p>**Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</p> <p>**Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | <p>Non-compliance</p> <p>Applied</p> <p>Required</p> |
| NOTES | |
| <p>* No curb cut, access, or lot frontage permitted along Auburn Avenue (5 Mile Line Road) and North Taylor Road.</p> <p>Revisions Needed:</p> <p>-Revise note#9 as shown above prior to final.</p> <p>*Proposing: No curb cut, access, or lot frontage permitted along Auburn Avenue (Mile 5 North) and North Taylor Road.</p> <p>**Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> | <p>Non-compliance</p> <p>NA</p> <p>Applied</p> <p>NA</p> <p>Applied</p> |

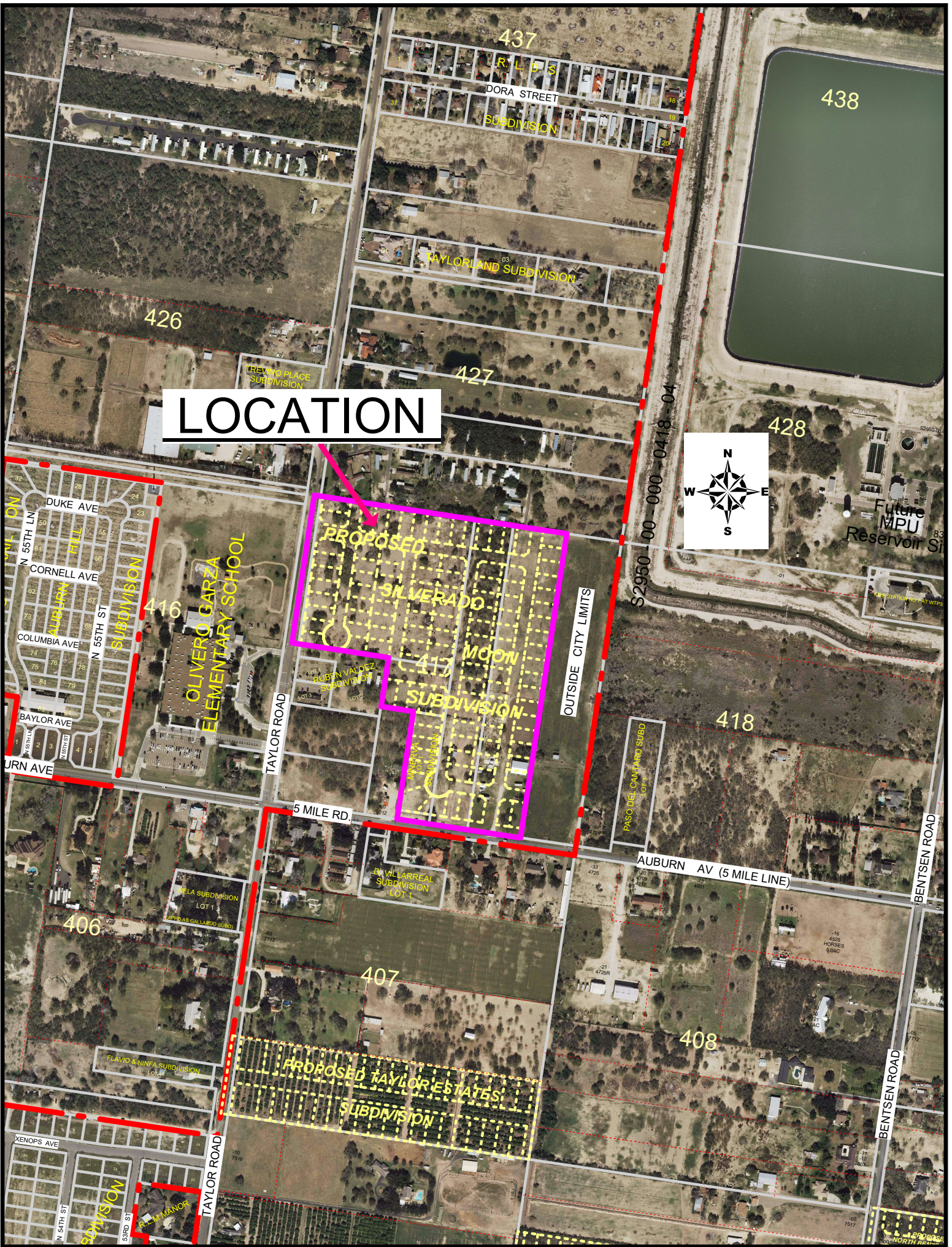
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. **Private Subdivision proposed as per plat submitted on June 2nd,2023. **Subdivision Ordinance: Section 134-1 | Compliance |
| <ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: (Extraterritorial jurisdiction) Proposed:(Extraterritorial jurisdiction) **As per application dated June 2nd,2023 proposed land use is single-family. Pending Items: <ul style="list-style-type: none"> - Engineer must clarify annexation status as zoning requirements must be finalized prior to final. -Subdivision requirements subject to change once zoning requirements are finalized. ***Zoning Ordinance: Article V | Non-compliance |
| <ul style="list-style-type: none"> * Rezoning Needed Before Final Approval Pending Items: <ul style="list-style-type: none"> - Engineer must clarify annexation status as zoning requirements must be finalized prior to final. ***Zoning Ordinance: Article V | TBD |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. As per Parks Department, per application dated June 2nd,2023 proposed 121 lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final. | TBD |
| <ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, per application dated June 2nd,2023 proposed 121 lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final. | TBD |
| <ul style="list-style-type: none"> * Pending review by City Manager's Office. As per Parks Department, per application dated June 2nd,2023 proposed 121 lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final. | TBD |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Non-compliance |
| <ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| COMMENTS | |
|--|----------|
| Comments: - Must comply with City's Access Management Policy. - Any abandonments must be done by separate process, not by plat. - As per plat submitted on June 2nd, 2023 subdivision proposed to be private and for single family use, gate details are required. Submit gate details and ROW are subject to increase for gate areas, finalize prior to final - Engineer must clarify annexation status as zoning requirements must be finalized prior to final. Subdivision requirements subject to change once zoning requirements are finalized. | Required |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS. | Applied |

LOCATION





City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Sub2023-0015

| | | |
|---|---|--|
| Project Information | Subdivision Name <u>McAllen Oaks North Subdivision</u> | |
| | Location _____ | |
| | City Address or Block Number <u>2701 SH 107</u> | |
| | Number of Lots <u>51</u> Gross Acres <u>19.58</u> Net Acres <u>17.03</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| | Existing Zoning _____ Proposed Zoning _____ Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ | |
| | Existing Land Use <u>Residential</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>1</u> | |
| | Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> | |
| | Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>8108.02</u> | |
| | Parcel # <u>2100-00-280-0012-00</u> Tax Dept. Review <u>19</u> | |
| | Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____ | |
| Legal Description <u>A 19.587 acre tract of Land, being the West 1/2 of Lot twelve (12), Section 280 Texas-Mexican Railway Company's Survey</u> | | |
| Owner | Name <u>Noe & Melba Gonzalez</u> Phone <u>(956) 457-9643</u> | |
| | Address _____ E-mail <u>GNZ3@hotmail.com</u> | |
| | City _____ State _____ Zip _____ | |
| Developer | Name <u>Mark Wilkins / NOE Gonzalez</u> Phone <u>(956) 682-4551</u> | |
| | Address <u>P.O. Box 3609</u> E-mail <u>WILKINS@LAWWWW.COM</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78502</u> | |
| | Contact Person <u>Mark Wilkins</u> | |
| Engineer | Name <u>MDC Engineering, PLLC</u> Phone <u>(956) 650-6034</u> | |
| | Address <u>3400 N. McCall Rd, Suite 26</u> E-mail <u>MCorbitt@mdcengineeringtx.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> | |
| | Contact Person <u>Mark Corbitt</u> | |
| Surveyor | Name <u>Carrizales Land Surveying</u> Phone <u>(956) 567-2167</u> | |
| | Address <u>4807 Gondola Ave</u> E-mail <u>KCarrizales@CLS.Land</u> | |
| | City <u>Edinburg</u> State <u>TX</u> Zip <u>78542</u> | |

FEB 09 2023

BY: _____

CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

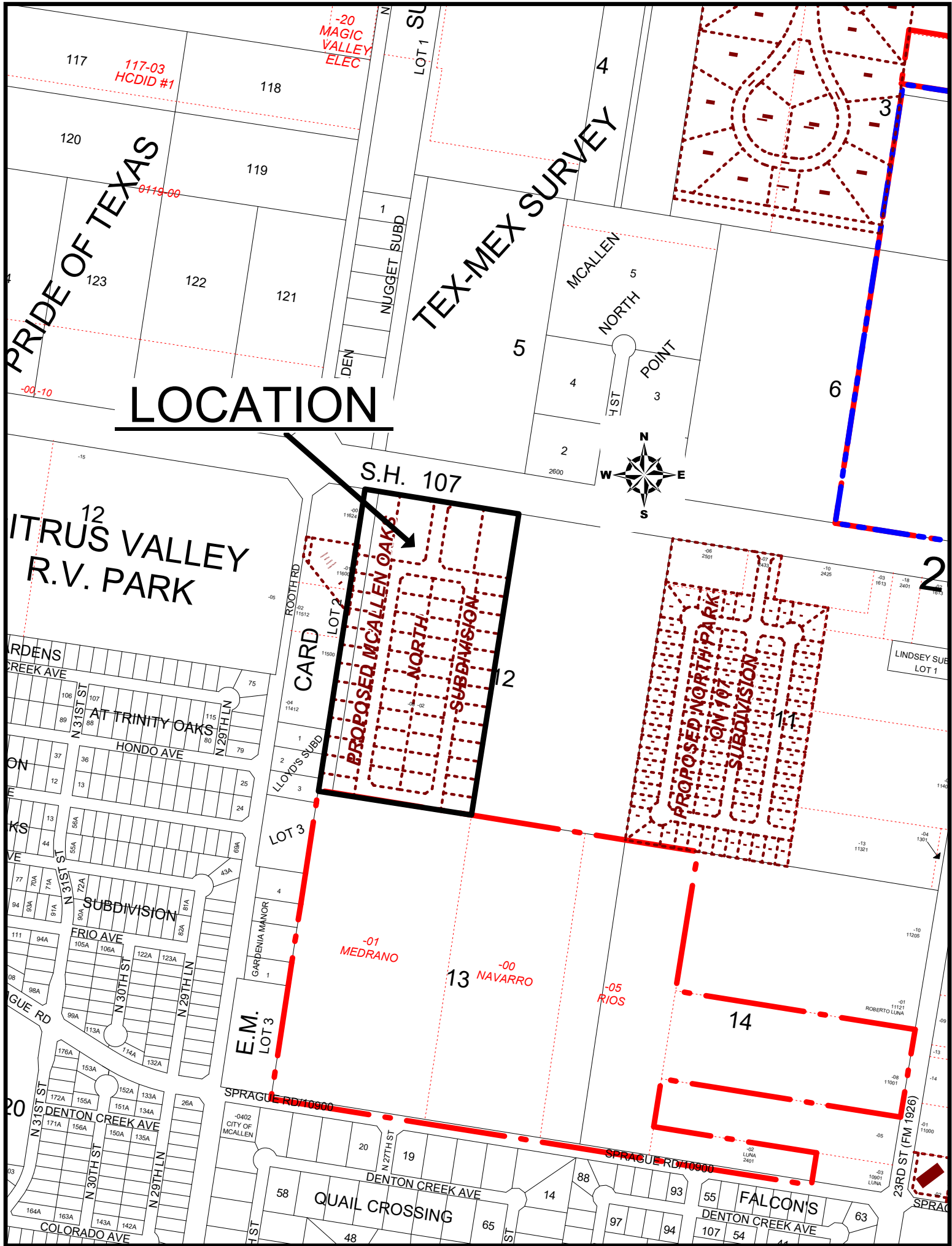
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

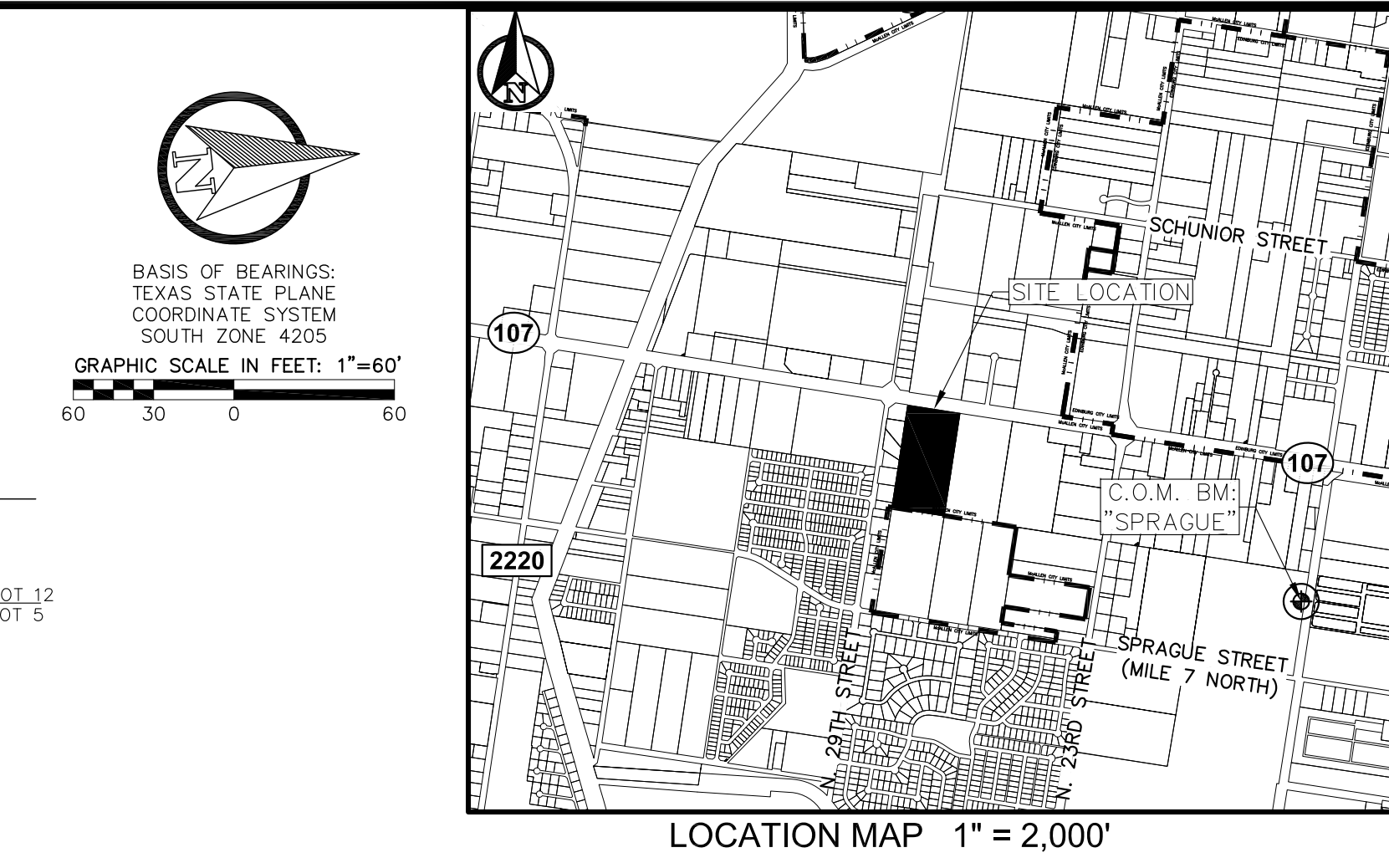
Signature  Date 1/23/23

Print Name Noel Gonzalez Mark Williams

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application





MAP OF MCALLEN OAKS NORTH SUBDIVISION

BEING A 19.587 ACRE [853,200.23 SQ.FT.] TRACT
BEING THE WEST ONE HALF (W 1/2) OF LOT TWELVE (12), SECTION TWO
HUNDRED EIGHTY (280), TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,
HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN
VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

| LEGEND | |
|------------|--|
| — | BOUNDARY LINE |
| - - - | RIGHT OF WAY LINE |
| - - - | EASEMENT LINE |
| - - - | LOT LINE |
| - - - | PROPERTY LINE |
| - - - | ROADWAY CENTERLINE |
| - - - | CONTOUR LINE WITH ELEVATION |
| • | FOUND 1/2" IRON ROD OR AS NOTED |
| ○ | FOUND 1/2" IRON PIPE |
| ● | SET 1/2" IRON ROD W/PINK CAP STAMPED "CLS RPLS #6388" |
| △ | CALCULATED POINT |
| R.O.W. | RIGHT OF WAY |
| VOL. | VOLUME |
| PG. | PAGE |
| DOC. | DOCUMENT |
| ESMT. | EASEMENT |
| UTIL. | UTILITY |
| POB | POINT OF BEGINNING |
| NW | NORTHWEST |
| SW | SOUTHWEST |
| CNR. | CORNER |
| GWD: | GENERAL WARRANTY DEED |
| WD: | WARRANTY DEED |
| SWD: | SPECIAL WARRANTY DEED |
| WDL: | WARRANTY DEED W/VENDOR'S LIEN |
| GD: | GIFT DEED |
| WDFCL: | WARRANTY DEED IN LIEU OF FORECLOSURE |
| SWDL: | SPECIAL WARRANTY DEED W/VENDOR'S LIEN |
| O.R.H.C.T. | OFFICIAL RECORDS HIDALGO COUNTY TEXAS |
| M.R.H.C.T. | MAP RECORDS HIDALGO COUNTY TEXAS |
| D.R.H.C.T. | DEED RECORDS HIDALGO COUNTY TEXAS |
| H.C.I.D. | HIDALGO COUNTY IRRIGATION DISTRICT |
| S.W.S.C. | SHARYLAND WATER SUPPLY CO. |

| PLAT NOTES AND RESTRICTIONS: | |
|------------------------------|---|
| 1. | FLOOD ZONE DESIGNATION: ZONE "X" (NO SHADING) DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN". COMMUNITY-PANEL NUMBER: 480334 0325 D EFFECTIVE DATE: JUNE 8, 2000 |
| 2. | MINIMUM BUILDING SETBACK LINES AS PER CITY OF MCALLEN ORDINANCE. FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENT OR SITE PLAN REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENT OR SITE PLAN INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENT OR SITE PLAN SIDE CORNER: 10.00' OR GREATER FOR EASEMENT OR SITE PLAN SIDE (HWY 107): 30.00' OR GREATER FOR EASEMENT OR SITE PLAN |
| 3. | MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT OR 18 INCHES ABOVE THE HIGHEST ADJACENT GRADE, WHICHEVER IS GREATER. |
| 4. | NO BUILDINGS SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE. |
| 5. | REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: _____ C.F. (_____ AC.FT.) TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS. |
| 6. | AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT. |
| 7. | PRIVATE DRAINAGE SYSTEM/DETENTION AREAS TO BE MAINTAINED BY PROPERTY OWNER. |
| 8. | BENCHMARK IS CITY OF MCALLEN BENCHMARK "SPRAGUE" MONUMENT: STAINLESS STEEL, 3/8", COVERED WITH AN ALUMINUM LOGO CAP. LOCATED INSIDE THE WATER TREATMENT PLANT. [SEE LOCATION MAP FOR APPROXIMATE LOCATION] PUBLISHED DATA: CITY OF MCALLEN BENCHMARK "SPRAGUE" ELEVATION = 102.61 COORDINATES: TEXAS STATE PLANE SOUTH ZONE (4205), NAD 83, NAD 88 US SURVEY FEET GRID: N=16636202.03496 E=1076277.68322 |
| 9. | 4 FT WIDE MINIMUM SIDEWALK REQUIRED ON STATE HIGHWAY 107. |
| 10. | 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, AND ALONG STATE HIGHWAY 107. |
| 11. | 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES. |
| 12. | ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS. |
| 13. | 25 X 25 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS. |

CERTIFICATE OF APPROVAL PLANNING & ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY
OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL
REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS
REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE

CITY OF MCALLEN MAYOR CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS
SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF
THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN DATE

CITY SECRETARY DATE

PRINCIPAL CONTACTS:

| NAME | ADDRESS | CITY & ZIP | PHONE |
|---|-----------------------|----------------------|--------------|
| OWNER: NOE GONZALEZ & MELBA E GONZALEZ | 4401 N. 22ND STREET | MCALLEN, TEXAS 78504 | 956-567-2167 |
| ENGINEER: CMD ENGINEERING, LLC; MARK D. CORBITT, PE | 3149A CENTER POINT DR | EDINBURG, TX 78539 | 956-650-6034 |
| SURVEYOR: MANUEL CARRIZALES, R.P.L.S. | 4802 GONDOLA AVENUE | EDINBURG, TX 78542 | 956-567-2167 |

OWNER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND
DESIGNATED HEREIN AS THE MCALLEN OAKS NORTH SUBDIVISION TO THE CITY OF
MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE
USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS,
WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH
ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT
SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION
APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES
THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE
APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

NOE GONZALEZ & MELBA E GONZALEZ
4401 N. 22ND STREET
MCALLEN, TEXAS 78504

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED
_____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO
THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME
FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF
OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

STATE OF TEXAS COUNTY OF HIDALGO CERTIFICATION OF SURVEYOR

I, THE UNDERSIGNED, MANUEL CARRIZALES, A REGISTERED PROFESSIONAL PUBLIC
SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND
CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE
UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE
PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN
ACCORDANCE WITH THE CITY OF MCALLEN SUBDIVISION ORDINANCE AND ALL STATE
STATUTES GOVERNING SURVEYS.

MANUEL CARRIZALES
TEXAS R.P.L.S. No. 6388
TEXAS REG. SURVEYING FIRM No. 101194417

STATE OF TEXAS COUNTY OF HIDALGO CERTIFICATION OF ENGINEER

I, THE UNDERSIGNED, MARK D. CORBITT, A REGISTERED PROFESSIONAL ENGINEER IN THE
STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS
BEEN GIVEN TO THIS PLAT.

MARK D. CORBITT, PE
TEXAS LICENSED PROFESSIONAL ENGINEER No. 101980

METES AND BOUNDS DESCRIPTION

A 19.587 ACRE [853,200.23 SQ.FT.] TRACT OF LAND, MORE OR LESS, BEING THE WEST
ONE HALF (W 1/2) OF LOT TWELVE (12), SECTION TWO HUNDRED EIGHTY (280),
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR
PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY,
TEXAS, SAVE AND EXCEPT THAT PART LYING NORTH OF THE SOUTH RIGHT OF WAY LINE
OF TEXAS STATE HIGHWAY 107, AS CONVEYED TO NOE & MELBA E. GONZALEZ, BY VIRTUE
OF WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN VOLUME 3089, PAGE 281, OFFICIAL
RECORDS OF HIDALGO COUNTY, TEXAS, SAID 19.587 ACRE TRACT BEING MORE
PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A HALF (1/2)-INCH IRON ROD WITH A CAP [N:16638654.7283,
E:1071376.3501] FOUND ON THE SOUTH RIGHT OF WAY LINE OF STATE HIGHWAY 107,
BEING SOUTH 08 DEGREES 46 MINUTES 46 SECONDS WEST, A DISTANCE OF 45.57 FEET
FROM THE NORTHWEST CORNER OF SAID LOT 12, FOR THE NORTHWEST CORNER OF THIS
TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE, SOUTH 81 DEGREES 08 MINUTES 10 SECONDS EAST, WITH THE SOUTH RIGHT OF
WAY LINE OF SAID STATE HIGHWAY 107, A DISTANCE OF 67.84 FEET TO A HALF
(1/2)-INCH IRON ROD WITH A PINK CAP STAMPED "CLS RPLS#6388" SET FOR AN EXTERIOR
CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08 DEGREES 48 MINUTES 00 SECONDS EAST, WITH THE SOUTH RIGHT OF
WAY LINE OF SAID STATE HIGHWAY 107, A DISTANCE OF 590.95 FEET TO A HALF
(1/2)-INCH IRON ROD WITH A PINK CAP STAMPED "CLS RPLS#6388" SET FOR THE
NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08 DEGREES 45 MINUTES 04 SECONDS WEST, A DISTANCE OF 1,293.70
FEET TO A HALF (1/2)-INCH IRON ROD FOUND ON THE SOUTH LINE OF SAID LOT 12, FOR
THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

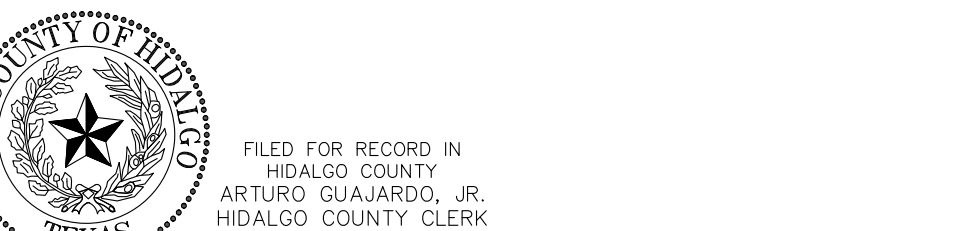
THENCE, NORTH 80 DEGREES 56 MINUTES 29 SECONDS WEST, WITH THE SOUTH LINE OF
SAID LOT 12, A DISTANCE OF 599.43 FEET TO A CALCULATED POINT AT THE SOUTHWEST
CORNER OF SAID LOT 12, FOR SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE, NORTH 08 DEGREES 46 MINUTES 46 SECONDS EAST, WITH THE WEST LINE OF
SAID LOT 12, A DISTANCE OF 1,294.93 FEET TO THE POINT OF BEGINNING CONTAINING
19.587 ACRES [853,200.23 SQ. FT.] OF LAND, MORE OR LESS.

CERTIFICATE OF APPROVAL HIDALGO COUNTY DRAINAGE DISTRICT No. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS
FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED
UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES
NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE
SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE
RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE
THESE DETERMINATIONS.

BY: RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE



ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 01 OF 02
DATE OF PREPARATION: 11.7.2022
PROJECT NO: 22221

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |



Texas Registered Surveying Firm
TBPELS FIRM No. 01914417
4807 Gondola Avenue,
Edinburg, TX 78542
Office: 956-567-2167
www.cls.ltd





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/14/2023

SUBDIVISION NAME: MCALLEN OAKS NORTH

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

State Highway 107: 150 ft. ROW
Paving: By the state Curb & gutter: By the state
Revisions needed:
-Please provide how existing ROW was dedicated on plat prior to final.
-Label existing ROW on both sides of the centerline and total existing ROW.
-Please provide copy of the document where ROW was dedicated to verify if any additional ROW dedication is required prior to final.
-Show and label ROW dedication from the property line, centerline, and total ROW after dedication to determine any dedication requirements, prior to final.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Interior Streets: 60 ft. ROW
Paving: 40 ft. Curb & gutter: Both sides
Revisions Required:
-Interior dedications range from 50-60 ft. of ROW, please see ROW requirements above, revise as applicable prior to final.
-Knuckles are required at the interior street intersection. Please revise the ROW to show knuckles for the south east/west street (if it's not a quarter mile collector) prior to final.
-Street names will be established prior to final and plat will need to be revised accordingly.
-ROW is subject to increase for gate areas after the required revision is submitted, finalize prior to final.
-Gate details are required prior to final to determine if ROW width meets the paving, sidewalk, curb and gutter, island, etc.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

E/W Quarter Mile Collector (south boundary): Dedication as needed 60 ft. ROW
Paving: 40 ft. Curb & gutter: Both sides
Pending Items:
-Please provide ownership map to verify that no landlocked properties exist or will be created.
-Street alignment and R.O.W being reviewed and plat would need to be revised accordingly prior to final.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

NA

* 1,200 ft. Block Length.
Revisions Needed:
-Subdivision layout does not comply with block length requirement, finalize block length requirements prior to final
**Subdivision Ordinance: Section 134-118

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <p>* 900 ft. Block Length for R-3T & R-3C Zone Districts. **Subdivision Ordinance: Section 134-118</p> | NA |
| <p>* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105</p> | NA |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *As per Public Works Department service drive or alley required to provide waste collection service. Finalize alley/service drive requirements prior to final. **Alley/service drive easement required for commercial and multi-family properties. ***Subdivision Ordinance: Section 134-106</p> | Non-compliance |
| SETBACKS | |
| <p>Front: 20 ft. or greater for approved site plan or easements *Proposed: In accordance with the zoning ordinance or greater for easements or approved site plan. Pending Items: - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Setbacks to be established once zoning requirements have been finalized. - The proposed setback is for commercial properties. Please clarify/revise plat note #2 as shown above prior to final. **Note wording subject to change once zoning requirements have been finalized. ***Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>Rear: 10 ft. or greater for easements or approved site plan. *Proposed: In accordance with the zoning ordinance or greater for easements or site plan. Pending Items: - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Setbacks to be established once zoning requirements have been finalized. - The proposed setback is for commercial properties. Please clarify/revise plat note #2 as shown above prior to final. **Note wording subject to change once zoning requirements have been finalized. ***Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>Interior Sides: 6 ft. or greater for easements or approved site plan *Proposed: In accordance with the zoning ordinance or greater for easements or site plan. Pending Items: - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Setbacks to be established once zoning requirements have been finalized. - The proposed setback is for commercial properties. Please clarify/revise plat note #2 as shown above prior to final. **Note wording subject to change once zoning requirements have been finalized. ***Zoning Ordinance: Section 138-356</p> | Non-compliance |

| | |
|---|----------------|
| <p>*Proposed: Side Corner: 10 ft. or greater for easements or site plan. Side (Hwy 107): 30 ft. or greater for easement or site plan Pending Items: - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Setbacks to be established once zoning requirements have been finalized. - Please clarify corner setback prior to final. **Note wording subject to change once zoning requirements have been finalized. ***Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>* Garage: 18 ft. except wherever greater setback is required, greater setback applies. Revisions Needed: -Add note as shown above, prior to final. **Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on State Highway 107, collector street, and both sides of all interior streets. Revisions Needed: - Sidewalk wording for note #9 will be finalized prior to final based on the collector street requirement. finalize note wording prior to final. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize prior to final. ***Subdivision Ordinance: Section 134-120</p> | Non-compliance |
| <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Required |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, along State Highway 107, and along the collector street, if applicable. Revisions Needed: - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Buffer requirements to be established once zoning requirements have been finalized. - Buffer requirements will be finalized prior to final based on the collector street, if applicable, and zoning requirements. finalize note wording prior to final. **Landscaping Ordinance: Section 110-46</p> | Non-compliance |
| <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> | Applied |
| <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Required |

| NOTES | |
|---|----------------|
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along State Highway 107 and quarter mile collector as required. - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Setbacks to be established once zoning requirements have been finalized. <p>***Must comply with City Access Management Policy</p> | TBD |
| <ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more dwelling units on each lot if applicable. - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. Setbacks to be established once zoning requirements have been finalized. | Non-compliance |
| <ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add a plat note as shown above prior to final. | Non-compliance |
| <ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | Applied |
| <ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. -Add a plat note as shown above prior to final. | Non-compliance |
| <p>**Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p> | |
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 | Compliance |
| <ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 | Compliance |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| ZONING/CUP | |
|---|----------------|
| <p>* Existing: R-1(single-family Residential) District & C-3 (general business) District Proposed: R-3A (apartment residential) District/C-3 (commercial) General Business District - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application prior to final. - Approved rezoning is required prior to final. ***Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. ***Zoning Ordinance: Article V</p> | Non-compliance |
| <p>* Rezoning Needed Before Final Approval **Rezoning process must be finalized before final plat approval. ***Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. ***Zoning Ordinance: Article V</p> | Required |
| PARKS | |
| <p>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of dwelling units prior to final. - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application and clarify the total number of units prior to final.</p> | TBD |
| <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Please provide number of dwelling units prior to final. - The application submitted on February 9, 2023, proposed 51 commercial and multi-family lots; however, the latest plat seems to be 62 multifamily lots. Please revise the application and clarify the total number of units prior to final.</p> | TBD |
| <p>* Pending review by City Managers Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p> | TBD |
| TRAFFIC | |
| <p>* As per Traffic Department, Trip Generation is approved and TIA is required, prior to final plat.</p> | Applied |
| <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> | Non-compliance |
| COMMENTS | |
| <p>Comments: - Must comply with City's Access Management Policy. - Any abandonments must be done by separate process, not by plat. - Rezoning process must be finalized before final plat approval. - Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. - Clarify if subdivision is proposed to be public or private, as there is a gate plan submitted, but the owner's - Gate detail must be approved by Traffic department. ROW and lot requirements for the north lots will be finalized after the gate specifications are approved by Traffic Department. - acknowledgement references public subdivisions. Additional requirements may be triggered for private subdivision. ** At the Planning and Zoning Commission meeting of February 21, 2022, the board voted to approve the subdivision in preliminary form subject to conditions noted, drainage and utility approvals.</p> | Non-compliance |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| RECOMMENDATION | |
|--|---------|
| STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL. | Applied |

Sub 2023-0051



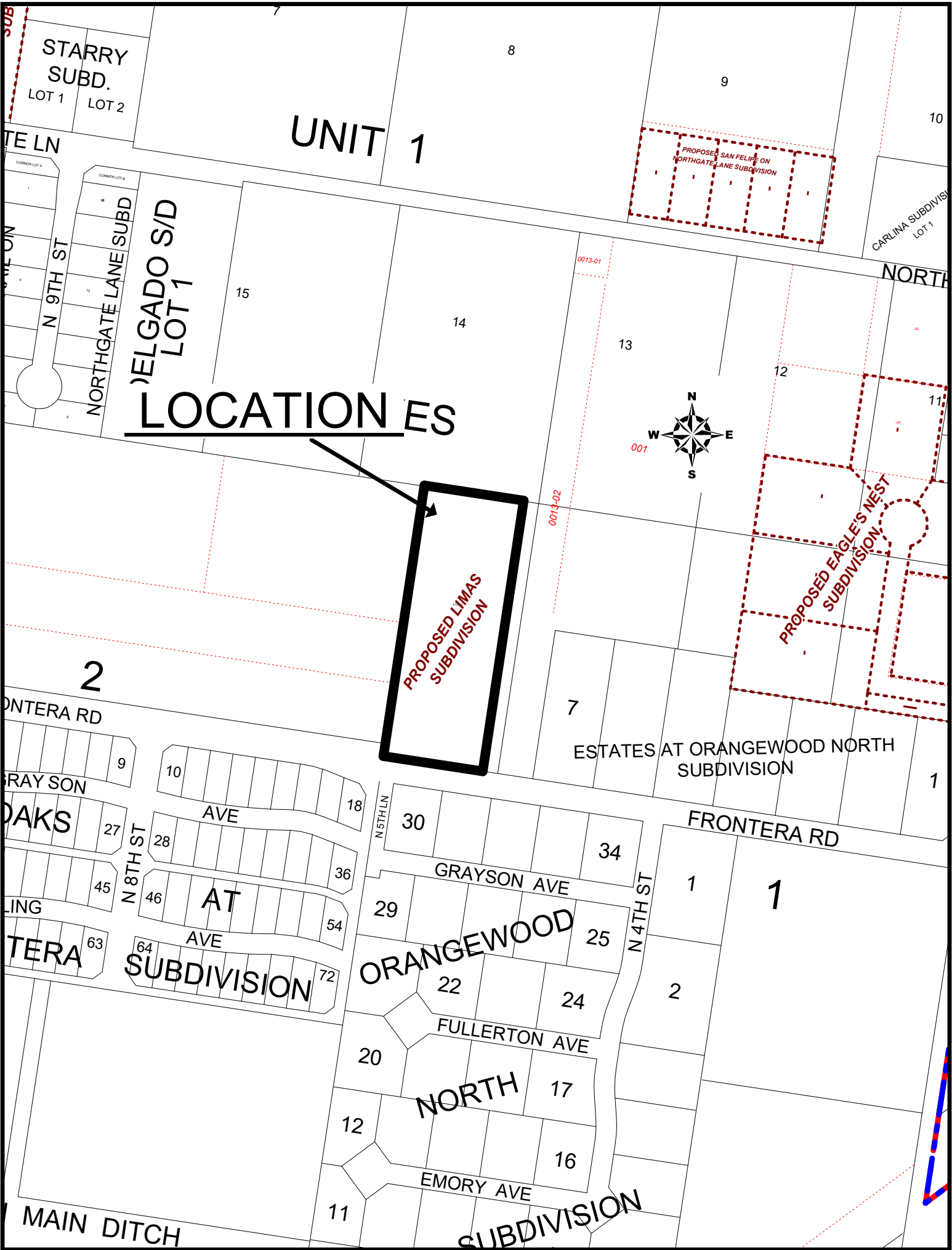
City of McAllen
Planning Department
APPLICATION FOR

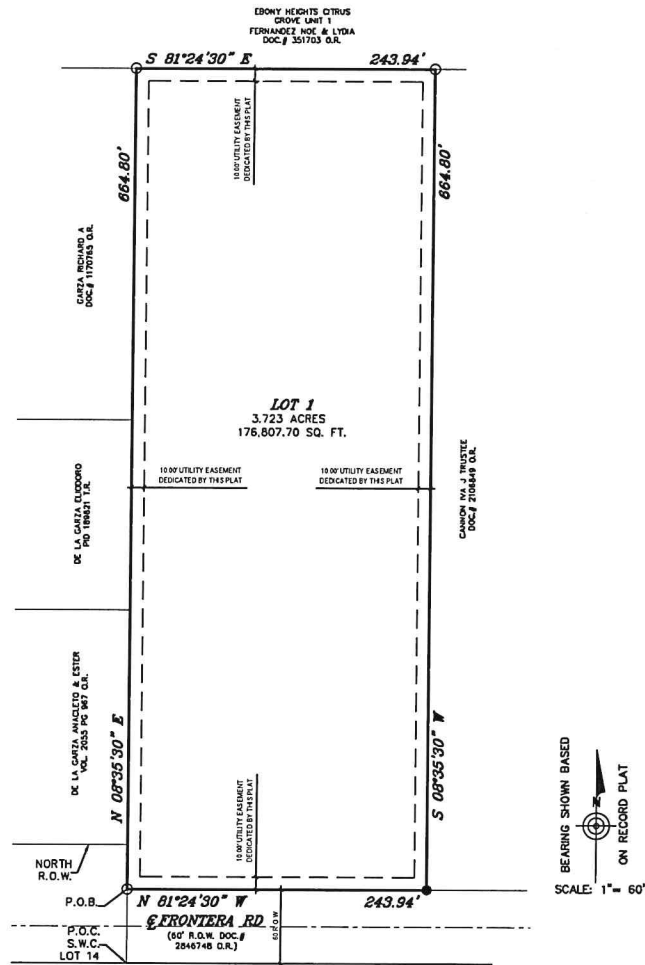
SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | <p>Subdivision Name <u>Limas Subdivision</u></p> <p>Location <u>North side of Frontera Rd. Between 2nd Street and 10th Street</u></p> <p>City Address or Block Number <u>418 FRONTERA RD</u></p> <p>Number of lots <u>1</u> Gross acres <u>4.05</u> Net acres _____</p> <p>Existing Zoning <u>R-1</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Ag</u> Proposed Land Use <u>Single family</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>Mc</u> <u>C.H. Jr</u> <u>5-26-23</u></p> <p>Parcel No. <u>14627600</u> Tax Dept. Review <u>Mc</u> <u>5/30/23</u></p> <p>Legal Description <u>A 3.723 part or portion of Lot 14, Ebony Heights Citrus Groves Unit No. 1, Vol. 5, pg. 39 Hidalgo County maps.</u></p> |
| Owner | <p>Name <u>Dr. Flor Aurora Limas</u> Phone <u>956-703-0560</u></p> <p>Address <u>7108 N. 5th St.</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p> <p>E-mail <u>flor.aurora.limas@gmail.com</u></p> |
| Developer | <p>Name <u>Same as owner</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p> |
| Engineer | <p>Name <u>CHLH Engineering, LLC</u> Phone <u>956-687-5560</u></p> <p>Address <u>701 S. 15th Street</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person <u>Cloromiro Hinojosa Jr., P.E.</u></p> <p>E-mail <u>cloro@chlhengineering.com</u></p> |
| Surveyor | <p>Name <u>Rio Delta Surveying/ Mario Gonzalez</u> Phone <u>956-380-5154</u></p> <p>Address <u>8207 Mateo Escobar</u></p> <p>City <u>Monte Alto</u> State <u>Texas</u> Zip <u>785</u></p> <p>ENTERED MAY 30 2023 Name: <u>WM</u></p> |

KVF





- GENERAL NOTES:
1. FINISHED FLOOR ELEVATION TO BE 18" INCHES ABOVE TOP OF CURB OR BASE FLOOD ELEVATION, WHICHEVER IS HIGHER.
 2. THIS PROPERTY IS LOCATED IN: THE AREA IS UNDER AN UNINCORPORATED AREA DETERMINED BY FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0423 C. MAP REVISED NOVEMBER 18, 1982. THE PROJECT AREA IS UNDER ZONE "AH" WHICH IS DESCRIBED AS "AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS OF 1 AND 3 FEET; BASE FLOOD ELEVATION IS SHOWN AS 107, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED."
 3. A 5 FT WIDE MINIMUM SIDEWALK REQUIRED ON FRONTERA ROAD
 4. MIN. BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT: IN ACCORDANCE WITH ZONING ORDINANCE, GREATER FOR EASEMENTS, APPROVED SITE PLAN, OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER.
REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
SIDES: IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENT.
CORNER SIDE: 10 FT, OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
 5. BENCHMARK NO. 50, LOCALITY AT THE WEST BOUND OF 10TH ST. IN BETWEEN TRENTON RD & FULLERTON RD
TYPE OF MARK: 3" ALUMINUM PIPE WITH A 3 1/4" BRASS MONUMENT CAP ON TOP, VERTICAL DATUM: NAVD 88
NORTHING: 10828260.81559 EASTING: 1078787.99709
 6. MAINTENANCE OF ALL LANDSCAPE AND DETENTION AREAS IS THE RESPONSIBILITY OF THE LOT OWNER.
 7. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
 8. ADDITIONAL FIRE PROTECTION MAY BE REQUIRED AT BUILDING PERMIT STAGE INCLUDING NECESSARY EASEMENTS.
 9. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN, UTILITY EASEMENTS, GAS EASEMENTS, OR IRRIGATION EASEMENTS AND LOT LINES.
 10. AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 11. DRAINAGE DETENTION REQUIRED FOR THIS PROPERTY IS AS FOLLOWS:
TOTAL 7,180 CF (0.165 AG-FT)
 12. NO STRUCTURES SHALL BE BUILT OVER ANY EASEMENTS.
 13. 8 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES
 14. 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 15. COMMON AREAS, SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
 16. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPROVISED AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 17. MINIMUM 25 FT x 25 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND A MINIMUM 10 FT x 10 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL ALLEY/STREET INTERSECTIONS.

SUBDIVISION PLAT OF LIMAS SUBDIVISION

MCALLEN, TEXAS
A TRACT OF LAND CONTAINING 3.723 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 14, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, SAID 3.723 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO NOE FERNANDEZ AND WIFE, LYDIA FERNANDEZ, BY VIRTUE OF A CASH WARRANTY DEED, RECORDED UNDER DOCUMENT NUMBER 351703, HIDALGO COUNTY OFFICIAL RECORDS

METES & BOUNDS:

A TRACT OF LAND CONTAINING 3.723 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 14, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, SAID 3.723 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO NOE FERNANDEZ AND WIFE, LYDIA FERNANDEZ, BY VIRTUE OF A CASH WARRANTY DEED, RECORDED UNDER DOCUMENT NUMBER 351703, HIDALGO COUNTY OFFICIAL RECORDS, SAID 3.723 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 14;

1. THENCE, N 08° 35' 30" E ALONG THE WEST LINE OF SAID LOT 14, A DISTANCE OF 60.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
2. THENCE, N 08° 35' 30" E CONTINUING ALONG THE WEST LINE OF SAID LOT 14, A DISTANCE OF 664.80 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, S 81° 24' 30" E A DISTANCE OF 243.94 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
4. THENCE, S 08° 35' 30" W A DISTANCE OF 664.80 FEET TO A NO. 4 REBAR FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT;
5. THENCE, N 81° 24' 30" W ALONG THE EXISTING NORTH RIGHT-OF-WAY LINE OF FRONTERA ROAD, A DISTANCE OF 243.94 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.723 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "LIMAS" SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

FLOR AURORA LIMAS

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED
KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

HIDALGO COUNTY, TEXAS

NOTARY PUBLIC



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUADALUPE, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

| PRINCIPAL CONTACTS | | ADDRESS | PHONE |
|---------------------------------|-------------------------|---------------------------------------|----------------|
| ENGINEER: CHLH ENGINEERING, LLC | CLOROMIRO HINOJOSA, JR. | 701 S. 15TH STREET, MCALLEN, TX 78501 | (956) 687-5560 |
| SURVEYOR: RIO DELTA SURVEYING | JOSE MARIO GONZALEZ | 24593 FM 88, MONTE ALTO, TX 78538 | (956) 380-5154 |



LOCATION MAP SCALE: 1:500

CERTIFICATION OF THE MAYOR OF THE CITY OF MCALLEN, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING
COMMISSION, CITY OF MCALLEN

DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION NO. 1,
ON THIS ____ DAY OF ____ 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.

PRESIDENT

SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.A.
GENERAL MANAGER

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, (SURVEYOR), REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE ____ DAY OF _____, 20____.

REGISTERED PROFESSIONAL SURVEYOR (SEAL)
MARIO GONZALEZ
REGISTERED PROFESSIONAL PUBLIC SURVEYOR No. 5571
24593 FM 88, MONTE ALTO, TEXAS 78538
(956) 380-5154

No. _____ STATE OF TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

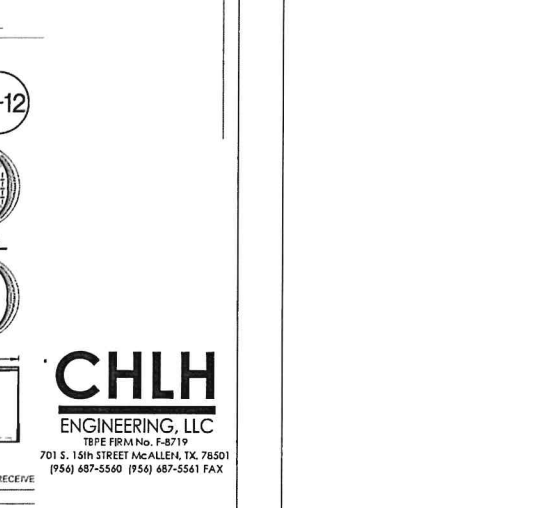
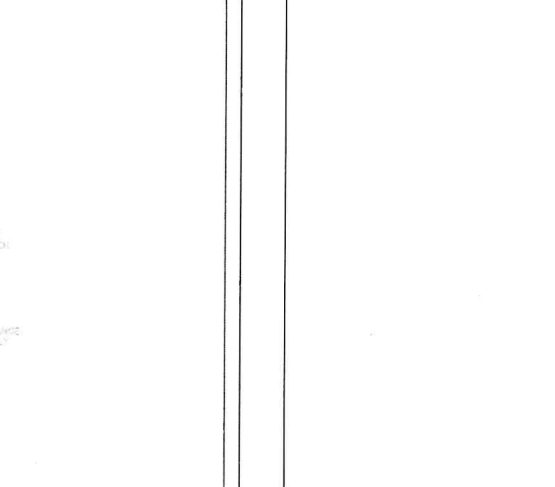
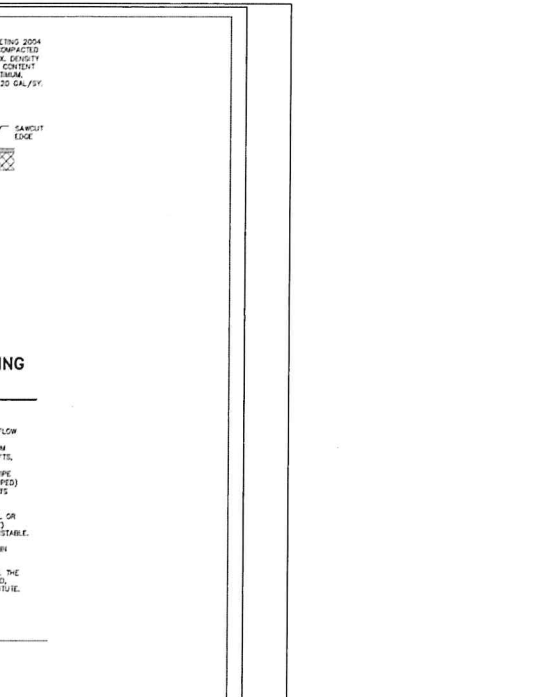
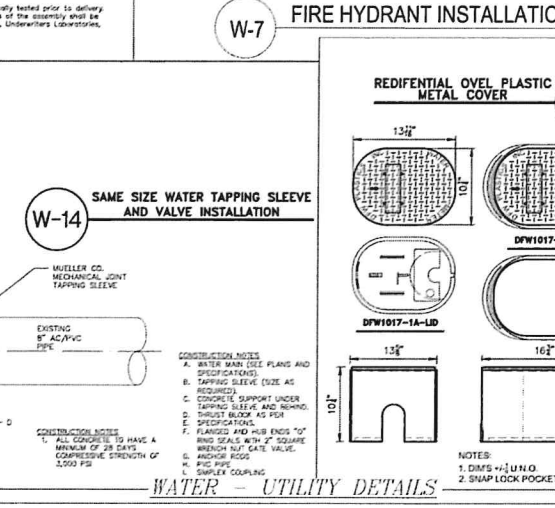
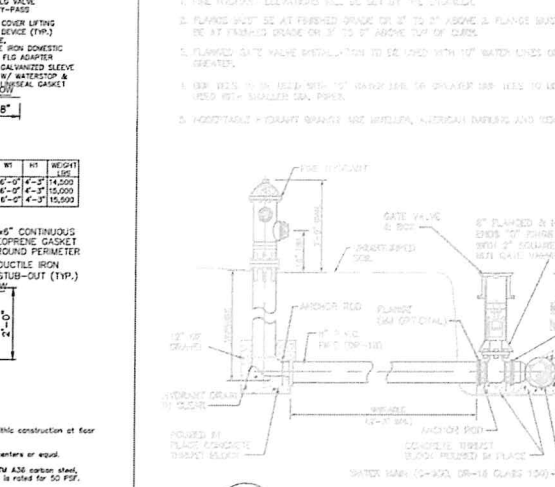
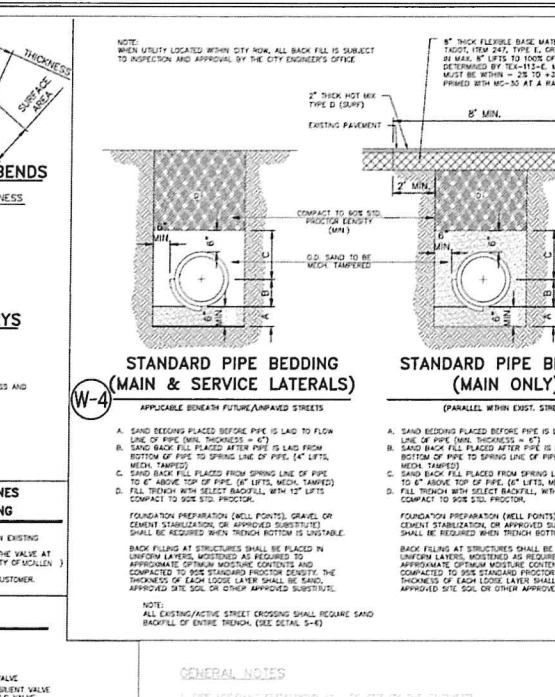
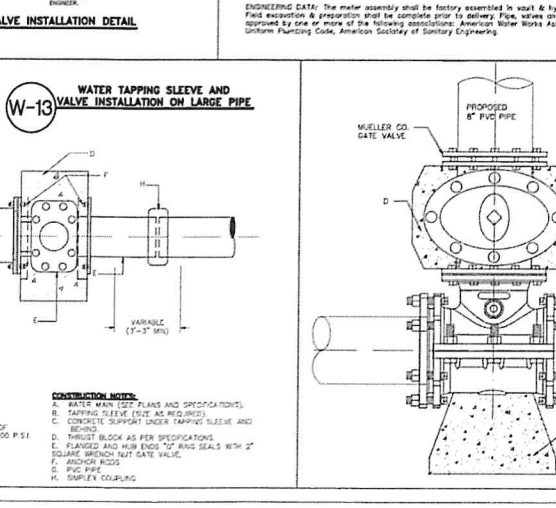
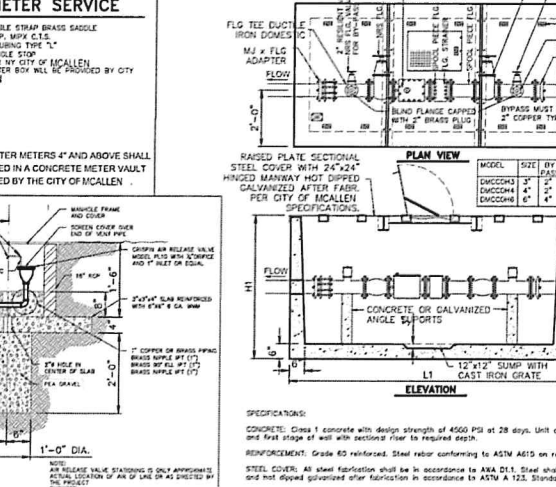
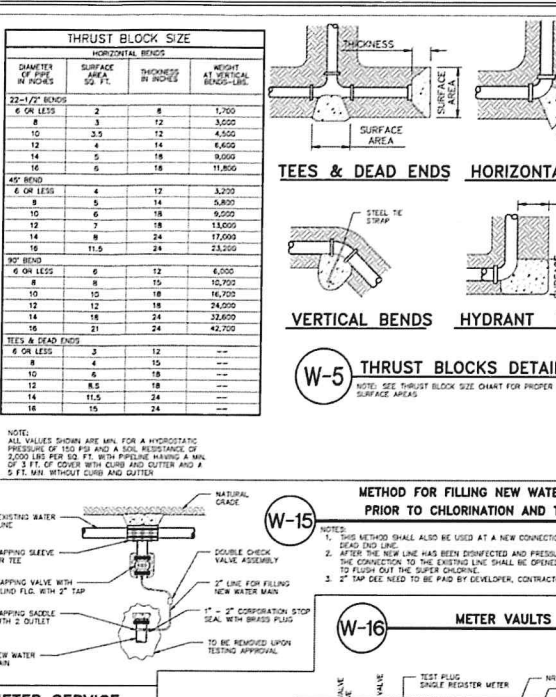
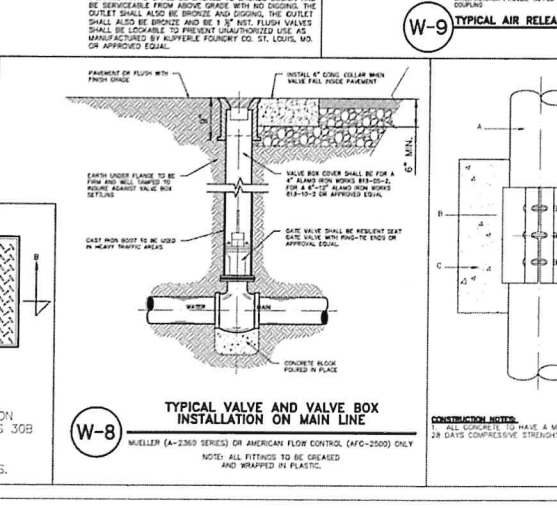
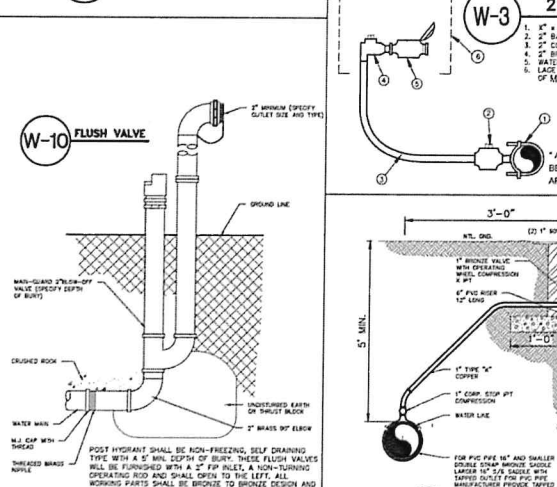
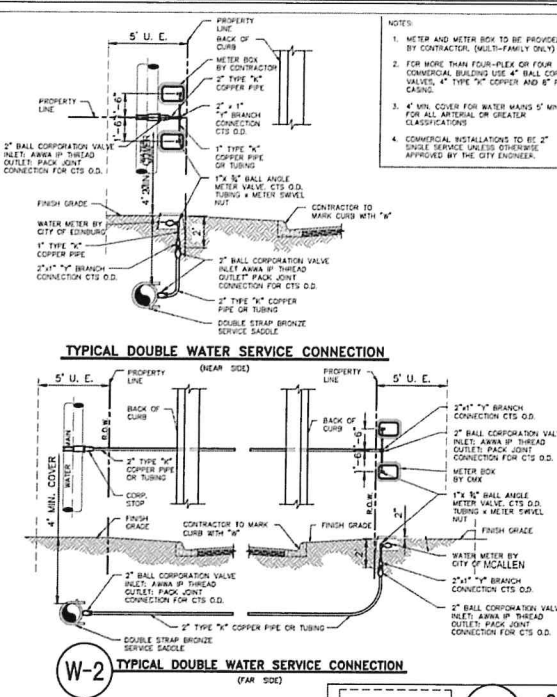
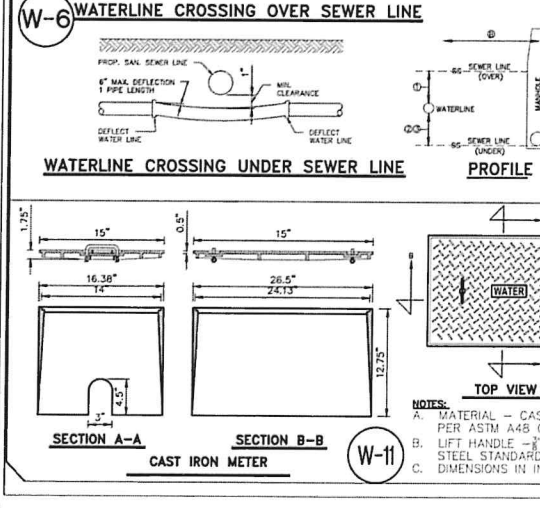
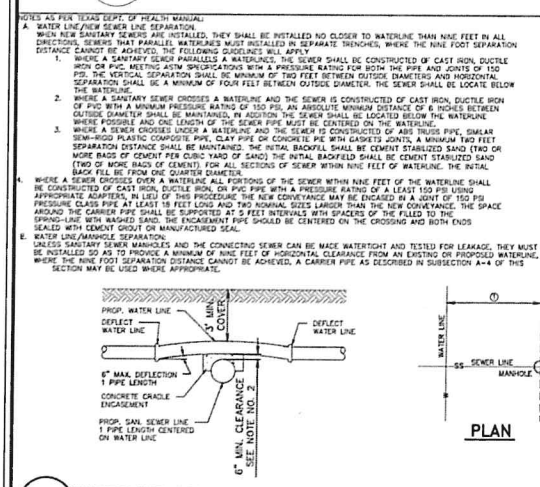
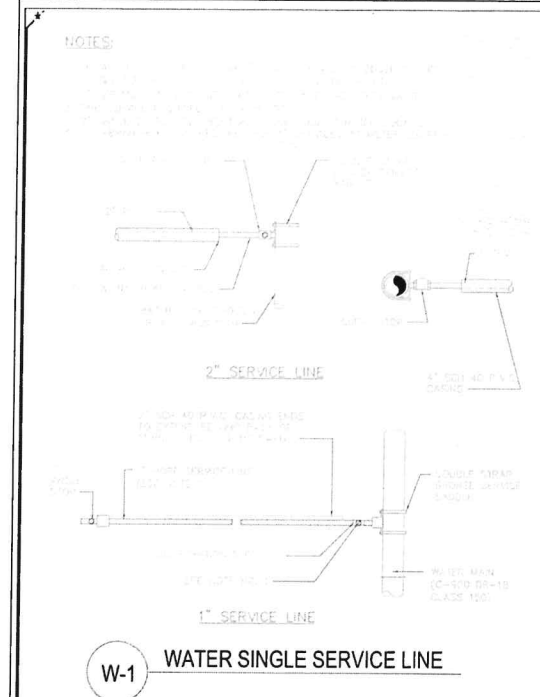
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER (SEAL)
CLOROMIRO HINOJOSA, JR.
CHLH ENGINEERING, LLC
701 S. 15TH STREET, MCALLEN, TX 78501
(TEL) 956-687-5560 (FAX) 956-687-5561

No. _____ STATE OF TEXAS.

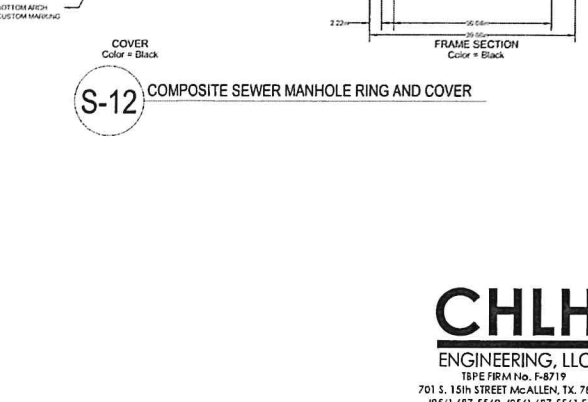
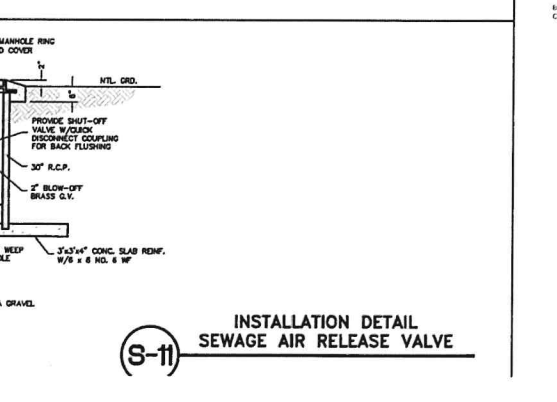
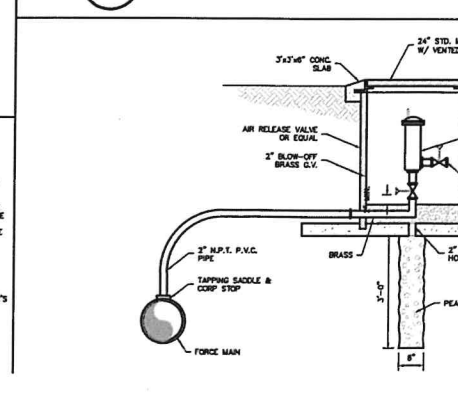
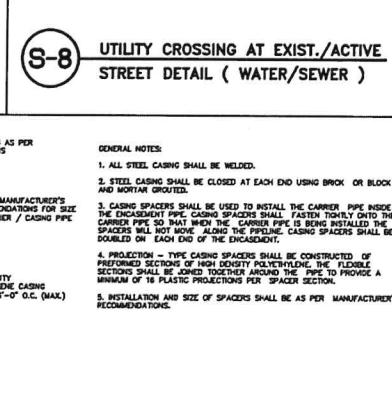
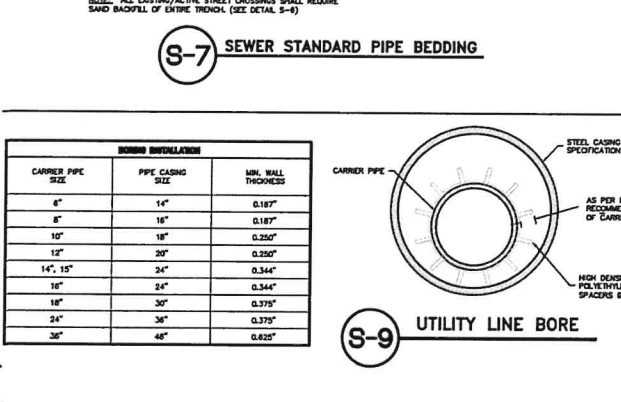
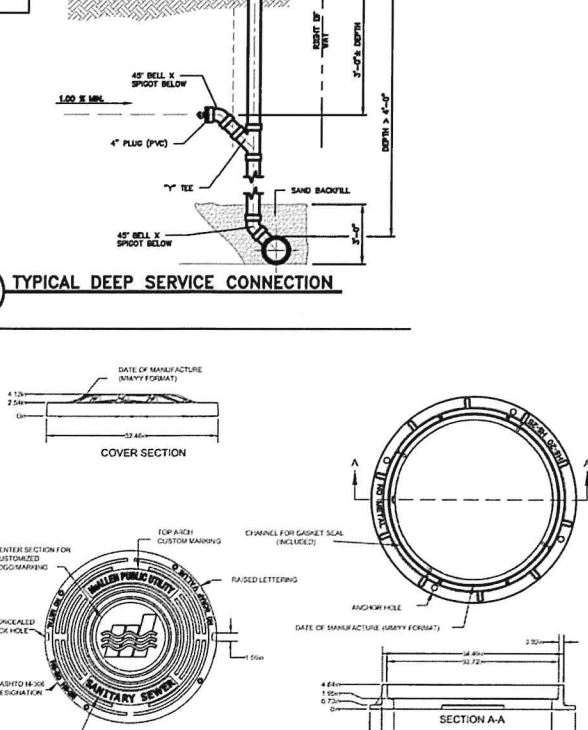
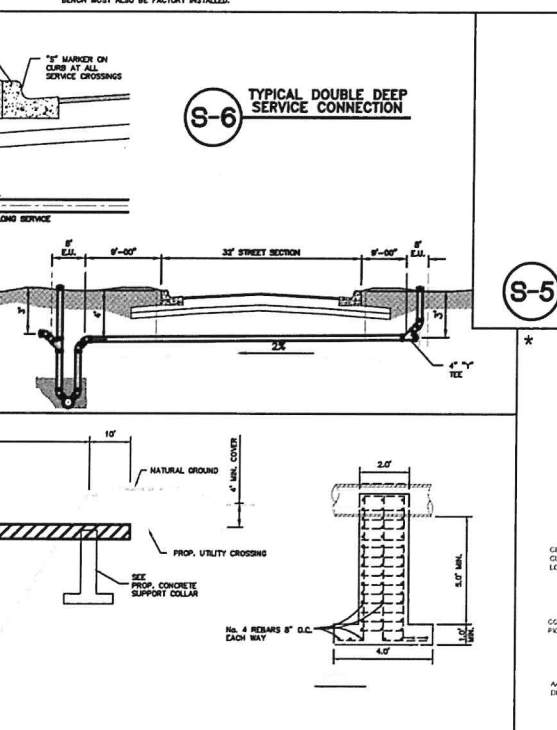
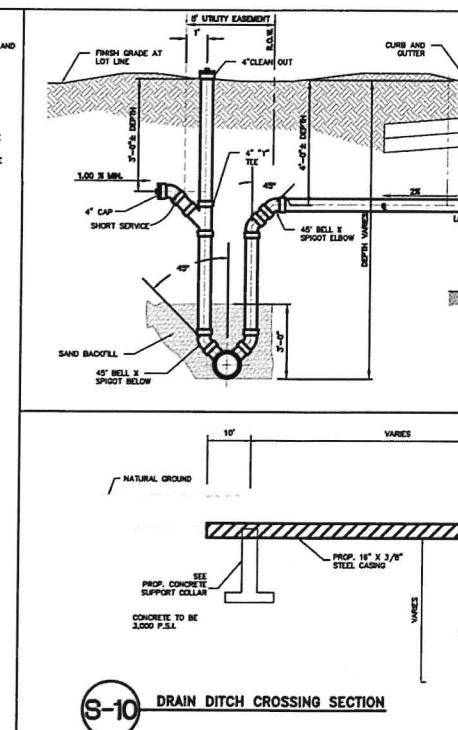
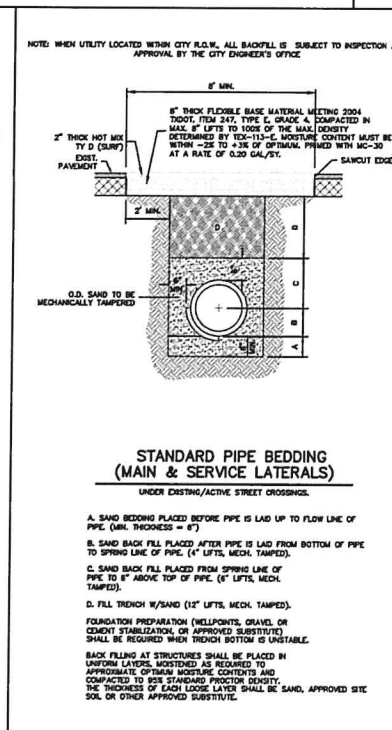
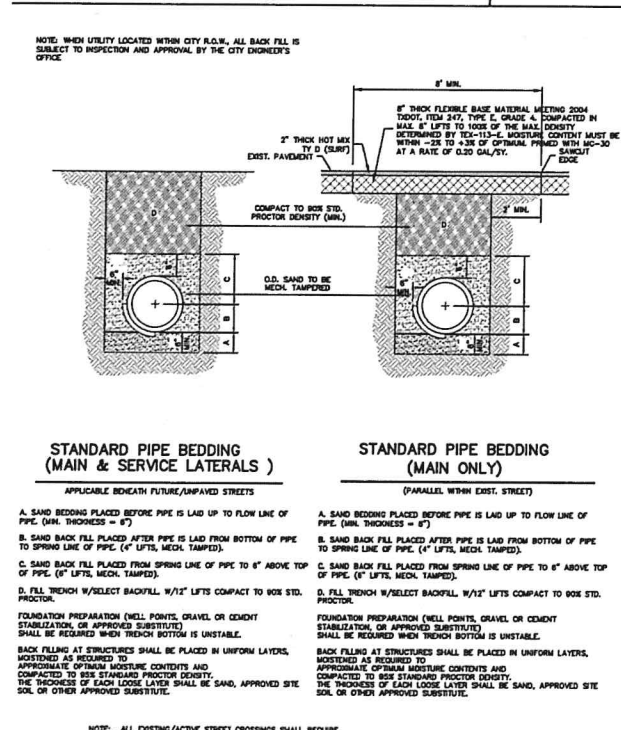
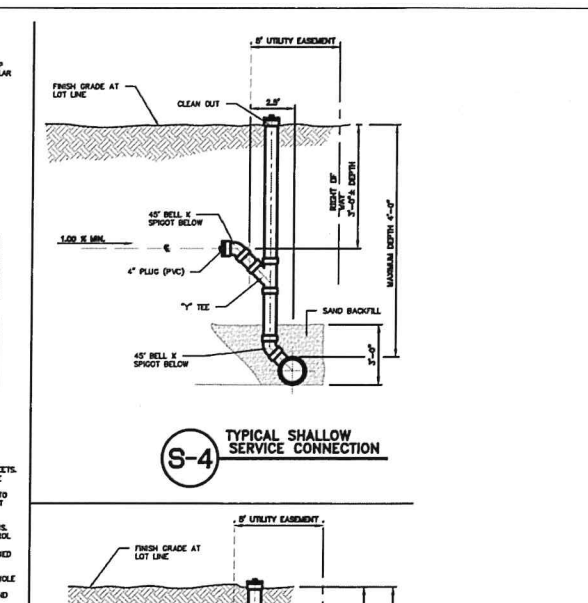
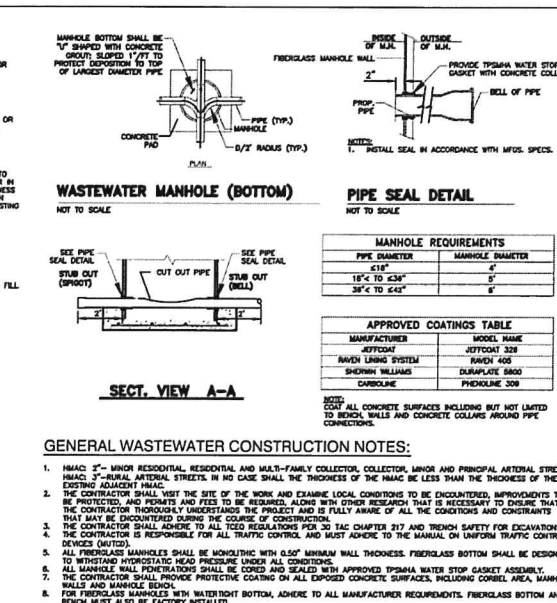
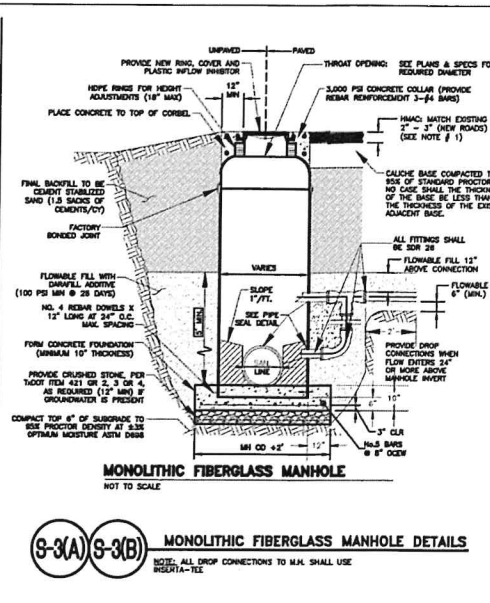
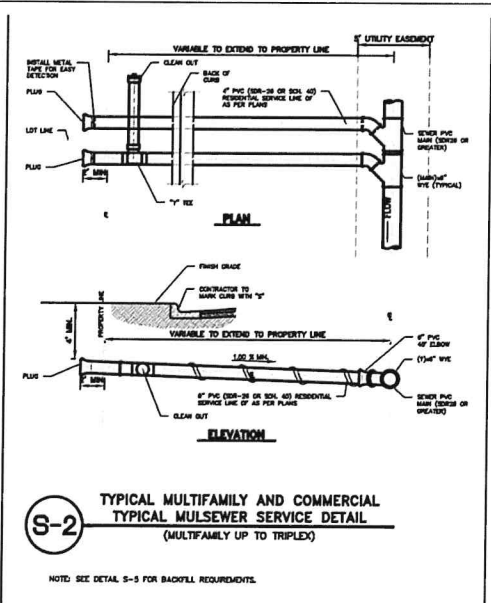
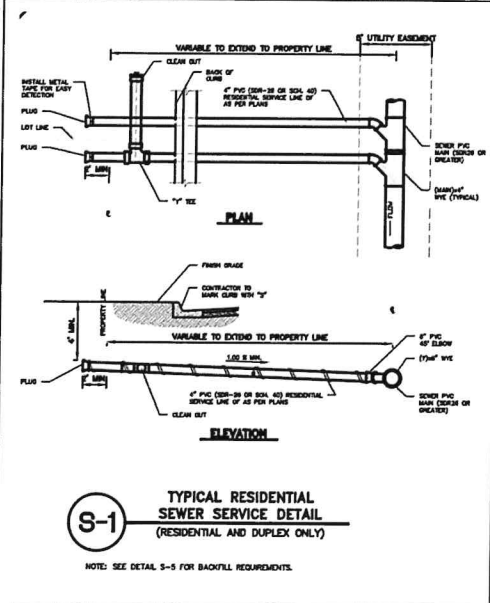
CHLH
ENGINEERING, LLC

18PE FIRM No. F-8719
701 S. 15TH STREET MCALLEN, TX, 78501
(956) 687-5560 (956) 687-5561 FAX



CHLH ENGINEERING, LLC
 TBE FRM No. F-8719
 701 S. 15th STREET McALLEN, TX. 78501
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WATER - UTILITY DETAILS









City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/15/2023

SUBDIVISION NAME: LIMAS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Frontera Avenue: dedication as needed for 30 ft. from centerline for 60 ft. total ROW
Paving: 40 ft. Curb & gutter: both sides
Revisions needed:
- Please provide a copy of the document referenced for the existing ROW for staff review prior to final.
- Please show and label the existing ROW on both sides of the centerline prior to final.
- Please show the existing ROW on the west side of the property, reference the document number. and provide a copy for staff review prior to final.
- ROW dedication is required on the east side of the property to match the existing ROW, if more than 60 ft. prior to final.
- It seems that ROW on the west side of the property offsets to the north. Please add ROW dimension on the west side for staff review.
- Additional ROW and a transition to align ROW with the property to the west is under review by staff and must be finalized prior to final.
- The existing ROW on the south side of Frontera Road, on the west side of the property, does not seem to match the plat of Spanish Oaks @ Frontera Subdivision. Please revise/clarify prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

N/S Collector Street (west boundary): Dedication as required for 35 ft. for total 70 ft. ROW
Paving: 44 ft. Curb & gutter: both sides
Revisions as needed:
- Show the ROW dedication as required for quarter mile collector prior to final
- The name of the collector street will be finalized prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Non-compliance

Applied

Applied

NA

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| ALLEYS | |
|--|----------------|
| ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106 | NA |
| SETBACKS | |
| * Front: 45 ft. or greater for easements, or in line with existing, whichever is greater applies Proposed: In Accordance with the Zoning Ordinance, greater for approved site plan, on in line with existing structures, whichever is greater - The proposed setback is for commercial properties. The subject property is proposed to be residential. Please clarify/revise plat note #4 as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| * Rear: 10 ft. or greater for easements Proposed: In Accordance with the Zoning Ordinance, or greater for easements or approved site plan. - The proposed setback is for commercial properties. The subject property is proposed to be residential. Please clarify/revise plat note #4 as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| * Interior Sides : 6 ft. or greater for easements Proposed: In Accordance with the Zoning Ordinance, or greater for approved site plan or easement - The proposed setback is for commercial properties. The subject property is proposed to be residential. Please clarify/revise plat note #4 as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| * Corner: 10 ft. or greater for easements Proposed: 10 ft. or greater for easements, or approved site plan, whichever is greater. - The proposed setback is for commercial properties. The subject property is proposed to be residential. Please clarify/revise plat note #4 as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| * Garage: 18 ft., except where greater setback is required, greater setback applies - Add a plat note as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| * 4 ft. wide minimum sidewalk required on Frontera Road and along the N/S collector street if applicable. Proposed: 5 ft. wide minimum sidewalk required on Frontera Road. - Clarify the note prior to final. - Sidewalk requirement will be finalized based on the N/S collector's requirement prior to final. - Sidewalk requirement may increase to 5 ft. as per the Engineering Department prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. | Non-compliance |
| | Required |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along the N/A collector street on the west boundary. - Buffer requirement will be finalized after the N/S collector requirements are established prior to final. **Landscaping Ordinance: Section 110-46 | Non-compliance |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|------------|
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| | Required |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along _____ **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. -Site plan review is not required for single-family residential lots. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 - HOA is not required for one single-family lot subdivision. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 - HOA is not required for one single-family lot subdivision. | TBD |
| | NA |
| | NA |
| | NA |
| | NA |
| | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 | Compliance |
| | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | Compliance |
| | NA |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. - A park fee of \$700 for each dwelling unit is required prior to recording. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. <p>Based on the application and plat submitted on May 30, 2023, the proposed development is for one single-family residential lot. A park fee of \$700 is required to be paid prior to recording, as per Parks Department.</p> | NA |
| | Required |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <p>* Pending review by the City Manager's Office. Based on the application and plat submitted on May 30, 2023, the proposed development is for one single-family residential lot. A park fee of \$700 is required to be paid prior to recording, as per Parks Department.</p> | NA |
| TRAFFIC | |
| <p>* As per Traffic Department, Trip Generation is waived for one single-family lot subdivision. Traffic Impact Analysis (TIA) required prior to final plat. -As per Traffic Department, Trip Generation is waived for one single-family lot subdivision.</p> | Applied |
| | NA |
| COMMENTS | |
| <p>Comments: - Please add the legal description of the properties on all sides, including south side of Frontera Avenue, on the plat prior to final. - Please submit an ownership map for the adjacent properties on the north side to make sure no properties will be landlocked, prior to final. *Must comply with City's Access Management Policy.</p> | Non-compliance |
| RECOMMENDATION | |
| <p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTES, DRAINAGE, AND UTILITIES APPROVAL.</p> | Applied |



Sub2023-0057



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

| | | |
|--|---|--|
| Project Information | Subdivision Name <u>McCollbak</u> Subdivision <u>AN 06/07/23</u> | |
| | Location <u>S McColl Rd, McAllen TX</u> | |
| | City Address or Block Number <u>2100 J. MCCOLL RD</u> | |
| | Number of Lots <u>1</u> Gross Acres <u>1.94</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| | Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Self-storage | |
| | Existing Land Use <u>NA</u> Proposed Land Use _____ Irrigation District # <u>1</u> | |
| | Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential _____ | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>9,438.98</u> | |
| | Parcel # <u>630446</u> Tax Dept. Review <u>MC 6-7-23</u> | |
| | Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ | |
| Legal Description <u>1.94 acre tract of of land, out of Lot 1 of "Palmridge park, recorded in volume 38, page 35, MROHC.</u> | | |
| Owner | Name <u>Meyerhoff Family Trust</u> Phone <u>636.346-3524</u> | |
| | Address <u>c/o 1335 Christmas Valley Dr</u> E-mail <u>emeryerhoffc@hotmail.com</u> | |
| | City <u>Wildwood</u> State <u>MO</u> Zip <u>63005</u> | |
| Developer | Name <u>Bakke Development</u> Phone <u>210-835-5188</u> | |
| | Address <u>207 Roosevelt Ave.</u> E-mail _____ | |
| | City <u>San Antonio</u> State <u>TX</u> Zip <u>78210</u> | |
| | Contact Person <u>Phil Bakke</u> Brandt Bakke <u>pbakke@bakkedc.com</u> <u>bbakke@bakkedc.com</u> | |
| Engineer | Name <u>Raul Garcia Jr</u> Phone <u>956-445-5235</u> | |
| | Address <u>5000 W Military Highway</u> E-mail _____ | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u> | |
| | Contact Person <u>Angelica Neira</u> <u>aneira@halff.com</u> | |
| Surveyor | Name <u>James Russell</u> Phone <u>830-445-6210</u> | |
| | Address <u>5000 W Military Highway</u> E-mail _____ | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u> | |

ENTERED

KF

JUN 08 2023

Name: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature D. Steven Meyerhoff Date 5/31/23

Print Name D. Steven Meyerhoff

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

ENTERED

JUN 08 2023

Name: NM

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Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature *Ernest Ray Meyerhoff, Jr.* Date 5/30/23

Print Name ERNEST RAY MEYERHOFF

Owner ☒

Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

ENTERED

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- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

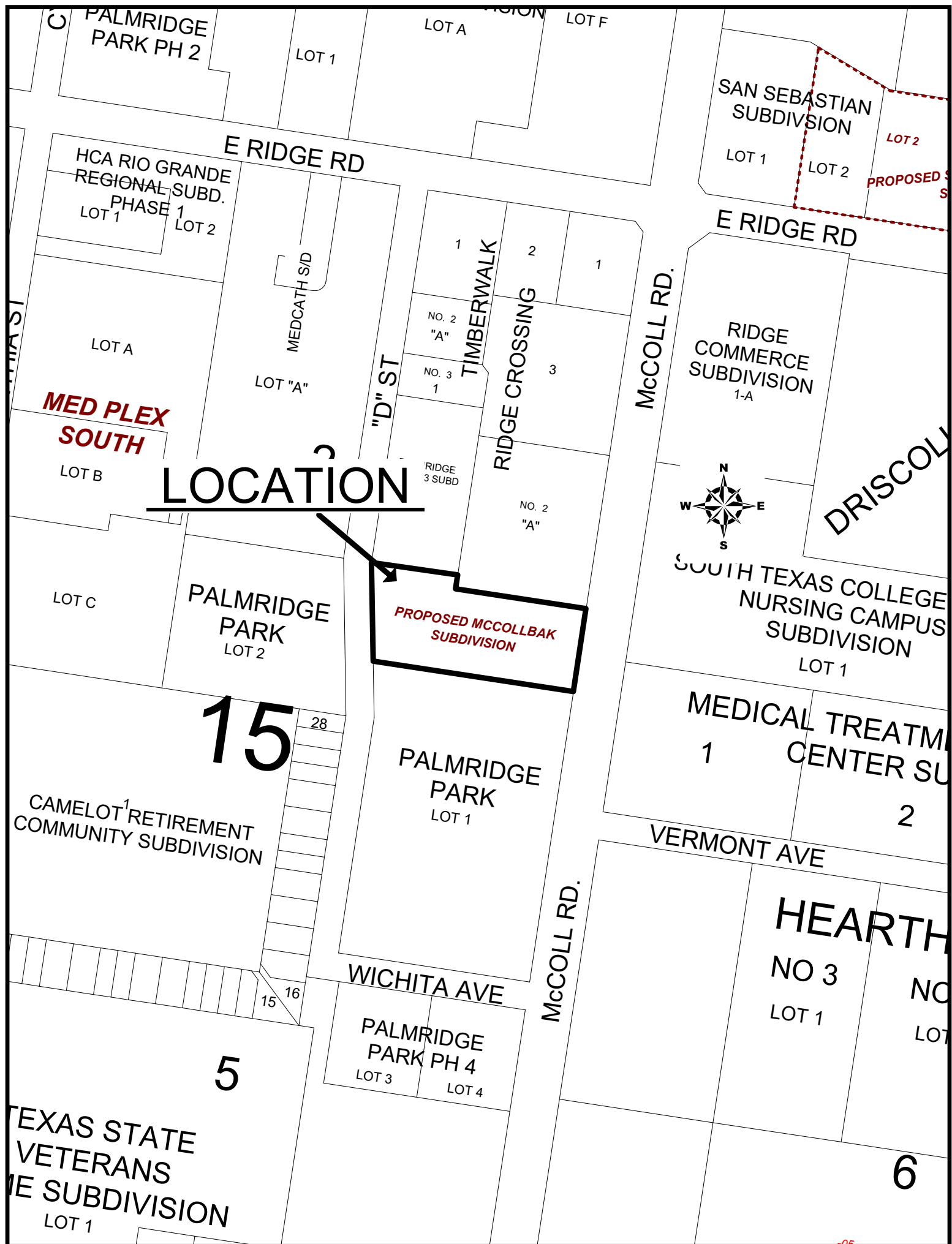
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

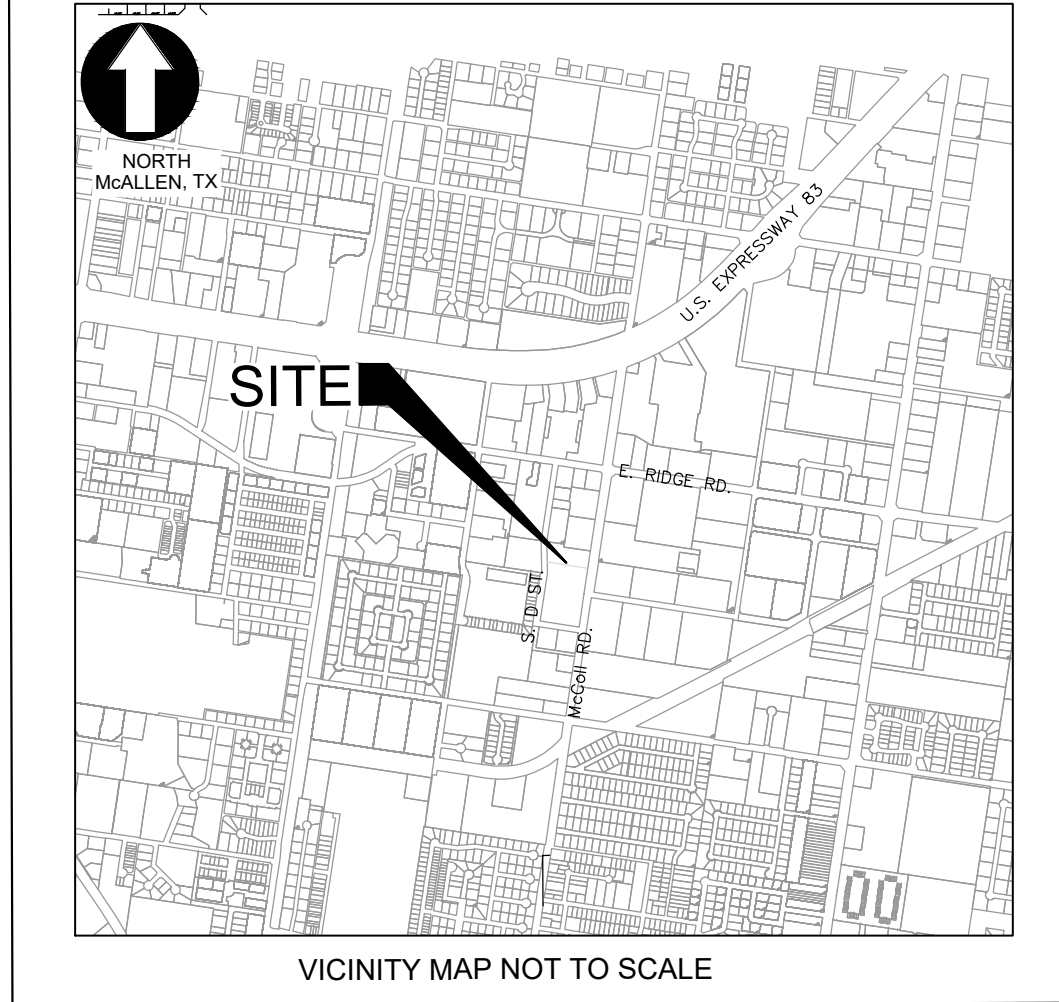
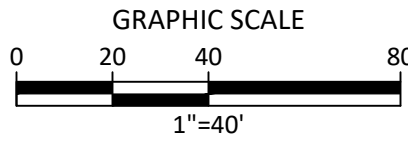
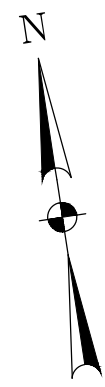
Signature Marcia R. Bonnell Date May 30, 2023

Print Name Marcia R. Bonnell

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application





METES AND BOUNDS:

1.944 ACRES OF LAND LOCATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS AND BEING A PORTION OF LOT 1, PALMRIDGE PARK, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 38, PAGE 35, MAP RECORDS OF HIDALGO COUNTY, TEXAS AND FURTHER BEING A PORTION OF TRACT 3, AS CONVEYED TO DON MEYERHOFF AND MARCIA BONNELL, CO-TRUSTEES UNDER THE INDENTURE OF TRUST DATED DECEMBER 31, 1990, KNOWN AS THE MEYERHOFF FAMILY TRUST, AS DESCRIBED IN VOLUME 3015, PAGE 675, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.944 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A FOUND 1/2 INCH IRON ROD LOCATED IN THE WESTERLY RIGHT OF WAY LINE OF S. McCOLL ROAD AND MARKING THE SOUTHEASTERLY CORNER OF LOT A, RIDGE CROSSING SUBDIVISION NO. 2, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 38, PAGE 2A, MAP RECORDS OF HIDALGO COUNTY, TEXAS;

THENCE, SOUTH 08DEG 34' 51" WEST, ALONG THE WESTERLY RIGHT OF WAY LINE OF S. McCOLL ROAD, A DISTANCE OF 178.01 FEET, TO A SET 1/2 INCH IRON ROD WITH "HALFF" CAP;

THENCE, NORTH 81DEG 23' 27" WEST, CROSSING SAID LOT 1, A DISTANCE OF 429.80 FEET, TO A SET 1/2 INCH IRON ROD WITH "HALFF" CAP LOCATED IN THE EASTERLY RIGHT OF WAY LINE OF S. D STREET;

THENCE, NORTH 00DEG 59' 43" WEST, ALONG THE EASTERLY RIGHT OF WAY LINE OF S. D STREET, A DISTANCE OF 210.96 FEET, TO A FOUND 1/2 INCH IRON ROD WITH "RIO DELTA" CAP MARKING THE SOUTHWESTERLY CORNER OF LOT 3, PALMRIDGE PARK NO. 3, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN DOCUMENT NO. 2108488, MAP RECORDS OF HIDALGO COUNTY, TEXAS;

THENCE, ALONG THE SOUTHERLY LINE OF SAID LOT 3 AND THE WESTERLY AND SOUTHERLY LINES OF SAID LOT A, THE FOLLOWING COURSES:

SOUTH 81DEG 24' 02" EAST, A DISTANCE OF 185.18 FEET, TO A FOUND 1/2 INCH IRON ROD;
SOUTH 08DEG 43' 32" WEST, A DISTANCE OF 29.95 FEET, TO A FOUND 1/2 INCH IRON ROD;
SOUTH 81DEG 22' 29" EAST, A DISTANCE OF 279.78 FEET, TO THE **POINT OF BEGINNING** AND CONTAINING 1.944 ACRES (84,671 SQUARE FEET) OF LAND, MORE OR LESS.

GENERAL NOTES:

- THE BASIS OF BEARING IS BEING REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH ZONE (4205) AS DERIVED FROM THE WESTERN DATA SYSTEM VRS RIO GRANDE VALLEY COOPERATIVE NETWORK. ALL DISTANCES ARE SHOWN IN SURFACE.
- ACCORDING TO THE COMMUNITY PANEL NO. (480334 0450 C) OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OR FLOOD HAZARD BOUNDARY MAP DATED (06/06/2000), THE PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE B & C. ZONE B (DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500 YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN 1 FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, (MEDIUM SHADING) ZONE C (DEFINED AS AREAS OF MINIMAL FLOODING, (NO SHADING)
- BENCHMARK INFORMATION
 - 5/8" ROD WITH ALUMINUM DISC LOCATED NEAR THE NE CORNER OF THE PROPERTY ELEV. 116.86
 - 5/8" ROD WITH ALUMINUM DISC LOCATED NEAR THE SE CORNER OF THE PROPERTY ELEV. 116.31
 - 5/8" ROD WITH ALUMINUM DISC LOCATED NEAR THE SW CORNER OF THE PROPERTY ELEV. 116.65
 - 5/8" ROD WITH ALUMINUM DISC LOCATED NEAR THE NW CORNER OF THE PROPERTY ELEV. 116.68
- MINIMUM BUILDING SETBACK LINES SHALL BE:

FRONT: IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR IN LINE WITH AVERAGE SETBACK, WHICH EVER IS GREATER APPLIES.

REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, OR SITE PLAN, WHICH EVER IS GREATER APPLIES.

SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR SITE PLAN, WHICH EVER IS GREATER APPLIES.
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE TOP OF CURB WHICHEVER IS GREATER.
- STORM WATER DETENTION REQUIRED FOR THIS DEVELOPMENT IS 0.32 AC-FT TO BE DETAINED WITHIN THE REGIONAL DETENTION SYSTEM. DETENTION AREAS SHALL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- 6 FT. OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL, ZONES/USES.
- A 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON McCOLL ROAD AND S. D STREET.
- ALL CORNERS, ANGLE POINTS AND POINTS OF CURVATURE OR TANGENCY DELINEATING THE BOUNDARY OF THE LAND SHOWN HEREIN AS BEING PLATTED HAVE BEEN MARKED WITH A 1/2-INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "HALFF" OR LEFT AS FOUND THOSE MONUMENTS THAT REPRESENT OR REFERENCE THE BOUNDARY.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- COMMON AREAS, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- MINIMUM 26 FT. WIDE PRIVATE SERVICE DRIVE EASEMENT FOR CITY SERVICES WILL BE PROVIDED AS PART OF THE SITE PLAN REVIEW FOR THIS PROPERTY.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

LEGEND

○ - SET 1/2" IRON ROD WITH CAP STAMPED "HALFF"
FIR4 - FOUND 1/2" IRON ROD
FIRCA - FOUND 1/2" IRON ROD W/CAP (AS NOTED)
M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
D.R.H.C.T. - DEED RECORDS HIDALGO COUNTY TEXAS
O.R.H.C.T. - OFFICIAL RECORDS HIDALGO COUNTY TEXAS
R.O.W. - RIGHT OF WAY
VOL. - VOLUME
PG. - PAGE
DOC. NO. - DOCUMENT NUMBER
CL - CENTERLINE

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS McCOLLBAK SUBDIVISION TO THE CITY OF McALLEN, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS EASEMENTS, WATERLINES, SANITARY SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN AND REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREIN OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

McCOLLBAK I, LLC, A TEXAS LIMITED LIABILITY COMPANY
PHILLIP P. BAKKE - MANAGING MEMBER
207 ROOSEVELT AVE.
SAN ANTONIO, TX 78210

SHARYBAK I, LLC, A TEXAS LIMITED LIABILITY COMPANY
SHARYBAK, LTD., A TEXAS LIMITED PARTNERSHIP, MANAGER
PHILLIP P. BAKKE, GENERAL PARTNER
207 ROOSEVELT AVE.
SAN ANTONIO, TEXAS 78210

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY APPEARED SHARYBAK I, LLC AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND, IN THE CAPACITY, THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE.

DATED THIS _____ DAY OF _____, A.D. 2023.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2023.

CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2023.

ATTESTED: SECRETARY, CITY OF McALLEN MAYOR, CITY OF McALLEN

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATION

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(C) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATION

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1
ON THIS _____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR THE DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, ALSO THER WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHTS OF WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1

PRESIDENT SECRETARY

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JAMES W. RUSSEL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JAMES W. RUSSEL
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 4230

DATE:

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 137892

DATE:

PRELIMINARY
This document shall not
be recorded for any
purpose and shall not be
used or viewed or relied upon
as a final survey document.

FOR REVIEW & COMMENT

PRINCIPAL CONTACTS
OWNER: BAKKE DEVELOPMENT
ENGINEER: HALFF ASSOCIATES
SURVEYOR: HALFF ASSOCIATES

9000 E. LAKEVIEW DR.
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

McALLEN, TX 78501
McALLEN, TX 78503
McALLEN, TX 78503

PH: (210) 541-2005
PH: (956) 664-0286
PH: (956) 664-0286



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

THE COUNTY OF HIDALGO TEXAS

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

McCOLLBAK LOT 1 SUBDIVISION

A SUBDIVISION OF 1.944 ACRES
SITUATED IN THE CITY OF McALLEN
HIDALGO COUNTY, TEXAS
OUT OF LOT 1
PALMRIDGE PARK SUBDIVISION

AVO: 54749.001
DATE OF PREPARATION: MAY 2023

BY



5000 WEST MILITARY, SUITE 100
McALLEN, TX 78503-7446
TEL (956) 664-0286
TBPCLS SURVEYING FIRM #10104444



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/15/2023

SUBDIVISION NAME: MCCOLLBAK SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

S. McColl Road: dedication as required for 50 ft. from centerline for 100 ft. total ROW
Paving: by the State Curb & gutter: by the State
Revisions needed:
- If 100 ft. is existing ROW, please label accordingly, include the document number for the existing ROW on the plat, and provide a copy for staff review, prior to final.
- Show and label existing ROW on both sides of centerline to determine if any additional ROW dedication requirement, prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

S. "D" Street: dedication as needed for 30 ft. from centerline for 60 ft. total ROW
Paving: 40 ft. Curb & gutter: both sides
Revisions needed:
- If 60 ft. is existing ROW, please label accordingly, include the document number on the plat for the existing ROW, and provide a copy for staff review, prior to final.
- Show and label existing ROW on both sides of centerline to determine if any additional ROW dedication requirement, prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Non-compliance

Non-compliance

Applied

Compliance

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
** Plat note No. 14 indicates, "Minimum 26 ft. wide private service drive easement for City services will be provided as part of the site plan review for this property."
**Subdivision Ordinance: Section 134-106

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| SETBACKS | |
|--|----------------|
| <p>* S. McColl Road: 50 ft. or greater per approved site plan or easement Proposed Front: In accordance with Zoning Ordinance, or greater for easements or approved site plan, on in line with average setback, whichever is greater applies. - The subdivision is proposed as a replat of 1.944 acres out of Lot 1, Palmridge Park Subdivision. Vacating of lot 1, Palmridge Park Subdivision is not proposed; therefore, Palmridge Park Subdivision plat notes apply. Clarify/revise plat note #4 as shown above prior to final. **Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>* South "D" Street: 30 ft. or greater per approved site plan Proposed Rear: In accordance with the Zoning Ordinance, or greater for easements or site plan, whichever is greater applies. - The subdivision is proposed as a replat of 1.944 acres out of Lot 1, Palmridge Park Subdivision. Vacating of lot 1, Palmridge Park Subdivision is not proposed; therefore, Palmridge Park Subdivision plat notes apply. Clarify/revise plat note #4 as shown above prior to final.</p> | Non-compliance |
| <p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies **Zoning Ordinance: Section 138-356</p> | Applied |
| <p>* Corner **Zoning Ordinance: Section 138-356</p> | NA |
| <p>* Garage **Zoning Ordinance: Section 138-356</p> | NA |
| <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on S. McColl Road and S. "D" Street - Engineering Department may require 5 ft. sidewalk prior to final - Plat note # 10 proposes 5 ft. sidewalk on S. McColl Road and S. "D" Street. Please clarify/revise plat note prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Non-compliance |
| | Required |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses *Additional buffer might be required at the time of site plan review to screen refuse areas, outdoor storage areas, and loading docks from public streets. **Landscaping Ordinance: Section 110-46</p> | Applied |
| <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> | Applied |
| <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Required |
| NOTES | |
| <p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p> | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------------|
| <p>* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.</p> <p>- The subdivision is proposed as a replat of 1.944 acres out of Lot 1, Palmridge Park Subdivision. Vacating of lot 1, Palmridge Park Subdivision is not proposed; therefore, Palmridge Park Subdivision plat notes apply. Clarify/add a plat note as shown above prior to final.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> | Non-compliance |
| | Applied |
| | Applied |
| | NA |
| | NA |
| LOT REQUIREMENTS | |
| <p>* Lots fronting public streets</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area</p> <p>**Zoning Ordinance: Section 138-356</p> | Compliance |
| | Compliance |
| ZONING/CUP | |
| <p>* Existing: C-3 Proposed: C-3</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p> | Compliance |
| | NA |
| PARKS | |
| <p>* Land dedication in lieu of fee.</p> <p>- Submitted application on June 8, 2023, indicates commercial use. Park fees do not apply to commercial developments.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording</p> <p>- Submitted application on June 8, 2023, indicates commercial use. Park fees do not apply to commercial developments.</p> <p>* Pending review by the City Manager's Office.</p> <p>- Submitted application on June 8, 2023, indicates commercial use. Park fees do not apply to commercial developments.</p> | NA |
| | NA |
| | NA |
| TRAFFIC | |
| <p>* As per Traffic Department, Trip Generation is approved, no TIA required</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> | Compliance |
| | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| COMMENTS | |
|--|----------------|
| <p>Comments:</p> <ul style="list-style-type: none">- The subdivision is proposed as a replat of 1.944 acres out of Lot 1, Palmridge Park Subdivision. Vacating of lot 1, Palmridge Park Subdivision is not proposed. All notes and restrictions of the original subdivision apply.- Since the application is a replat, please revise the name of the subdivision to "Palmridge Park Lot 1A Subdivision" prior to final. -discuss with staff if needed.- Since the application is a replat, please revise the lot number to 1A, prior to final.- Please add lot number for Medcath Subdivision shown on the plat on the west side of South "D" Street. <p>*Must comply with City's Access Management Policy.</p> | Non-compliance |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL. | Applied |



LOCATION



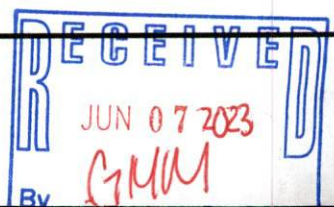


City of McAllen
Planning Department

SUB 2023-0056

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

| | | | | |
|---------------------|------------------------------|---|---|--|
| Project Information | Subdivision Name | <u>Sycamore Terrace</u> | | |
| | Location | <u>1107 Tamarack Avenue</u> | | |
| | City Address or Block Number | <u>1107 TAMARACK AVE</u> | | |
| | Number of Lots | <u>1</u> | Gross Acres | <u>1.08</u> |
| | | | Net Acres | <u>1.08</u> |
| | | | ETJ | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | Existing Zoning | <u>R1</u> | Proposed Zoning | <u>R1</u> |
| | | | Rezoning Applied for | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ |
| | Existing Land Use | <u>vacant</u> | Proposed Land Use | <u>residential</u> |
| | | | Irrigation District # | <u>.3</u> |
| | Replat | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Commercial <u>no</u> Residential <u>yes</u> | |
| | Agricultural Exemption | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Estimated Rollback Tax Due <u>N/A</u> | |
| | Parcel # | <u>199178</u> <u>199186</u> | Tax Dept. Review <u>E.V.</u> | |
| | Water CCN | <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC | Other _____ | |
| | Legal Description | <u>Janice Addition L. 18 & Janice Addition No. 2 Lot 9</u> | | |
| Owner | Name | <u>Samuel F. Vale</u> | | |
| | Address | <u>P.O. Drawer 156</u> | | |
| | City | <u>RGC</u> | State | <u>TX</u> Zip <u>78582</u> |
| Developer | Name | <u>same as owner</u> | | |
| | Address | _____ | | |
| | City | _____ | State | _____ Zip _____ |
| | Contact Person | _____ | | |
| Engineer | Name | <u>Spoor Engineering Consultants, Inc.</u> | | |
| | Address | <u>202 So. 4th Street</u> | | |
| | City | <u>McAllen</u> | State | <u>TX</u> Zip <u>78501</u> |
| | Contact Person | <u>Steve Spoor, P.E.</u> | | |
| Surveyor | Name | <u>Rio Delta Surveying</u> | | |
| | Address | <u>24593 FM88</u> | | |
| | City | <u>Monte Alto</u> | State | <u>TX</u> Zip <u>78538</u> |



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

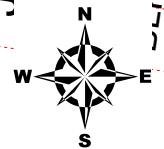
Signature  Date 6/2/23

Print Name S.F. Vole

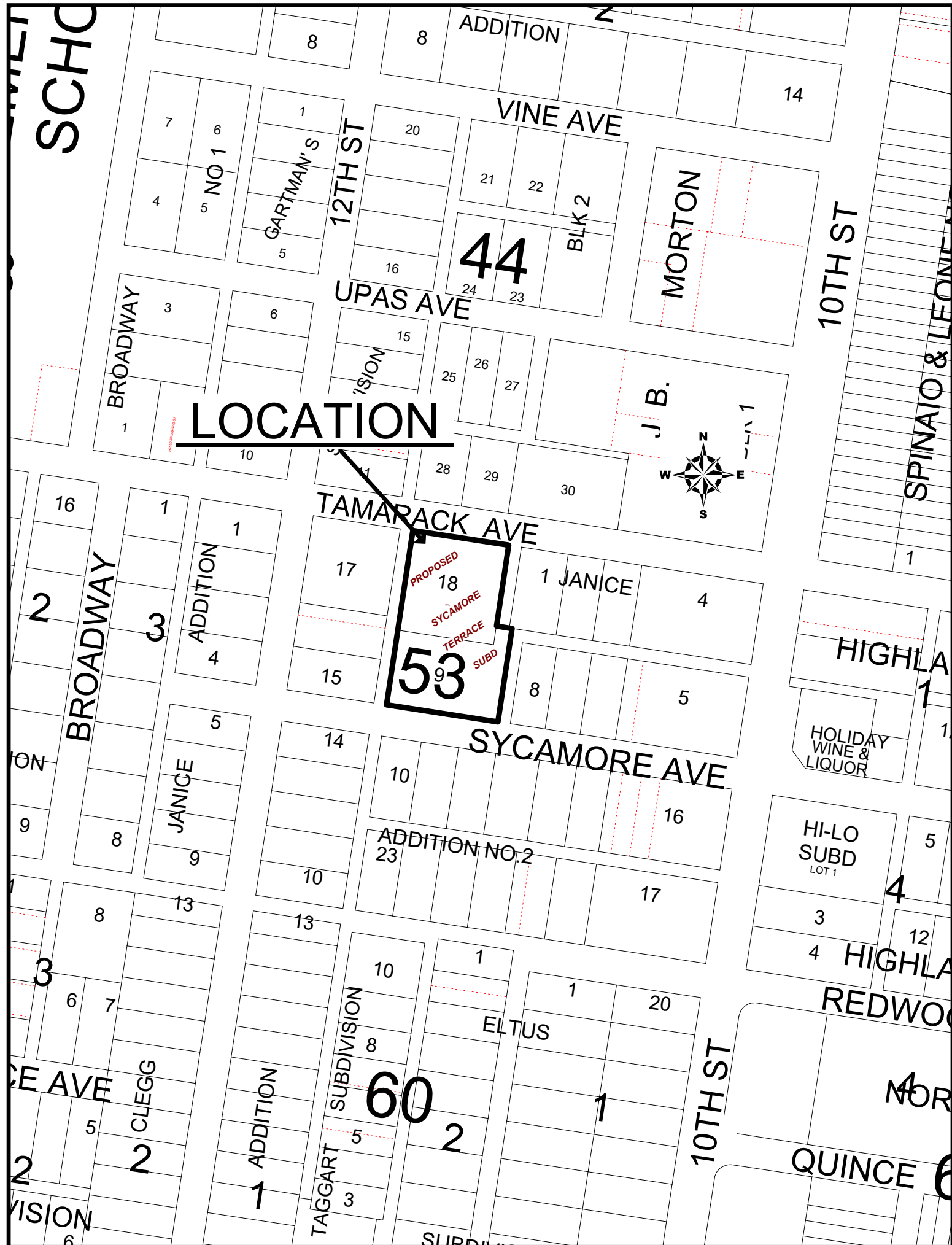
Owner ☒ Authorized Agent ☐

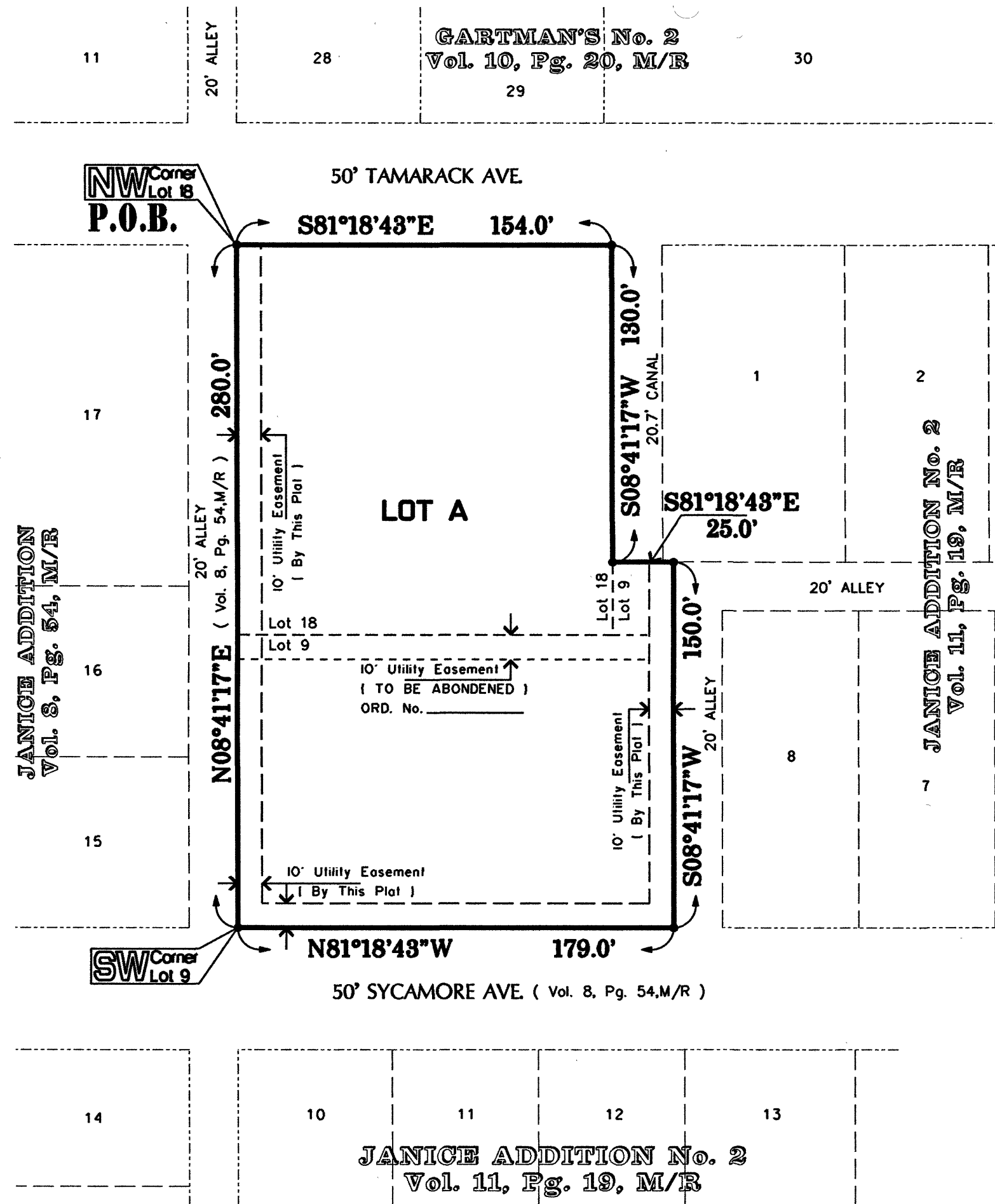
The Planning Department is now accepting DocuSign signatures on application

LOCATION



53
PROPOSED
SYCAMORE
TERRACE
SUBD





NOTES:

- MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
A- FRONT: - 25 FT. OR GREATER FOR EASEMENT
B- REAR: - 25 FT. OR GREATER FOR EASEMENT
C- SIDE: - 10 FT. OR GREATER FOR EASEMENT
D- GARAGES: - 15 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT CENTER OF LOT.
- THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 343 0005 C, REVISED NOVEMBER 2, 1982.
- A 6' BUFFER OPAQUE IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- A 4.0 FT MIN. SIDEWALK IS REQUIRED ALONG TAMARACK AVE. AND SYCAMORE AVE.
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- STORM WATER DETENTION OF 0.6 AC-FT SHALL BE REQUIRED FOR THIS SUBDIVISION.
- BENCHMARK: STATION NAME: MC* 72 SET BY ARANDA & ASSOC. LOCATED AT SOUTHEAST CORNER OF REDWOOD AND N. 10TH ST. ELEV.: 16.93 FT (NAVD88)
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

METES & BOUNDS

A 108 ACRE TRACT OF LAND BEING ALL OF LOT 18, JANICE ADDITION, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 8, PAGE 54, MAP RECORDS, AND ALL OF LOT 9, JANICE ADDITION NO. 2, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 11, PAGE 19, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the northwest corner of Lot 18, for the northwest corner of the following described tract of land, said point being the intersection of the South line of Tamarack Avenue, and the East line of 20 foot alley;
THENCE, with the North line of Lot 18, South 81 Deg. 18 Min. 43 Sec. East, 154.0 feet to the northeast corner of Lot 18 for the most northerly northeast corner hereof; said point being on the West line of 20.7 foot canal right of way;
THENCE, with the East line of Lot 18, and the West line of said canal right of way, South 08 Deg. 41 Min. 17 Sec. West, 130.0 feet to the most northerly northwest corner of Lot 18 for an interior corner hereof;
THENCE, with the most northerly North line of Lot 9, South 81 Deg. 18 Min. 43 Sec. East, 25.0 feet to the northeast corner of Lot 9 for the most southerly northeast corner hereof; said point being the intersection of the North line of 20 foot alley and the West line of 20 foot alley;
THENCE, with the East line of Lot 9, and the West line of 20 foot alley, South 08 Deg. 41 Min. 17 Sec. West, 150.0 feet to the southeast corner of Lot 9 for the southeast corner hereof; said point being on the North line of Sycamore Avenue;
THENCE, with the South line of Lot 9, and the North line of Sycamore Avenue, North 81 Deg. 18 Min. 43 Sec. West, 179.0 feet to the southwest corner of Lot 9, for the southwest corner hereof; said point being on the southeast corner of 20 foot alley;
THENCE, with the West line of Lots 9 and 18, and the East line of 20 foot alley, North 08 Deg. 41 Min. 17 Sec. East, at 120.0 feet pass the common West corner between Lots 9 and 18, and at 280.0 feet the POINT OF BEGINNING, containing 108 acres of land, more or less.



June 01 2023
Scale: 1"=50'

MAP OF

SYCAMORE TERRACE SUBDIVISION

McAllen, Texas

Being a resubdivision of Lot 18, Janice Addition
City of McAllen, Hidalgo County, Texas,
Janice Addition No. 2, City of McAllen, Hidalgo County, Texas,
recorded in Vol. 8, Pg. 54 and Vol. 11, Pg. 19, Map Records,
Hidalgo County, Texas.
Containing 1.08 acres of land more or less.

STATE OF TEXAS:
COUNTY OF HIDALGO:

* SYCAMORE TERRACE

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS "SUBDIVISION" SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF, OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

By: Samuel F. Vale
PO Drawer 156
Rio Grande City, Texas 78582

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SAMUEL F. VALE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2023.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION AND ZONING COMMISSION

STATE OF TEXAS:
COUNTY OF HIDALGO:

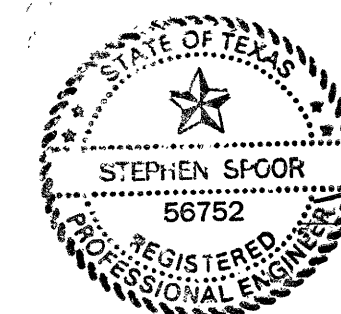
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 5571 IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOW THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

JOSE MARIO GONZALEZ, RPLS 5571
RIO DELTA SURVEYING
24593 FM 88
MONTE ALTO, TEXAS 78538
TEPELS FIRM # 1001390

DATE

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



06-06-23
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION NO. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

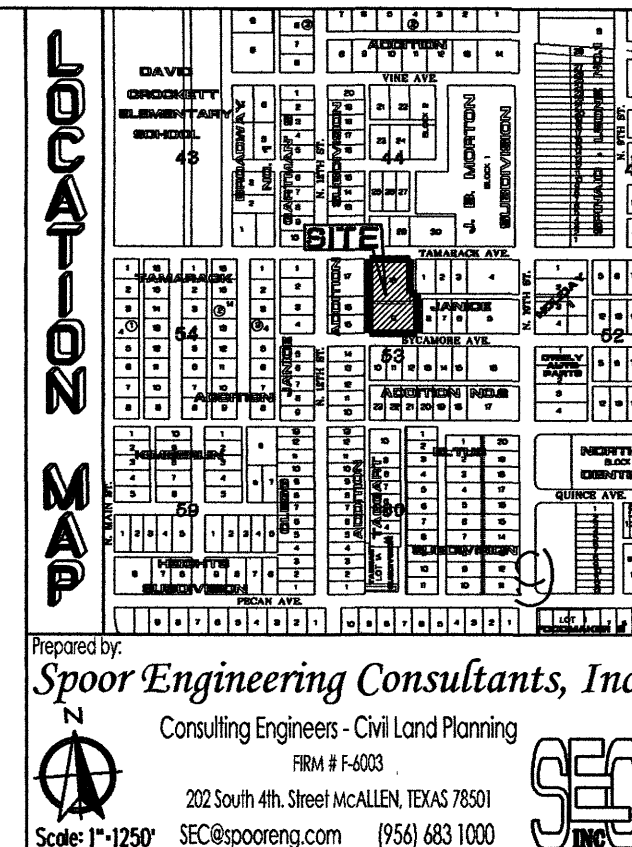
DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.21(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

By: RAUL E. SESIN, P.E., CFM
GENERAL MANAGER

DATE





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/16/2023

SUBDIVISION NAME: SYCAMORE TERRACE

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Sycamore Ave. 50 ft. ROW existing
Paving: 32 ft. Curb & gutter: both sides
*Show centerline and ROW on both sides of centerline to determine if any additional ROW required prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Tamarack Ave. -50 ft. ROW existing
Paving: 32 ft. Curb & gutter: both sides
*Show centerline and ROW on both sides of centerline to determine if any additional ROW required prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118
* 900 ft. Block Length for R-3 Zone Districts
*Property is zoned R-1.
**Subdivision Ordinance: Section 134-118

Compliance

* 600 ft. Maximum Cul-de-Sac
* No cul-de-sac proposed.
**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
Existing alley along the west and southeast portion of the property - clarify existing condition/pavement prior to final
**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front: 25 ft. or greater for easement or in line with average setbacks of existing structures, whichever is greater applies.
*Clarify which street will be front of lot.
*Wording for plat note will be established once frontage is clarified.
*Initial plat submittal proposes 25 ft. or greater for easements.
**Zoning Ordinance: Section 138-356

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

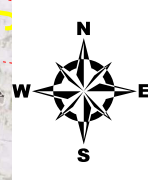
| | |
|--|----------------|
| <ul style="list-style-type: none"> * Rear: *25 ft. or greater for easement or in line with average setbacks of existing structures, whichever is greater applies. *Clarify which street will be rear of lot. *Wording for plat note will be established once frontage is clarified. *Initial plat submittal proposes *25 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Sides: 6 ft. or greater for easements *Initial plat submittal proposes 10 or greater for easements. *Wording for plat note will be established once clarified. **Zoning Ordinance: Section 138-356 * Alley side: Proposing 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setbacks required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Non-compliance |
| | Required |
| | Applied |
| | Applied |
| | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on Tamarack Ave. and Sycamore Ave. *Width to be finalized as applicable, per Engineering prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses - also along rear of lot once lot frontage is established prior to final. *Wording for plat note will be established once frontage is clarified. **Landscaping Ordinance: Section 110-46 and 110 49 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses _____ **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Non-compliance |
| | Applied |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along rear street once lot frontage is established. *Wording for plat note will be established once street frontage is clarified. **Must comply with City Access Management Policy *Landscape Ordinance Section 110-49 * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. *Property is zoned R-1. | Applied |
| | NA |
| | Applied |
| | NA |

| | |
|---|----------|
| <ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets: Need to clarify what street lot will front to establish requirements, prior to final. **Subdivision Ordinance: Section 134-1 | Required |
| <ul style="list-style-type: none"> * Minimum lot width and lot area: Lots must have minimum 50 ft. frontage; 54 ft. for a corner lot for R-1 lots. (5,000 sq. ft. minimum) **Zoning Ordinance: Section 138-356 | Applied |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V | Applied |
| <ul style="list-style-type: none"> * Rezoning Needed Before Final Approval *Required if zoning/use other than existing R-1 proposed. ***Zoning Ordinance: Article V | Applied |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. *Proposed use is for one dwelling unit/lot - if number of dwelling units/lot change, will be reviewed accordingly prior to final. | NA |
| <ul style="list-style-type: none"> * Park Fee of \$700 required based on proposed one lot/dwelling unit - to be paid prior to recording. *Proposed use is for one dwelling unit/lot - if number of dwelling units/lot change, will be reviewed accordingly prior to final. | Required |
| <ul style="list-style-type: none"> * Pending review by the Parkland Dedication Advisory Board and CC. Proposed use is for one dwelling unit/lot - if number of dwelling units/lot change, will be reviewed accordingly prior to final. | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Applied |
| <ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. | NA |
| COMMENTS | |
| <ul style="list-style-type: none"> Comments: *Must comply with City's Access Management Policy. *Additional requirements as applicable once street frontage is established. * Abandonment must be done by separate instrument, not by plat, prior to final. - Revise plat name to "Janice at Sycamore Terrace Subdivision" prior to final. | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| RECOMMENDATION | |
|--|---------|
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, AND UTILITY AND DRAINAGE APPROVALS. | Applied |

LOCATION



TAMARACK AVE

SYCAMORE AVE

VINE AVE

UPAS AVE

10TH ST

10TH ST

QUINCE

REDWO

HIGHLA

HIGHLA

HIFLO
SUBD
LOT 1

HOLIDAY
REINE 8
LIQUOR

HIGHLA

1

1

1

1

1

1

1

44

53

60

ELTUS

ADDITION NO 2

TAGGART
SUBDIVISION

ADDITION

CLEGG

JANICE

ADDITION

BROADWAY

12TH ST

CARTMAN'S

NO 1

ADDITION

MORTON

BLK 2

SCHO

SPINATO & I



City of McAllen

SUB2023-0054

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

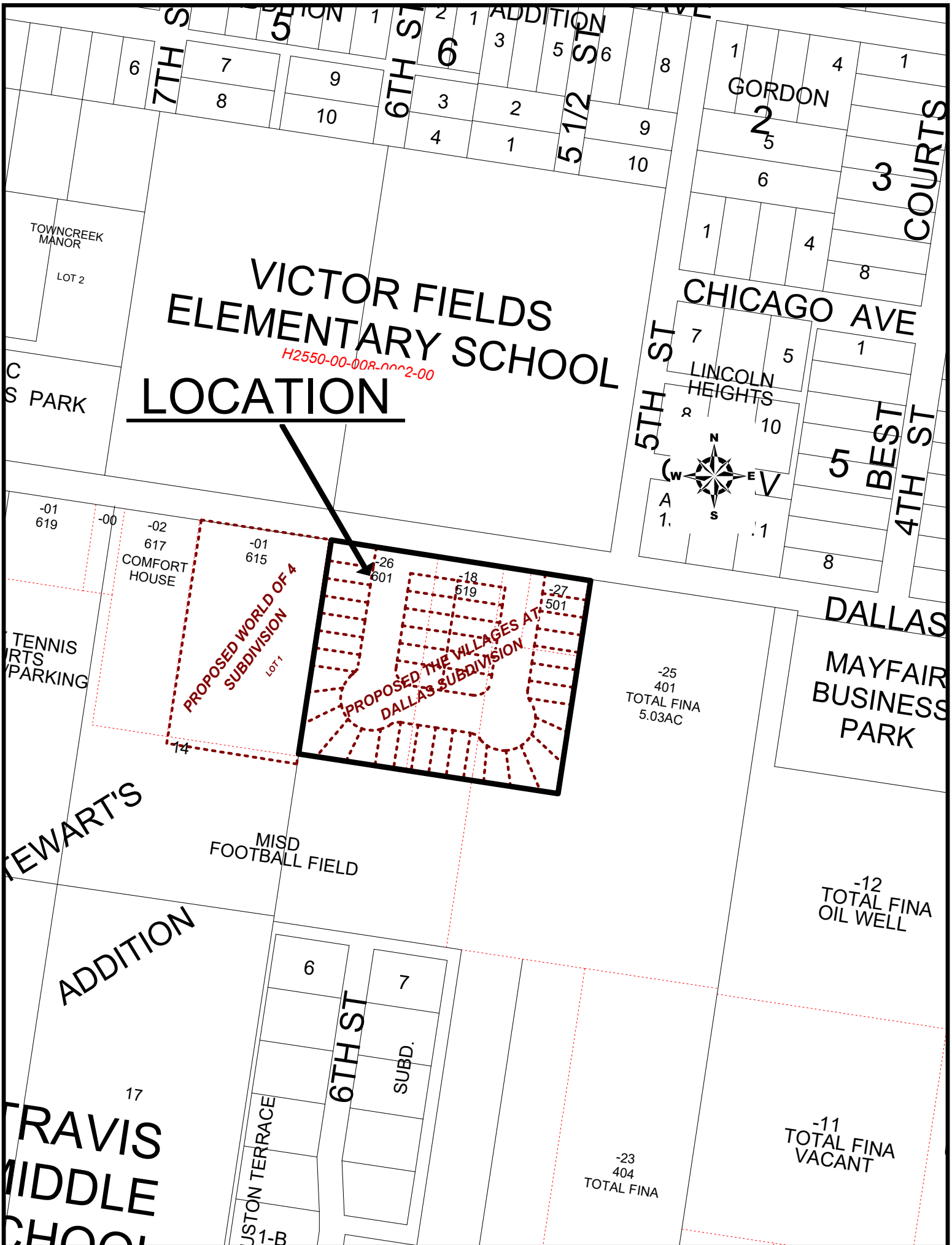
| | | |
|---|--|--|
| Project Information | Subdivision Name <u>THE VILLAGES AT DALLAS</u> | |
| | Location <u>601 Dallas Ave</u> | |
| | City Address or Block Number <u>601 DALLAS AVE</u> | |
| | Number of Lots <u>43</u> Gross Acres <u>3.59</u> Net Acres <u>3.23</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| | Existing Zoning <u>R3T&R1</u> Proposed Zoning <u>R3T</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date <u> </u> | |
| | Existing Land Use <u>vacant</u> Proposed Land Use <u>Townhomes</u> Irrigation District # <u>H10 1 No 2</u> | |
| | Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input type="checkbox"/> Residential <input checked="" type="checkbox"/> | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>✓</u> <u>E.H. 6/2/2023</u> | |
| | Parcel # <u>189549</u> Tax Dept. Review <u>✓</u> | |
| | Water CCN <input checked="" type="checkbox"/> MPRU <input type="checkbox"/> Sharyland Water SC Other <u> </u> | |
| Legal Description <u>As describe in Exhibit A</u> | | |
| Owner | Name <u>SMART PECUNIA LLC</u> Phone <u>956 529 69991</u> | |
| | Address <u>808 Shary Rd Ste #5 # 330</u> E-mail <u>info@smartpecunia.me</u> | |
| | City <u>Mission</u> State <u>TX</u> Zip <u>78572</u> | |
| Developer | Name <u>THE VILLAGES AT DALLAS LLC</u> Phone <u>956.530.1368</u> | |
| | Address <u>601 Dallas Ave</u> E-mail <u>eh@smartpecunia.me</u> | |
| | City <u>Mission</u> State <u>TX</u> Zip <u>78572</u> | |
| | Contact Person <u>Emanuel Hernandez</u> | |
| Engineer | Name <u>ALPHA ENGINEERING</u> Phone <u>956 363 0768</u> | |
| | Address <u>130 W Magnolia</u> E-mail <u>info@alpha-eng.us</u> | |
| | City <u>La Feria</u> State <u>TX</u> Zip <u>78559</u> | |
| | Contact Person <u>Juan Gamez</u> | |
| Surveyor | Name <u>SAM Engineering & Surveying INC</u> Phone <u>956 702 8880</u> | |
| | Address <u>200 S 10 TH St STE 1500</u> E-mail <u>info@samengineering-surveying.com</u> | |
| | City <u>McAllen</u> State <u>TX</u> Zip <u>McAllen 78501</u> | |

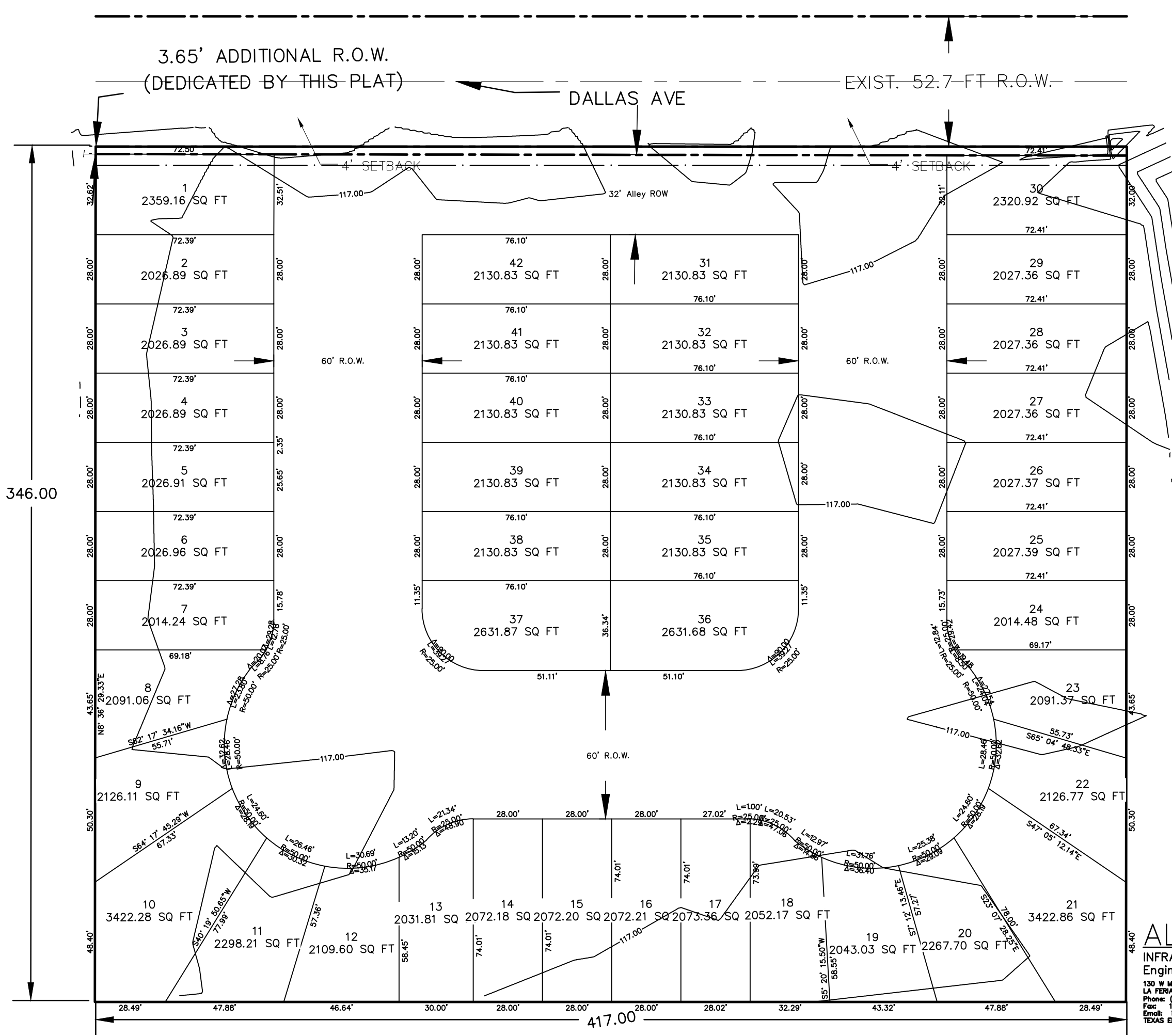
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**VICTOR FIELDS
ELEMENTARY SCHOOL
LOCATION**

H2550-00-008-nrr2-00





VILLAGES AT DALLAS SUBDIVISION

BEING 3.31 ACRES OF LAND, MORE OR LESS, OUT OF LOT 7, SECTION 8, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME "Q", PAGE 1 77, DEED RECORDS, HIDALGO COUNTY, TEXAS

ALPHA
INFRASTRUCTURE
Engineering PLLC

130 W MAGNOLIA
LA FERIA, TX
Phone: (956) 363-0768
Fax: 1-888-747-3965
Email: info@alpha-eng.us
TEXAS ENGINEERING FIRM N.O. F-15540

JCS ENGINEERING AND SURVEYING
PO BOX 170
MERCEDDES, TX. 78570
PHONE (956) 565-2688
FAX (956) 565-0347

TEXAS ENGINEERING FIRM REGISTRATION NO. F-9911
TBPLS FIRM REGISTRATION NO. 10084200



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/16/2023

SUBDIVISION NAME: THE VILLAGES AT DALLAS

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Dallas Avenue: dedication as needed for 30 ft. for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: Both sides

Revisions needed:

- The existing ROW is shown as 53 ft. Please reference the document number on the plat and provide a copy for staff review, prior to final.

- Please label CL and show the existing ROW on both sides of ROW to determine additional ROW dedication requirement, prior to final.

- Show and label the total ROW and ROW from centerline after the dedication to determine if any additional ROW dedication is required.

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to recording**

****COM Thoroughfare Plan**

Non-compliance

Interior Streets: Dedication as needed for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: both sides

Revisions needed:

- Please show the ROW radius and dimensioned paving layout for the knuckles. Staff will review to determine if 96 ft. face to face paving and minimum of 10 ft. additional ROW will be required for the knuckles around the curb to accommodate the sidewalk requirement.

- Names of the interior streets will be finalized prior to final.

- If the property is proposed to be private, please submit gate details, showing paving and island width, sidewalk, etc., prior to final. Additional ROW might be required at the gate area, based on the gate detail.

- Show the existing streets (S. 5th Street) on the plat prior to final.

- Provide distance from S. 5th Street centerline to the centerline of the eastern most interior street to determine compliance prior to final. Minimum separation required is 125 ft.

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to recording.**

****COM Thoroughfare Plan**

Non-compliance

* 1,200 ft. Block Length

****Subdivision Ordinance: Section 134-118**

* 900 ft. Block Length for R-3T and R-3C Zone Districts

****Subdivision Ordinance: Section 134-118**

* 600 ft. Maximum Cul-de-Sac

****Subdivision Ordinance: Section 134-105**

NA

Applied

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| ALLEYS | |
|---|----------------|
| <p>ROW: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> - A 32 ft. alley is proposed on the north side of Lots 31 & 42. Please clarify/show alley for providing cITY serviceS for other lots, prior to final. - Trash receptacles are shown on paving layout where a 32 ft. alley is shown. Please clarify/revise the plat. - Provide dumpster details and auto turn study. - Finalize requirements with Public Works for trash collection prior to final. <p>*Alley/service drive easement required for commercial and multifamily properties **Subdivision Ordinance: Section 134-106</p> | Non-compliance |
| SETBACKS | |
| <ul style="list-style-type: none"> * Front: 10 ft. or greater for easements - Please add a plat note as shown above prior to final. <p>**Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <ul style="list-style-type: none"> * Rear: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. - Plat note will be finalized prior to final - Add a plat note once wording is finalized by staff after easement requirements are established prior to final. <p>**Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. - Add a plat note as shown above prior to final. - Alley side setback will be established, if required, prior to final. <p>**Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements - Add a plat note as shown above prior to final. - Clarify the 4 ft. setback line, shown along Dallas Ave prior to final. <p>**Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies - Add a plat note as shown above prior to final <p>**Zoning Ordinance: Section 138-356</p> | Non-compliance |
| <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on Dallas Ave. and both sides on all interior streets - Engineering Department may require 5 ft. prior to final - Add a plat note as shown above prior to final <p>**Subdivision Ordinance: Section 134-120</p> | Non-compliance |
| <ul style="list-style-type: none"> * Perimeter sidewalks must be built or money escrowed if not built at this time. | Required |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Dallas Avenue. - Add a plat note as shown above prior to final <p>**Landscaping Ordinance: Section 110-46</p> | Non-compliance |

| | |
|---|----------------|
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses - Add a plat note as shown above prior to final **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Non-compliance |
| | Required |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Submit a site plan for the proposed development to check compliance with requirements prior to final. - Determination will be made if a separate site plan application and fee will be required prior to recording. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add a plat note as shown above prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions needed: <ul style="list-style-type: none"> - Clarify if the subdivision is proposed as public or private - Add a plat note as show above prior to final (Reference Section 110-72 if proposed to be public) **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| | Non-compliance |
| | Non-compliance |
| | NA |
| | Non-compliance |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area - Label the curves with letters and provide a table for the dimensions prior to final **Zoning Ordinance: Section 138-356 | Compliance |
| | Non-compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-3T Proposed: R-3T * The zoning map was revised after staff verified that the whole property was zoned R-3T. Please revise the application accordingly, prior to final. ***Zoning Ordinance: Article V | Required |

| | |
|--|----------------------------|
| <ul style="list-style-type: none"> * Rezoning Needed Before Final Approval * The zoning map was revised after staff verified that the whole property was zoned R-3T. Please revise the application accordingly, prior to final. ***Zoning Ordinance: Article V | NA |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - The subdivision application submitted on June 2, proposes 43 townhome lots. However, the subdivision plat depicts 42 lots. Please revise plat/application prior to final. A park fee of \$700 per lot/dwelling unit to be paid prior to recording. * Pending review by the City Manager's Office. | NA Non-compliance NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. | Non-compliance TBD |
| COMMENTS | |
| Comments: <ul style="list-style-type: none"> - Please clarify if the subdivision will be public or private, prior to final. - If the property is proposed to be private, please submit gate details, showing paving and island width, sidewalk, etc., prior to final. Additional ROW might be required at the gate area, based on the gate detail. - If the property is proposed to be private, please add "(Private Subdivision)" in smaller fonts, under the name of the proposed subdivision on the plat, prior to final. - Please show the legal description of the adjacent properties on all sides, including on the north side of Dallas Avenue, prior to final. - Please use a darker line around the original boundary (before ROW dedication), prior to final. - Trash receptacles are shown on paving layout where a 32 ft. alley is shown. Please clarify/revise the plat. A common lot labeled correctly might be required if the area is proposed for Trash receptacles, prior to final. - Submit a site plan including the proposed townhomes layouts and landscape areas along Dallas Avenue complying with Sec. 110-48 & 110-49 of the Landscape Ordinance. *Must comply with City's Access Management Policy. | Non-compliance |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL. | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

VICTOR FIELDS ELEMENTARY SCHOOL

LOCATION

H2550-00-008-0002-00

CHICAGO AVE

LINCOLN HEIGHTS

DALLAS

MAYFAIR
BUSINESS
PARK



PROPOSED WORLD OF 4
SUBDIVISION
LOT 1

PROPOSED THE VILLAGES AT
DALLAS SUBDIVISION

MISD
FOOTBALL FIELD

-12
TOTAL FINA
OIL WELL

-11
TOTAL FINA
VACANT

-23
404
TOTAL FINA

-25
401
TOTAL FINA
5.03AC

6TH ST

SUBD.

HOUSTON TERRACE
T.B

TRAVIS
MIDDLE
SCHOOL

STEWART'S
ADDITION

OC
US PARK

TOWN CREEK
MANOR
LOT 2

7TH

6TH

5 1/2 ST

GORDON

COLLETT

BEST

4TH ST



Memo

TO: Planning & Zoning Commission
FROM Edgar I. Garcia, AICP, CNU-A, CPM, Director of Planning & Zoning
DATE: June 8, 2023
SUBJECT: CARPORT SIZE MAXIMUMS

BACKGROUND: The City's Zoning Ordinance does not allow for construction over any setbacks. However, Section 138-371 allows for the Zoning Board of Adjustments and Appeals (ZBOA) to approve special exceptions for carports encroaching into setbacks. While the ZBOA is able to consider a carport's size in their approval decision, there is currently no limit to a carport's potential size. Some carports have been built that rival a home's size and detract from the uniformity of a neighborhood.

PROPOSED ORDINANCE: The proposed ordinance change would cap the size of carports approved for a special exception at 400 square feet; this size allows for coverage of two vehicles.

ORDINANCE NO. 2023- _____

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF MCALLEN AT CHAPTER 138 ("ZONING"), ARTICLE VI ("SUPPLEMENTARY DISTRICT REGULATIONS"), DIVISION 3 ("LOTS AND YARDS"), AMENDING SPECIAL EXCEPTIONS FOR CARPORTS REQUIREMENTS; PROVIDING FOR SEVERABILITY, AND ORDAINING OTHER PROVISIONS RELATED TO THE SUBJECT MATTER HEREOF.

WHEREAS, the City of McAllen understands the importance of setbacks in ensuring security and safety; and

WHEREAS, the City of McAllen provided for special exceptions for carports that may be encroaching into setbacks; and

WHEREAS, the City of McAllen believes carports should be clearly secondary in nature and size when compared to the main structure on a property; and

WHEREAS, the City Commission finds that placing reasonable restrictions on carport sizes for those receiving a special exception is necessary,

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE CITY OF MCALLEN, TEXAS, THAT:

SECTION I: The Code of Ordinances, City of McAllen, Chapter 138 ("Zoning"), Article VI ("Supplementary District Regulations"), Division 3 ("Lots and Yards"), Section 138-371 ("Special exception for carports") is hereby amended to read as follows:

(g) No carport for which a special exception has been granted under this subsection shall exceed 400 square feet in size.

SECTION II: The City Secretary of the City of McAllen is hereby authorized and directed to cause the caption of this ordinance to be published in a newspaper having

general circulation in McAllen, Hidalgo County, Texas in accordance with the Code of Ordinances of the City of McAllen, Section 2-56. Publication of ordinances.

SECTION III: The City Secretary of the City of McAllen is hereby authorized and directed to cause the language in Chapter 138, Article VI, Division III, Section 138-371, the McAllen Code of Ordinances, as amended by Section I, hereinabove, to be published in the appropriate location in the said Code of Ordinances.

SECTION IV: This Ordinance shall be and remain in full force and effect from and after its passage by the Board of Commissioners, and execution by the Mayor.

SECTION V: If any part or parts of this Ordinance are found to be invalid or unconstitutional by a court having competent jurisdiction, then such invalidity or unconstitutionality shall not affect the remaining parts hereof and such remaining parts shall remain in full force and effect, and to that extent this Ordinance is considered severable.

CONSIDERED, PASSED and APPROVED this ____ day of June, 2023, at a regular meeting of the Board of Commissioners of the City of McAllen, Texas at which a quorum was present and which was held in accordance with Chapter 551 of the Texas Government Code.

SIGNED this ____ day of June, 2023.

CITY OF McALLEN

By: _____

Javier Villalobos, Mayor

Attest:

Perla Lara, TRMC, City Secretary

Approved as to form:

Isaac Tawil, City Attorney

Memo

TO: Planning & Zoning Commission
FROM Edgar I. Garcia, AICP, CNU-A, CPM, Director of Planning & Zoning
DATE: June 8, 2023
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PROPOSED ORDINANCE: The proposed ordinance change would cap the size of carports approved for a special exception at 400 square feet; this size allows for coverage of two vehicles.

| | |
|----|-------------------|
| P | PRESENT |
| A | ABSENT |
| MC | MEETING CANCELLED |
| LQ | LACK OF QUORUM |

2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

[illegible]

2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]







PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2023 CALENDAR

Meetings:

-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment

HPC - Historic Preservation Council





Deadlines:

D- Zoning/CUP Application





N - Public Notification

* Holiday - Office is closed





JANUARY 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|----------------------------------|-----|-----|
| 1 | 2 HOLIDAY | 3 | 4 | 5 N-1/17& 1/18 D-2/7 & 2/8 | 6 | 7 |
| 8 | 9  | 10  | 11 | 12 | 13 | 14 |
| 15 | 16 A-2/7 & 2/8 | 17 | 18 N-2/7 & 2/8 D-2/21 & 2/22 | 19 | 20 | 21 |
| 22 | 23  | 24  | 25 | 26 HPC | 27 | 28 |
| 29 | 30 | 31 | | | | |





FEBRUARY 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|------------------|-----|-----|
| | | | 1 | 2 | 3 | 4 |
| 5 | 6 A-2/21 & 2/22 | 7 | 8 N- 2/21& 2/22 D- 3/7 & 3/8 | 9 | 10 | 11 |
| 12 | 13  | 14  | | | 17 | 18 |
| 19 | 20 A-3/2 & 3/3 | 21 | 22 N-3/7 & 3/8 D-3/21 & 3/22 | 23 HPC | 24 | 25 |
| 26 | 27  | 28  | | | | |





MARCH 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|-----|-----|-----|
| | | | 1 | 2 | 3 | 4 |
| 5 | 6 A-3/15 & 3/16 | 7 | 8 N-3/15 & 3/16 D-4/4 & 4/5 | 9 | 10 | 11 |
| 12 | 13  | 14  | | | 17 | 18 |
| 19 | 20 A-4/4 & 4/5 | 21 | 22 N-4/4 & 4/5 D-4/18 & 4/19 | 23 | 24 | 25 |
| 26 | 27  | 28  | 29 HPC | 30 | 31 | |





APRIL 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|-------------------------------------|------------------|---------------------|-----|
| | | | | | | 1 |
| 2 | 3 A-4/18 & 4/19 | 4 | 5 N-4/18 & 4/19 D-5/2 & 5/3 | 6 | 7 HOLIDAY | 8 |
| 9 | 10  | 11  | 12 | 13 | 14 | 15 |
| 16 | 17 A- 5/2 & 5/3 | 18 | 19 N- 5/2 & 5/3 D-5/16 & 5/17 | 20 | 21 | 22 |
| 23 | 24  | 25  | 26 | 27 HPC | 28 | 29 |
| 30 | | | | | | |

MAY 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|------------------|-----|-----|
| | 1 A- 5/16 & 5/17 | 2 | 3 D: 6/6 & 6/7 N-5/16 & 5/17 | 4 | 5 | 6 |
| 7 | 8  | 9  | 10 | 11 | 12 | 13 |
| 14 | 15 | 16 | 17 D-6/20 & 6/21 | | 19 | 20 |
| 21 | 22  | 23  | 24 N-6/6 & 6/7 | 25 HPC | 26 | 27 |
| 28 | 29 HOLIDAY | 30 | 31 | | | |



JUNE 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|-------------------------------------|------------------|-----|-----|
| | | | | 1 | 2 | 3 |
| 4 | 5 A-6/20 & 6/21 | 6 | 7 D-7/12 & 7/13 N-6/20 & 6/21 | 8 | 9 | 10 |
| 11 | 12  | 13  | 14 | 15 | 16 | 17 |
| 18 | 19 | 20 | 21 D-7/26 & 7/27 | 22 | 23 | 24 |
| 25 | 26  | 27  | 28 N-7/12 & 7/13 | 29 HPC | 30 | |

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2023 CALENDAR





Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council





Deadlines:

- D- Zoning/CUP Application
- N - Public Notification
- * **Holiday** - Office is closed





JULY 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|--|---|------------------------------------|---------------|-----|-----|
| | | | | | | 1 |
| 2 | 3 | 4 HOLIDAY | 5 | 6 | 7 | 8 |
| 9 | 10  A-7/26 & 7/27 | 11  | 12 N-7/26 & 7/27 D-8/8 & 8/9 | 13 | 14 | 15 |
| 16 | 17 | 18 | 19 | 20 | 21 | 22 |
| 23 | 24  A-8/8 & 8/9 | 25  | 26 N-8/8 & 8/9 D-8/22 & 8/23 | 27 HPC | 28 | 29 |
| 30 | 31 | | | | | |





AUGUST 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|-------------------------------------|---------------|-----|-----|
| | | 1 | 2 | 3 | 4 | 5 |
| 6 | 7 A- 8/22 & 8/23 | 8 | 9 N- 8/22 & 8/23 D-9/6 & 9/7 | 10 | 11 | 12 |
| 13 | 14  | 15  | 16 | 17 | 18 | 19 |
| 20 | 21 A- 9/6 & 9/7 | 22 | 23 N- 9/6 & 9/7 D-9/19 & 9/20 | 24 HPC | 25 | 26 |
| 27 | 28  | 29  | 30 | 31 | | |





SEPTEMBER 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|--|---------------|--------------------|-----|
| | | | | | 1 | 2 |
| 3 | 4 HOLIDAY | 5 | 6 N-9/19 & 9/20 D-10/3 & 10/4 | 7 | 8 A-9/19 & 9/20 | 9 |
| 10 | 11  | 12  | 13 | 14 | 15 | 16 |
| 17 | 18 A-10/3 & 10/4 | 19 | 20 D-10/18 & 10/19 N-10/3 & 10/4 | 21 | 22 | 23 |
| 24 | 25  | 26  | 27 | 28 HPC | 29 | 30 |



OCTOBER 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|---------------------------------------|---------------|-----|-----|
| 1 | 2 | 3 | 4 N-10/17 & 10/18 D-11/1 - 11/7 | 5 | 6 | 7 |
| 8 | 9  | 10  | 11 | 12 | 13 | 14 |
| 15 | 16 A-11/1 ZBA | 17 | 18 N- 11/1 ZBA D-11/15 & 11/21 | 19 | 20 | 21 |
| 22 | 23  | 24  | 25 | 26 HPC | 27 | 28 |
| 29 | 30 A- 11/15 ZBA | 31 | | | | |

NOVEMBER 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|----------------------|-----|-----|
| | | | 1 N- 11/15 ZBA D-12/5 & 12/6 | 2 | 3 | 4 |
| 5 | 6 A-11/21 PZ | 7 | 8 N- 11/21 PZ | 9 | 10 | 11 |
| 12 | 13  | 14  | 15 D-12/19 & 12/20 | 16 | 17 | 18 |
| 19 | 20 A-12/5&12/6 | 21 | 22 N-12/5 & 12/6 | 23 HOLIDAY | 24 | 25 |
| 26 | 27  | 28  | 29 | 30 | | |

DECEMBER 2023

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|--|-----|-----|-----|
| | | | | | 1 | 2 |
| 3 | 4 | 5 | 6 HPC D-TBA N-12/19 & 12/20 | 7 | 8 | 9 |
| 10 | 11  | 12  | 13 | 14 | 15 | 16 |
| 17 | 18 A- TBA | 19 | 20 D- TBA N- TBA | 21 | 22 | 23 |
| 24 | 25 HOLIDAY | 26 HOLIDAY | 27 | 28 | 29 | 30 |

PLANNING DEPARTMENT

2023 Calendar

SUBDIVISION AND UTILITY REVIEW CALENDAR

| SUBDIVISION/UTILITY MEETING | | | | | | | CITY MEETING | | | | | | | DEADLINE AT 5:00P.M. | | | | | | |
|---|-----|-----|-----|-----|-----|-----|---|-----|-----|-----|-----|-----|-----|---|--|--|--|--|--|--|
| <div>Subdivision Review Meeting - 8:30 a.m.</div> <div>Review with staff, developers and engineers</div> | | | | | | | <div>City Commission</div> <div>Planning and Zoning</div> <div>Public Utility Board</div> | | | | | | | <div>Changes to subdivision/site plans</div> <div>Required to be placed on following review meeting</div> | | | | | | |
| <div>Staff Project Review - 8:30 a.m.</div> <div>Review of plats, utilities and drainage and site plans</div> | | | | | | | | | | | | | | <div>Deadline for New Plats</div> <div>New Plats with all supporting information and fees</div> | | | | | | |
| JANUARY 2023 | | | | | | | FEBRUARY 2023 | | | | | | | | | | | | | |
| Sun | Mon | Tue | Wed | Thu | Fri | Sat | Sun | Mon | Tue | Wed | Thu | Fri | Sat | | | | | | | |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | | | | 1 | 2 | 3 | 4 | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | |
| 8 | 9 | 10 | 11 | 12 | 13 | 14 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | | | | | | | |
| 15 | 16 | 17 | 18 | 19 | 20 | 21 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | | | | | | | |
| 22 | 23 | 24 | 25 | 26 | 27 | 28 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | | | | | | | |
| 29 | 30 | 31 | | | | | 26 | 27 | 28 | | | | | | | | | | | |
| MARCH 2023 | | | | | | | APRIL 2023 | | | | | | | | | | | | | |
| Sun | Mon | Tue | Wed | Thu | Fri | Sat | Sun | Mon | Tue | Wed | Thu | Fri | Sat | | | | | | | |
| | | | 1 | 2 | 3 | 4 | | | | | | | 1 | | | | | | | |
| 5 | 6 | 7 | 8 | 9 | 10 | 11 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | | | | | | | |
| 12 | 13 | 14 | 15 | 16 | 17 | 18 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | | | | | | | |
| 19 | 20 | 21 | 22 | 23 | 24 | 25 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | | | | | | | |
| 26 | 27 | 28 | 29 | 30 | 31 | | 23 | 24 | 25 | 26 | 27 | 28 | 29 | | | | | | | |
| | | | | | | | 30 | | | | | | | | | | | | | |
| MAY 2023 | | | | | | | JUNE 2023 | | | | | | | | | | | | | |
| Sun | Mon | Tue | Wed | Thu | Fri | Sat | Sun | Mon | Tue | Wed | Thu | Fri | Sat | | | | | | | |
| | 1 | 2 | 3 | 4 | 5 | 6 | | | | | 1 | 2 | 3 | | | | | | | |
| 7 | 8 | 9 | 10 | 11 | 12 | 13 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | | | | | | | |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | | | | | | | |
| 21 | 22 | 23 | 24 | 25 | 26 | 27 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | | | | | | | |
| 28 | 29 | 30 | 31 | | | | 25 | 26 | 27 | 28 | 29 | 30 | | | | | | | | |

*Deadlines & meeting dates are subject to change based on staff's availability. Contact the Planning Dept. (956) 681-1250 if you have any questions.



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