

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JUNE 4, 2024 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of minutes for the meeting of April 2, 2024

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Shawn Boreta on behalf of Rhodes Enterprises, for a Conditional Use Permit for a food truck park, for one year, at Lot 1, Community Center at Tres Lagos Subdivision, Hidalgo County, Texas; 4900 Tres Lagos Boulevard. **(CUP2024-0049)**
2. Request of El Redentor a las Naciones on behalf of Jose E. Lugo, for a Conditional Use Permit for a Church, for life of use, at Lots 14-15, Block 9, Guerra's Addition Subdivision, Hidalgo County, Texas; 2016 Houston Avenue. **(CUP2024-0051)**
3. Request of Jesus F. Davila on behalf of Trenton Palms LLC, for a Conditional Use Permit for a Bar, for one year, at Lot 1, Valerie Subdivision, Hidalgo County, Texas; 7001 North 10th Street. **(CUP2024-0052)**
4. Request of Request of Brandon Solis on behalf of LA PLACITA RGV(AMENDED),LLC, for a Conditional Use Permit, for 1 year, for an Event Center, Hidalgo County, Texas; 2109 South 10th Street, Building 300, Suit 20 **(CUP2024-0057)**
5. Request of Luis A. Alvarez on behalf of BORBA,LLC for a Conditional Use Permit, for one year, for a food concession stand, at Lot 2, Redbud No. 2 Subdivision, Hidalgo County, Texas; 6700 North 23rd Street, Suite E. **(CUP2024-0058)**
6. Request of Alberto Martinez Chontal on behalf of Mymama Ltd., for a Conditional Use Permit, for one year, for Institutional Use (Church) at the north 120 feet of Lot 16, Alaniz Subdivision, Hidalgo County, Texas; 300 North 29th Street. **(CUP2024-0053)**

7. Request of Israel Villarreal III on behalf of Jose A. Chanin, for a Conditional Use Permit, for one year, for a Bar (80's Brewery) at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suites I, J, K. **(CUP2024-0056)**
8. Request of Mario A. Salinas on behalf of Synergy a Real Estate Alliance, LLC, for a Conditional Use Permit, for life of the use, for a Planned Unit Development (PUD) at a 12.51-acre tract out of the south 412.50 feet of Lot 167, John H. Shary Subdivision, Hidalgo County, Texas; 2021 South Taylor Road. **(CUP2023-0056)**
9. Request of Joseph M. Caporusso on behalf of CARCAP Enterprises, LTD., for a Conditional Use Permit for a parking facility, for life of use, at Lot 4, 5 & 6, Block 7, Fairfield Place Subdivision, Hidalgo County, Texas; 813 Kennedy Avenue. **(CUP2024-0054)**

b) REZONING:

1. Tract 1: Rezone from C-3 (general business) District to R-3T (multifamily residential townhouse) District: 0.170 acres out of Lot 52, out of Lots 35 to 68, Inclusive, Section 229, Tex-Mex Subdivision, Hidalgo County, Texas; 13931 North Ware Road **(middle)**. **(REZ2024-0031)**

Tract 2: Rezone from R-2 (duplex-fourplex residential) District to R-3T (multifamily residential townhouse) District: 2.227 acres out of Lots 52 through 54, out of Lots 35 to 68, Inclusive, Section 229, Tex-Mex Subdivision, Hidalgo County, Texas; 13931 North Ware Road **(rear)**. **(REZ2024-0028)**
2. Rezone from R-1 (single family residential) District to R-2 (duplex-fourplex residential) District: Lot 37, Bonham Unit No. 2 Subdivision, Hidalgo County, Texas; 2404 South 28th Street. **(REZ2024-0027)**
3. Rezone from R-1 (single family residential) District to R-2 (duplex-fourplex residential) District: Lot 4, R. Martinez Family Subdivision, Hidalgo County, Texas; 1113 East Pineridge Avenue. **(REZ2024-0029)**

c) SUBDIVISION:

1. Club Addition Subdivision, 135 Quince Avenue, Heir Fund, LLC **(SUB2024-0056)**
(FINAL) AEC

3) SUBDIVISIONS:

- a) Triple "B" Mobile Park II Subdivision, 10505 North 10th Street, FWW Inc. **(SUB2024-0055)**
(PRELIMINARY) BDE
- b) Jain at Freddy Subdivision, 1001 Freddy Gonzalez Road, Nanak, Ltd. **(SUB2024-0058)**
(PRELIMINARY) SEC
- c) Plantation Oaks North Lots 10A & 10B Subdivision, 12801 North Taylor Road, 5 A Construction, LLC **(SUB2024-0057)** **(PRELIMINARY) INCD**
- d) Las Nubes at Taylor Subdivision, 1301 South Taylor Road, ALPEG Properties, LLC **(SUB2024-0060)** **(PRELIMINARY) M2E**

- e) Aqualina at Tres Lagos Phase III Subdivision, 6617 Tres Lagos Boulevard, Rhodes Development, Inc. **(SUB2023-0079) (REVISED FINAL) M&H**

- f) Mediterranean Subdivision, 13931 North Ware Road, Ancer Properties LLC **(SUB2023-0110) (REVISED PRELIMINARY) TRE**

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

MINUTES FOR THE
04/02/2024 MEETING
WILL BE UPLOADED ON
MONDAY 6/3/2024.

THANK YOU

Memo

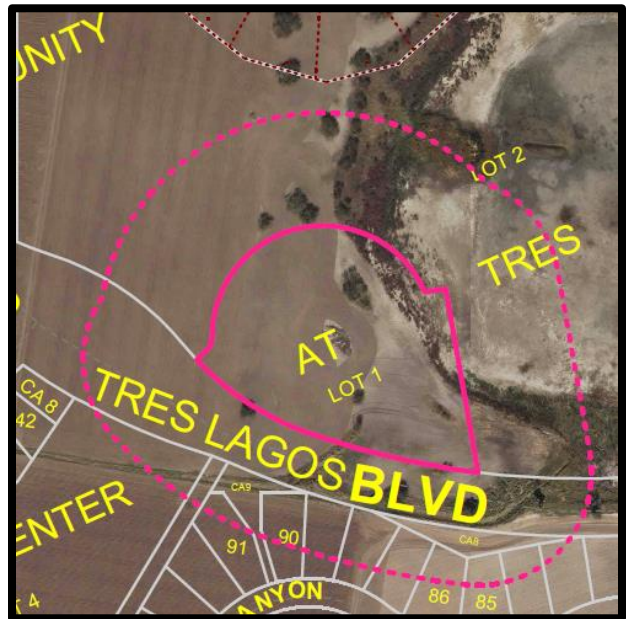
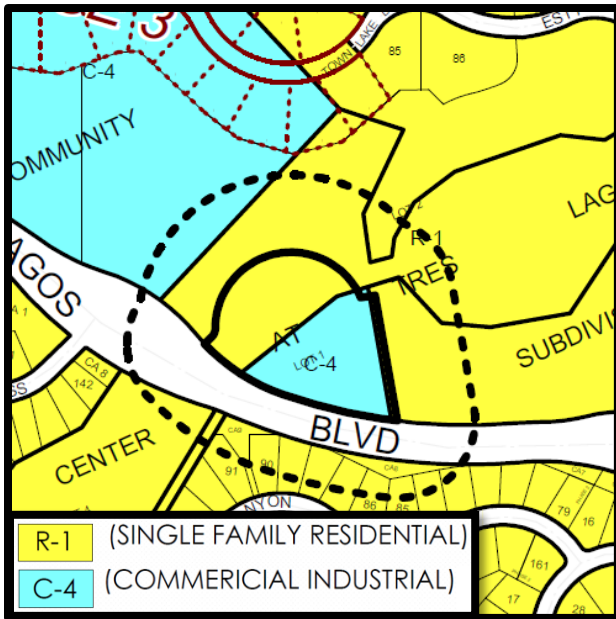
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 20, 2024

SUBJECT: REQUEST OF SHAWN BORETA ON BEHALF OF RHODES ENTERPRISES, FOR A CONDITIONAL USE PERMIT FOR A FOOD TRUCK PARK, FOR ONE YEAR, AT LOT 1, COMMUNITY CENTER AT TRES LAGOS SUBDIVISION, HIDALGO COUNTY, TEXAS; 4900 TRES LAGOS BOULEVARD. (CUP2024-0049)

BRIEF DESCRIPTION: The subject property is located along the north side of Tres Lagos Boulevard and is zoned R-1 (single-family residential) District and C-4 (commercial-industrial) District. The adjacent zoning to this property is R-1 District in all directions. A Food Truck Park is permitted in a C-4 District with a Conditional Use Permit, and in compliance with all other requirements. The Food Truck Park is proposed to be located and operating out of the R-1 District portion of the lot. A request for a conditional use permit to operate the food truck park was approved by the City Commission on April 24, 2023.



REQUEST: There is an existing Food Truck Park on the subject property. According to the applicant, the location can accommodate up to 5 food trucks. Based on the total number of food trucks that can be accommodated, 20 parking spaces would be required. A total of 71 parking spaces, including 7 accessible spaces, are available on site. The Food Truck Park's proposed days and hours of operation are currently Thursday through Sunday from 3 PM to 10 PM. The applicant proposes to expand the hours of operation to Monday through Sunday from 5:00 AM to 11:00 PM. This new request amends the Conditional Use Permit to allow the new hours of operation.

HISTORY: The plat for Community Center at Tres Lagos Subdivision was recorded on June 8, 2017. An Associated Recreation Conditional Use Permit, for the life of the use, was approved for this Subdivision by City Commission on October 10, 2016. The Conditional Use Permit for an Associated Recreation was originally requested to allow recreation areas that would include a community center, two parks, and a pool area. The Associated Recreation will remain in effect as it was originally approved in October 10, 2016, unless an amendment is requested. The Conditional Use Permit application was submitted on March 28th, 2023.

ANALYSIS: The Fire and Health Departments has completed their inspections and found no violations with the proposed site. The Food Truck Park and its vendors must comply with the requirements set forth in Section 54-52 of the Zoning Ordinance for mobile food vendor courts and the following specific requirements:

- 1) The property line of the lot must be at least 200 feet from the nearest residence or residentially zoned property; the location of the Food Truck Park is proposed to be within the R-1 District portion of the Lot and adjacent to other residentially zoned properties.
- 2) The name, address, phone number and email address of a contact person who shall be available 24 hours per day, 7 days per week for the purposes of responding to complaints regarding the operation of the mobile food vendor court; applicant has provided their contact information
- 3) Mobile food vendor courts shall not operate between the hours of 2:00 AM and 7:00 AM; proposed hours of operation are between 5:00 AM and 11:00 PM
- 4) Each mobile food vendor court shall provide access to a restroom on or within 600 feet of the property lines of the track of land on which it is situated;
- 5) Mobile food vendor courts must provide one (1) garbage receptacle, to hold a minimum of thirteen (13) gallons, per each vendor located on premises for public use. This requirement is in addition to the receptacles required of each individual vendor;
- 6) Mobile food vendors may not be placed or parking on unimproved surfaces;
- 7) Adequate lighting, as determined by the Health Director, to enable clear and unobstructed visibility of mobile food vendors and patrons shall be provided at all entrances and exits of the mobile food vendor court;
- 8) Mobile food vendor courts shall provide on premise parking areas sufficient to accommodate staffing needs and seating areas.

The proposed location for the Food Truck Park would be within the R-1 District portion of the subject property. The applicant or owner of the property may consider rezoning the R-1 District portion of the subject property to a C-4 District in order to bring the proposed use closer to compliance.

This Conditional Use Permit for a Food Truck Park does not grant approval for the current or future food trucks that will be on site. Each food truck is required to obtain an approved permit through the Mobile Food Vendors application process with the City's Environmental Health and Code Enforcement Department.

The Planning Department has not received any phone calls, emails, or letters in opposition of the Conditional Use Permit request.

RECOMMENDATION: Staff recommends disapproval of the conditional use permit request due to non-compliance with requirement #1 (distance) and requirement #3 (hours of operation) of Sec. 54-52, which prohibits food truck parks from operating between the hours of 2:00 AM to 7:00 AM. The food truck park is proposing to operate Monday through Sunday from 5:00 AM to 11:00 PM.



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CASE NO:



	(A-O) AGRICULTURAL & OPEN SPACE		(C-3L) LIGHT COMMERCIAL		(R-1) SINGLE FAMILY RESIDENTIAL		(R-3T) TOWNHOUSES
	(C-1) OFFICE BUILDING		(C-4) COMMERCIAL INDUSTRIAL		(R-2) DUPLEX-FOURPLEX		(R-4) MOBILE HOMES
	(C-2) NEIGHBORHOOD COMMERCIAL		(I-1) LIGHT INDUSTRIAL		(R-3A) APARTMENTS		(R-3C) CONDOMINIUMS
	(C-3) GENERAL BUSINESS		(I-2) HEAVY INDUSTRIAL				



This map is a representation of the official zoning map. For zoning verification contact the planning department at 956-681-1250 or select city maps at <https://mcallen.net>. Furthermore, This map is for informational purposes and is not prepared for a suitable for legal, engineering or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



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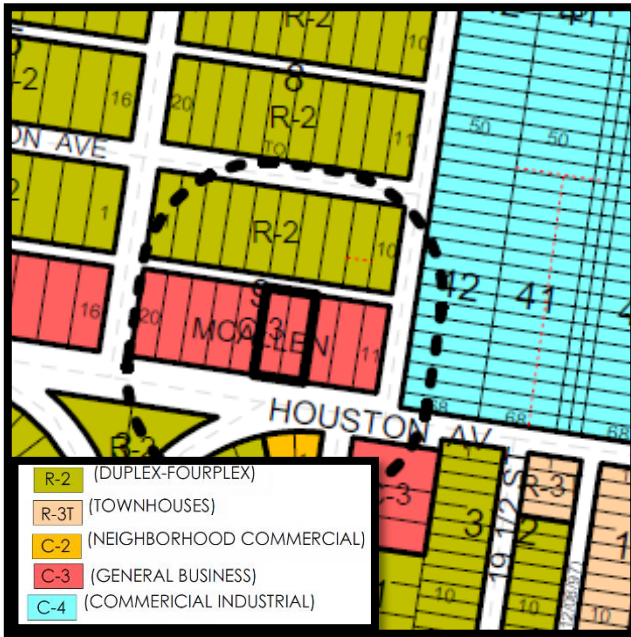
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 23, 2024

SUBJECT: REQUEST OF EL REDENTOR A LAS NACIONES ON BEHALF OF JOSE E. LUGO, FOR A CONDITIONAL USE PERMIT FOR A CHURCH, FOR LIFE OF USE, AT LOTS 14-15, BLOCK 9, GUERRA'S ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 2016 HOUSTON AVENUE. (CUP2024-0051)

BRIEF DESCRIPTION: The subject property is located along the north side of Houston Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the west and east. The property to the north is zoned R-2 (duplex-fourplex) District. Surrounding land uses include residential homes and commercial uses. An Institutional Use is permitted in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: A Conditional Use Permit for a church has been requested for this property previously. The Conditional Use Permit from the previous year was approved for a one year term by the Planning and Zoning Committee on March 21, 2023. The applicant is now requesting life of use, as per this current request.

SUMMARY/ANALYSIS: The church will continue to operate from an existing 3,600 sq. ft. structure. The applicant is proposing to operate a small church with a main sanctuary area and three classrooms. The days and hours of the services of the church will be on Sunday

from 7 P.M. to 9 P.M. and Wednesday from 11 P.M. to 2 P.M. Based on the 2 seats proposed in the sanctuary area, 1 parking space is required; 8 parking spaces are being proposed.

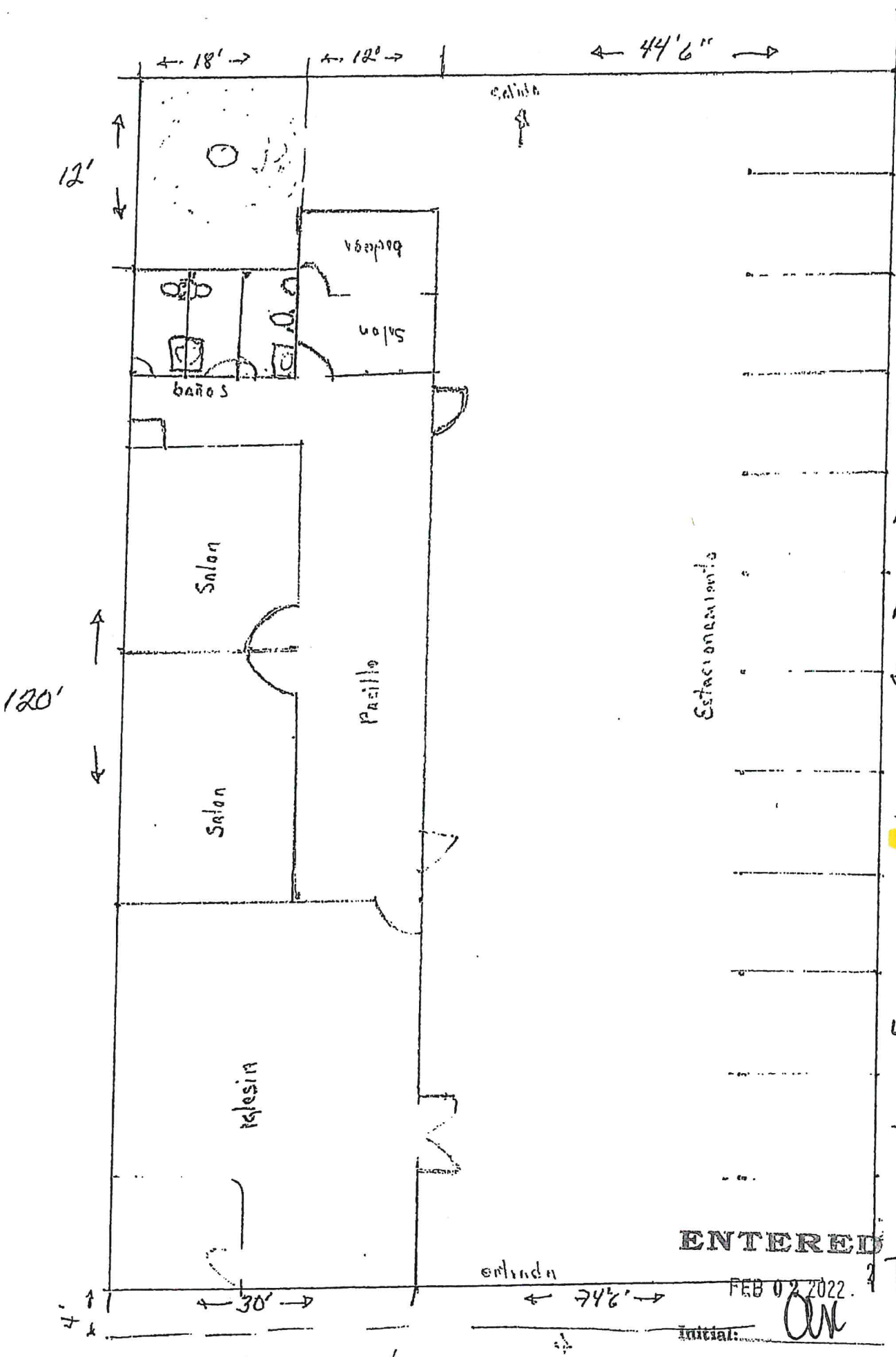
The Fire Department has conducted their required fire inspection and approved for the CUP process to continue. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The church must comply with the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The church has access on Houston Ave.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 2 seats in the sanctuary, 1 parking space is required; 8 parking spaces are being proposed.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The numbers of persons within the building shall be restricted to the existing seating capacity for the building.
- 7) Sides adjacent to commercially and residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for life of the use, subject to compliance with requirements of the Zoning Ordinance, Building Department, and Fire Department requirements.



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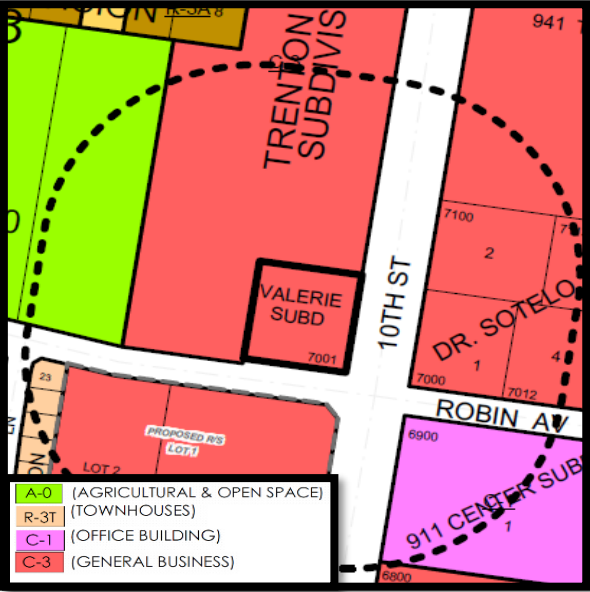
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 20, 2024

SUBJECT: REQUEST OF JESUS F. DAVILA ON BEHALF OF TRENTON PALMS LLC, FOR A CONDITIONAL USE PERMIT FOR A BAR, FOR ONE YEAR, AT LOT 1, VALERIE SUBDIVISION, HIDALGO COUNTY, TEXAS; 7001 NORTH 10TH STREET. (CUP2024-0052)

DESCRIPTION: The property is located at the northwest corner of North 10th Street and Robin Avenue, and is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions except to the southeast there is C-1 (office building) District. Surrounding land uses include commercial businesses, restaurants, bars, and residences. A bar is allowed in a C-3 District with a conditional use permit and in compliance with requirements.



HISTORY: A Conditional Use Permit was approved by City Commission on May 23, 2023. The same tenant is applying for a new CUP since the previous one has expired.

ANALYSIS: The applicant is proposing to operate a bar from the existing 2,897 sq. ft. building. The proposed days and hours of operation are Sunday through Saturday from 11:00 AM to 2:00 AM daily. A police activity report was requested and has been attached. The Fire Department and Health Department performed their respective inspection and deemed the establishment to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

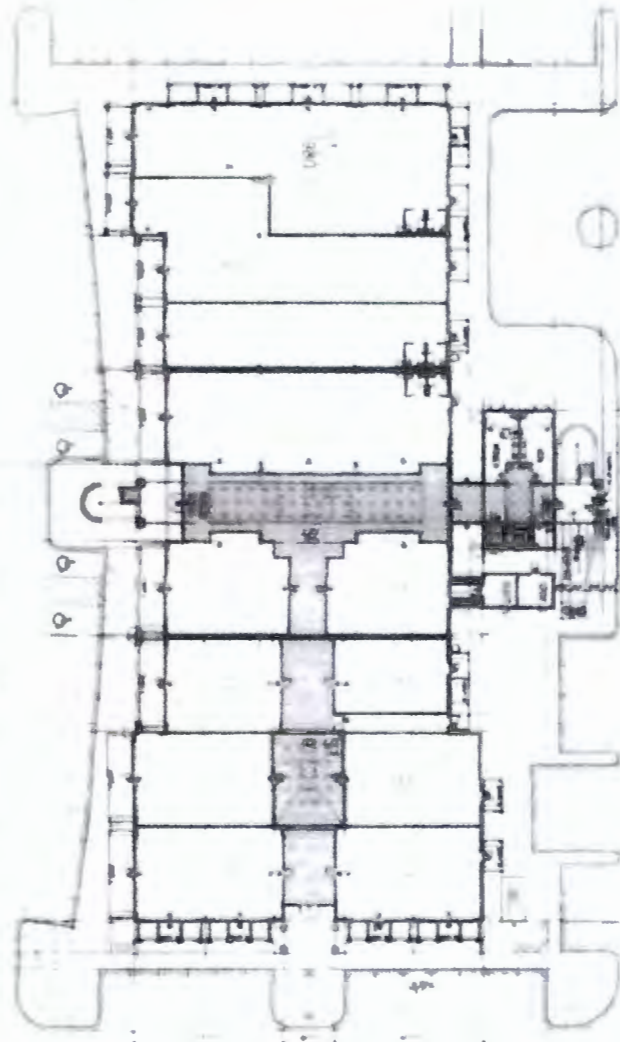
- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned

property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of R-3T District to the southwest of the property and Robin Park (publicly owned property).

- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential-sized streets. The establishment has direct access to North 10th Street and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the floor area of 2,897 sq. ft., 29 parking spaces are required; 120 parking spaces are provided for all the businesses to operate collectively. Upon the inspection, the parking area provided is in compliance with striping and maintenance requirements. There are currently 65 parking spaces available. The applicant will obtain a parking agreement from Trenton View Subdivision in order to insure compliance with parking requirements.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street to discourage vandalism and criminal activities;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance after taking into account the recommendations of the Fire Marshal, Building Official, and Planning Director. The maximum capacity for the establishment is 99 persons.

RECOMMENDATION: Staff recommends disapproval of the request based on non-compliance with requirement #1 distance to publicly owned land (Robin Park) and residential use (R-3T Zoning) of Section 138-118a(4)a of the Zoning Ordinance. If approved, the Conditional Use Permit must comply with conditions noted.

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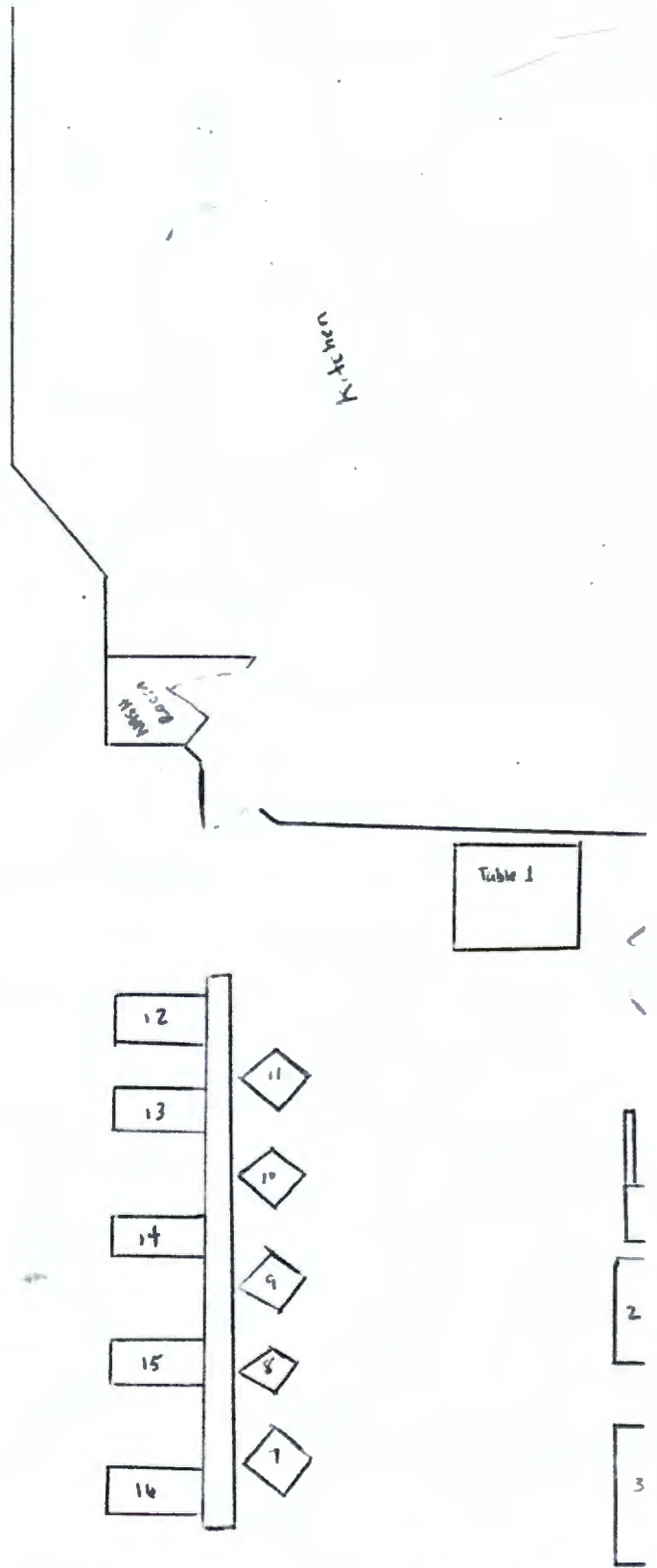
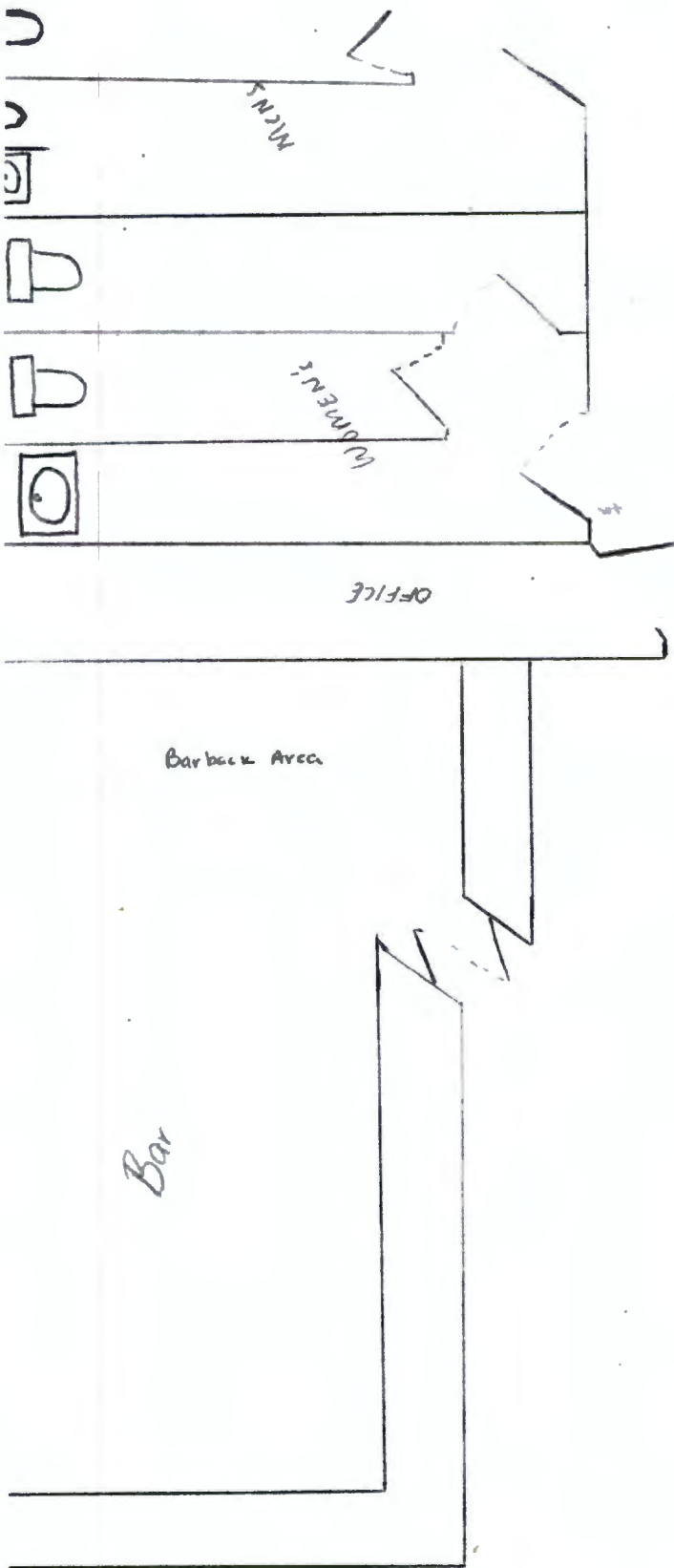


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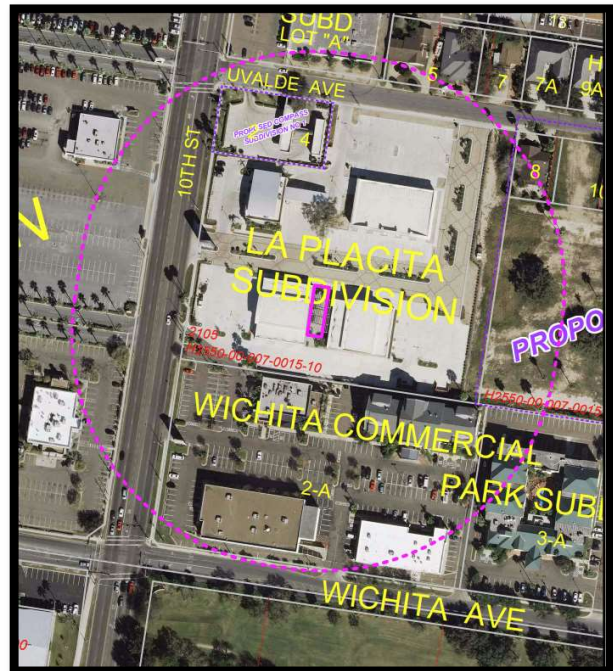
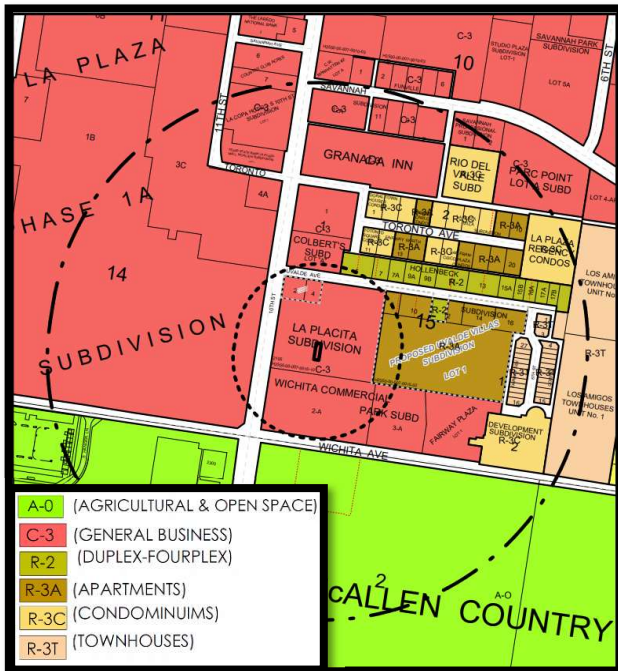
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 29, 2024

SUBJECT: REQUEST OF BRANDON SOLIS LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN EVENT CENTER AT LA PLACITA RGV CONDOMINIUMS SUBDIVISION, HIDALGO COUNTY, TEXAS; 2109 SOUTH 10TH STREET. (CUP2024-0057)

BRIEF DESCRIPTION: The subject property is located on the east side of south 10th Street. The property is zoned C-3 (general business) District. The adjacent zoning is 3C in all directions. Surrounding land uses includes a high volume of C-3 businesses such as a Simon Plaza, Lone Star National Bank and other Retail stores. Additionally Townhouses, Condominiums and Multifamily Residential and found in surrounding land. An Event Center is allowed in a C-3 District with a conditional use permit and in compliance with requirements.



HISTORY: No previous history of occupancy in this location from applicant.

SUMMARY/ANALYSIS: The applicant is proposing to operate (May/07/2024) an event center from the approximately 2,205 square foot building. The proposed days and hours of operation are to be from 9:00 AM to 10:00 PM Monday through Sunday.

The Fire Department has conducted their inspection and has allowed the CUP process to continue. The Health Department has completed and approved the necessary inspection. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from the nearest residentially zoned property and apartment zoned area.
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to South 10th Street and does not generate traffic into residential areas;
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage and use of the building, 22 parking spaces are required one of which should be for persons with disability. The parking lot is common area and should be clear of potholes and properly striped.
4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.
5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

The Planning Department has not received any phone calls nor emails in opposition of the Conditional Use Permit request.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of section 138-118(4) of the Zoning Ordinance.



National Bank®

Glitz & Glamour

Robert Graham
@ LA PLACITA

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Pink Mink

ASING
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NOTICE
EVENT CENTER
FOR
THIS PROPERTY
CUP2024-0057

CITY OF MCALLEN PLANNING DEPT.
956-681-7228
WWW.MCALLEN.NET

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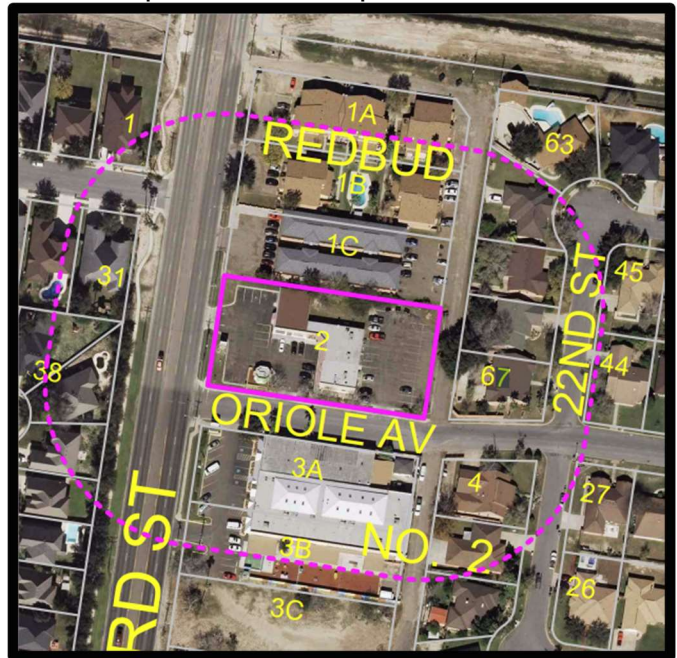
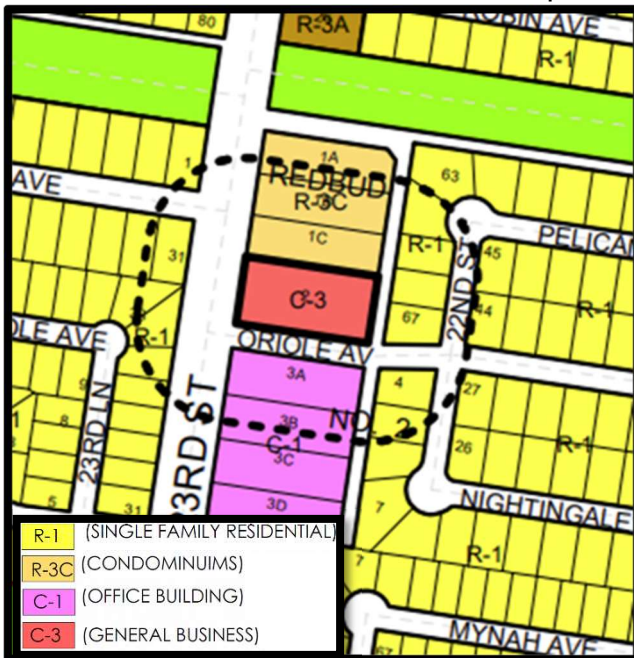
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 30, 2024

SUBJECT: REQUEST OF LUIS A ALVAREZ ON BEHALF OF BORBA LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A PORTABLE FOOD CONCESSION STAND AT A LOT 2, REDBUD NO. 2 SUBDIVISION, HIDALGO COUNTY, TEXAS; 6700 NORTH 23RD STREET SUITE E. (CUP2024-0058)

BRIEF DESCRIPTION: The subject property is located on the northeast corner of North 23rd Street and Oriole Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is R-1 District to the west and east of the subject property. There is R-3C (condominiums) District to the north and C-1 (office building) District to the south. Surrounding land uses includes Kusina Filipino Restaurant & Market, ADC Acute Dialysis Care, Little Shinning Stars Daycare, Las Torres Condominiums and residential homes. A portable food concession stand is allowed in a C-3 District with a conditional use permit and in compliance with requirements.



HISTORY: The most recent approval for the conditional use permit was on July 27, 2023. Ownership is the same under different management. This application was submitted on May 08 2024.

SUMMARY/ANALYSIS: The applicant is proposing to operate from a 172 sq. ft. portable food trailer with an existing 38 sq. ft. outdoor deck area on the subject property. The portable food trailer business is already in place. The applicant may utilize outdoor seating, maximum of 10 seats. Based on the total area of the 210 sq. ft. portable food concession stand/deck area, 6 parking spaces are required if the applicant includes seating area; 56 parking spaces provided on site. Of the 56 parking spaces, 35 parking spaces are required for the existing restaurant and 5 parking spaces are required for the retail uses, for a total of 40 spaces required. The proposed days and hours of operation are, Monday through Saturday 2 PM to 10 PM, and on Sundays from 2 PM to 8 PM.

The Fire Department is pending their inspection. The Health Department has completed and approved the necessary inspection. The portable building must also meet the requirements set forth in Section 138-118(a) (9) of the Zoning Ordinance and specific requirements as follows:

- 1) Cannot be located in residentially zoned area. The portable food concession stand is located in a C-3 District;
- 2) Stand must be inspected by building inspection department and meet applicable building codes;
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent. The parking lot must be restriped and ensure there are no loose gravel visible
- 4) If it is a portable building or trailer it must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewage disposal facilities must be available and may be required.

The Planning Department has not received any phone calls nor emails in opposition of the Conditional Use Permit request.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to compliance with requirements from Section 138-118(a)(9) of the Zoning Ordinance, Building Permit, Health, and Fire Department requirements.

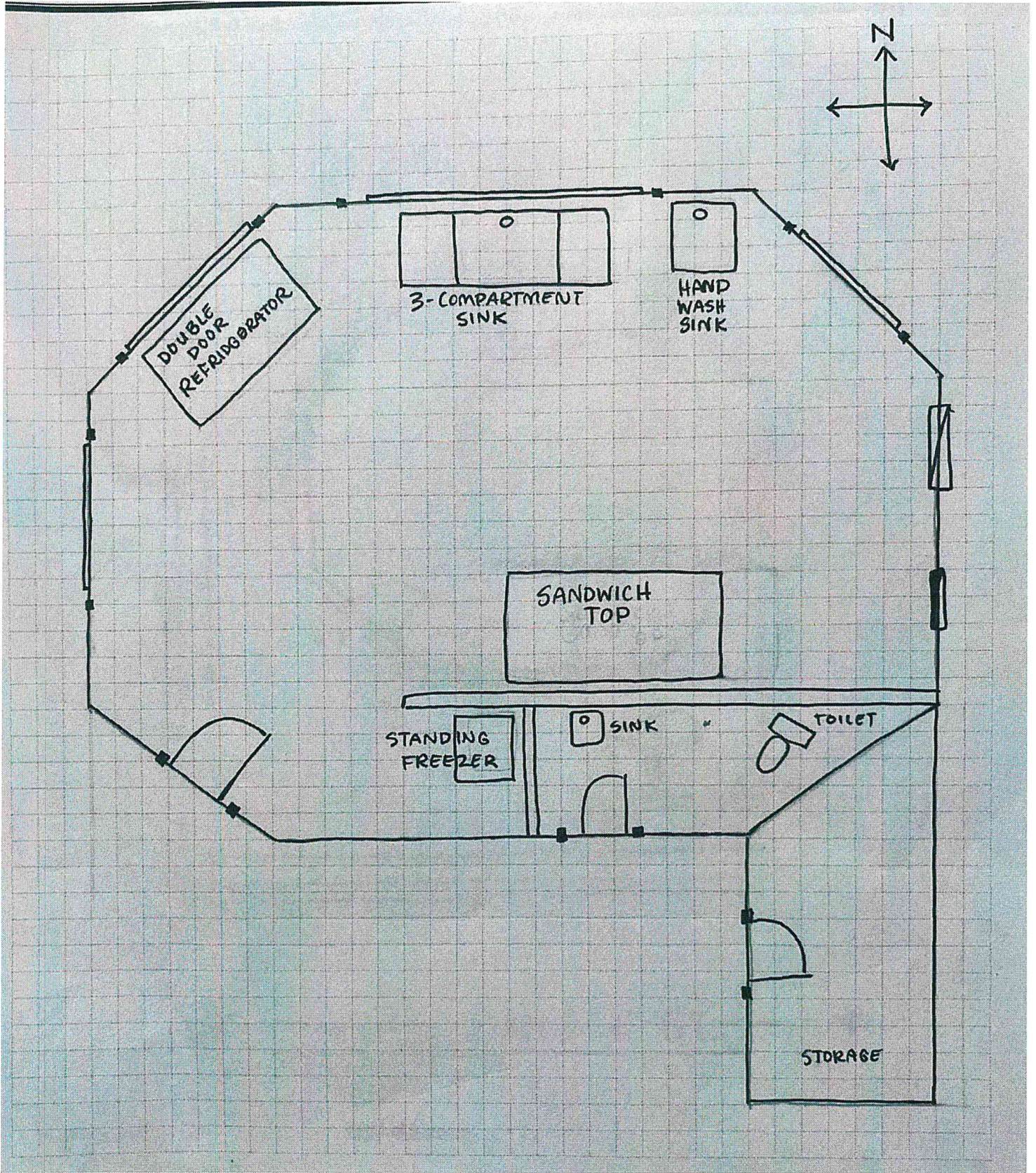
Kusina
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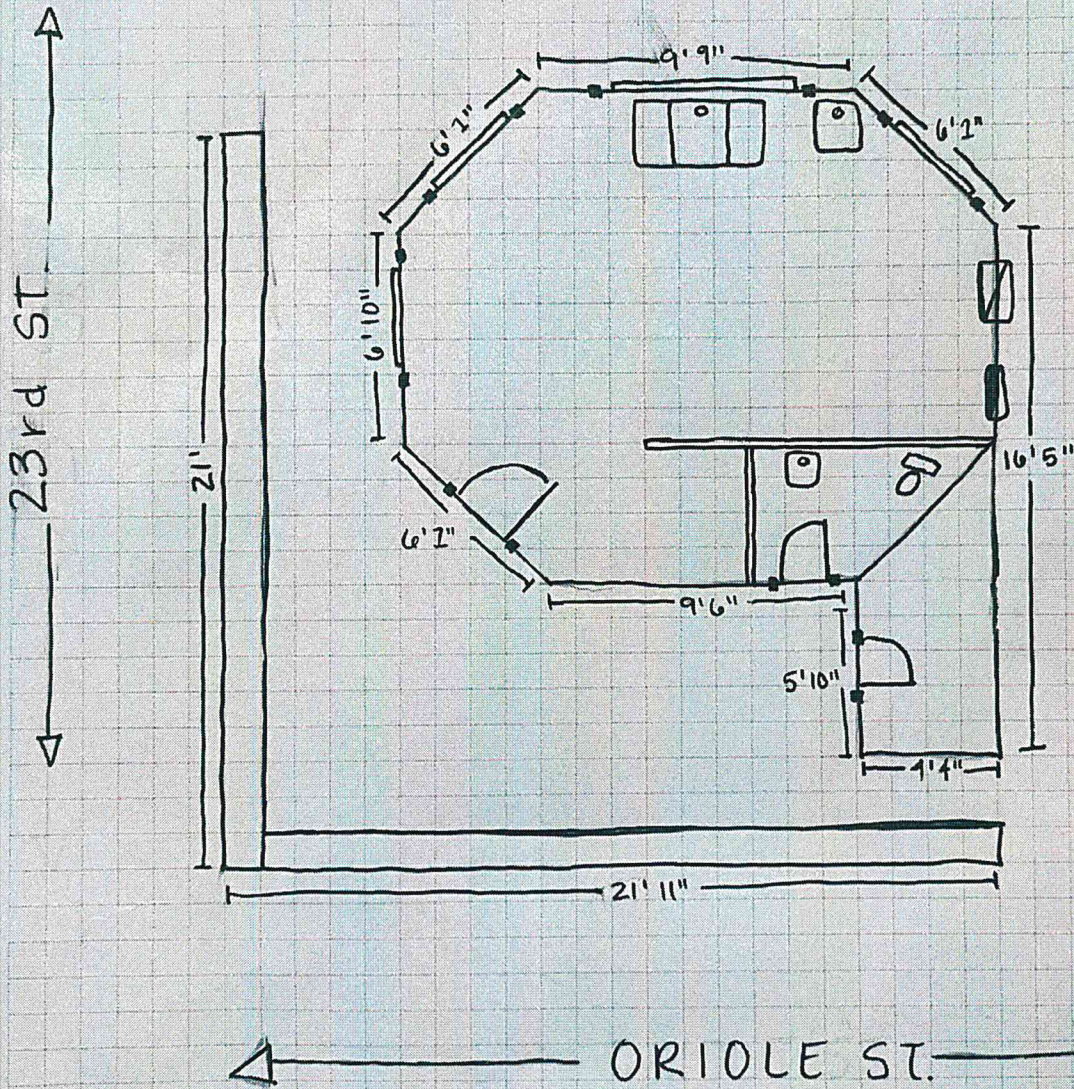
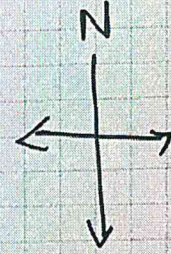
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NOTICE
PORTABLE
FOOD
FOR
THIS PROPERTY
CUP 2024 - 0058
CITY OF MCALLEN PLANNING DEPT.
MCALLEN, TEXAS
WWW.MCALLEN.CITY





RECEIVED
MAY 08 2024
By NG



Wall Legend:

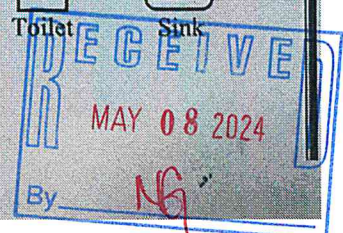
- Existing
- Proposed
- Demolition

Symbol Legend:

- Door
- Window
- Electrical Panel
- A/C Unit

- Toilet
- Sink

Application and documents can be submitted electronically to



Memo

TO: Planning and Zoning Commission

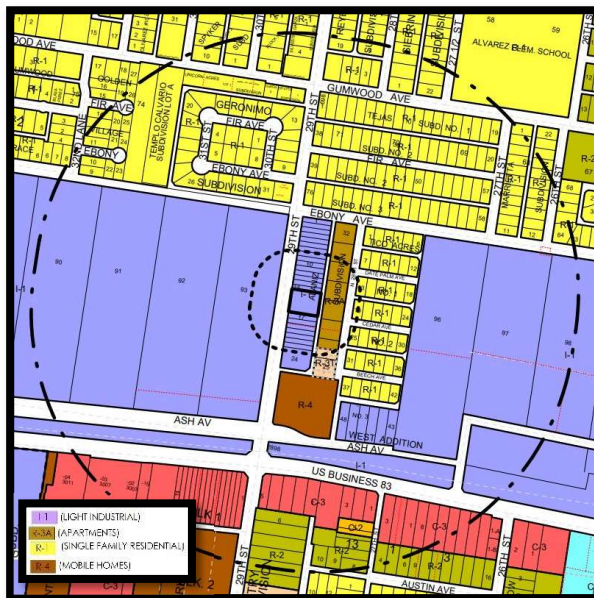
FROM: Planning Staff

DATE: May 30, 2024

SUBJECT: REQUEST OF ALBERTO MARTINEZ CHONTAL ON BEHALF OF MYMAMA LTD., FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR INSTITUTIONAL USE (CHURCH) AT THE NORTH 120 FEET OF LOT 16, ALANIZ SUBDIVISION, HIDALGO COUNTY, TEXAS; 300 NORTH 29TH STREET. (CUP2024-0053)

BRIEF DESCRIPTION:

The property is located on the east side of North 29th Street, approximately 750 ft. north of U.S. Business Highway 83. The subject property is zoned I-1 (light industrial) District. The adjacent zoning is I-1 to the north, south and west and R-3A (multifamily residential apartments) District to the east. Surrounding land uses include apartments, townhomes, warehouses, a commercial plaza, (with retail, restaurants, an insurance office and beauty salon), vacant land and a church by the name of Iglesia Bethesda. An institutional use is permitted in the I-1 zone with a conditional use permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a church in a multitenant commercial plaza. The proposed location is approximately 1,539 sq. ft. and it was previously used as a restaurant by the name of Cocinita. The hours of operation are Tuesdays and Thursdays from 7:00 pm to 9:00 pm and Sundays 5:00 am to 7:00 am and 1:00pm to 3:00pm. The church is proposing a seating capacity of 60 in the main auditorium. The suite consists of an open area used as the auditorium, two restrooms and a storage for fruits and vegetables.

The Building Permits & Inspections Department will require a change of use permit prior to occupancy.

Based on a seating capacity of 60 in the main auditorium, 15 parking spaces are required; 23 parking spaces are provided as part of the common parking area for the retail plaza. One of the provided parking spaces must be van accessible with an 8ft. wide aisle. One van accessible parking is provided.

The Fire Department has completed the inspection for the proposed business and the inspection was satisfactory. The Planning Department has received no complaints regarding the requested use as a church. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts North 29th Street.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 60 seats, 15 parking spaces are required; 23 parking spaces are provided on site. One of the provided parking spaces is required to be van accessible with an 8 ft. wide aisle. The parking must be clear of potholes and properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to the existing seating capacity for the building; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by an 6 ft. opaque fence.

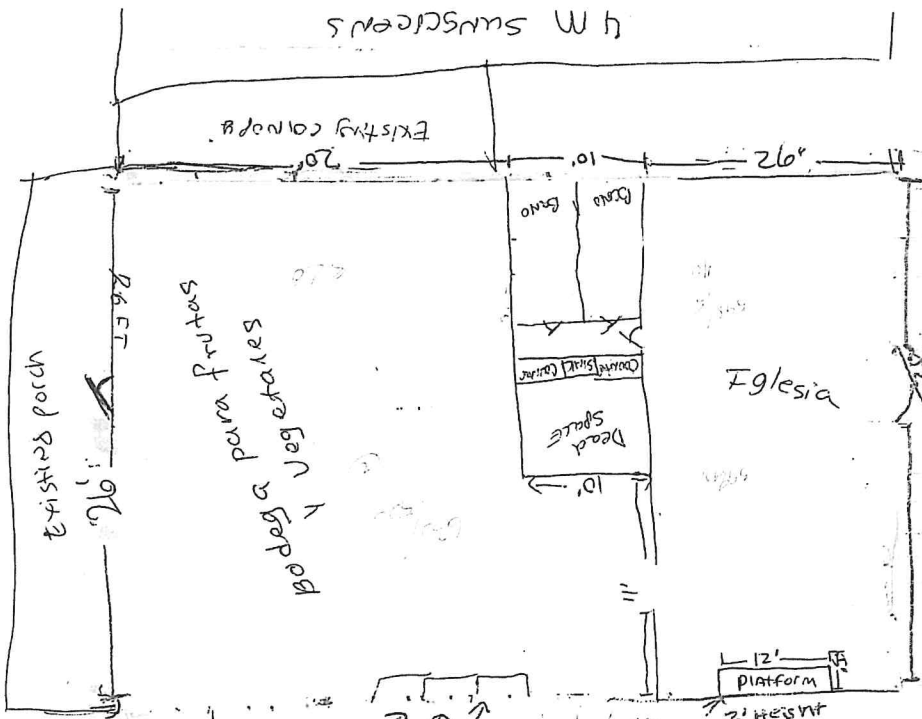
If approval is granted, the establishment must comply with all other Zoning ordinances, Building Code, and Fire Department requirements.

Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit.

The Planning Department has not received calls or concerns regarding the proposed use.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 and Section 138-400 of the Zoning Ordinance, and Building Permits and Fire Department requirements.



EXISTING PORCH
 9'6"
 RAFT
 20'
 10'
 20'
 4 M SUSPENS
 Existing canopy
 10'2"

espacio para frutas
 y verduras

refrigerator

Eglesia

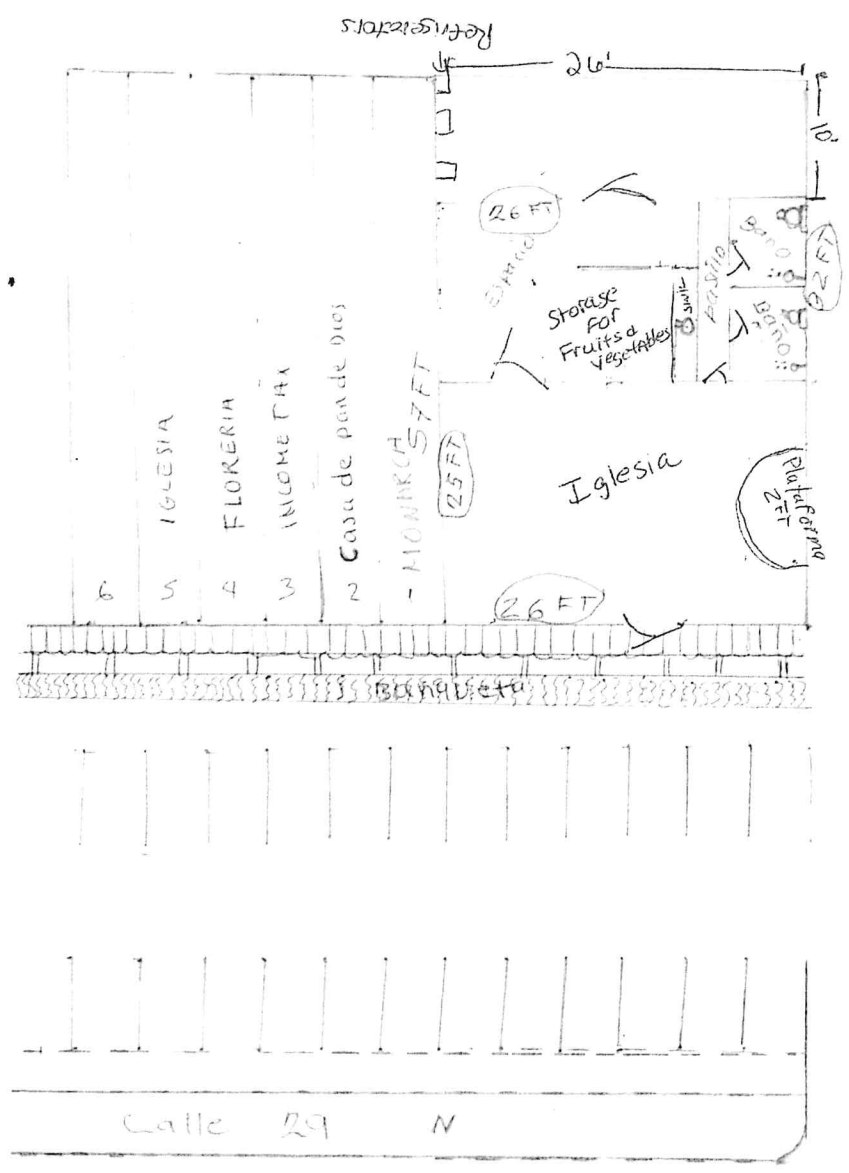
Platform
 12'
 2'

X
 Sign
 Date
 23/01/24

COLOMBIA
 ELORON
 CARRANZA

BOYACATE

prop.



FLASH INCOME TAX

CASA DEL PAN DE DIOS
(956) 589 1403 (956) 624 2475
VINO DE RESTAURACION

Monarca
CAKERY

Cocinita

STE 20

NOTARY PUBLIC
PUBLICO

REFUND

ELECTRONIC FILING
PAY RECEIPTS
BOOKKEEPING
(FOR APPLICATION)

1956733-6773

Customized
Cakes

STE 20
No. 308

Monarca

1956733-7574

Monarca Bakery



Monarca
CAKERY


Cocinita

Customized
Cakes

STE 20
No. 308

Monarca

(956) 685-7614

Monarca Bakery

monarca.bakery

300

NOTICE
INSTITUTIONAL
USE
THIS PROPERTY
CUP 2024-2853



NO G
PARKING

Memo

TO: Planning and Zoning Commission

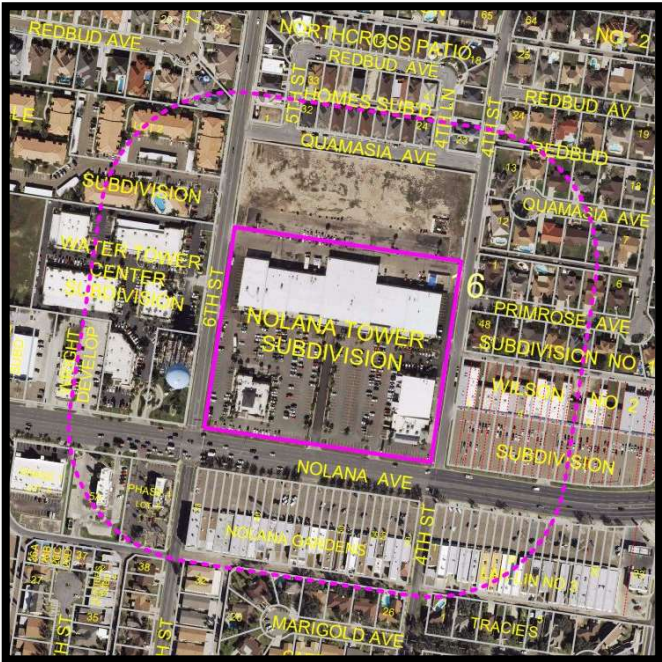
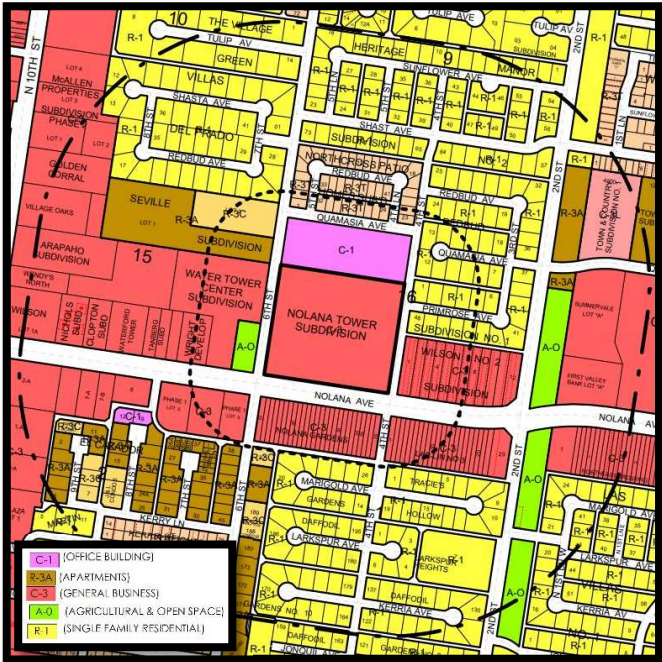
FROM: Planning Staff

DATE: May 30, 2024

SUBJECT: REQUEST OF ISRAEL VILLARREAL III ON BEHALF OF JOSE A. CHANIN, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR (80’S BREWERY) AT LOT A-1, NOLANA TOWER SUBDIVISION, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITES I, J, K. (CUP2024-0056)

BRIEF DESCRIPTION:

The property is located at the northeast corner of Nolana Avenue and North 6th Street, and is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C- 3 (general business) District to the east, south and west, R-1 (single family residential) District to the east and A-O (agricultural and open space) District to the west. The property is located within the Nolana Tower Subdivision and is part of the Nolana Tower Shopping Center. Surrounding land uses include Chanin Engineering LLC, Suerte Bar & Grill, Eddy’s Tavern & Social and residential homes. A bar and grill is permitted in a C-3 District with a conditional use permit and in compliance with requirements.



REQUEST/ANALYSIS:

The subject property is the location for a multi-tenant commercial shopping center by the name of Nolana Tower Shopping Center. The applicant is proposing to operate a bar (80’s Brewery) from combined suites I, J and K with an area of 6,989 sq. ft. as shown on the submitted site plan. The hours and days of operation would be Monday-Sunday from 5:00 PM to 2:00 AM.

The Fire Department has not completed the necessary inspection for this property. Should the conditional use permit be

approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. Staff has not received any calls with concerns or complaints of the request. The establishment must also meet the requirements set forth in Section 138- 118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least 400 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 ft. of the residential zones and uses, however, staff has not received any complaints from the residents; The establishment is also within 400 feet of publicly owned property (City of McAllen water tower).
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has direct access to Nolana Avenue, North 4th Street and North 6th Street. The existing gates on North 4th Street need to be closed as required from other Conditional Use Permits in this commercial plaza;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on-site parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, restaurants, and bars. 729 parking spaces are provided as part of a common parking area in the front and rear of the building. Based on the square footage of the building, 70 parking spaces are required. Parking spaces are provided on site during the applicable hours of operation for this business;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.



WALL TYPE 3
Scale: 1-1/2" = 1'-0" INT WALL

3 | WALL TYPE 2
Scale: 1-1/2" = 1'-0" INT WALL

4 | WALL TYPE 2
Scale: 1-1/2" = 1'-0" INT WALL

5 | WALL TYPE 3
Scale: 1-1/2" = 1'-0" INT WALL

- 13 THREE COMPARTMENT SINK
- 14 VACUUMABLE STAINLESS STEEL TOP
- 15 REACHING REFRIGERATION
- 16 BLACK GRANITE
- 17 TALK-HOODER, WOOD GRAB BAR
- 18 ENOUGH AND ADJUSTABLE LIGHT
- 19 SANDWICH PREPARATION STATION
- 20 ICE MAKER, CUB STYLE
- 21 NO WATER SYSTEM FROM CALIFORNIA WATER
- 22 EXHAUST FAN TO MEET HV-107
- 23 PASS THROUGH

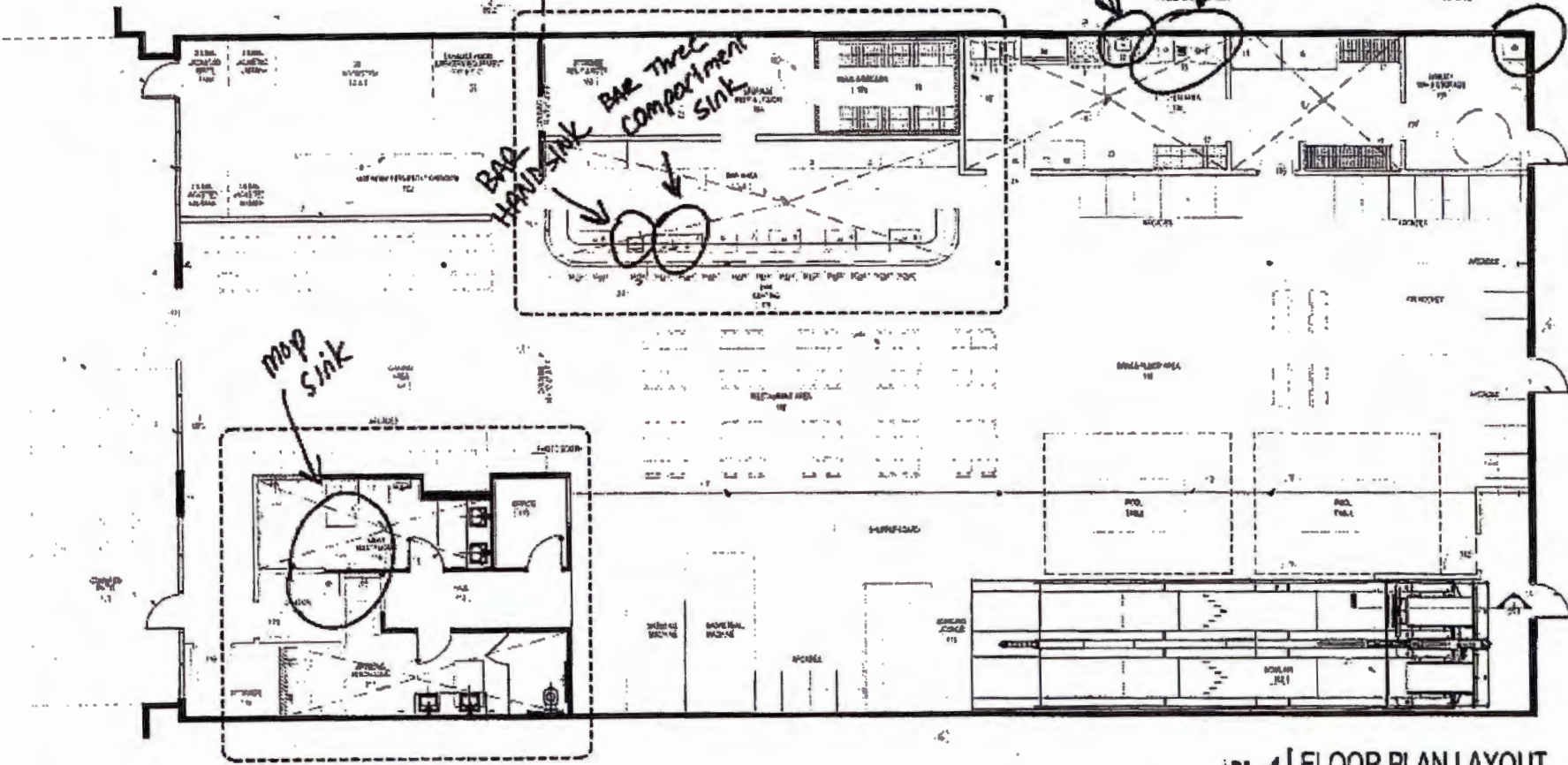
STIPULATED WORK

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE FOR THE PROJECT.

AREA SCHEDULED FOR WORK

WALL LEGS

EXISTING WALL TO REMAIN



FLOOR PLAN LAYOUT
Scale: 3/16" = 1'-0"

RECEIVED
MAY 06 2024
By NG

Handwritten signature and date: *Handwritten initials* 6 May 2024

GENERAL NOTES

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE FOR THE PROJECT.

80'S BREWERY

KEM

FIRELANE PARKING PROHIBITED

FIRELANE PARKING PROHIBITED



**NOTICE
BAR
FOR
THIS PROPERTY
CUP 2024- 0056**

 CITY OF McALLEN PLANNING DEPT.
956-681-1250
WWW.McALLEN.NET



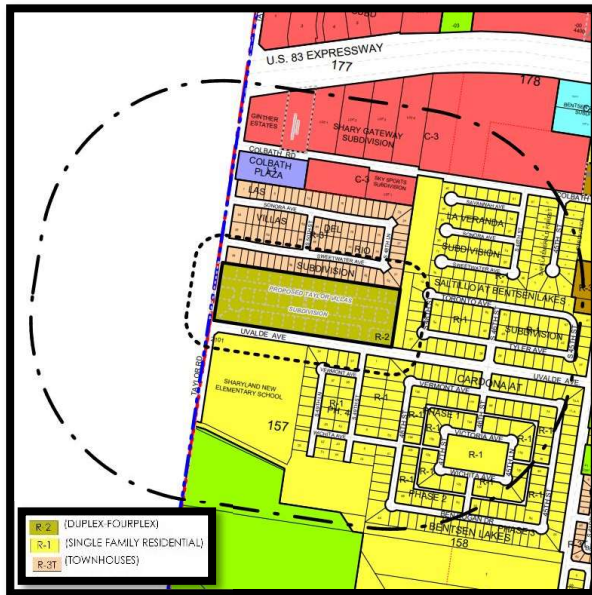
Memo

TO: Planning and Zoning Commission

DATE: May 31, 2024

SUBJECT: REQUEST OF MARIO A. SALINAS ON BEHALF OF SYNERGY A REAL ESTATE ALLIANCE, LLC, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, FOR A PLANNED UNIT DEVELOPMENT (PUD) AT A 12.51-ACRE TRACT OUT OF THE SOUTH 412.50 FEET OF LOT 167, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 2021 SOUTH TAYLOR ROAD. (CUP2023-0056)

BRIEF DESCRIPTION: The property is located at the northeast corner of South Taylor Road and Uvalde Avenue. The tract has a lot size of 12.51 gross acres and is currently vacant with street improvements in place. The property is zoned R-2 (duplex-fourplex residential) District. The adjacent zoning is R-3T (multi-family townhouse residential) District to the north, and R-1 (single-family residential) District to the east and south. The area to the west, across South Taylor Road, is outside of McAllen’s city limits. A Planned Unit Development (PUD) is permitted in an R-2 District with a Conditional Use Permit and in compliance with Article IV for Planned Developments of the Subdivision Ordinance.



HISTORY: The tract of land was annexed into the City and initially zoned R-2 District on September 22, 2015. A rezoning request to R-3A District for the subject property was submitted on October 10, 2022 and the Planning and Zoning Commission recommended disapproval of the request at the meeting of November 16, 2022. After being advised by the Planning and Zoning Commission to consider the PUD process, the applicant withdrew his request before it could be considered by the City Commission.

An application for a proposed subdivision was submitted on April 28, 2015 for a 42-lot duplex-fourplex development under the name “Taylor Villas” and was approved in preliminary form at the Planning and Zoning Commission meeting of September 1, 2015. A variance to the R.O.W. was approved by the Planning

and Zoning Commission at 50 feet instead of 60 feet with 40 feet of pavement width and 10 feet of sidewalk and utility easements on both sides. Improvements were made on the subject property that appear to comply with its original zoning designation and subdivision proposal.

The original proposed subdivision was approved in revised final form at the Planning and Zoning Commission meeting of July 18, 2017, however the subdivision was never recorded. Since the property changed ownership before the plat was recorded, a new subdivision application was submitted on December 28, 2022. The new subdivision plat received approval in preliminary form at the Planning and Zoning Commission meeting of January 17, 2023.

REQUEST/ANALYSIS: The applicant is proposing to use the existing 12.51 gross acres of vacant land to establish a PUD for a multi-family apartment development. The subdivision for this PUD is proposed as a private/gated subdivision. The PUD will have 40 lots, 84 apartment buildings, and 168 living units in total.

PUDs allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for the approval of PUDs are set forth on Article IV for Planned Developments of the Subdivision Ordinance, and are summarized as the following:

1. **CONCEPTUAL SITE PLAN:** Development and use of the property must comply with the conditional use permit conceptual site plan.
2. **PERMITTED USES:** Proposed uses are uses permitted in the R-3A (multi-family apartment residential) District for detached buildings designated as apartments.
3. **OFF-STREET PARKING AND LOADING:** Parking in compliance with Chapter 134 Article VII, Section 138-395 (1) (b.). Triplex, fourplex, apartment/condominium buildings with five or more units: Two parking spaces for each two or more bedrooms living unit. Based on the 168 living units, 334 total parking spaces are proposed, with 4 parking spaces for Lot 26, 8 parking spaces required for Lots 1-13, 15, 20, 16-18, 21-24, 19, 25, 27-39, 24 parking spaces required for Lot 14 and 10 parking spaces for Lot 40. The overall site plan is complying with parking requirements.
4. **LANDSCAPING:** A minimum of ten percent of the area of any lot or parcel shall be devoted to landscape material and comply with the intent and purpose of this article and 50 percent of such landscaped area for nonresidential lots shall be visible from the street fronting the developed property. Landscape areas located within the street and alley rights-of-way shall not be credited towards meeting the minimum landscape area requirement. However, right-of-way areas shall be landscaped. Landscape areas associated with drainage detention facilities located on the lot or parcel may be credited towards the landscape area requirement. A minimum of 50 percent of the area within the required front yard of any residential parcel shall be devoted to landscape material.
 - a. **Landscape (sod/green area) square footage requirement per Lot:**
 - i. **Lots 4-12:** 866
 - ii. **Lots 16-18 & 21-24:** 897
 - iii. **Lots 27-38:** 850
 - iv. **Lot 1:** 866, **Lots 2, 3:** 898, **Lot 13:** 865, **Lot 14:** 2,657, **Lot 15:** 874, **Lot 19:** 897, **Lot 25:** 874, **Lot 26:** 531, **Lot 39:** 850, **Lot 40:** 1,087.

As per Section 110-51 (1), when the required area being landscaped is from one to 2,000 square feet a minimum of one tree for every 200 square feet of landscape area shall be required.

- b. **Tree requirements per Lot (2.5", 4", and 6" caliper size):**
 - i. All lots will require a minimum of 5 trees at 2.5" caliper size, except for Lot 42 which will require 6 trees at 2.5" caliper size.
 - ii. 3 trees at 4" caliper size can also be provided for all lots, or one tree at 6" caliper size, except for Lot 14 which will require 3 trees at 6" caliper size.

5. STREETS AND SETBACKS: Final setbacks and right-of-way dedication will be addressed and determined through the subdivision review process.
6. DRAINAGE: Addressed through subdivision process. Final drainage detention and design and the drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.
7. ADDITIONAL PROVISIONS: Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by the Planning and Zoning Commission for recommendation to the City Commission Board for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 12.51 acres and is proposing a single use.
8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. Submitted site plan meets requirements.
9. A recorded subdivision plat and PUD site plan is required prior to issuance of building permits. The subdivision review process must be completed, and the subdivision plat must be recorded together with the PUD site plan.

OTHER PUD SITE PLAN CONSIDERATIONS: Three different elevation plan types will be recorded along with the PUD site plan that will reflect three different lot groups (i.e., Lots 1-16, Lots 17-27, and Lots 29-42).

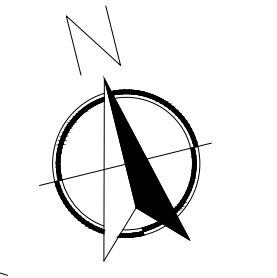
If the subdivision or building layout changes, the Conditional Use Permit will need to be amended to resemble the approved Subdivision Plat. The PUD must comply with all City department requirements, including but not limited to, the Building Permit & Inspections Department, Planning Department, Utility Department, Engineering Department, Fire Department, and the Environmental and Health Code Compliance Department. Finally, if this request is granted approval, all proposed structures and improvements on the recorded Subdivision Plat and PUD site plan will be required during the building permitting process.

Staff did not receive any phone calls, emails, or letters in opposition to this request.

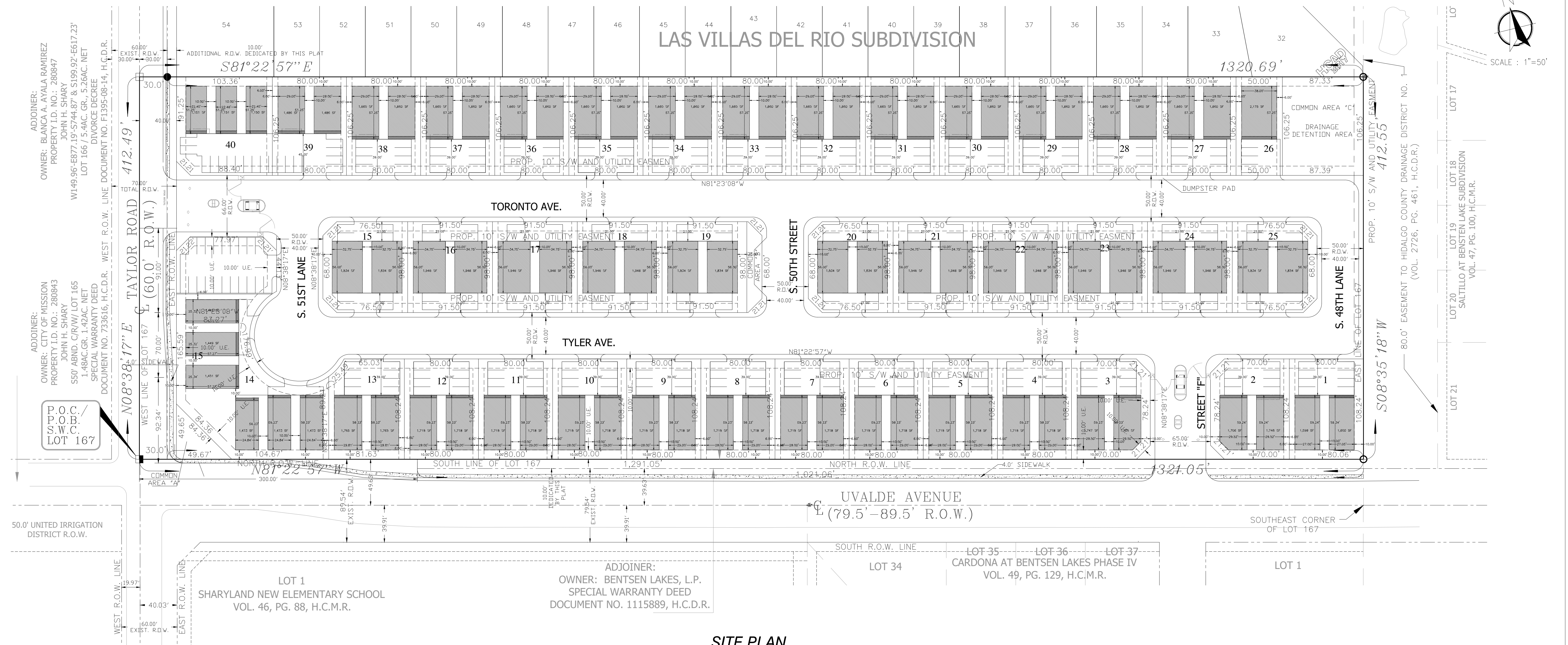
RECOMMENDATION:

Staff recommends approval of the Planned Unit Development as presented, for life of the use, subject to all aforementioned conditions.





LAS VILLAS DEL RIO SUBDIVISION



TAYLOR VILLAS SUBDIVISION

BEING A 12.51 ACRE TRACT OF LAND OUT OF LOT 167, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS ACCORDING TO PLAT RECORDED IN VOLUME I, PAGE 17, DEED RECORDS, HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

I, WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS TAYLOR VILLAS, SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF MCALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE TAYLOR VILLAS HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF TAYLOR ROAD AND UVALDE AVENUE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF MCALLEN.

SERGIO GOVELA, MANAGER
SYNERGY A REAL ESTATE ALLIANCE, L.L.C.
4001 S. SHARY ROAD, SUITE 550-47
MISSION, TX. 78572

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS SITE PLAN.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
3911 N. 10TH STREET, SUITE H.
MCALLEN, TEXAS 78501

DATE

SITE PLAN

SITE PLAN GENERAL NOTES

- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
A) FRONT: 20 FT. EXCEPT 15 FT. FOR ENCLOSED CARPORTS OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
B) REAR: 10 FT. OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
C) SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
D) CORNER: 10 FT. OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
E) GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON S. TAYLOR ROAD, UVALDE AVENUE, AND ON BOTH SIDES OF ALL INTERIOR STREETS.
- SIDEWALK CROSS SLOPE TO HAVE MAXIMUM 2% SLOPE, 5% MAXIMUM FOR LONGITUDINAL SLOPE.
- REFER TO CIVIL DRAWINGS GRADING, SITE UTILITIES, ASPHALT AND CONCRETE PAVEMENT, DRAINAGE CURBS, GUTTERS, BUILDING & DRIVE DIMENSIONS & LOCATIONS.
- ALL DIMENSIONS AT CURB LINES TO BACK OF CONCRETE CURBS.
- REFER TO MEP DRAWINGS FOR UNDERGROUND ELECTRICAL & OVERHEAD UTILITIES.
- THIS PUD SITE PLAN IS SUBJECT TO COMPLY WITH THE REQUIRED CONDITIONS UNDER TAYLOR VILLAS SUBDIVISION RECORDED UNDER DOCUMENT NO. _____, HIDALGO COUNTY MAP OF RECORDS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF MCALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFOIL AVENUE
MCALLEN, TEXAS 78501
(956)882-9081

DATE

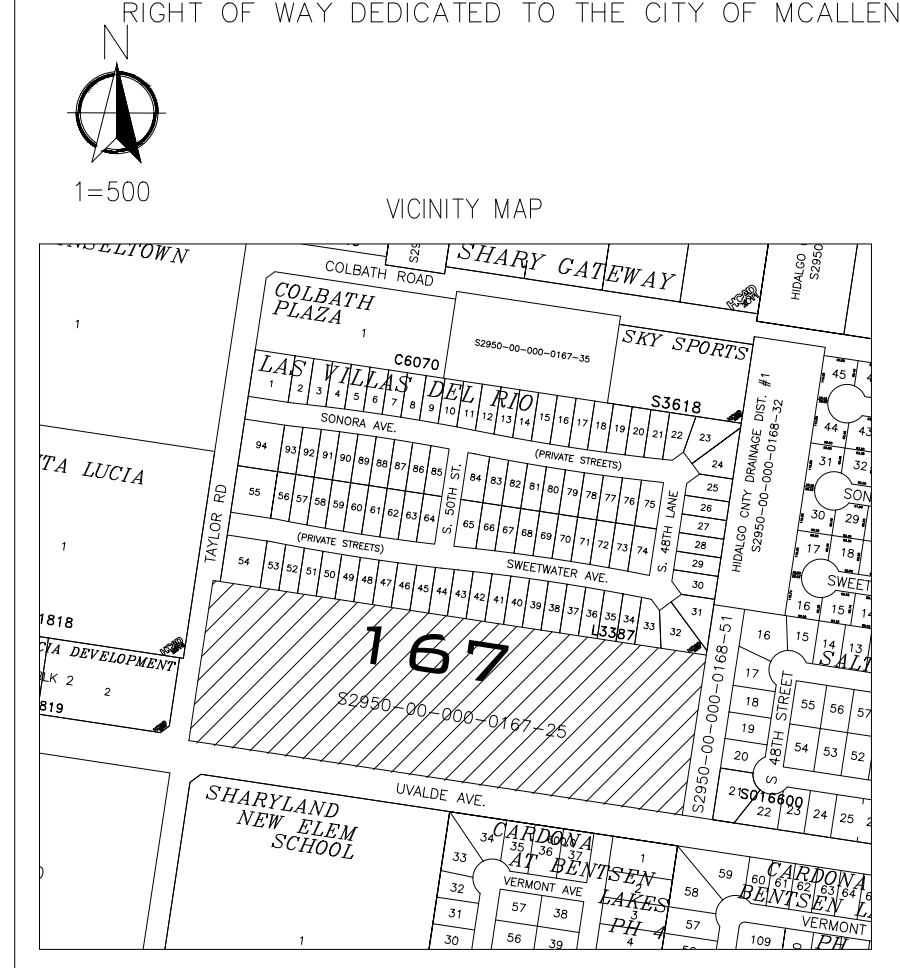
SITE INFORMATION						
#	LOT	SQ.FT. TOTAL TWO STORY	LOT AREA	LANDSCAPE PROVIDED	4" OAK TREE	PARKING PROVIDED
1	1	6,398.00	8,662.15	3,231.15	3	8
2	2	6,908.00	8,979.19	3,293.19	3	8
3	3	6,904.00	8,974.84	3,290.84	3	8
4	4-12	6,872.00	8,658.89	2,990.89	3	8
5	13	7,060.00	8,652.09	2,890.09	3	8
6	14	17,536.00	26,576.08	11,360.27	9	24
7	15,20	7,336.00	8,742.00	2,770.00	4	8
8	16-18 & 21-24	7,784.00	8,967.00	2,771.00	4	8
9	19	7,336.00	8,967.00	2,995.00	4	8
10	25	7,336.00	8,744.25	3,668.00	4	8
11	26	4,350.00	5,312.50	1,708.39	3	4
12	27-38	6,640.00	8,500.00	2,948.00	3	8
13	39	5,944.00	8,500.00	2,636.00	3	8
14	40	6,904.00	10,871.50	3,774.22	4	10

DATE OF PREPARATION 05-08-2024

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS. 78501

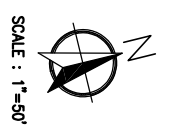
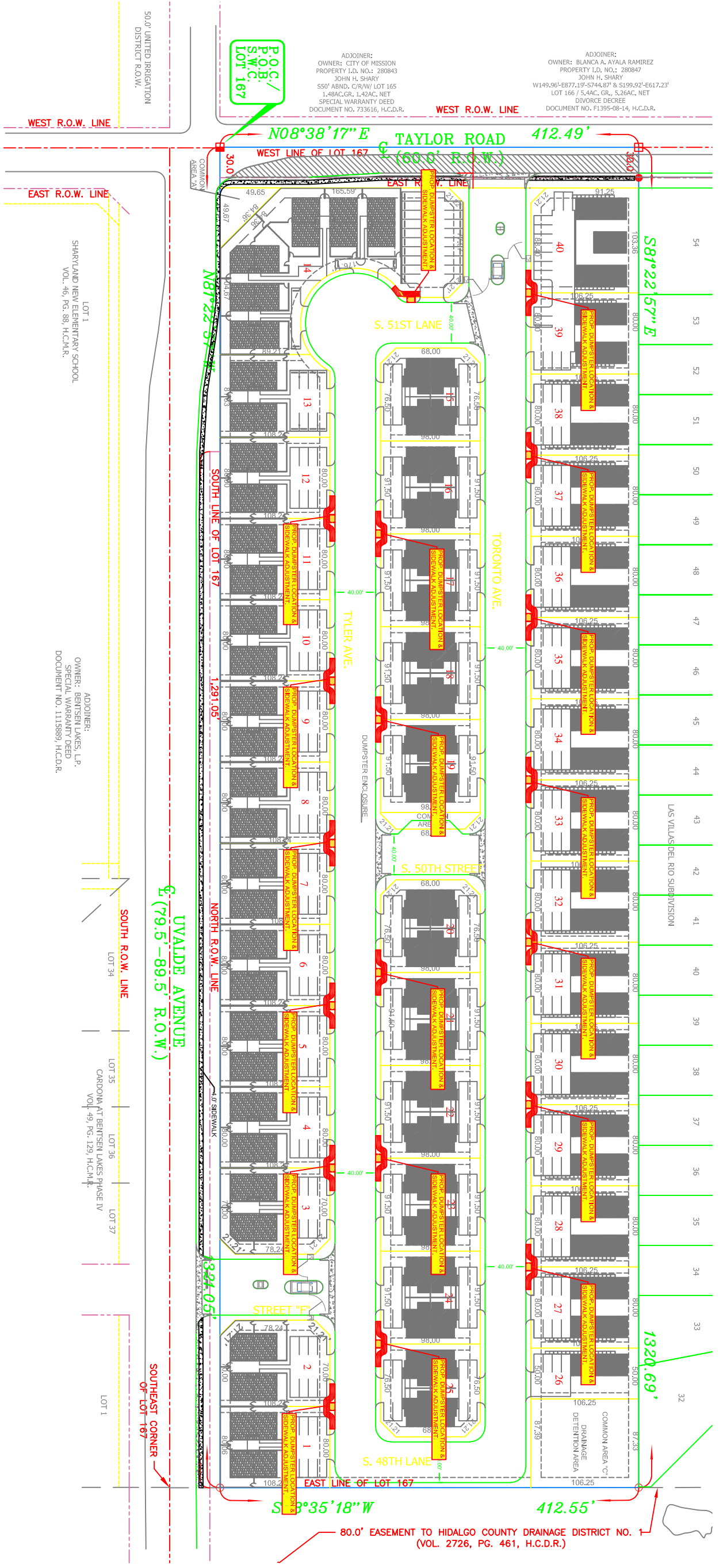
PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



P.O.C.
S.M.C.
LOT 167

ADJOINER:
OWNER: CITY OF MISSION
PROPERTY I.D. NO.: 280843
JOHN H. SHARY
550' ABND. C/R/W/ LOT 165
1.48AC.GR. 1.42AC. NET
SPECIAL WARRANTY DEED
DOCUMENT NO. 733016, H.C.D.R.

ADJOINER:
OWNER: BLANCA A. AYALA RAMIREZ
PROPERTY I.D. NO.: 280847
JOHN H. SHARY
W149.96'-E877.19'-S744.87' & S199.92'-E617.23'
LOT 166 / 5.4AC. GR., 5.26AC. NET
DIVORCE DECREE
DOCUMENT NO. F1395-08-14, H.C.D.R.



ADJOINER:
OWNER: SHARYLAND NEW ELEMENTARY SCHOOL
VOL. 46, PG. 88, H.C.M.R.

ADJOINER:
OWNER: BERTSEN LAKES, L.P.
SPECIAL WARRANTY DEED
DOCUMENT NO. 1115889, H.C.D.R.

REVISION:	BY:	APPROVED BY:
1	JB	MAS
DATE OF PREPARATION: 05-08-2024		
PROJECT No.	SHEET No.	
	C-1	

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N 10TH STREET, SUITE H
MCALLEN, TEXAS. 78501

PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

PROJECT NAME:	TAYLOR VILLAS SUBDIVISION
ADDRESS:	TAYLOR RD. AND UVALDE BLVD. MCALLEN, TEXAS
CLIENT INFORMATION:	SERGIO GOBELA

Memo

TO: Planning and Zoning Commission

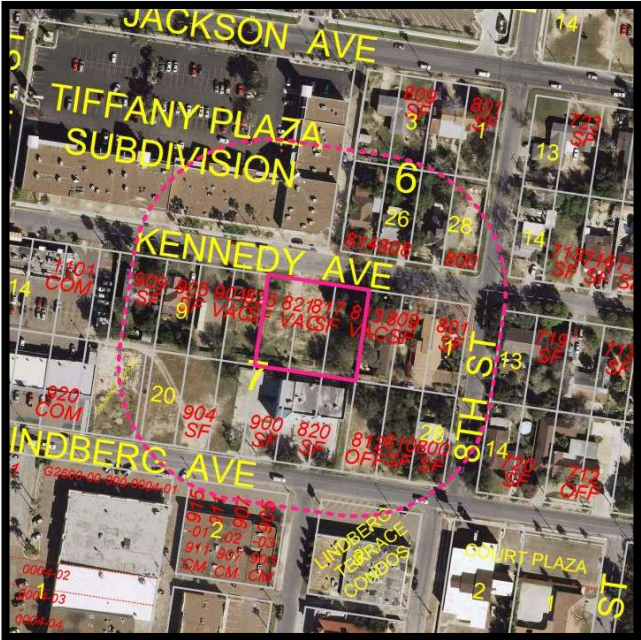
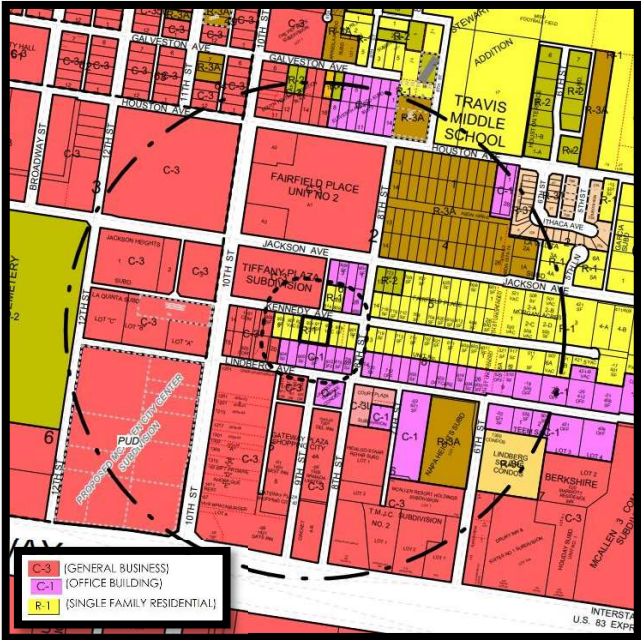
FROM: Planning Staff

DATE: May 6, 2024

SUBJECT: REQUEST OF JOSEPH M. CAPORUSSO ON BEHALF OF CARCAP ENTERPRISES, LTD., FOR A CONDITIONAL USE PERMIT FOR A PARKING FACILITY, FOR LIFE OF USE, AT LOT 4, 5 & 6, BLOCK 7, FAIRFIELD PLACE SUBDIVISION, HIDALGO COUNTY, TEXAS; 813 KENNEDY AVENUE. (CUP2024-0054)

BRIEF DESCRIPTION:

The subject property is located on the south side of Kennedy Avenue in between South 10th Street and South 8th Street. The property is zoned R-1 (single-family residential) District. The adjacent zonings are R-1 District in all directions except to the south which is C-1 (office building) District. Surrounding land uses include single-family residences and other office buildings by the name of Futuro Clinical Trails, Complete Family Care, etc. A parking facility for office uses is allowed in an R-1 District with a Conditional Use Permit and in compliance with requirements.



HISTORY:

A Conditional Use Permit for the life of use for a parking facility was submitted in April 25, 2024. The purpose of the parking facility request is to provide additional parking for an existing office building located on the south side of the subject property.

REQUEST/ANALYSIS:

A parking facility is allowed in a R-1 zone with a Conditional Use permit. The applicant is proposing to utilize the proposed parking lot to provide additional parking for an existing office building by the name of Complete Family Care located at 812 Lindberg Ave. The submitted site plan depicts that 24 parking spaces will be provided. During the site visit, staff noticed that the property is currently vacant. The parking lot has to be striped and the landscape areas need to be cut and maintained.

Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The parking facility must comply with landscaping, buffer, parking, and right of way requirements. It must also meet the requirements set forth in Section 138-118(6) of the Zoning Ordinance and specific requirements as follows:

- 1) The sides adjacent to residentially zoned property are to be screened by a six-foot opaque fence. A 6 ft. opaque fence exists on the east, south and west side of the subject property;
- 2) The parking area shall be landscaped in compliance with the Landscape Ordinance. The required landscaping for this parking lot is 1,350 sq. ft. with trees required as follows: 7 – 2 1/2” caliper, or 4 – 4” caliper, 2 – 6” caliper. Each parking space must also be within 100 ft. of a landscape area with a tree. A landscape strip area with a minimum width of ten feet shall be provided along and within the property lines along Kennedy Avenue, excluding driveway entrances and exits. Since the subject property has a lot depth of less than 200 feet, the landscaped strip may be reduced to a minimum width of five feet with a landscape hedge not exceeding three feet in height;
- 3) Residential areas shall be protected as far as possible against heavy traffic and against through traffic of all kinds, including traffic generated by commercial, industrial or other incompatible land uses.
- 4) Parking should not encroach into side yard setbacks when residential uses are adjacent. A 6 ft. landscape buffer is provided on the west side yard setback and 83 feet on the west side yard setback;
- 5) The parking area shall be adjacent to the primary use. The proposed parking area is adjacent to the primary use property on the south side;
- 6) The parking area shall provide sufficient lighting to eliminate dark areas to provide maximum visibility from a public street in order to discourage vandalism and criminal activities. Lighting shall be shielded from residential areas;
- 7) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- 8) The Planning and Zoning Commission may impose additional reasonable restrictions or conditions to carry out the spirit and intent of this section and to mitigate adverse effects of the proposed use. These requirements may include, but are not limited to, increased open space, loading and parking requirements, suitable landscaping, and additional improvements such as curbing and sidewalks.

RECOMMENDATION:

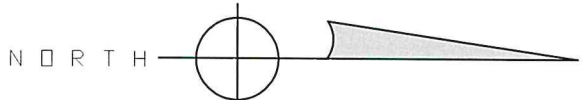
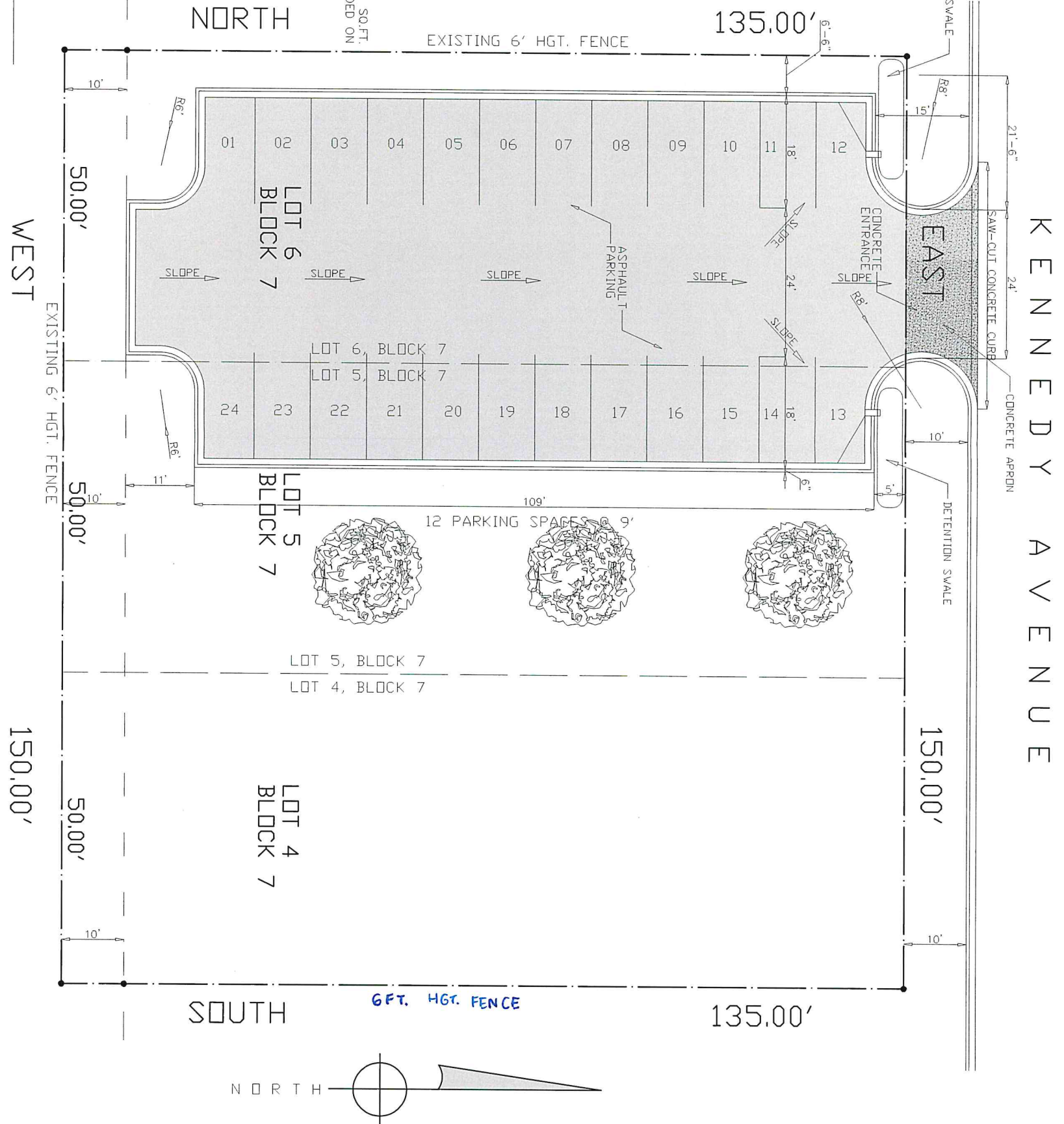
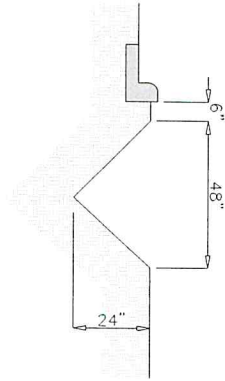
Staff recommended approval of the request, for life of the use, subject to compliance with requirements in Section 138-118(6) of the Zoning Ordinance, Engineering Department ROW requirements and Landscape requirements.



1 SITE PLAN
SCALE: 1/8" = 1'-0"


LANDSCAPE REQUIREMENTS:
 LOT 5 & 6 = 13,500 SQ.FT.
 GREEN AREA REQUIRED: 1,350 SQ.FT.
 GREEN AREA PROVIDED @ FRONT 1,442 SQ.FT.
 PLUS 5,628 SQ.FT. GREEN AREA PROVIDED ON
 REST OF THE LOT.
 (2) (✓) 4" CALIPER TREES
 (1) 6" CALIPER TREE
 PARKING SPACES:
 24 PARKING SPACES

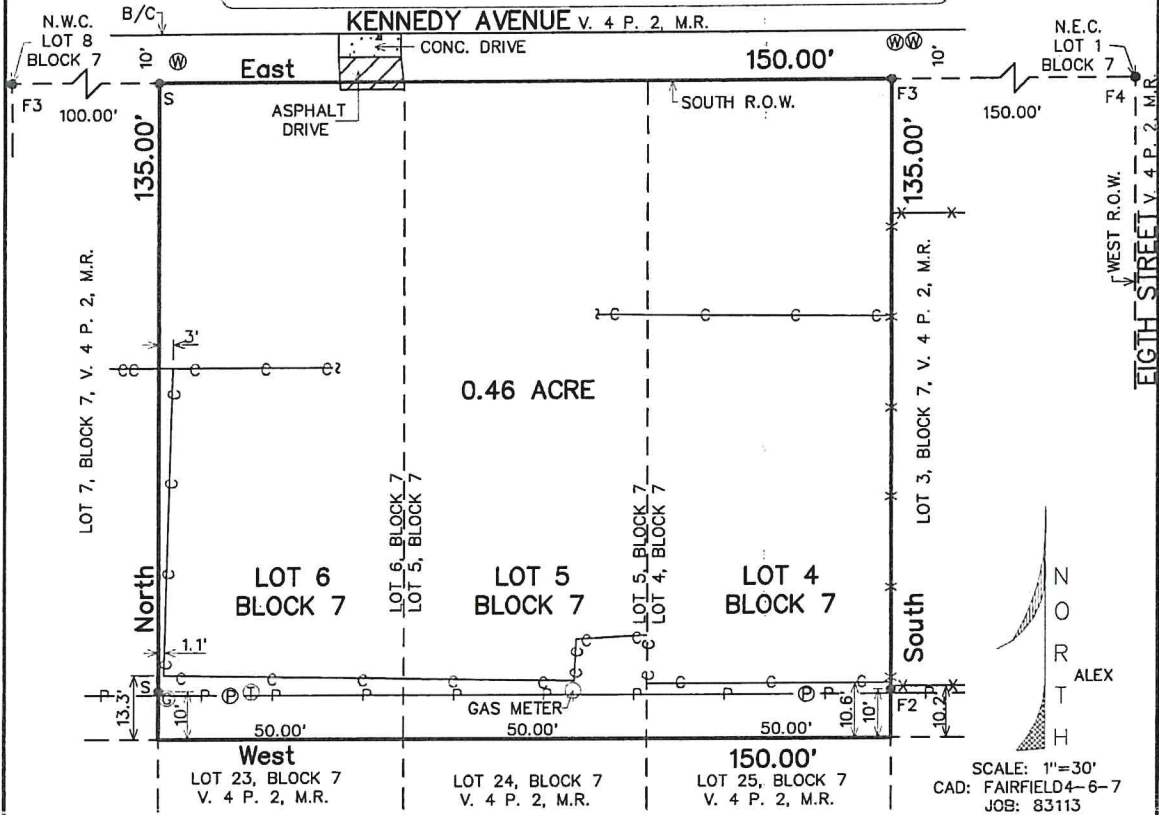
DETENTION SWALE DETAIL



PROJECT: LOT 4,5,6	SHEET # S-1	PROJECT NAME & ADDRESS Mr. Caporusso LOT 4,5 & 6 Block 7 Fairfield Place Subdivision McAllen Texas
DATE: 4/25/2024		
SCALE: As Noted		




PEÑA ENGINEERING
 FIRM #10087200 · 1001 WHITEWING · P.O. BOX 4320
 (956) 682-8812 · McALLEN, TEXAS 78502 · FAX (956) 631-PENA



SCALE: 1"=30'
 CAD: FAIRFIELD4-6-7
 JOB: 83113
 NOTE:
 BASIS OF BEARING IS THE NORTH LINE OF LOTS 1-8, BLOCK 7,
 FAIRFIELD PLACE SUBDIVISION, V. 4 P. 2, MAP RECORDS

- LEGEND:**
- F2 - FOUND 1/2" DIAMETER IRON PIPE
 - F3 - FOUND 3/4" DIAMETER IRON PIPE
 - F4 - FOUND 1" DIAMETER IRON PIPE
 - S - SET 1/2" DIAMETER IRON ROD W/CAP STAMPED "PENA 5242"
 - B/C - BACK OF CONCRETE CURB & GUTTER
 - R.O.W. - RIGHT OF WAY
 - W - WATER METER
 - T - TELEPHONE PEDESTAL
 - G - GAS MARKER
 - P - POWER POLE
 - P-P - POWER POLE LINE
 - X-X - 6' CEDAR FENCE
 - C-C - 6' CHAIN LINK FENCE
 - C-C-C - 4' CHAIN LINK FENCE

EASEMENTS AS PER GF NO. 185786
 EFFECTIVE DATE: JANUARY 27, 2024
 ISSUED DATE: FEBRUARY 5, 2024

- 1.) EASEMENTS, RULES, REGULATIONS & RIGHTS IN FAVOR OF HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3
- 2.) BLANKET PIPELINE EASEMENT TO RIO GRANDE VALLEY GAS COMPANY, V. 263 P. 448, DEED RECORDS

NOTE:
 MINIMUM BUILDING SETBACK LINES AS PER HILDA
 WITH THE CITY OF McALLEN ZONING DEPARTMENT

FRONT - 25'
 REAR - 10'
 SIDE - 6'

BUYER'S NAME: CARCAP ENTERPRISES

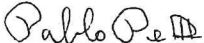
FLOOD ZONE: By GRAPHICAL PLOTTING COMMUNITY PANEL NO. 480343 0005 C
 MAP REVISED: NOVEMBER 2, 1982

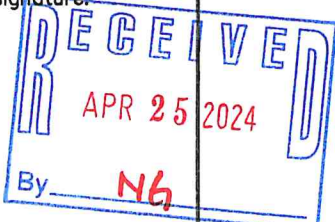
Zone "B" - This is to certify that this property is not in a flood prone area. However limits between the 100 year and 500 year flood are subject to flooding with average depths less than one foot.

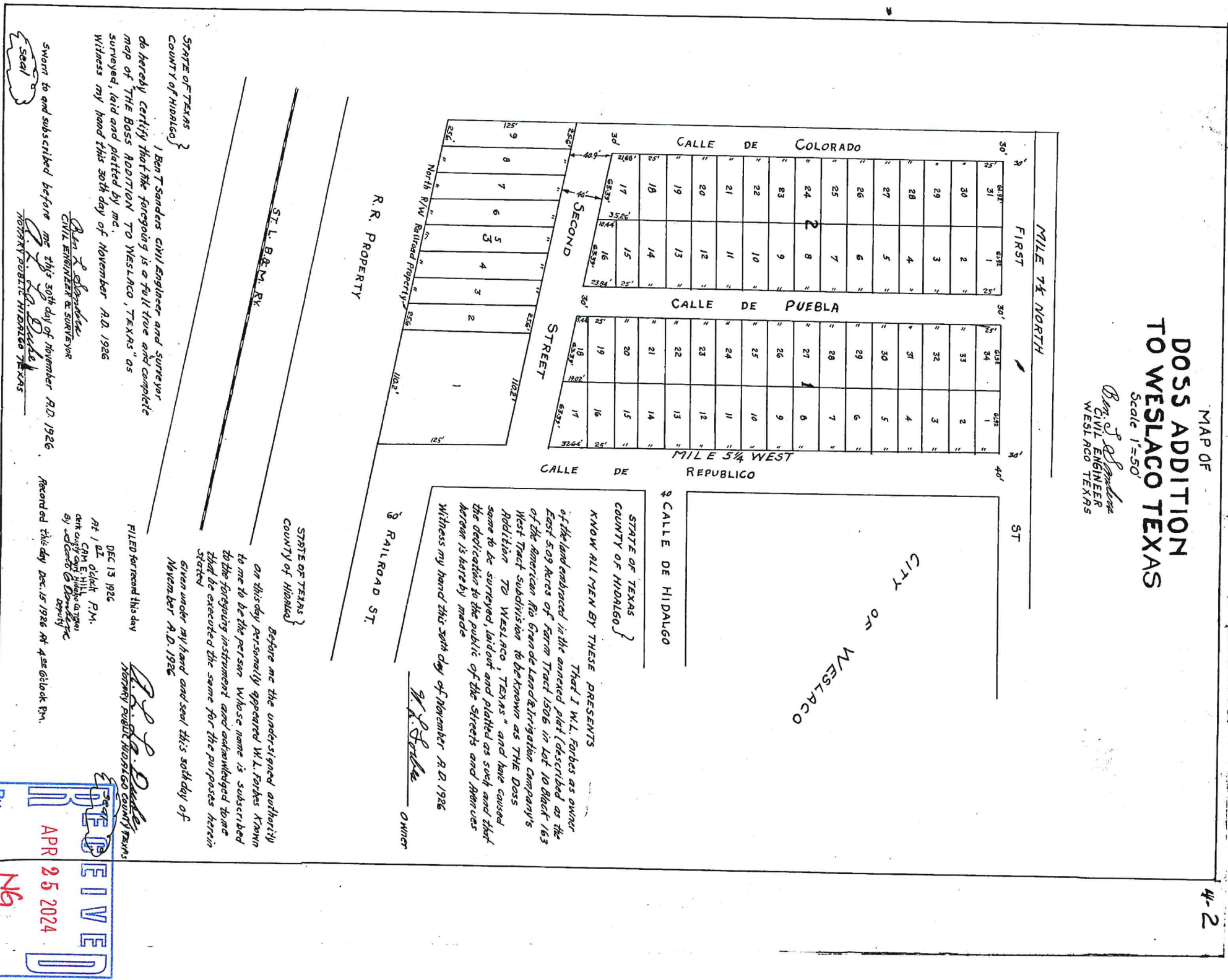
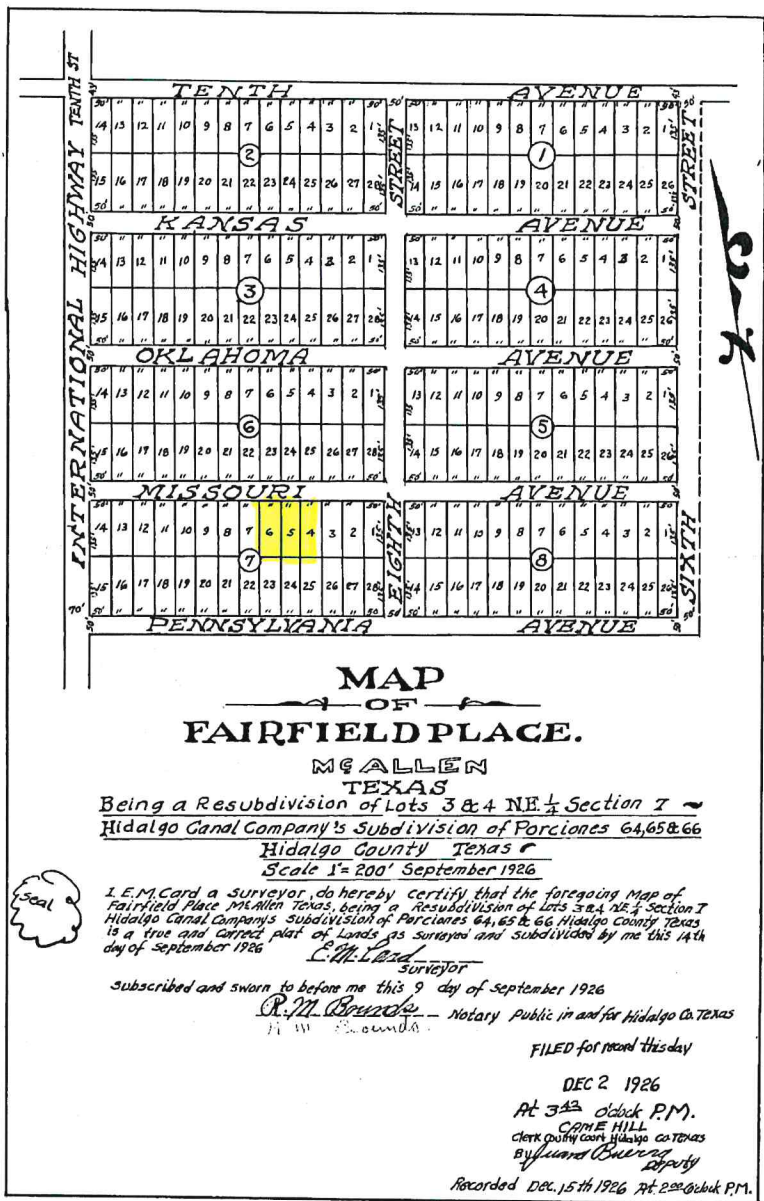
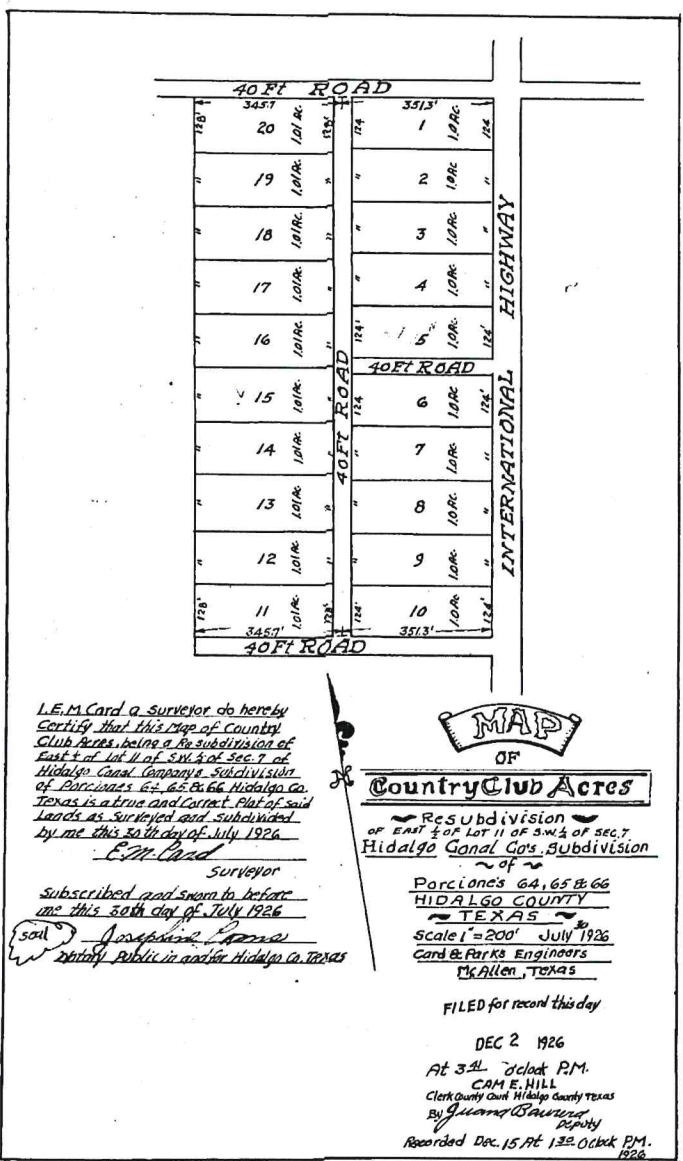
I certify that this plat represents the facts found on the ground at the time of survey and that there are no visible or apparent easements, discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or overlapping of improvements or visible easements except as shown on this plat. No subsurface utilities or service connections are shown, © copyright 2024 PEÑA ENGINEERING this survey was provided in multiple originals solely for the borrower named hereon, in conjunction with the original transaction which shall take place within 6 months after the survey was provided. No license has been created or implied to copy this Survey. Survey valid only if print has original seal and signature.
 ADDRESS: 813 KENNEDY AVENUE, McALLEN, TEXAS

LEGAL DESCRIPTION: LOTS 4, 5, & 6, BLOCK 7, FAIRFIELD PLACE SUBDIVISION, AN
 ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS,
 ACCORDING TO THE MAP RECORDED IN VOLUME 4 PAGE 2
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS.

02/01/2024
DATE


 PABLO PEÑA III
 REG. PROFESSIONAL LAND SURVEYOR No. 5242


 RECEIVED
 APR 25 2024
 By NG





Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

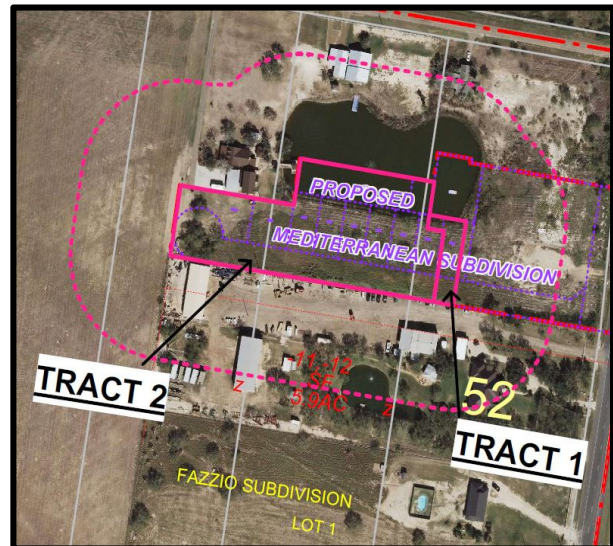
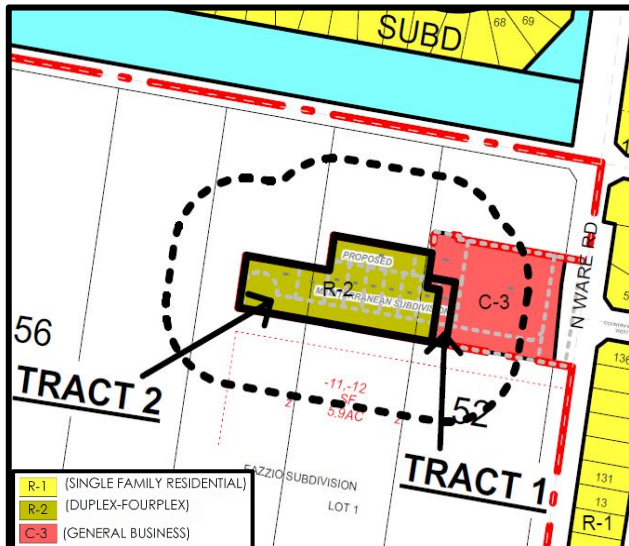
DATE: May 29, 2024

SUBJECT: TRACT 1: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT: 0.170 ACRES OUT OF LOT 52, OUT OF LOTS 35 TO 68, INCLUSIVE, SECTION 229, TEX-MEX SUBDIVISION, HIDALGO COUNTY, TEXAS; 13931 NORTH WARE ROAD (MIDDLE). (REZ2024-0031)

TRACT 2: REZONE FROM R-2 (DUPLIX-FOURPLEX RESIDENTIAL) DISTRICT TO R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT: 2.227 ACRES OUT OF LOTS 52 THROUGH 54, OUT OF LOTS 35 TO 68, INCLUSIVE, SECTION 229, TEX-MEX SUBDIVISION, HIDALGO COUNTY, TEXAS; 13931 NORTH WARE ROAD (REAR). (REZ2024-0028)

LOCATION: The two interior tracts are located along the west side of North Ware Road, approximately 340 feet south of Mile 9 Road. Tract 1 consists of 0.170 acres and is zoned C-3 (general business) District. Tract 2 consists of 2.227 acres and is zoned R-2 (duplex-fourplex residential) District. Both tracts were initially zoned upon annexation in August 2023.

PROPOSAL: The applicant is proposing to rezone the subject properties to R-3T (multifamily residential townhouse) District in order to construct a townhouse development. A feasibility plan has not been submitted. A subdivision plat under the name Mediterranean Subdivision received approval in preliminary form by the Planning and Zoning Commission on November 7, 2023.



ADJACENT ZONING: The adjacent zoning is C-3 District to the east. The properties to the north, south and west are outside of the McAllen city limits. Ensenada at Tres Lagos Subdivision is located to the north across Russel Road. Country Meadows Subdivision is located to the east across North Ware Road. Both are single family residential developments.

LAND USE: The subject property is vacant and includes a portion of a pond on the north side. Surrounding land uses include single-family residences, farmland and vacant properties.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan categorizes the future land use for this property under Complete Communities. Single family homes make up the majority of this land use category although townhomes should be encouraged to create diversity in housing choices. Single family residential and townhome uses are considered appropriate for this area and are encouraged especially when retail services and offices are nearby.

DEVELOPMENT TRENDS: The development trend for this area is single family residential and non-residential.

ANALYSIS: The requested zoning conforms to the Complete Communities Future Land Use Plan designation.

Appropriate locations for multifamily developments along arterial streets are commercial along the front and multifamily on interior tracts. The proposed development follows this arrangement.

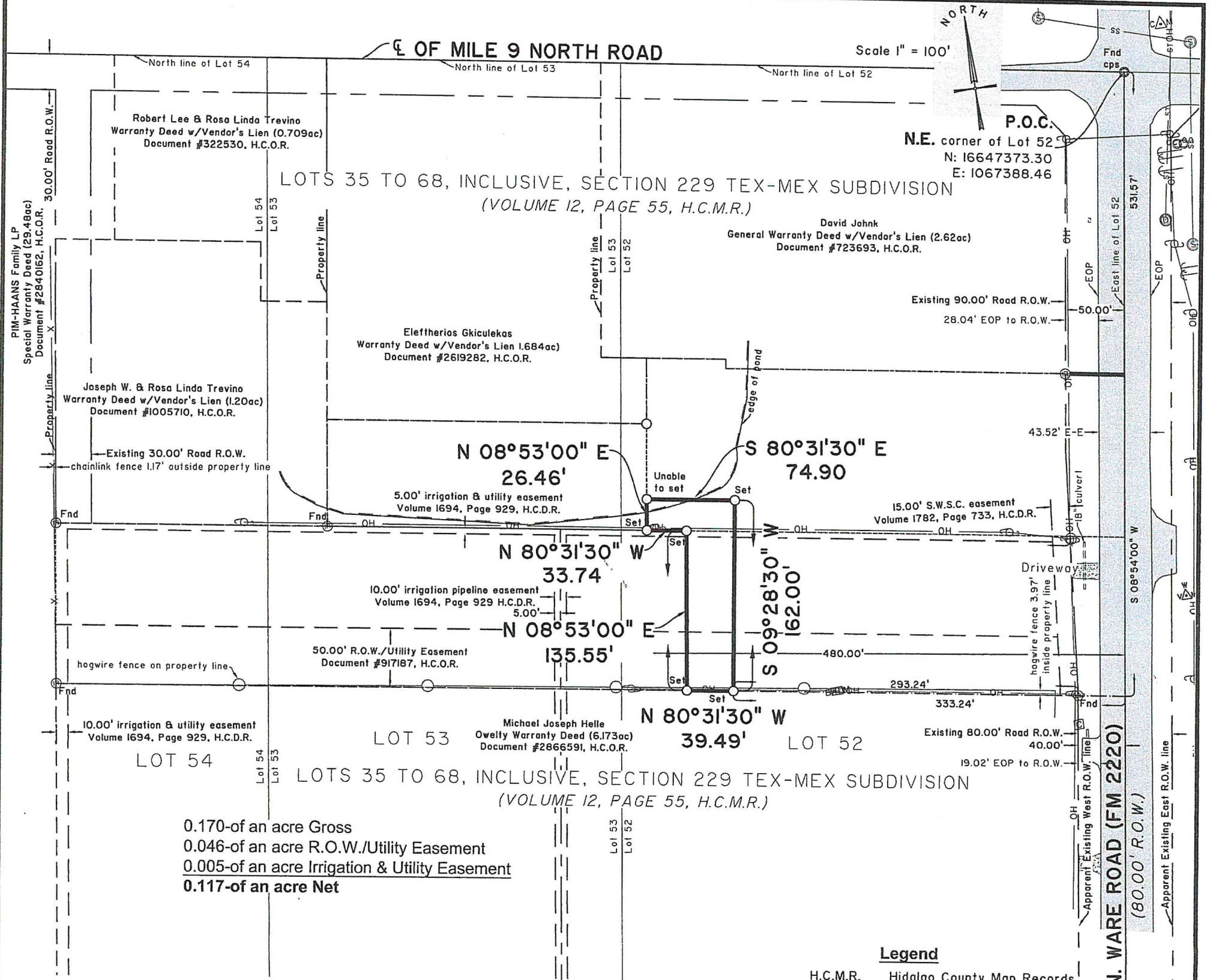
A masonry screen 8 feet in height is required where a townhouse development is adjacent to a residential use or zone.

Parkland dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

A recorded subdivision plat and approved site plan are required prior to issuance of any building permit.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouse) District.

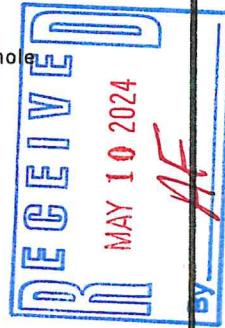


**SURVEY PLAT SHOWING
A 0.170-ACRE TRACT OF LAND,
MORE OR LESS,
OUT OF LOT 52, OUT OF
LOTS 35-68, INCLUSIVE, SECTION 229,
TEX-MEX SUBDIVISION,
HIDALGO COUNTY, TEXAS,
VOLUME 12, PAGE 55, H.C.M.R.**

(See Exhibit "A" for Metes and Bounds description)

Legend

- | | |
|----------|--|
| H.C.M.R. | Hidalgo County Map Records |
| H.C.O.R. | Hidalgo County Official Records |
| H.C.D.R. | Hidalgo County Deed Records |
| P.O.B. | Point of Beginning |
| P.O.C. | Point of Commencing |
| R.O.W. | Right-of-Way |
| N.E. | Northeast |
| Fnd | Found No. 4 Rebar |
| Set | Set No. 4 Rebar w/plastic cap stamped 2791 |
| EOP | Edge of pavement |
| E-E | Edge to Edge |
| ⊙ | Found No. 4 Rebar |
| ⊙ | Found cotton picker spindle |
| ⊙ | Existing storm drainage manhole |
| ⊙ | Existing clean out |
| ⊙ | Existing chainlink fence |
| ⊙ | Existing hogwire fence |
| ⊙ | Existing overhead power line |
| ⊙ | Existing power pole |
| ⊙ | Existing down guy |
| ⊙ | Existing electric transformer |
| ⊙ | Cable pedestal |
| ⊙ | Existing water meter |
| ⊙ | Asphalt pavement |
| ⊙ | Concrete pavement |



I, Homero L. Gutierrez, a registered professional land surveyor in the State of Texas, hereby state that this survey is true and was correctly made on the ground on 05/29/2023 under my direction, that the existing improvements on the ground are as shown, and that there are no visible encroachments, protrusions, apparent conflicts and visible easements, except as shown hereon.



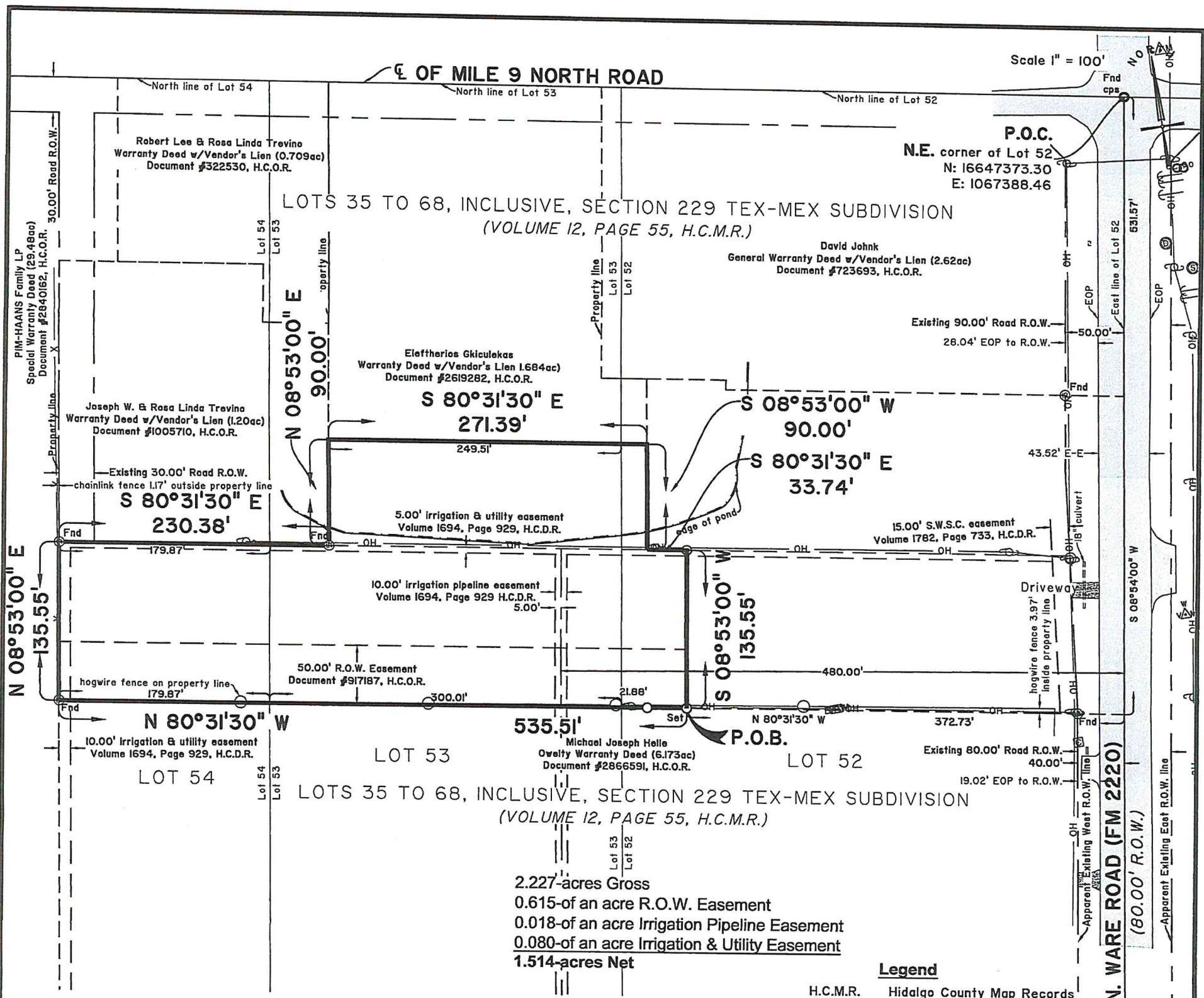
Homero Luis Gutierrez
Homero Luis Gutierrez, RPLS No. 2791
Date: 05/07/2024

HOMERO L. GUTIERREZ
P.O. Box 548
McAllen, Texas 78505
(956) 369-0988

REV: 05/07/2024
REV: 04/26/2024
DATE: 06/16/2023 JOB No.: HLG23-079

General Notes:

- Survey is valid only if print has electronic seal and original signature or electronic signature if authorized by Survey.
- Bearing basis as per NAD 1983 State Plane Texas South FIPS 4205 Feet.
- Survey was prepared without the benefit of a title policy, which may show additional easements affecting this lot. Surveyor is advising the recipient of this plat that additional easements may be on this lot.
- Easements, rules, regulations and rights in favor of United Irrigation District. Existing underground irrigation pipes have easements which require Irrigation Districts direction to establish width & locations.
- This conveyance is made further subject to all rights, easements, contracts and liens in favor of the irrigation system under which such land is located.
- Homero L. Gutierrez did not research or prepare a title report or abstract of title on the above property.
- Building, zoning, platting and/or regulatory laws and/or ordinances at any municipal and/or other governmental authority will apply.
- The existence, if any underground gas lines or other underground utilities not shown on this survey should be thoroughly investigated by the owner prior to any construction on this site. The Surveyor has limited his investigation of underground utilities on this site to that which can be seen.
- Surveyor's statement: The property corners of the tract surveyed were staked out based on the best fit of monuments found for this property and others within the immediate vicinity, taking into account the intent of the surveyors' original foot steps. A survey of the original mother tracts to correctly establish minor discrepancies that were found in the property corners would not be a feasible option for the parties concerned. The client has been made aware of any discrepancies found and the respective action taken to stake out his property as per the found and set monuments shown hereon.
- Flood Zone "X" - Areas determined to be outside 500-year floodplain.
Community Panel No. 480334 0295D
Map Revised: June 6, 2000



**SURVEY PLAT SHOWING
A 2.227-ACRE TRACT OF LAND,
MORE OR LESS,
OUT OF LOTS 52 THRU 54,
OUT OF
LOTS 35-68, INCLUSIVE, SECTION 229,
TEX-MEX SUBDIVISION,
HIDALGO COUNTY, TEXAS,
VOLUME 12, PAGE 55, H.C.M.R.**

(See Exhibit "C" for Metes and Bounds description)

- Legend**
- H.C.M.R. Hidalgo County Map Records
 - H.C.O.R. Hidalgo County Official Records
 - H.C.D.R. Hidalgo County Deed Records
 - P.O.B. Point of Beginning
 - P.O.C. Point of Commencing
 - R.O.W. Right-of-Way
 - N.E. Northeast
 - Fnd Found No. 4 Rebar
 - Set Set No. 4 Rebar w/plastic cap stamped 2791
 - EOP Edge of pavement
 - E-E Edge to Edge
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 - Existing storm drainage manhole
 - Existing clean out
 - Existing chainlink fence
 - Existing hogwire fence
 - Existing overhead power line
 - Existing power pole
 - Existing down guy
 - Existing electric transformer
 - Cable pedestal
 - Existing water meter
 - Asphalt pavement
 - Concrete pavement

- General Notes:**
- Survey is valid only if print has electronic seal and original signature or electronic signature if authorized by Survey.
 - Bearing basis as per NAD 1983 State Plane Texas South FIPS 4205 Feet.
 - Survey was prepared without the benefit of a title policy, which may show additional easements affecting this lot. Surveyor is advising the recipient of this plat that additional easements may be on this lot.
 - Easements, rules, regulations and rights in favor of United Irrigation District. Existing underground irrigation pipes have easements which require Irrigation Districts direction to establish width & locations.
 - This conveyance is made further subject to all rights, easements, contracts and liens in favor of the irrigation system under which such land is located.
 - Homero L. Gutierrez did not research or prepare a title report or abstract of title on the above property.
 - Building, zoning, platting and/or regulatory laws and/or ordinances at any municipal and/or other governmental authority will apply.
 - The existence, if any underground gas lines or other underground utilities not shown on this survey should be thoroughly investigated by the owner prior to any construction on this site. The Surveyor has limited his investigation of underground utilities on this site to that which can be seen.
 - Surveyor's statement: The property corners of the tract surveyed were staked out based on the best fit of monuments found for this property and others within the immediate vicinity, taking into account the intent of the surveyors' original foot steps. A survey of the original mother tracts to correctly establish minor discrepancies that were found in the property corners would not be a feasible option for the parties concerned. The client has been made aware of any discrepancies found and the respective action taken to stake out his property as per the found and set monuments shown hereon.
 - Flood Zone "X" - Areas determined to be outside 500-year floodplain.
Community Panel No. 480334 0295D
Map Revised: June 6, 2000

I, Homero L. Gutierrez, a registered professional land surveyor in the State of Texas, hereby state that this survey is true and was correctly made on the ground on 05/29/2023 under my direction, that the existing improvements on the ground are as shown, and that there are no visible encroachments, protrusions, apparent conflicts and visible easements, except as shown hereon.



Homero Luis Gutierrez
Homero Luis Gutierrez, RPLS No. 2791
Date: 06/16/2023

HOMERO L. GUTIERREZ
P.O. Box 548
McAllen, Texas 78505
(956) 369-0988

DATE: 06/16/2023 JOB No.: HLG23-079

5/10/24
P.H.



REZ2024-0028



REZ2024-0031

Memo

TO: Planning and Zoning Commission

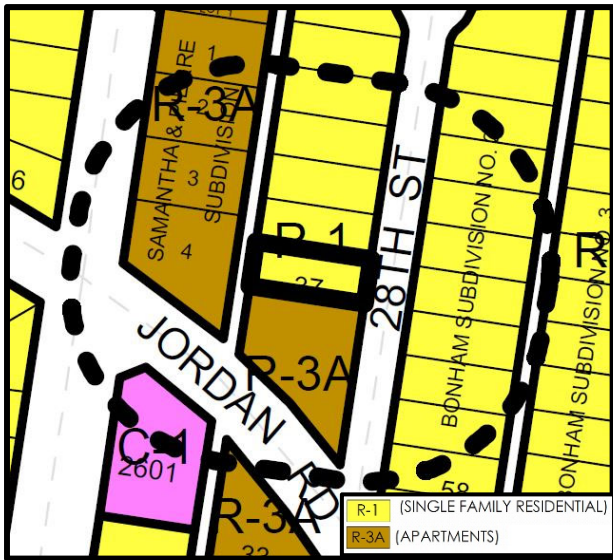
FROM: Planning Staff

DATE: May 28, 2024

SUBJECT: REZONE FROM R-1 (SINGLE FAMILY RESIDENTIAL) DISTRICT TO R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT: LOT 37, BONHAM UNIT NO. 2 SUBDIVISION, HIDALGO COUNTY, TEXAS; 2404 SOUTH 28TH STREET. (REZ2024-0027)

LOCATION: The property is located along the west side of South 28th Street, approximately 182 feet north of Jordan Road.

PROPOSAL: The applicant is proposing to rezone the subject property to R-2 (duplex-fourplex residential) District in order to construct a duplex. A feasibility plan has been submitted and is attached.



ADJACENT ZONING: The property is zoned R-1 (single-family residential) District. The adjacent zoning is R-1 District to the north and east, and R-3A (multifamily residential apartments) District to the south and west.

LAND USE: The subject property is currently vacant. Surrounding land uses include single-family residences and apartments.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan categorizes the future land use for this property under Complete Communities. Single family homes make up the majority of this land use category although duplexes should be encouraged to create diversity in housing choices. Single family residential and duplex uses are considered most appropriate for this area and are similar in character and lot standards to single-family.

DEVELOPMENT TRENDS: The development trend for this area is established single family residential and apartment use.

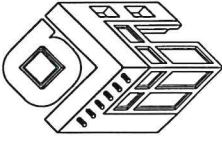
ANALYSIS: The requested zoning conforms to the Complete Communities Future Land Use Plan designation. This property is adjacent to R-3A District to the south and west, properties that contain apartment use.

The Lot size meets the minimum lot size requirement for duplex development.

Compliance with off street parking, landscaping and various building codes are required before issuance of any building permit.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-2 (duplex-fourplex residential) District.



M/A
Custom Plans
365 HANBY ACADEMY
(959) 548-5870
MADRID@MACUSTOMPLANS.COM
WWW.MACUSTOMPLANS.COM

THE FRANCHISE IS THE PROPERTY OF M/A CUSTOM PLANS AND MAY NOT BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION OF M/A CUSTOM PLANS. M/A CUSTOM PLANS SHALL ASSUME NO LIABILITY FOR ANY DAMAGES OR INJURIES FROM THESE PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THESE PLANS TO OBTAIN THE FOLLOWING CONTRACTOR MUST:
 * VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 * VERIFY ALL DIMENSIONS WITH CITY GOVERNANCE CODES & RESTRICTIONS.
 * VERIFY COMPLIANCE WITH ALL APPLICABLE PERMITS.
 * VERIFY COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
 * VERIFY COMPLIANCE WITH ALL APPLICABLE ENGINEERING ASPECTS. SHOULD ANY DISCREPANCY OR CONFLICT BE IDENTIFIED, SEPARATE ACTUAL SITE CONDITIONS SHALL PREVAIL.

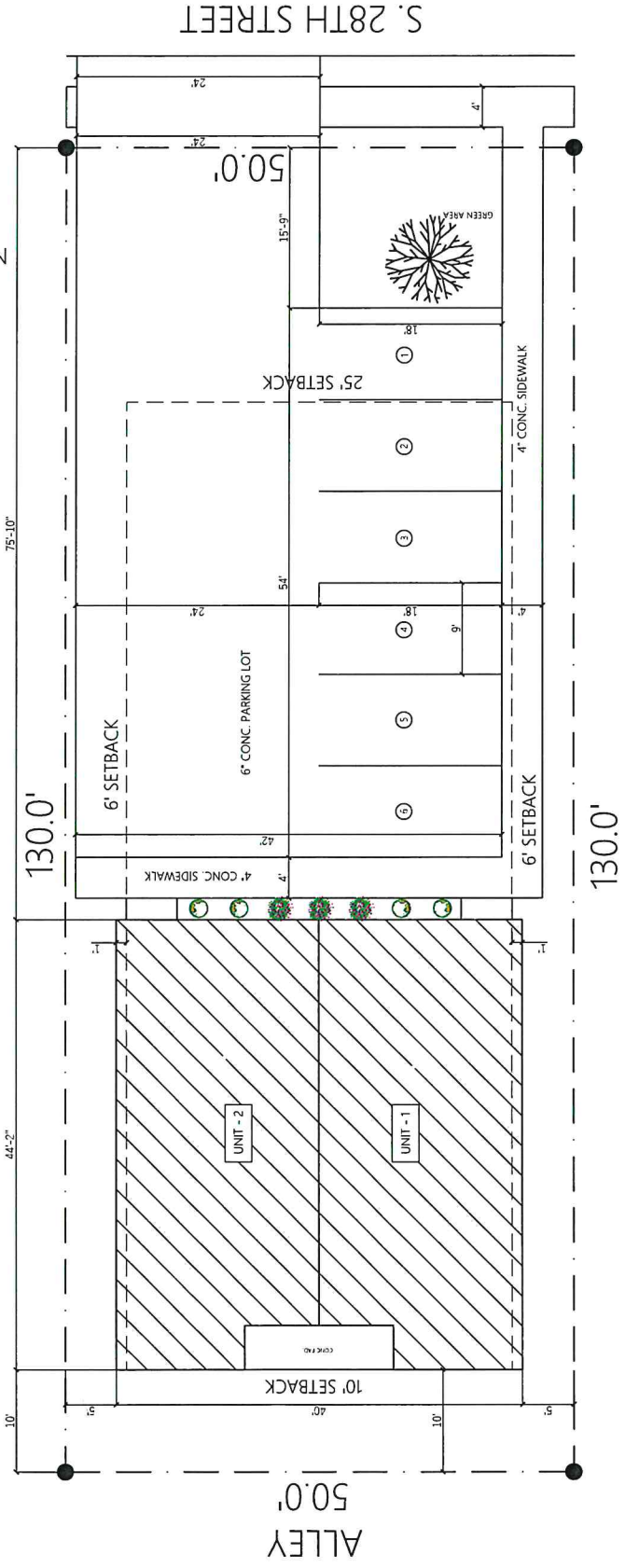
PROJECT INFORMATION
DATE: 4-29-24
OWNER: MUNIZ CONST.
SITE: LOT NO. 37
BONHAM UNIT NO. 2
MCALLEN, TEXAS

PROJECT DATA	
LIVING	829 SF
PORCH	24 SF
UNIT -1	852 SF
LIVING	828 SF
PORCH	24 SF
UNIT -2	852 SF
PATIO	64 SF
TOTAL AREA	1768 SF

WWW.MACUSTOMPLANS.COM

SHEET No: 1 OF 8
M/A CUSTOM PLANS
PROJECT A PERMITS ONLY AND NOT A CONSTRUCTION DOCUMENT.
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LOT NO. 37
BONHAM UNIT NO. 2
MCALLEN, TEXAS

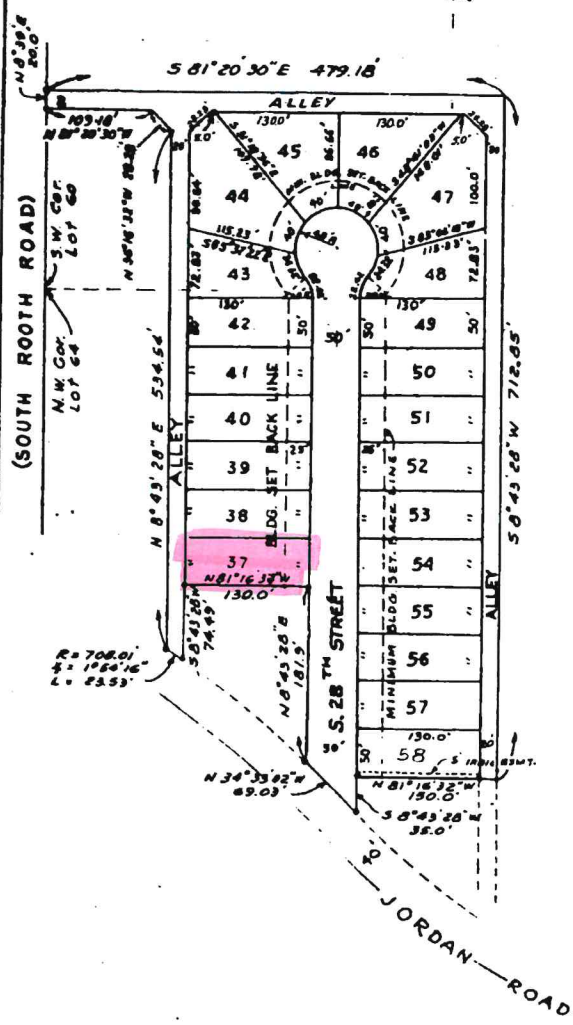


SITE PLAN
SCALE: 3/16" = 1'-0"

PLANT LEGEND	
	SYC. FRAXINIFLOR (LEAFLESS SYCAMORE)
	S.C. REEF YUCCA SHRUB
	ST. AUGUSTINE GRASS
	DARK BROWN NATURAL HARDWOOD MULCH
	OAK TREE

RECEIVED
APR 29 2024
By: *AF*

M/A CUSTOM PLANS COPYRIGHT © 2024



MAP OF BONHAM SUBDIVISION

UNIT NO. 2

MCALLEN, TEXAS

BEING A SUBDIVISION OF PARTS OF LOTS 60, 61 & 64, MCALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION; OUT OF LA LOMITA IRRIG. & CONST. CO. SUBDIVISION; OF PORCIONES 61, 62 & 63; HIDALGO COUNTY, TEXAS. CONTAINING 5.14 AC. OF LAND, MORE OR LESS.

SCALE: 1"=100'

DATE: 5-28-70

FILED FOR RECORD THIS DATE
 At 1:08 o'clock P.M.
 SEP 29 1970
 SANTOS SALDAMA
 County Clerk, Hidalgo County, Texas
S. Saldama

APPROVED FOR RECORDING
 BY
 COMMISSIONERS' COURT
 This the 4th day of Sept. 1970
 SANTOS SALDAMA, County Clerk
 Hidalgo County, Texas
 By *Louise Salinas*, Deputy

APPROVED FOR RECORDING
 Hidalgo County Clerk
 By *S. Saldama*
 July 1/1/70

I, C. L. FABIAN, A REGISTERED PUBLIC SURVEYOR, DO HEREBY CERTIFY THE FOREGOING MAP TO BE A TRUE AND CORRECT REPRESENTATION OF THE LAND HEREIN SHOWN AS PLATTED BY ME FROM SURVEY OF THE OUTSIDE BOUNDARIES OF SAME.

C. L. Fabian
 C. L. FABIAN
 REGISTERED PUBLIC SURVEYOR
 MCALLEN, TEXAS



STATE OF TEXAS;
 COUNTY OF HIDALGO;

KNOW ALL MEN BY THESE PRESENTS: THAT ANN DEVELOPMENT, INCORPORATED, OWNER OF THE LANDS HEREON MAPPED AND PLATTED, DO HEREBY DEDICATE THE SURFACE USE OF THE STREETS AND ALLEYS SHOWN ON THE ABOVE MAP TO THE USE OF THE PUBLIC AND INTO THE CITY OF MCALLEN, TEXAS, SO LONG AS IT SHALL ACCEPT, MAINTAIN AND PROTECT THE SAME FOR THE USE AND BENEFIT OF THE PUBLIC.

IN TESTIMONY WHEREOF, ANN DEVELOPMENT, INC., HAS CAUSED THESE PRESENTS TO BE EXECUTED ON THIS 28th DAY OF MAY A.D., 1970.

ATTEST:
[Signature]
 ASST. SECRETARY

BY: *[Signature]*
 A. J. HAUSMAN, PRESIDENT

STATE OF TEXAS;
 COUNTY OF HIDALGO;

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED A. J. HAUSMAN, PRESIDENT OF ANN DEVELOPMENT, INC., OWNER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THE 28th DAY OF May A.D., 1970.

[Signature]
 NOTARY PUBLIC IN AND FOR
 HIDALGO COUNTY, TEXAS

THIS PLAT APPROVED BY THE MCALLEN ZONING AND PLANNING BOARD ON THIS THE 20 DAY OF August A.D. 1970.

MCALLEN ZONING AND PLANNING BOARD
 BY: *[Signature]*
 BEN BILBREY, CHAIRMAN

THIS PLAT APPROVED BY THE CITY COMMISSION OF THE CITY OF MCALLEN, TEXAS ON THIS THE 28th DAY OF September A.D. 1970.

ATTEST:
[Signature]
 EUGENIO SANCHEZ, CITY CLERK

[Signature]
 JACK A. WITSEL, MAYOR

THIS PLAT APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 1 ON THIS 17th DAY OF September A.D. 1970.





NOTICE
REZONING
FOR
THIS PROPERTY
REZ2024-0027

Memo

TO: Planning and Zoning Commission

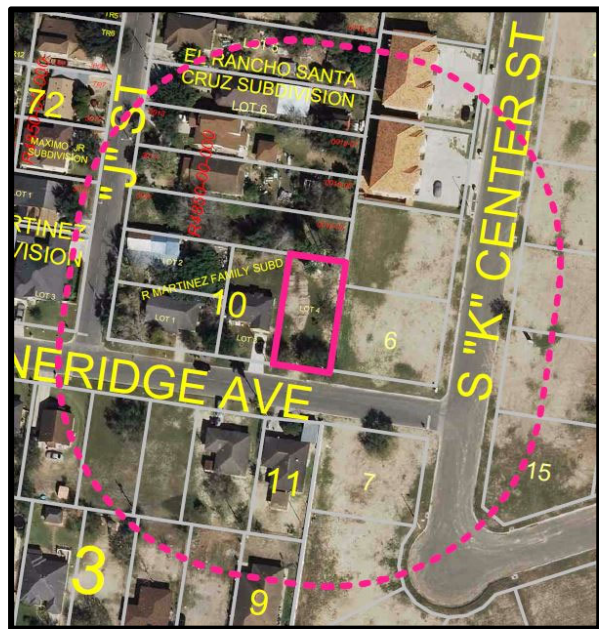
FROM: Planning Staff

DATE: May 29, 2024

SUBJECT: REZONE FROM R-1 (SINGLE FAMILY RESIDENTIAL) DISTRICT TO R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT: LOT 4, R. MARTINEZ FAMILY SUBDIVISION, HIDALGO COUNTY, TEXAS; 1113 EAST PINERIDGE AVENUE. (REZ2024-0029)

LOCATION: The property is located along the north side of East Pineridge Avenue, approximately 100 feet west of South “K” Center Street.

PROPOSAL: The applicant is proposing to rezone the subject property to R-2 (duplex-fourplex residential) District in order to construct a duplex. A feasibility plan has not been submitted.



ADJACENT ZONING: The subject property is zoned R-1 (single-family residential) District and adjacent zoning is R-1 District to the north, south and west. There is R-2 (duplex-fourplex residential) District to the east.

LAND USE: The subject property is vacant. Surrounding land uses include single-family residences and duplex-fourplex residences.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Single family homes make up the majority of this land use category although duplexes should be encouraged to create diversity in housing choices.

DEVELOPMENT TRENDS: The development trend for the area to the west is established single family residential and duplex-fourplex residential to the east.

ANALYSIS: Although the requested zoning conforms to the Complete Communities Future Land Use Plan designation. Development and rezoning trends appear to clearly identify established areas between the two zoning districts. This property is adjacent to Las Cañadas Subdivision, an established fourplex residential development.

East Pineridge Avenue is constructed with 50 feet of right of way, typical for single family residential areas. Generally right of way for multifamily construction is 60 feet.

The minimum Lot area required for a duplex in the R-2 District is 5,600 square feet. The tract size is approximately 5,540 square feet. A variance may be required to resolve the difference.

Compliance with off street parking, landscaping and various building codes are required before issuance of any building permit.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends disapproval of the rezoning request to R-2 (duplex-fourplex residential) District.

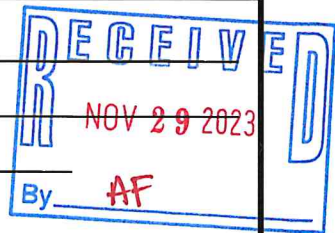
NOTICE
REZONING
FOR
THIS PROPERTY
REZ 2024-0029

Planning Department

 311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

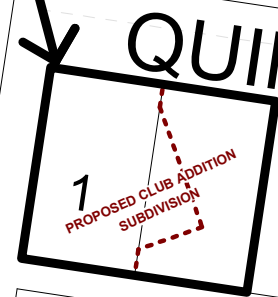
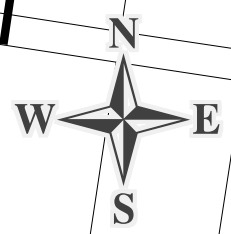
Project Information	Subdivision Name <u>Club Addition</u>
	Legal Description <u>Club Addition lot 1 & 2 Bk 4</u> <u>ID: 138499</u>
	Location <u>135 QUINCE AVE.</u>
	City Address or Block Number _____
	Total No. of Lots <u>2</u> Total Dwelling Units <u>1</u> <u>73x125 each lot</u> <u>18,436 total sqft</u> Net Acres <u>.42</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>2</u> Lots) Replat: <input type="checkbox"/> Yes / <input type="checkbox"/> No
	Existing Zoning <u>R1</u> Proposed Zoning <u>R1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>Residential Single</u> Proposed Land Use <u>Residential Single</u>
	Irrigation District # <u>1</u> Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u>City</u> <u>Geo 05850-00-004-0001-00</u>
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # _____	
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>N/A</u>	
Owner	Name <u>HEIR FUND LLC</u> Phone <u>956 492 5638</u>
	Address <u>1007 Sycamore Ave</u> E-mail <u>ireneunbe00@yahoo.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____
	Address _____ E-mail _____
	City _____ State _____ Zip _____
	Contact Person _____
Engineer	Name <u>Lucas Castillo / Atlas</u> Phone <u>956-379-3857</u>
	Address <u>500 S. 11th St.</u> E-mail <u>Castillo.atlas@gmail.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person _____
	Name <u>AA Salinas Engineering</u> Phone <u>956 618-5565</u>
Surveyor	Address <u>1524 Dove Ave</u> E-mail <u>jackie@aa.salinas.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>



24
25
SYCAMOR
SUBDIVISION

1 CLUB ADDITION 7

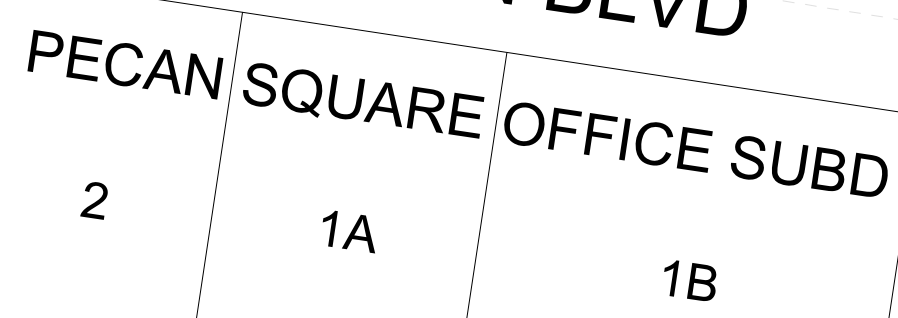
LOCATION



QUINCE AVE



PECAN BLVD



VD

2ND ST

1ST ST

CLUB ADDITION AMENDED OF LOTS 1A & 2A

A 0.423-OF AN ACRE TRACT OF LAND, MORE OR LESS, BEING ALL OF LOTS 1 AND 2, BLOCK 4, CLUB ADDITION AMENDED, IN THE CITY OF MCALLEN, ACCORDING TO THE MAP RECORDED IN VOLUME 11, PAGE 9, MAP RECORDS, HIDALGO COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION

A 0.423-OF AN ACRE TRACT OF LAND, MORE OR LESS, BEING ALL OF LOTS 1 AND 2, BLOCK 4, CLUB ADDITION AMENDED, IN THE CITY OF MCALLEN, ACCORDING TO THE MAP RECORDED IN VOLUME 11, PAGE 9, MAP RECORDS, HIDALGO COUNTY, TEXAS, LOCATED ON THE SOUTH SIDE OF QUINCE AVENUE LYING APPROXIMATELY 175 FEET NORTH OF PECAN AVENUE (HIGHWAY FM 495) AND 295 FEET WEST OF FIRST STREET, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) AND BEING THE POINT OF BEGINNING (P.O.B.) ARE AT A NO. 4 REBAR FOUND FOR THE APPARENT NORTHWEST CORNER OF SAID LOT 1 AND OF SAID 0.423-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, EAST, WITH THE APPARENT EXISTING SOUTH RIGHT-OF-WAY LINE OF SAID QUINCE AVENUE, AND THE APPARENT NORTH LOT LINE OF SAID LOT 1 AND OF SAID 0.423-OF AN ACRE TRACT, A DISTANCE OF 73.75 FEET PAST THE APPARENT COMMON NORTHERN CORNER OF SAID LOT 1 AND LOT 2, CONTINUING WITH THE APPARENT NORTH LOT LINE OF SAID LOT 2 FOR A TOTAL DISTANCE OF 147.50 FEET TO A POINT, BEARING S 68°07'10" W A DISTANCE OF 0.27 OF A FOOT FROM A NO. 4 REBAR FOUND, FOR THE APPARENT NORTHEAST CORNER OF SAID LOT 2 AND OF SAID 0.423-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, SOUTH, WITH THE APPARENT EAST LOT LINE OF SAID LOT 2 AND OF SAID 0.423-OF AN ACRE TRACT, A DISTANCE OF 40.1 FEET PAST AN EXISTING CEDAR FENCE CORNER, CONTINUING ALONG AN EXISTING CEDAR FENCE VARYING FROM ZERO FEET TO 0.9 OF A FOOT TO THE LEFT OF, AND WITH SAID 0.423-OF AN ACRE TRACT EAST LOT LINE FOR A TOTAL DISTANCE OF 125.00 FEET TO A THREE-QUARTER (3/4) INCH IRON PIPE FOUND, BEARING 0.9 OF A FOOT SOUTH OF AND 0.9 OF A FOOT WEST OF AN EXISTING CEDAR FENCE CORNER, FOR THE APPARENT SOUTHEAST CORNER OF SAID LOT 2 AND OF SAID 0.423-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, WEST, ALONG AN EXISTING CEDAR FENCE VARYING FROM 0.9 OF A FOOT TO THE RIGHT OF TO 0.9 OF A FOOT TO THE LEFT OF, AND WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 2 AND OF SAID 0.423-OF AN ACRE TRACT, A DISTANCE OF 73.75 FEET PAST THE APPARENT COMMON SOUTHERN LOT CORNER OF SAID LOT 2 AND LOT 1, CONTINUING WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 1 FOR A TOTAL DISTANCE OF 147.50 FEET TO A THREE-QUARTER (3/4) INCH IRON PIPE FOUND, BEARING

0.9 OF A FOOT NORTH OF AND 5.6 FEET EAST OF AN EXISTING CEDAR FENCE CORNER, FOR THE APPARENT SOUTHWEST CORNER OF SAID LOT 1 AND OF SAID 0.423-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, NORTH, ALONG AN EXISTING CEDAR FENCE VARYING FROM 5.6 FEET TO 9.9 FEET TO THE LEFT OF, AND WITH THE APPARENT WEST LOT LINE OF SAID LOT 1 AND OF SAID 0.423-OF AN ACRE TRACT, A DISTANCE 48 FEET PAST AN EXISTING CEDAR FENCE, CONTINUING FOR A TOTAL DISTANCE OF 125.00 FEET TO THE SAID NO. 4 REBAR FOUND FOR THE NORTHWEST CORNER OF SAID 0.423-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED, ALSO BEING THE POINT OF BEGINNING, CONTAINING 0.423 OF AN ACRE OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

STATE OF TEXAS
COUNTY OF HIDALGO

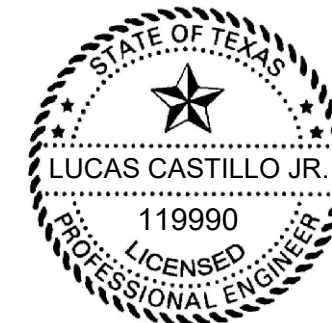
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

LUCAS CASTILLO JR.
REGISTERED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 119990

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

HOMERO L. GUTIERREZ
REGISTERED PUBLIC SURVEYOR
RPLS NO. 2791



THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS REPLAT, AND DESIGNATED HEREIN AS LOT 1 & NORTH HALF OF LOT 2, BRYAN'S ADDITION, HIDALGO COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

IRENE URIBE
HEIR FUND LLC
1007 SYCAMORE AVENUE
MCALLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED, LUCAS CASTILLO JR, TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE.

NOTARY PUBLIC
HIDALGO, TEXAS
MY COMMISSION EXPIRES

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING & ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN
PLANNING & ZONING

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

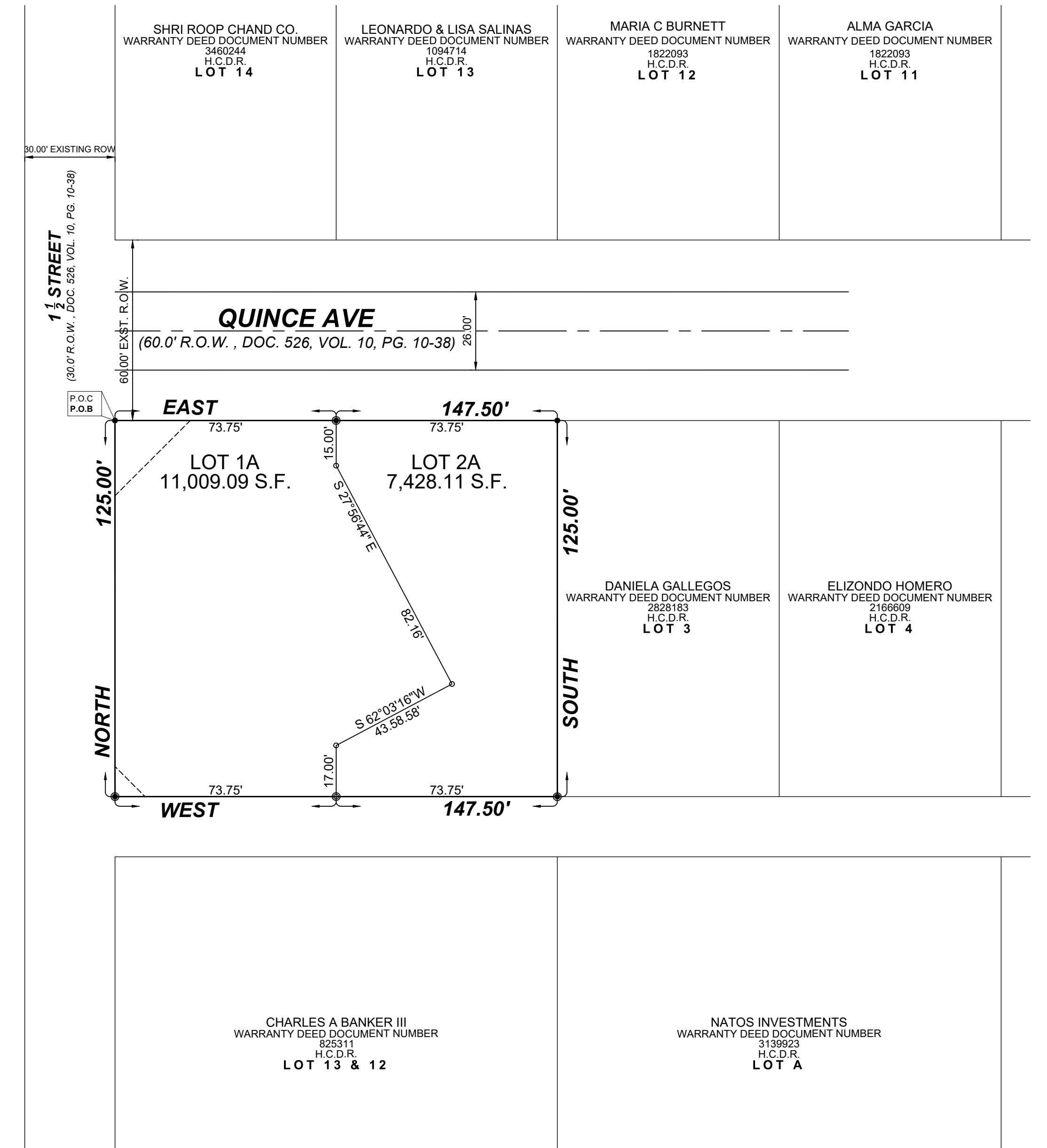
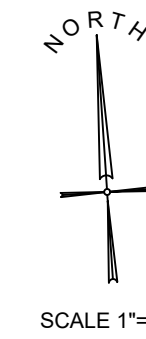
MAYOR
CITY OF MCALLEN

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
DOCUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

LEGEND

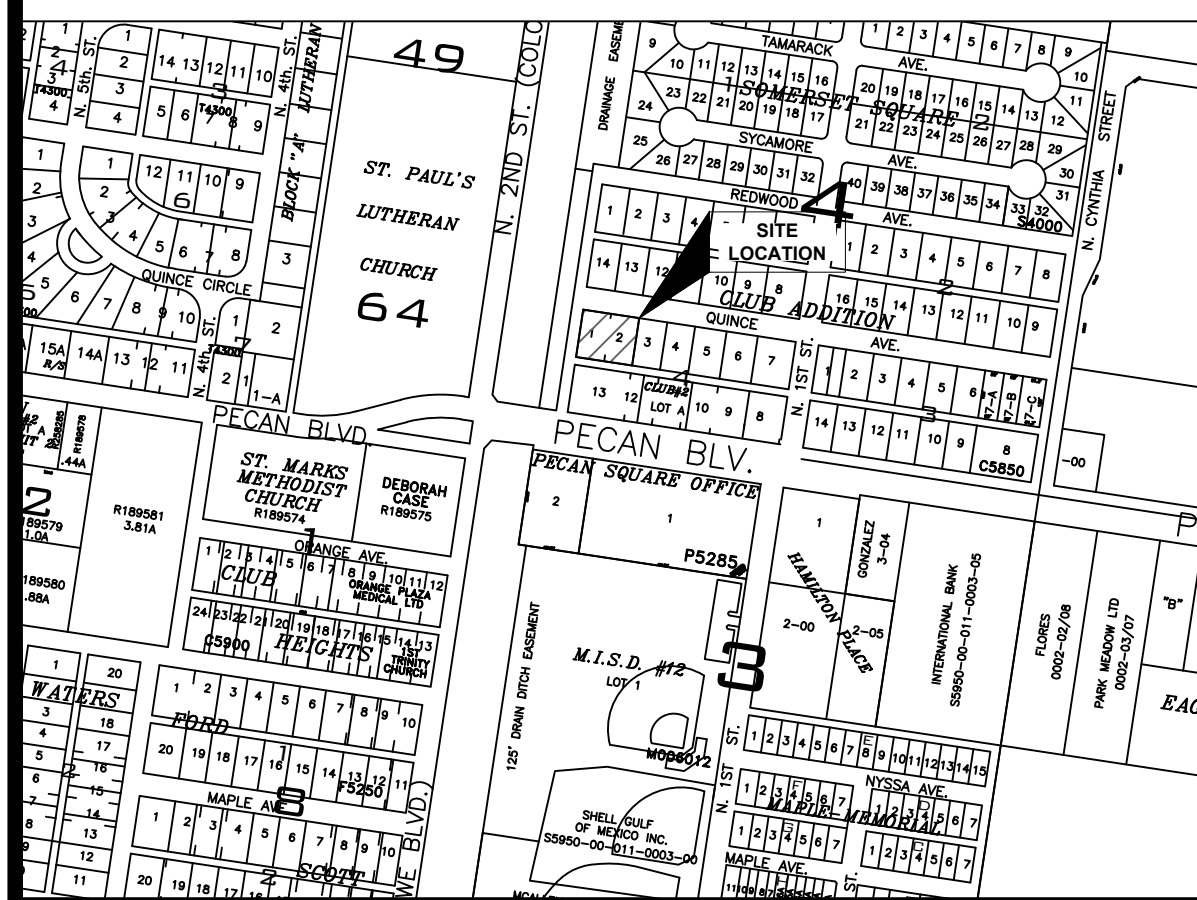
- R.O.W. RIGHT OF WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.W.I.D. HIDALGO COUNTY WATER IMPROVEMENT DISTRICT
- FOUND NO. 4 REBAR
- FOUND 3/4" IRON PIPE
- SET NO. 4 REBAR WITH ORANGE PLASTIC CAP STAMPED 2791



GENERAL NOTES

- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION IS 18" ABOVE TOP OF CURB MEASURED AT THE CENTER OF THE LOT.
- SETBACKS:
 - FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE OR IN LINE WITH AVERAGE SETBACKS OF EXISTING STRUCTURES OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
 - REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
 - SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES.
 - CORNER: 10 FT. OR GREATER FOR EASEMENTS.
 - GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY EASEMENTS SHALL BE PROHIBITED.
- NO BUILDING ALLOWED OVER ANY EASEMENT GRANTED BY THIS PLAT.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 4 FT. MINIMUM SIDEWALK REQUIRED ALONG QUINCE AVENUE AND OTHER STREETS AS APPLICABLE.
- DRAINAGE DETENTION IS 860 CUBIC FEET.

LOCATION MAP SCALE: 1"=500'



CLUB ADDITION AMENDED

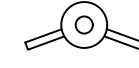
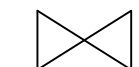
LOTS 1A & 2A

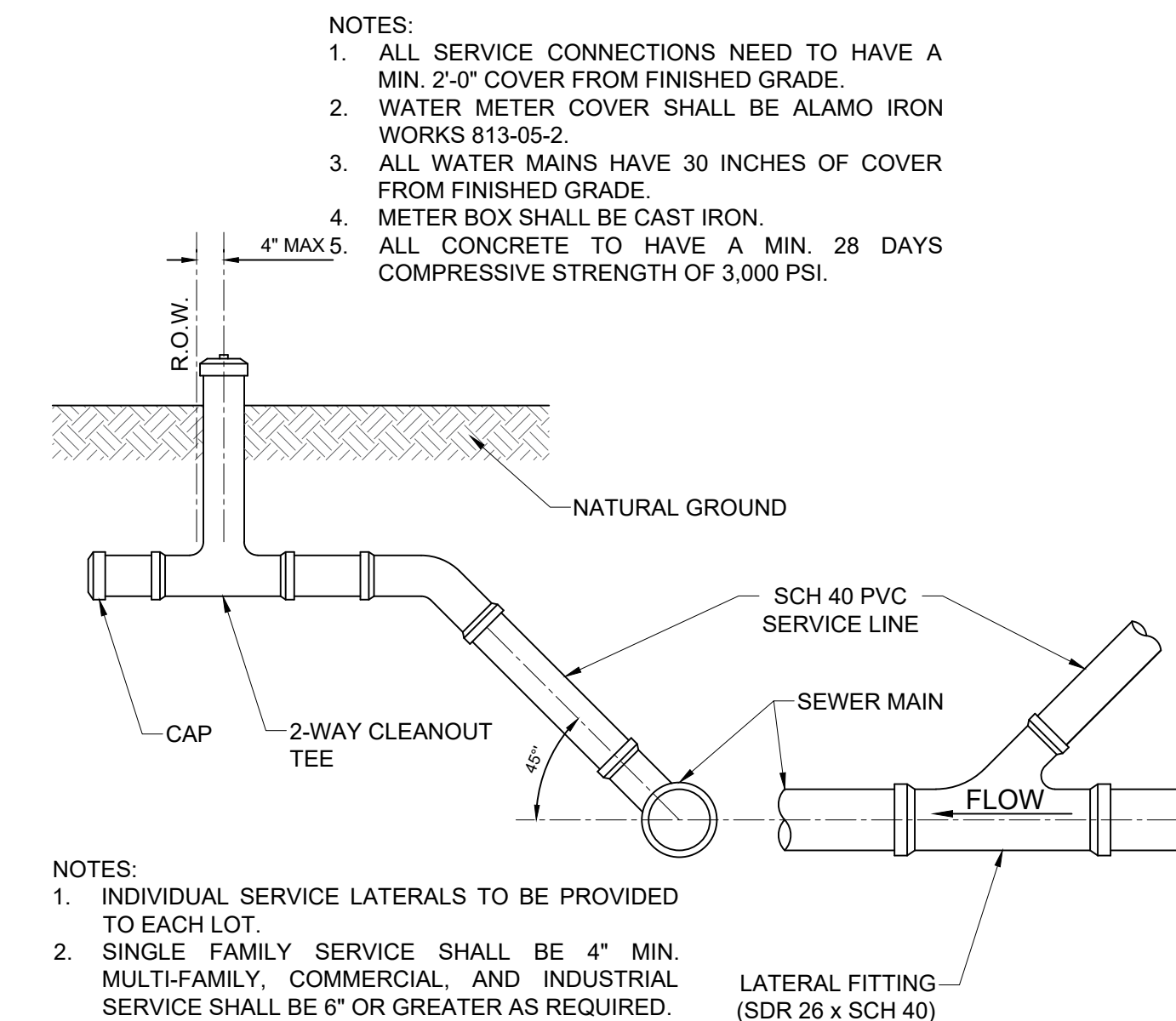
A 0.423-OF AN ACRE TRACT OF LAND, MORE OR LESS, BEING ALL OF LOTS 1 AND 2, BLOCK 4, CLUB ADDITION AMENDED, IN THE CITY OF MCALLEN, ACCORDING TO THE MAP RECORDED IN VOLUME 11, PAGE 9, MAP RECORDS, HIDALGO COUNTY, TEXAS

UTILITY NOTES

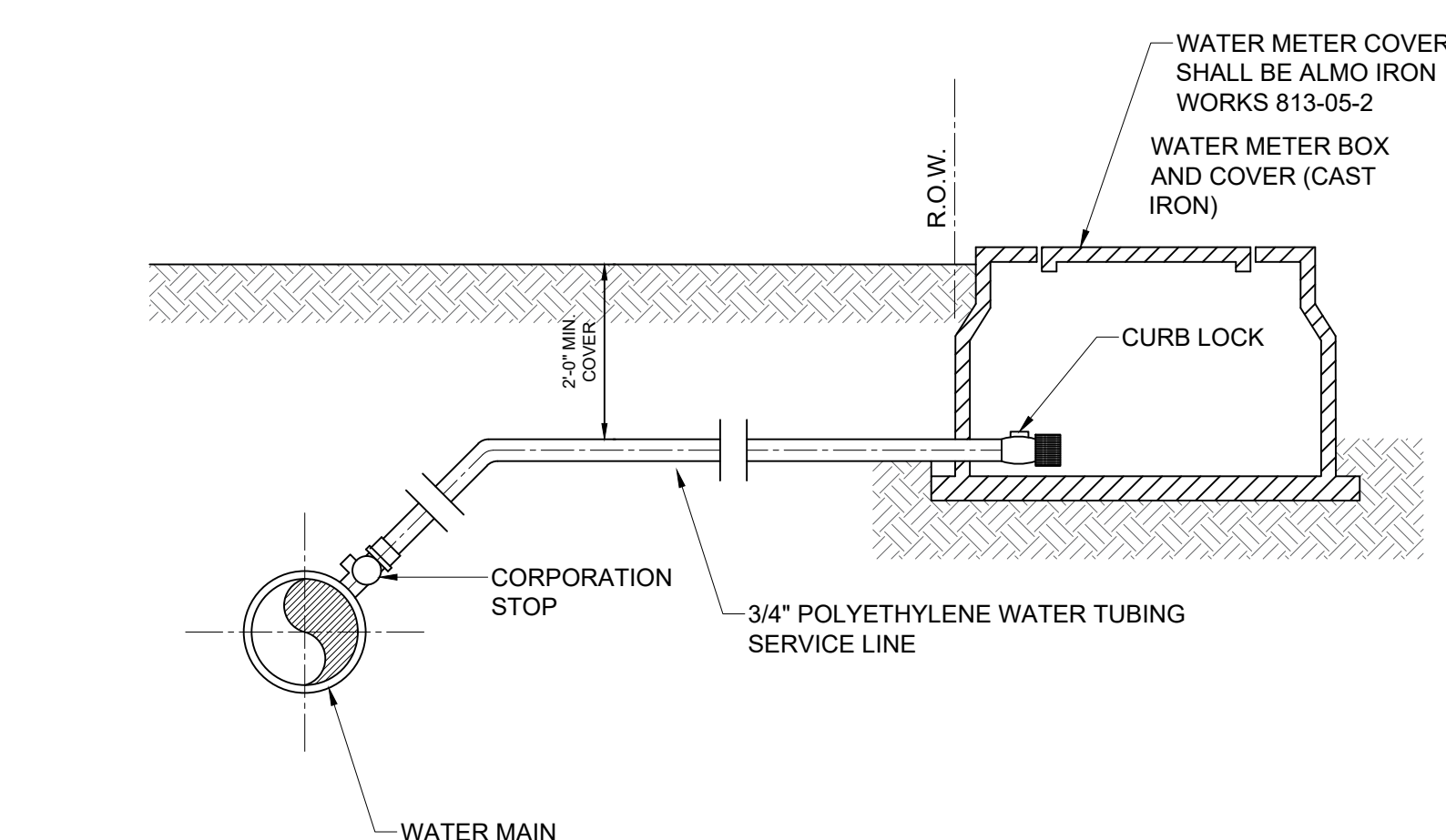
- CONTRACTOR SHALL MAINTAIN A MINIMUM THREE FEET OF COVER ON ALL WATER LINES AND FOUR FEET ON SANITARY SEWER LINES.
- NO PUBLIC UTILITY LINES SHALL BE BUILT OUTSIDE DESIGNATED PUBLIC UTILITY EASEMENTS. ANY PRIVATE UTILITY LINES SHALL BE BUILT TO MEET THE MINIMUM REGULATING ENTITY REQUIREMENTS AND SPECIFICATIONS TO INCLUDE BEDDING MATERIAL.
- PRIVATE SEWER LINES SHALL BE INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH APPLICABLE BUILDING AND PLUMBING CODES.
- ALL WATER LINES SHALL BE PVC AND MEET THE MINIMUM WATER SUPPLIER SPECIFICATIONS. ALL WATER LINE FITTINGS SHALL EMPLOY THE USE OF MEGA LUGS AND OR CONCRETE THRUST BLOCKS WHEN INSTRUCTED IN WRITING BY THE ENGINEER AND OR UTILITY COMPANY.
- CONTRACTOR SHALL ENSURE MINIMUM TCEQ SEPARATION REQUIREMENTS BETWEEN WATER AND SANITARY SEWER LINES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS WITH THE MINIMUM TCEQ SEPARATION REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY ANY CONTAGIOUS PROPERTY OWNERS OF POTENTIAL DISRUPTIONS TO UTILITIES AND MITIGATE THE DISRUPTIONS. CONTRACTOR SHALL NOTIFY THE REGULATING ENTITIES OF ANY DISRUPTIONS BEFORE DISRUPTIONS OCCUR.
- ALL FIRE SUPPRESSION SYSTEM SUPPLY LINES SHALL BE INSTALLED BY A LICENSED SPRINKLER CONTRACTOR LICENSED BY THE JURISDICTIONAL AUTHORITY ON THE SITE AND IN ACCORDANCE TO GOVERNING CODES AND ORDINANCES.
- CONTRACTOR SHALL NOT COMMENCE WORK ON ANY PUBLIC UTILITY SYSTEM WITHOUT WRITTEN APPROVAL FROM THE ENGINEER AND SAID UTILITY SYSTEM OWNER.
- CONTRACTOR SHALL PROVIDE FOR THE NECESSARY ELECTRICAL, TELEPHONE, AND GAS EXTENSIONS AS NOTED ON THE PLANS AND AS PER THE UTILITY COMPANY INSTRUCTIONS.
- CONTRACTOR SHALL EXCAVATE, EXPOSE, AND VERIFY ALL CONNECTIONS AND CROSSINGS PRIOR TO CONSTRUCTION OF ANY STORM DRAIN, WATER, SANITARY SEWER, AN OTHER UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER AND OR OWNER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. ENGINEER IS NOT RESPONSIBLE FOR CONFLICTS ARISING FROM DIFFERENCES IN NOTED ELEVATION AND SHALL BE HELD HARMLESS IF NOT NOTIFIED OF DESIGN CONFLICTS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS A MINIMUM OF 48 WORKING HOURS (BASED ON 8 HOUR WORK DAYS) PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, PAY AND OBTAIN ALL PERMITS, AND CONFORM TO ALL APPLICABLE STATE AND FEDERAL CODES, RULES, AND REGULATIONS TO INCLUDE LOCAL ORDINANCES AND OBTAIN NECESSARY CLEARANCES FROM UTILITY SERVICE PROVIDER PRIOR TO COMMENCING ANY WORK ON ANY UTILITY LINES.
- CONTRACTOR SHALL ENSURE COMPLIANCE OF UTILITY STUB-OUT CONNECTION IN ACCORDANCE WITH SITE MEP PLANS IF APPLICABLE.
- THE CONTRACTOR SHALL STRICTLY ADHERE TO TCEQ RULES AND REGULATIONS WHICH REGULATE THE INSTALLATION AND TESTING OF DOMESTIC WATER AND WASTEWATER PROJECTS AS DETAILED IN 30 TAC, CHAPTER 317.1 OF THE TNRCC/TCEQ RULES. ALL MINIMUM SEPARATION DISTANCES AND CROSSING REQUIREMENTS ARE TO BE STRICTLY ADHERED TO. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR THE ADHERENCE TO THESE REQUIREMENTS.

LEGEND

EXISTING S.S. LINE	— SA —
EXISTING WATER LINE	— 6W —
PROPOSED WATER LINE	— W —
PROPOSED 6" SAN. SERV.	— 6" SA —
WATER METER	WM
FIRE HYDRANT	
EXISTING GATE VALVE	



- NOTES:
- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
 - SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.
- ### 1. STANDARD SEWER SERVICE CONNECTION
- NTS.



2. TYPICAL SERVICE CONNECTION WATER METER BOX

NTS.

EXISTING UTILITIES

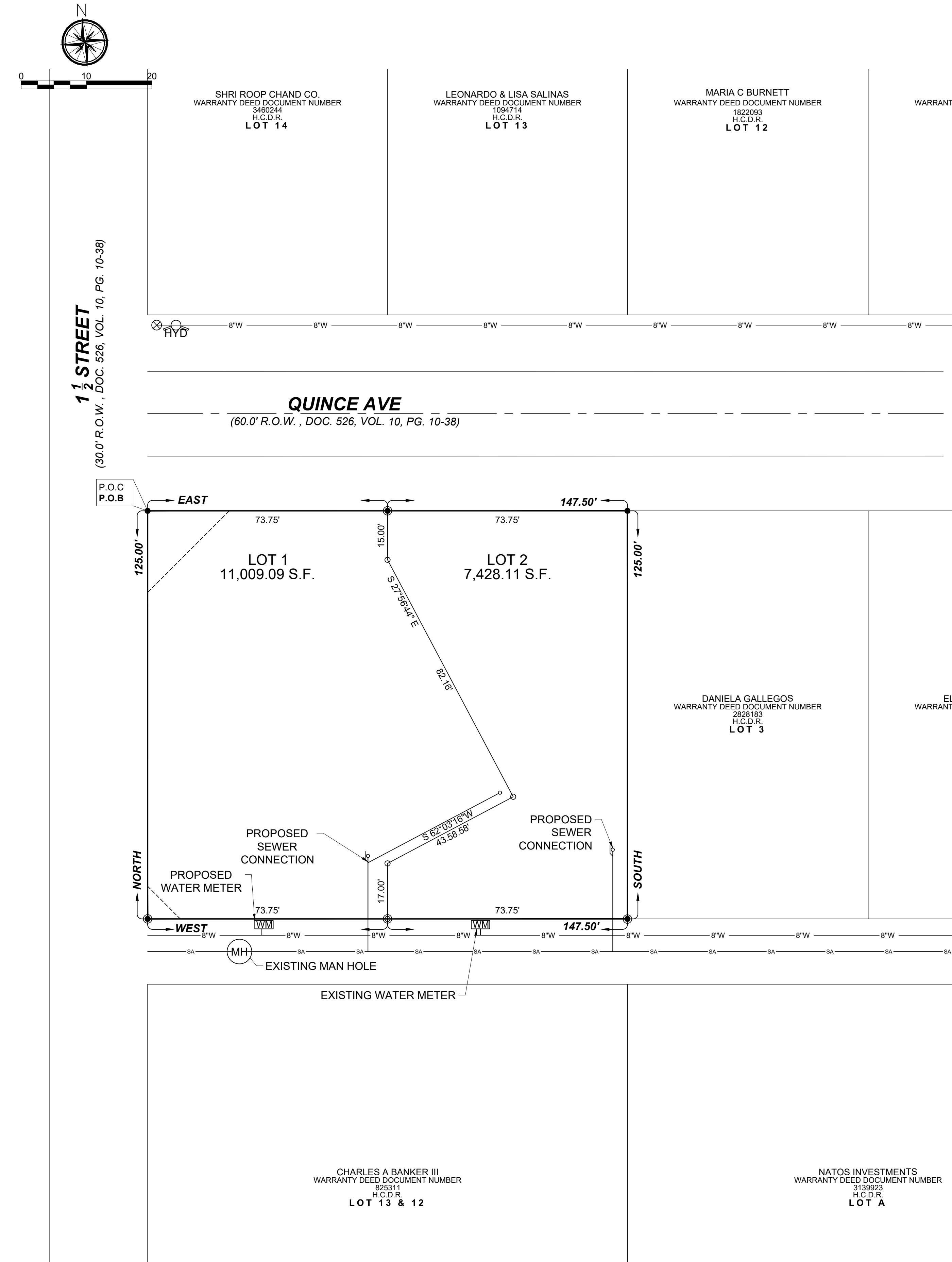
- LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN WITHIN UTILITY LAYOUT ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR PROTECTION DURING CONSTRUCTION.
- IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION, ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL COVER PLATES WITH ANCHORING OR AS PER SPECIFICATIONS TO BE PROVIDED BY THE CITY.
- ANY DAMAGE TO FENCES, SIDEWALKS OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL & DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.
- THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING AND SURVEYING.
- EXISTING POWER POLES, CONCRETE STAND PIPES, ETC., WILL NEED TO BE BRACED DURING ADJACENT CONSTRUCTION.
- CONTRACTOR SHALL KEEP ALL WATER & SANITARY SEWER SERVICES OPERATIONAL.
- THE ENGINEER WILL BE THE FINAL AUTHORITY OF ALL CONFLICTS, DISCREPANCIES, AND THE INTERPRETATIONS OF THE DRAWINGS OR SPECIFICATIONS.

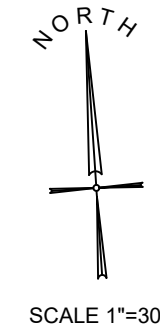
UTILITY EXCAVATION WARNING

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS (IF ANY). THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.

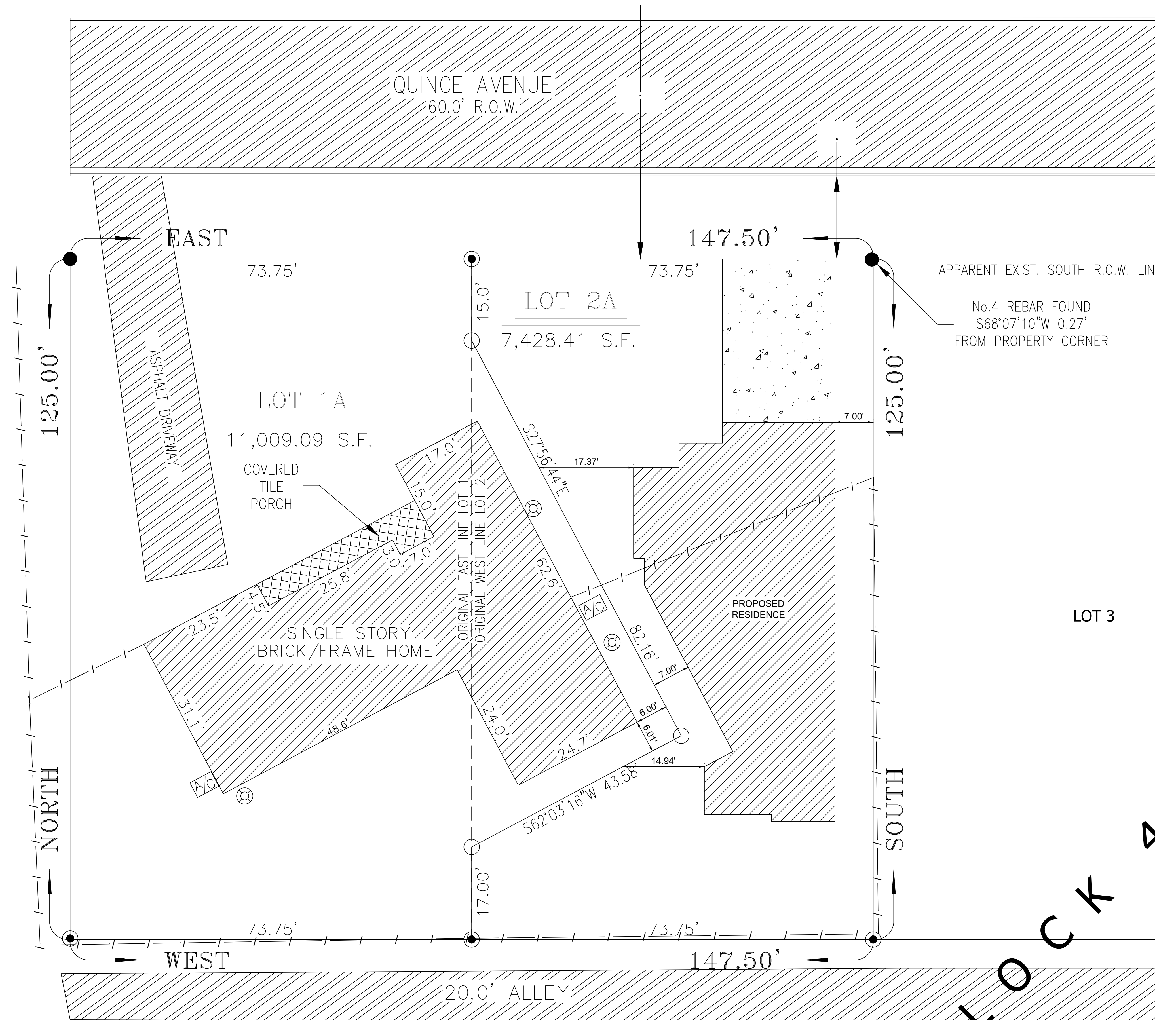
IF CULTURE MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, WORK SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER OR ENGINEER. THE OWNER OR ENGINEER SHALL CONTACT THE SECRETARY OF THE INTERIOR IN ACCORDANCE WITH 36 CFR 800. THE STATE HISTORIC PRESERVATION OFFICER SHALL ALSO BE NOTIFIED.

IF NO GEOTECHNICAL ENGINEERING REPORT IS PROVIDED FOR THIS PROJECT, ALL SOILS ARE UNCLASSIFIED MATERIAL. NO SPECIAL PAYMENT WILL MADE TO THE CONTRACTOR FOR UNFORESEEN UNCLASSIFIED SOILS ENCOUNTERED. NO SPECIAL PROVISIONS ARE BEING MADE FOR UNCLASSIFIED SOILS.

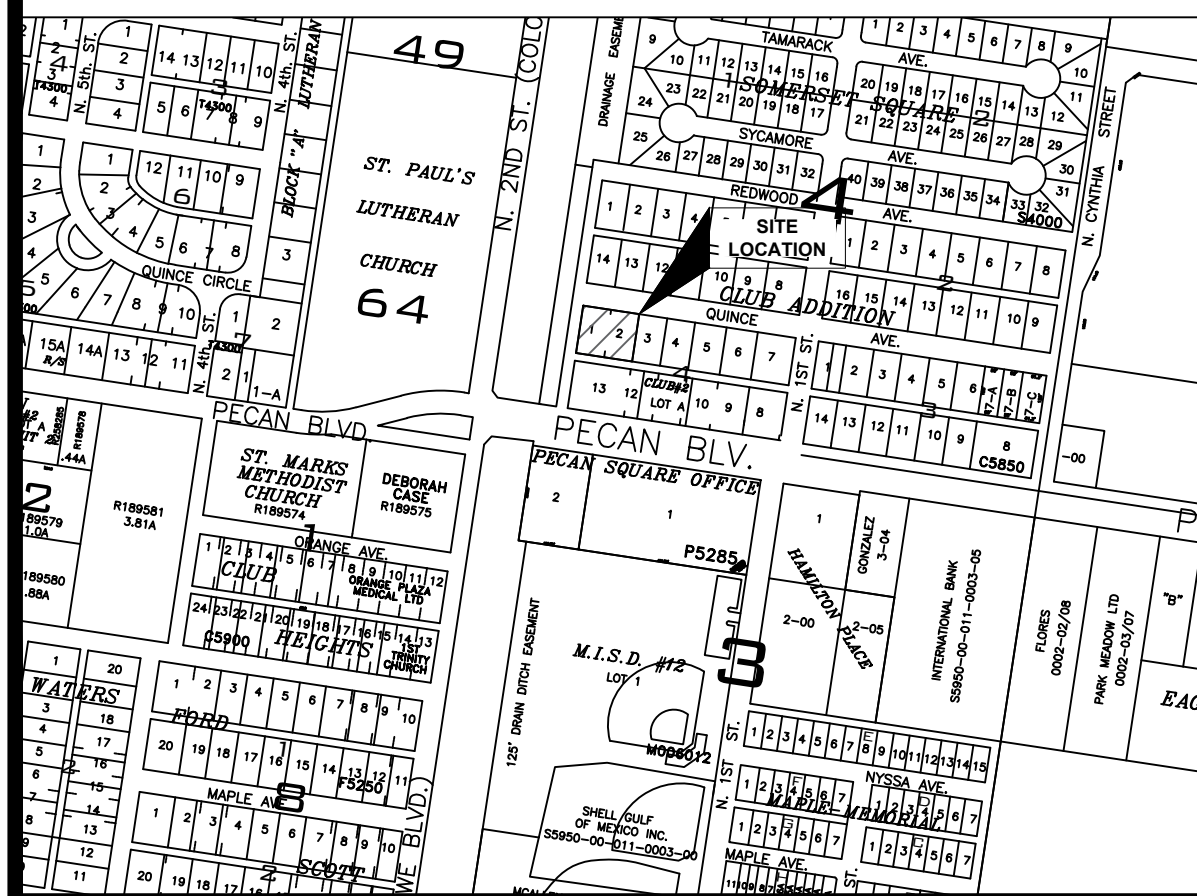




PROPOSED SITE PLAN FOR CLUB ADDITION AMENDED LOT 2A



LOCATION MAP SCALE: 1"=500'





City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 3/18/2024

SUBDIVISION NAME: CLUB ADDITION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Quince Avenue: Dedication for 25 ft. from centerline for 50 ft. total ROW. Paving: 32 ft. Curb & gutter: Both Sides Revisions Needed: -Provide ROW details, as to ensure compliance with minimum requirements as noted above prior to final. - Reference the document number on the plat for the existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review as applicable prior to final. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p>	Non-compliance
<p>North 1 1/2 Street: Existing 30ft. of total ROW per recorded plat. Paving :32 ft. Curb & gutter: Both Sides Revisions Needed: - Engineer must clarify and reference existing dedications on plat, ROW requirements will have to be reviewed once existing dedications have been established. Finalize ROW requirements for Original 1 1/2 Street, subdivision, paving, ROW, and note requirements subject to change once ROW is clarified, prior to final. - Provide ROW details and reference the document number on the plat for the existing ROW, and provide a copy for staff review as applicable prior to final. - Any abandonments must be done by separate process, not by plat. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p>	Non-compliance
<p>* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *As per application dated November 29,2023, proposed land use is single-family. **Alley/service drive easement required for commercial and multi-family properties. ***Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
<p>* Front: In accordance with the zoning ordinance or in line with average setbacks of existing structures or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356,138-367</p>	Applied
<p>* Rear: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements. Revisions Needed: -Note requirement under review, as survey and original subdivision plat exhibit ROW along the western boundary of lot 1, clarify existing dedications, any existing abandonments must be referenced on plat, finalize corner setbacks requirements prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
	Non-compliance
	Applied
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along Quince Avenue and other streets as applicable. Revisions needed: -Include note once ROW requirements have been finalized, finalize wording for note prior to final. ***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize wording for note prior to final. ****Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>*Must comply with City Access Management Policy</p>	Applied
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	<p>NA</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee.</p>	<p>NA</p>
<p>* Park Fee of \$1400 (\$700 X 2 lot/dwelling unit) to be paid prior to recording. Fees are payable prior to recording and can go up or down; as they are dependent on the amount of lots/dwelling units. Must comply with Parkland dedication ordinance requirements prior to recording.</p>	<p>Required</p>
<p>* Pending review by the City Manager Office.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation waived for a 2-lot Single Family subdivision</p>	<p>Completed</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip Generation waived for a 2-lot Single Family subdivision</p>	<p>NA</p>
<p>COMMENTS</p>	
<p>Comments: - Must comply with City's Access Management Policy. - Any abandonments must be done by separate process, not by plat. - If any plat restrictions are proposed to be changed from original plat, vacate and replat would be required. - Public Hearing with notices will be required for the re-subdivision. - Revise name of Subdivision to "Club Addition Amended Lots 1A and 2A Subdivision" - Remove reference to pavement/curb & gutter as only ROW should be shown. Also, remove house footprint from plat.</p>	<p>Required</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: Subdivision was approved in preliminary form subject to the conditions noted, drainage and utility approvals at the Planning and Zoning Commission meeting of December 19, 2023.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



SYCAMORE

SUBDIVISION

1 CLUB ADDITION

LOCATION



QUINCE AVE



1 PROPOSED CLUB ADDITION SUBDIVISION

8

7

4

13

LOTA

8

LVD

PECAN BLVD

PECAN SQUARE OFFICE SUBD

2ND ST

1ST ST

2

1A

1B

SUB 2024-0055

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>TRIPLE "B" MOBILE PARK II</u>
	Legal Description <u>12.547 acres of land out of Lot 4, Section 278, Texas Mexican Railway Co. Survey</u>
	Location <u>0.22 Mile South of Sprage Street West side of 10th Street</u>
	City Address or Block Number <u>10601 North 10th Street</u>
	Total No. of Lots <u>1</u> Total Dwelling Units <u>58</u> Gross Acres <u>12.54</u> Net Acres <u>12.207</u>
	<input type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated <input checked="" type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>12.54</u> Acres)/ <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>R4 C3</u> Proposed Zoning <u>N/A</u> Applied for Rezoning <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: Date <u> </u>
	Existing Land Use <u>Mobile Home</u> Proposed Land Use <u>Mobile Home</u>
	Irrigation District # <u>1</u> Water CCN: <input type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other <u> </u>
Agricultural Exemption: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Parcel # <u>297552</u>	
Estimated Rollback Tax Due <u>0</u> Tax Dept. Review <u>MLC</u>	

Owner	Name <u>FWW INC.</u> Phone <u>956)358_9119</u>
	Address <u>305 West Jonquil Ave</u> E-mail <u>drbieker1@icloud.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>

Developer	Name <u>FWW Inc.</u> Phone <u>956)358 9119</u>
	Address <u>305 West Jonquil Ave.</u> E-mail <u>drbieker1@icloud.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>William Bieker</u> President

Engineer	Name <u>Big D Engineering</u> Phone <u>956) 960 3201</u>
	Address <u>P O Box 721025</u> E-mail <u>bigdengine@aol.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78502</u>
	Contact Person <u>Dario Guerra</u>

Surveyor	Name <u>Michael Fabian Surveying Inc.</u> Phone <u>956)630 1432</u>
	Address <u>1203 East Hackberry Ave.</u> E-mail <u>survey@mfabiansurveyig.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>

MAY 13 2024
cu

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL


PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

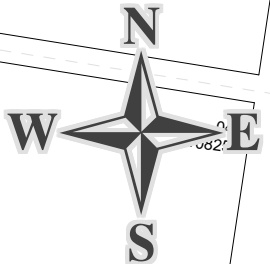
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 5/13/24
 Print Name W.B. Bieker O.D. General Manager

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

CHILI PEPPER EXPRESS SUBD



10801

SPRAGUE RD

-03
1313

1309

-11
1305

-00
1301

BARRIOS NURSERY
SUBD

N BICENTENNIAL BLVD

LOCATION

TRIPLE "B" MOBILE PARK
SUBDIVISION

LOT 1

TRIPLE "B" MOBILE PARK II

PROPOSED THE VILLAS ON FREDDY

PHASE 3
SUBDIVISION

PROPOSED YALE CORNER
SUBDIVISION
(REVISED)

N BICENTENNIAL BLVD

CA F

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City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 5/31/2024

SUBDIVISION NAME: TRIPLE "B" MOBILE PARK II	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>North 10th Street (S.H. No. 336): Dedication as required for 120 ft. total ROW Paving: by the state Curb & gutter: by the state - Label centerline to finalize the ROW requirements, prior to final. - Reference the document number for the existing ROW on the plat and provide a copy for staff review, prior to final. - Label existing ROW before dedication, prior to final **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>North Bicentennial Boulevard: Dedication as required for 150 ft. total ROW Paving: 65 ft.- 105 ft. Curb & gutter: both sides - Revise street name as shown above, prior to final. - Plat shows 125 ft. ROW, Thoroughfare Plan requires 150 ft. ROW - Need to establish centerline to determine ROW requirements for 150 ft. total ROW **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Interior Drives: 30 ft. driveway Paving: 24 ft. - 30 ft. Curb & gutter: - Internal drives will be private and maintained by the property owner. - Provide details of existing width, prior to final. - Will finalize paving details prior to final but not less than ordinance requirements **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial/multifamily properties **Subdivision Ordinance: Section 134-106</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* North 10th Street: In accordance with the Zoning Ordinance or greater for easements or approved site plan or inline with existing structures, whichever is greater applies Mobile homes in mobile home park: Front: 10 ft. from nearest corner of mobile home to the front line of the mobile home space or lot; 15 ft. from ROW line adjoining public street Side: 5 ft. to lot line (10 ft. between buildings) - Revise setback notes as shown above, prior to final. **Zoning Ordinance: Section 138-356 **Manufactured homes and recreational vehicles: Section 122-93</p> <p>Recreational vehicles in mobile home park Front: 5 ft. from nearest corner of RV to front line of RV space; 15 ft. from ROW line adjoining public property Side: 4 ft. to lot line (8 ft. between buildings) - Revise setback notes as shown above, prior to final. **Zoning Ordinance: Section 138-356 **Manufactured homes and recreational vehicles: Section 122-93</p> <p>* Rear **Zoning Ordinance: Section 138-356</p> <p>* Sides **Zoning Ordinance: Section 138-356</p> <p>* Corner **Zoning Ordinance: Section 138-356</p> <p>* Garage **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Non-compliance</p> <hr/> <p>NA</p> <hr/> <p>NA</p> <hr/> <p>NA</p> <hr/> <p>NA</p> <hr/> <p>Applied</p>
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on North 10th Street and North Bicentennial Boulevard - Sidewalk requirement may increase to 5 ft. per Engineering Department. Revise plat note #10 as applicable prior to final. - Proposing: 4 ft. walk required along 10th St. (S.H. #336) **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p> <hr/> <p>Required</p>
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Bicentennial Boulevard - Revise plat note #11 as shown above, prior to final. - Proposing: 6 ft. buffer required from adjacent commercial zone/use **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses - Provide plat note as shown above, prior to final. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Non-compliance</p> <hr/> <p>Non-compliance</p> <hr/> <p>Required</p>

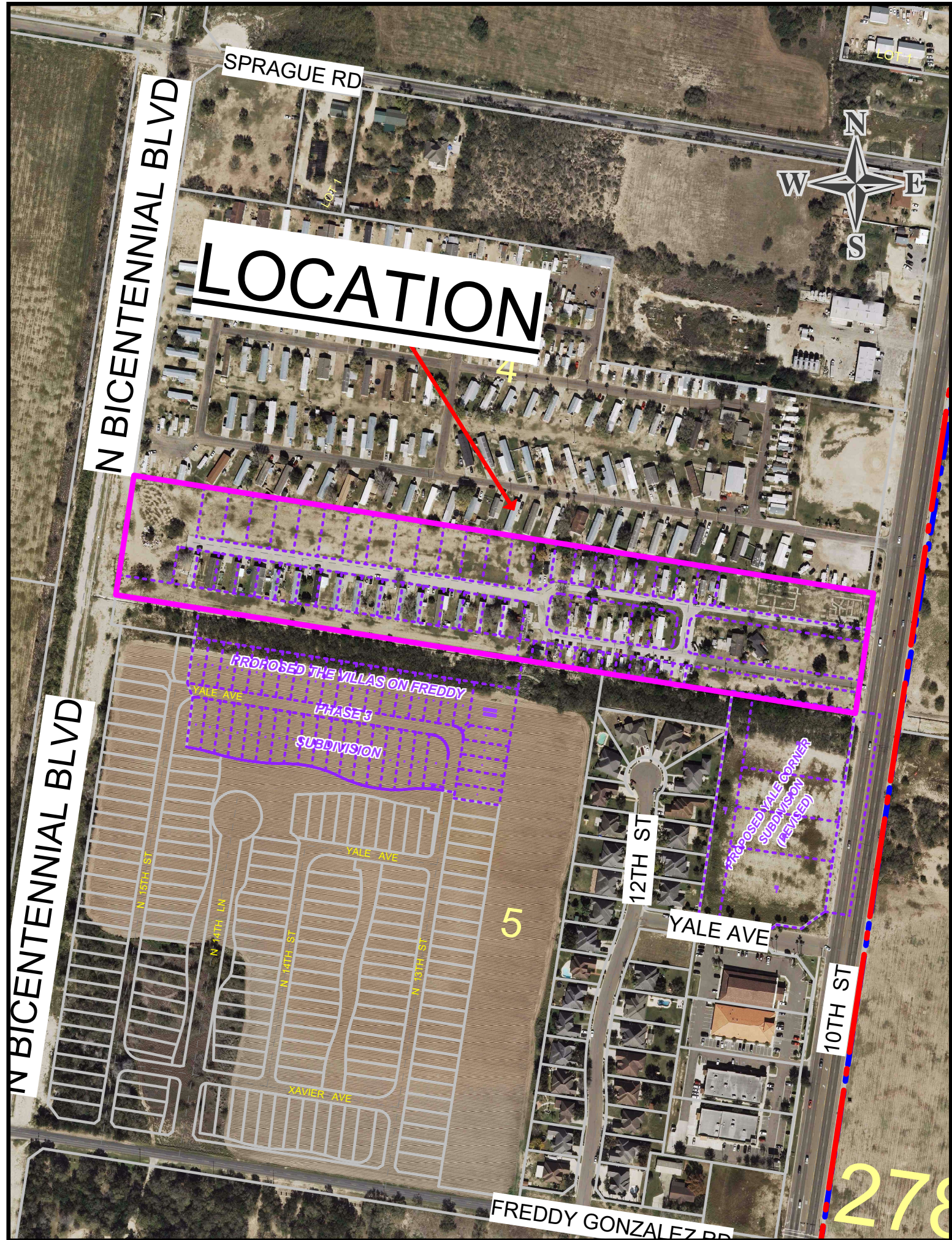
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North Bicentennial Boulevard **Must comply with City Access Management Policy 	TBD
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Site plan must be submitted showing number of spaces, dimensions, and locations for mobile homes, prior to final. - Plat notes will be required once site plan is finalized regarding maximum number of spaces, not for sale, etc. 	Non-compliance
<ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Provide plat note as shown above, prior to final. 	Non-compliance
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	NA
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-4 Proposed: R-4 ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. A park fee of \$700 per dwelling unit must be paid prior to recording. Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording. 	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording.</p>	<p>TBD</p>
<p>* Pending review by the City Manager's Office. A park fee of \$700 per dwelling unit must be paid prior to recording. Clarify total number of units prior to final to finalize the total park fee. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording.</p>	<p>TBD</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - Trip Generation is pending submittal.</p>	<p>Non-compliance</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Any abandonments must be done by separate process, not by plat, prior to final. - Document number whereby Canal ROW was abandoned must be shown on plat, prior to final. - Provide clarification if utility easements are to be dedicated by plat, separate instrument, or reference document number for dedication, prior to final. - Internal drives will be private and maintained by the property owner. - Each mobile home space shall have a minimum 1500 sq. ft. and each RV space must be in compliance with city ordinances. *Must comply with City's Access Management Policy.</p>	<p>Applied</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVAL.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



SPRAGUE RD

N BICENTENNIAL BLVD

LOCATION



4

PROPOSED THE VILLAS ON FREDDY

PHASE 3

SUBDIVISION

YALE AVE

YALE AVE

PROPOSED YALE CORNER
SUBDIVISION
(REVISED)

12TH ST

YALE AVE

5

10TH ST

N BICENTENNIAL BLVD

N 16TH ST

N 14TH LN

N 14TH ST

N 13TH ST

XAVIER AVE

FREDDY GONZALEZ DR

278

Sub 2024-0058

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Jain at Freddy</u>
	Legal Description <u>North 4.0 Acres of the East 10.0 acres of Lot 12, Section 278</u> <u>Texas-Mexican Railway Co. Subdivision</u>
	Location <u>The Southwest corner of N. 10th Street and Freddy Gonzalez Drive</u>
	City Address or Block Number <u>1001 FREDDY GONZALEZ RD</u>
	Total No. of Lots <u>1</u> Total Dwelling Units _____ Gross Acres <u>4.0</u> Net Acres <u>3.26</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>4.0</u> Acres) / <input type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>Agricultural</u> Proposed Land Use <u>Commercial</u>
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>297599</u>	
Estimated Rollback Tax Due <u>N/a 8,684.77</u> Tax Dept. Review <u>UPG</u>	
Owner	Name <u>Nanak, Ltd, a Texas limited partnership</u> Phone <u>956-655-1870</u>
	Address <u>108 Bluebird Avenue</u> E-mail <u>sotxdgn@aol.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>
Developer	Name <u>Same as Owner</u> Phone _____
	Address _____ E-mail _____
	City _____ State _____ Zip _____
	Contact Person _____
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u>
	Address <u>202 S. 4th Street</u> E-mail <u>sec@spooeng.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>
	Contact Person <u>Steve Spoor, P.E.</u>
Surveyor	Name <u>Robles & Associates - Reynaldo Robles</u> Phone <u>956-968-2422</u>
	Address <u>107 W. Huisache Street</u> E-mail <u>roblesandassoc@gmail.com</u>
	City <u>Weslaco</u> State <u>Texas</u> Zip <u>78596</u>

KF

MAY 15 2024

BY: uw

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

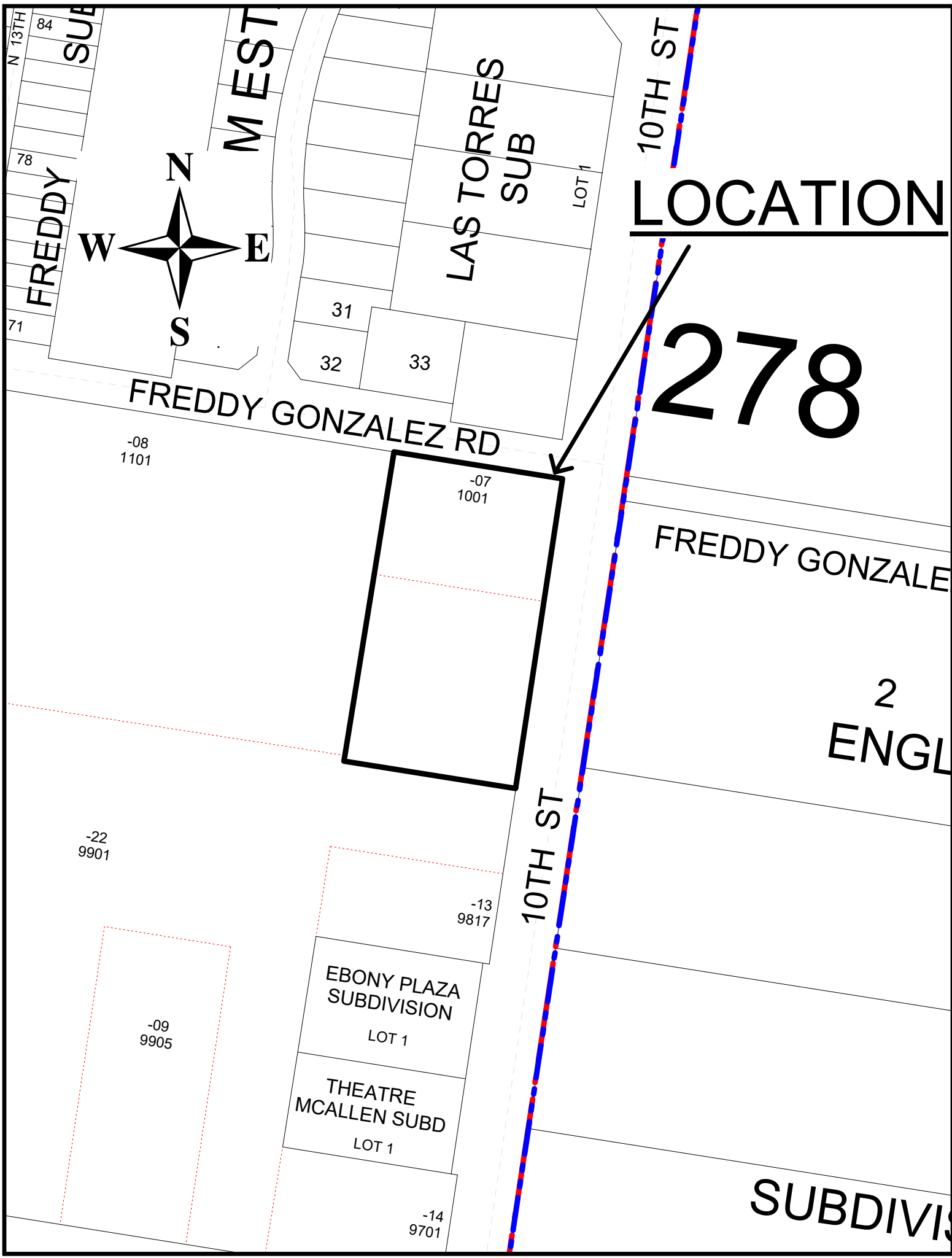
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 05/15/24

Print Name Stephen Spoor, P.E.

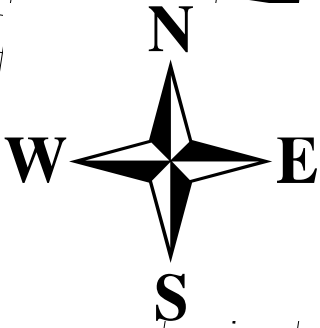
Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

278



N 13TH
FREDDY SUB
84
78
71

MEST

LAS TORRES
SUB
LOT 1

10TH ST

FREDDY GONZALEZ RD

-08
1101

-07
1001

FREDDY GONZALEZ

2
ENGL

10TH ST

-22
9901

-13
9817

EBONY PLAZA
SUBDIVISION

LOT 1

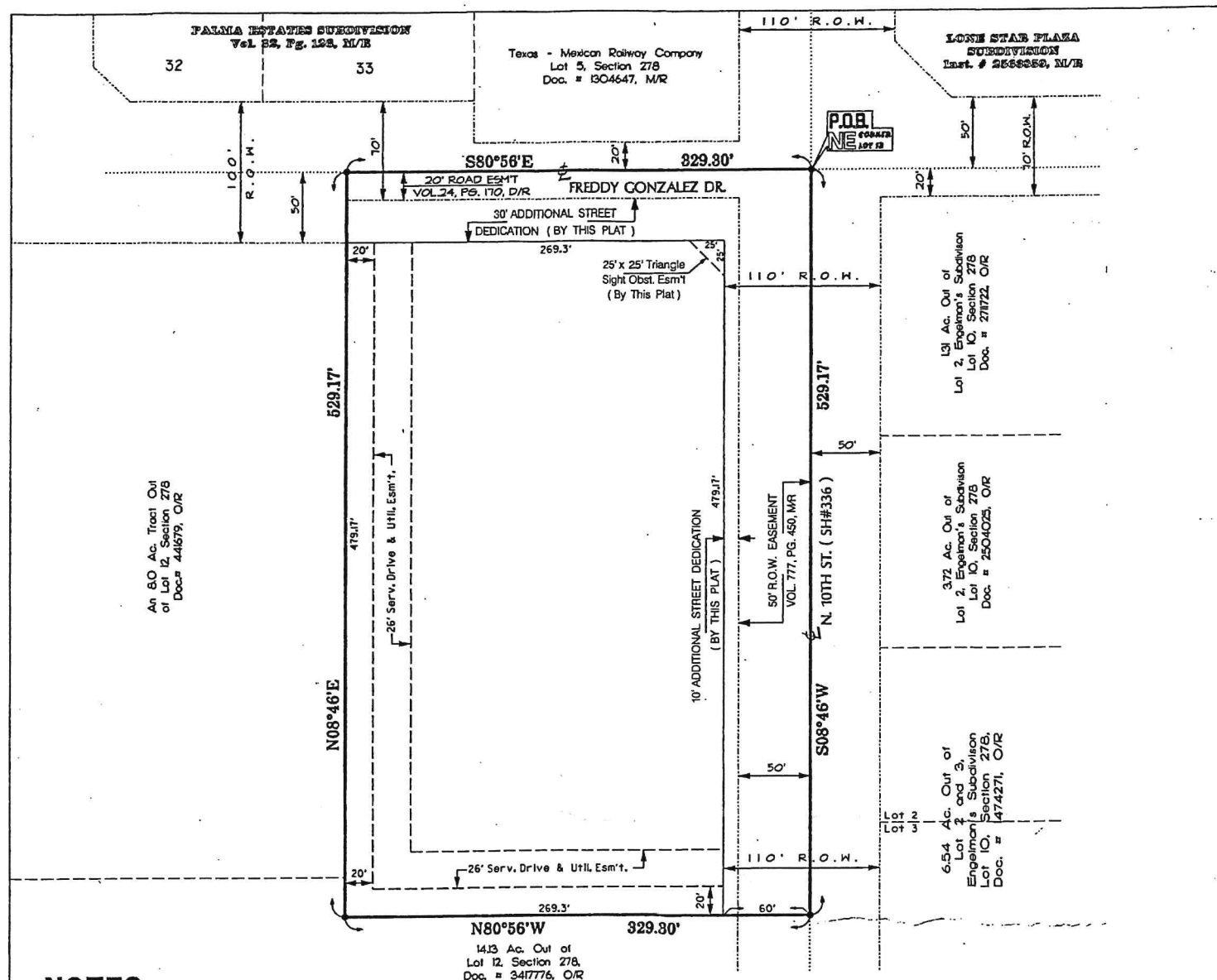
THEATRE
MCALLEN SUBD

LOT 1

-09
9905

-14
9701

SUBDIVIS



NOTES:

- SETBACKS**
MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
A. FRONT - 60 FEET OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN, OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER.
B. REAR - 10 FEET OR GREATER FOR EASEMENT OR APPROVED SITE PLAN.
C. SIDES - ACCORDING TO ZONING ORDINANCE OR GREATER FOR EASEMENTS, OR APPROVED SITE PLAN WHICHEVER IS GREATER.
D. CORNER - 10 FEET OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
- THIS PROPERTY FALLS IN ZONE "X" UNSHADED OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 334 0325 D, REVISED JUNE 6, 2000. ZONE "X" UNSHADED IS DESCRIBED AS "AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD."
- A 6' BUFFER OPAQUE IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- A 4' MIN. SIDEWALK IS REQUIRED ALONG NORTH 10TH STREET AND FREDDY GONZALEZ DR.
- BENCHMARK - STATION NAME: MC# 46 SET BY ARANDA & ASSOC. LOCATED ON NORTH 10TH STREET AND FREDDY GONZALEZ. ELEV: 104.17
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- STORM WATER DETENTION OF 0.74 AC-FT IS REQUIRED FOR THIS SUBDIVISION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

METES & BOUNDS

THE NORTH 4.0 ACRES OF THE EAST 10.0 ACRES OF LOT 12, SECTION 278, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the northwest corner of Lot 12, for the northeast corner of the following described tract of land; said point being in the intersection of N. 10th Street (S.H. 336) and Freddy Gonzalez Drive;
THENCE, with the East line of Lot 12, in N. 10th Street, South 08 Deg. 46 Min. West, 529.17 feet to the southeast corner of the North 4.0 acres of the East 10.0 acres of Lot 12, for the southeast corner hereof;
THENCE, with the South line of the North 4.0 acres of the East 10.0 acres of Lot 12, North 80 Deg. 56 Min. West, 329.30 feet to the southwest corner of the North 4.0 acres of the East 10.0 acres of Lot 12 for the southwest corner hereof;
THENCE, with the West line of the North 4.0 acres of the East 10.0 acres of Lot 12, North 08 Deg. 46 Min. East at 509.17 feet pass the South line of Freddy Gonzalez Drive, and at 529.17 feet, the northwest corner of the North 4.0 acres of the East 10.0 acres of Lot 12, for the northwest corner hereof;
THENCE, with the North line of Lot 12, in Freddy Gonzalez Drive, South 80 Deg. 56 Min. East, 329.30 feet to the POINT OF BEGINNING; containing 4.00 acres of land, more or less.

- PRIVATE DRAINAGE SYSTEM SHALL BE OWNED AND MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF McALLEN
- COMMON AREAS AND PRIVATE DRIVES MUST BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF McALLEN.

March 08 2024
Scale: 1"=50'

MAP OF JAIN AT FREDDY

BEING A SUBDIVISION OF THE NORTH 4.0 ACRES OF THE EAST 10.0 ACRES OF LOT 12 SECTION 278, TEXAS - MEXICAN RAILWAY Co. SURVEY HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOL. 24, PG. 120, DEED RECORDS. CONTAINING 4.0 AC. OF LAND, MORE OR LESS

Prepared by:
Spoor Engineering Consultants, Inc.
Consulting Engineers - Civil Land Planning
FIRM # F-4003
202 South 4th Street McALLEN, TEXAS 78501
SEC@spooreng.com (956) 683 1000

STATE OF TEXAS: COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS SOTX AT FREDDY SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN. ALL THE SAME FOR THE PUPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF, OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

Nanak, Ltd., a Texas Limited Partnership
Nanak, Ltd., a Texas Limited Partnership
Nanak Management L.L.C., its general partner
By: PARVEEN JAIN - Member / Director
Nanak Management L.L.C., its general partner
By: SUDESH K. JAIN - Member / Director

STATE OF TEXAS: COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED PARVEEN JAIN AND SUDESH K. JAIN, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS: COUNTY OF HIDALGO:

I, REYNALDO ROBLES, THE UNDERSIGNED, REGISTERED PROFESSIONAL LAND SURVEYOR #4032 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE, AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

REYNALDO ROBLES, RPLS # 4032
ROBLES AND ASSOCIATE, PLLC
107 W. HUISACHE ST.
WESLACO, TEXAS 78596
TBPELS FIRM No. 10096700

STATE OF TEXAS: COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

STEPHEN SPOOR 03-21-24
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION No. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RAUL E. SESTIN, P.E., C.F.M.
GENERAL MANAGER DATE



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 5/30/2024

SUBDIVISION NAME: JAIN AT FREDDY	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>North 10th Street: Dedication as required for 60 ft. from centerline for 120 ft. total ROW Paving: by the state Curb & gutter: by the state - Include label of Total ROW after dedication, prior to final. - Label existing ROW before dedication, prior to final. - Provide a copy for existing ROW for staff review, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Freddy Gonzalez Road: Dedication as required for 50 ft. from centerline for 100 ft. total ROW Paving: 65 ft. Curb & gutter: both sides - Revise street name to Freddy Gonzalez Road, prior to final. - Include label of Total ROW after dedication, prior to final. - Label existing ROW before dedication, prior to final. - Provide a copy for existing ROW for staff review, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>ROW: 20 ft. Paving:16 ft. *Alley/service drive easement required for commercial properties - Proposing 26 ft. service drive and utility easement. - Revise the label for service drive and utility easement to "private service drive and utility easement", prior to final. - Provide corner clip for the 26 ft. service drive & utility easement, prior to final. **Subdivision Ordinance: Section 134-106</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* N.10th Street (SH#336) / Freddy Gonzalez Road: In accordance with the Zoning Ordinance or greater for easements or approved site plan or inline with existing structures, whichever is greater applies. - Clarify/revise note as shown above, prior to final. Proposing: 60 feet or greater for easements, or approved site plan, or in line with existing structures, whichever is greater. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear - In accordance with the Zoning Ordinance ore greater for easements or approved site plan, whichever is greater. - Clarify/revise note as shown above prior to final. - Proposing: 10 feet or greater for easement or approved site plan. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater. - Clarify/revise note as shown above prior to final. - Proposing: According to Zoning Ordinance or greater for easements, or approved site plan whichever is greater. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner - See setback note for North 10th Street / Freddy Gonzalez Road. - Clarify/revise note as shown above, prior to final. - Proposing 10 feet or greater for easements or approved site plan, whichever is greater. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along North 10th Street and Freddy Gonzalez Road. - Sidewalk requirement may increase to 5 ft. along North 10th Street per Engineering Department prior to final. Revise plat note #5 as applicable prior to final. **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p>	TBD
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Applied

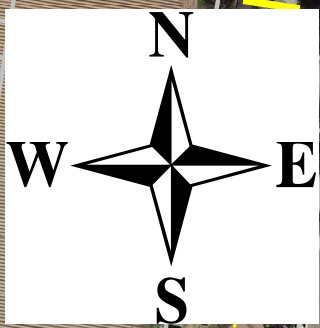
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas, any private service drives, etc. must be maintained by the lot owners and not the City of McAllen. - Revise plat note #11 as shown above, prior to final.</p>	<p>Non-compliance</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval - If zoning is proposed to be changed, rezoning process would be required. ***Zoning Ordinance: Article V</p>	<p>NA</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. - Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Pending review by the City Manager's Office. - Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - Trip generation submittal is pending.</p>	<p>Non-compliance</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: - Any abandonments must be done by separate instrument, not by plat prior to final. - Clarify if the 26 ft. service drive and utility easement will be dedicated by plat or separate document. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

278

FREDDY GONZALEZ RD

FREDDY GONZALEZ

10TH ST

N 13TH
84
78
71
FREDDY SUI

MEST

LASTORRES SUB

LOT 1

31

32

33

-08
1101

-07
1001

2
ENGL

-22
9901

-13
9817

EBONY PLAZA
SUBDIVISION
LOT 1

THEATRE
MCALLEN SUBD
LOT 1

-14
9701

SUBDIVI

City of McAllen SUB 2024-0057

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION</u> Legal Description <u>1.72 ACRES OF LAND, MORE OR LESS, ALL OF LOT 10, PLANTATION OAKS NORTH SUBDIVISION AN ADDITION TO THE CITY OF MISSION, HIDALGO COUNTY, TEXAS</u> Location <u>1/4 MILE NORTH OF THE INTERSECTION OF 8 MILE LINE & TAYLOR ROAD</u> City Address or Block Number <u>12801 N. Taylor Rd</u> Total No. of Lots <u>2</u> Total Dwelling Units <u>2</u> Gross Acres <u>1.72</u> Net Acres <u>1.67</u> <input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>2</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u> Existing Land Use <u>SINGLE FAMILY</u> Proposed Land Use <u>SINGLE FAMILY</u> Irrigation District # <u>UNITED IRRIGATION</u> Water CCN: <input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other <u> </u> Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>261241</u> Estimated Rollback Tax Due <u> </u> Tax Dept. Review <u> </u>
Owner	Name <u>5 A CONSTRUCTION, LLC</u> Phone <u>(956) 844-9348</u> Address <u>3004 MAR VERDE ST.</u> E-mail <u> </u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u>
Developer	Name <u>5 A CONSTRUCTION, LLC</u> Phone <u>(956) 844-9348</u> Address <u>3004 MAR VERDE ST.</u> E-mail <u>g.melendez268@yahoo.com</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u> Contact Person <u> </u>
Engineer	Name <u>I.N. CIVIL DESIGNS, LLC</u> Phone <u>(956) 205-3845</u> Address <u>305 E CLINTON AVE</u> E-mail <u>ISIDRO@INCIVILDESIGNS.COM</u> City <u>ALTON</u> State <u>TX</u> Zip <u>78573</u> Contact Person <u>SAN ISIDRO NAVARRO</u>
Surveyor	Name <u>WILLIAM A. MANGUM</u> Phone <u>(956) 249-8061</u> Address <u>11809 SHARY ROAD</u> E-mail <u> </u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u>

RECEIVED

MAY 15 2024

AF

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 05-15-24
01/30/2024

Print Name GUILLERMO MELENDEZ

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

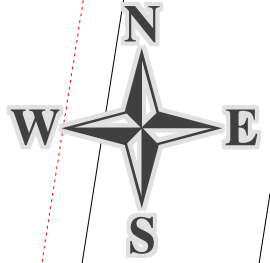
32

31

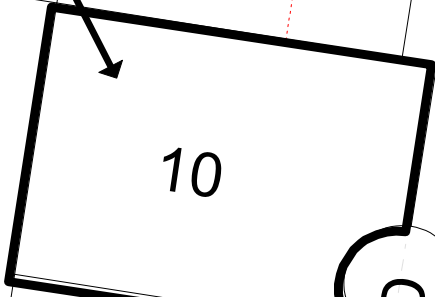
8 1/2 MILE RD

28

LOCATION



FT OF WAY



10

11

5200 BLOCK

N TAYLOR RD

4

5

TAYLOR RD

15

12

PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION

1.72 ACRES OF LAND, MORE OR LESS, ALL OF LOT 10,
PLANTATION OAKS NORTH SUBDIVISION, AN ADDITION
TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS,
ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
IN VOLUME 21, PAGE 28, MAP RECORDS OF HIDALGO
COUNTY, TEXAS

BEING A 1.72 ACRE TRACT OF LAND, MORE OR LESS, ALL OF LOT 10, PLANTATION OAKS NORTH SUBDIVISION AS PER MAP RECORDED IN VOLUME 21, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS. SAID 1.72 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF BEGINNING (P.O.B.) BEING AT A 1/2" IRON ROD FOUND (N: 1664417.1700, E: 1063144.0100) FOR THE APPARENT SOUTHEAST CORNER OF SAID 1.72 - ACRE TRACT HEREIN DESCRIBED:

1. THENCE, NORTH 09 DEGREES 01 MINUTES 00 SECONDS E, ALONG THE EAST LINE OF SAID TRACT, AT A DISTANCE OF 145.0 FEET FOR THE NORTHEAST CORNER OF THIS TRACT;
2. THENCE, NORTH 80 DEGREES 59 MINUTES 00 SECONDS W, ALONG THE NORTH LINE OF SAID TRACT, AT A DISTANCE OF 329.72 FEET FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, SOUTH 09 DEGREES 01 MINUTES 00 SECONDS W, ALONG THE WEST LINE OF SAID TRACT, AT A DISTANCE OF 238.30 FEET FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, SOUTH 80 DEGREES 59 MINUTES 00 SECONDS E, ALONG THE SOUTH LINE OF SAID TRACT, AT A DISTANCE OF 304.72 FEET FOR THE SOUTHWESTERLY CORNER OF THIS TRACT;
5. THENCE, NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 150 DEGREES 00 MINUTES 00 SECONDS, AT AN ARC DISTANCE OF 130.90 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1.72 ACRE OF LAND, MORE OR LESS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49 211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE HAS NOT REVIEWED AND ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

THIS PLAT APPROVED BY UNITED IRRIGATION DISTRICT

ON THIS _____ DAY OF _____, 20____
NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT-OF-WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

SECRETARY DATE ATTEST: PRESIDENT DATE

STATE OF TEXAS
CITY OF McALLEN
MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

STATE OF TEXAS
CITY OF McALLEN

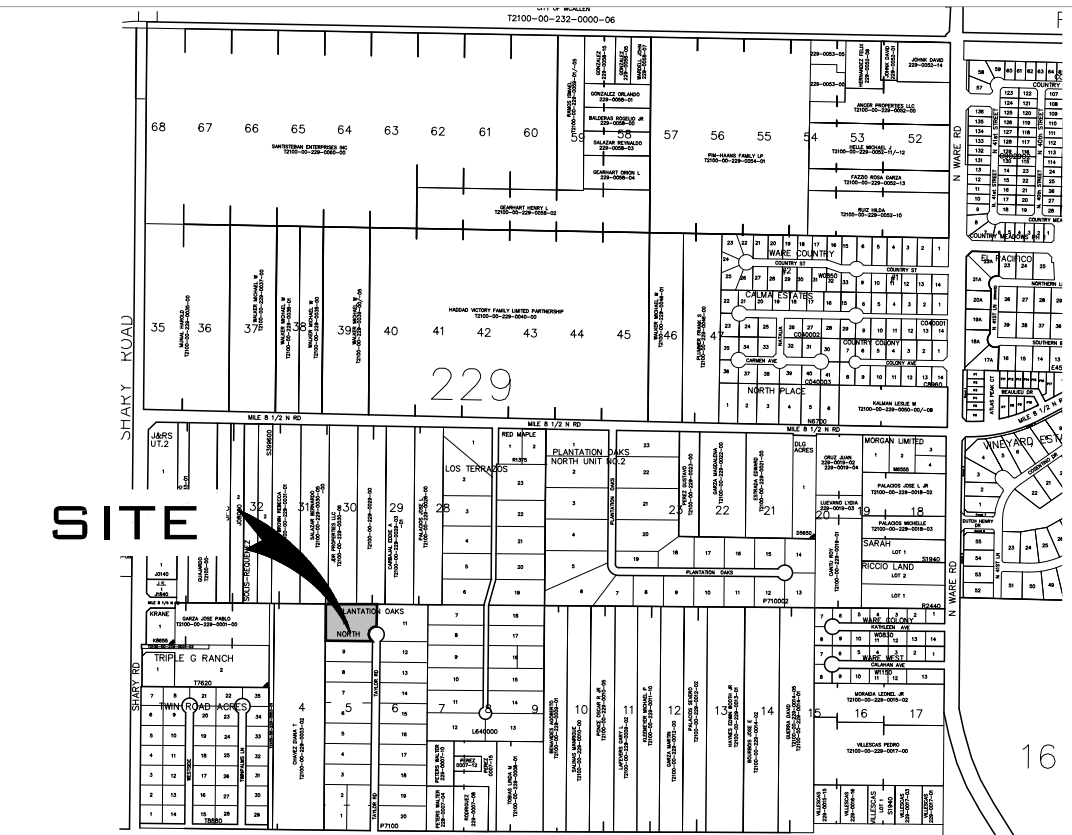
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING & ZONING COMMISSION DATE

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I THE UNDERSIGNED CERTIFY THAT THIS PLAT OF PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER

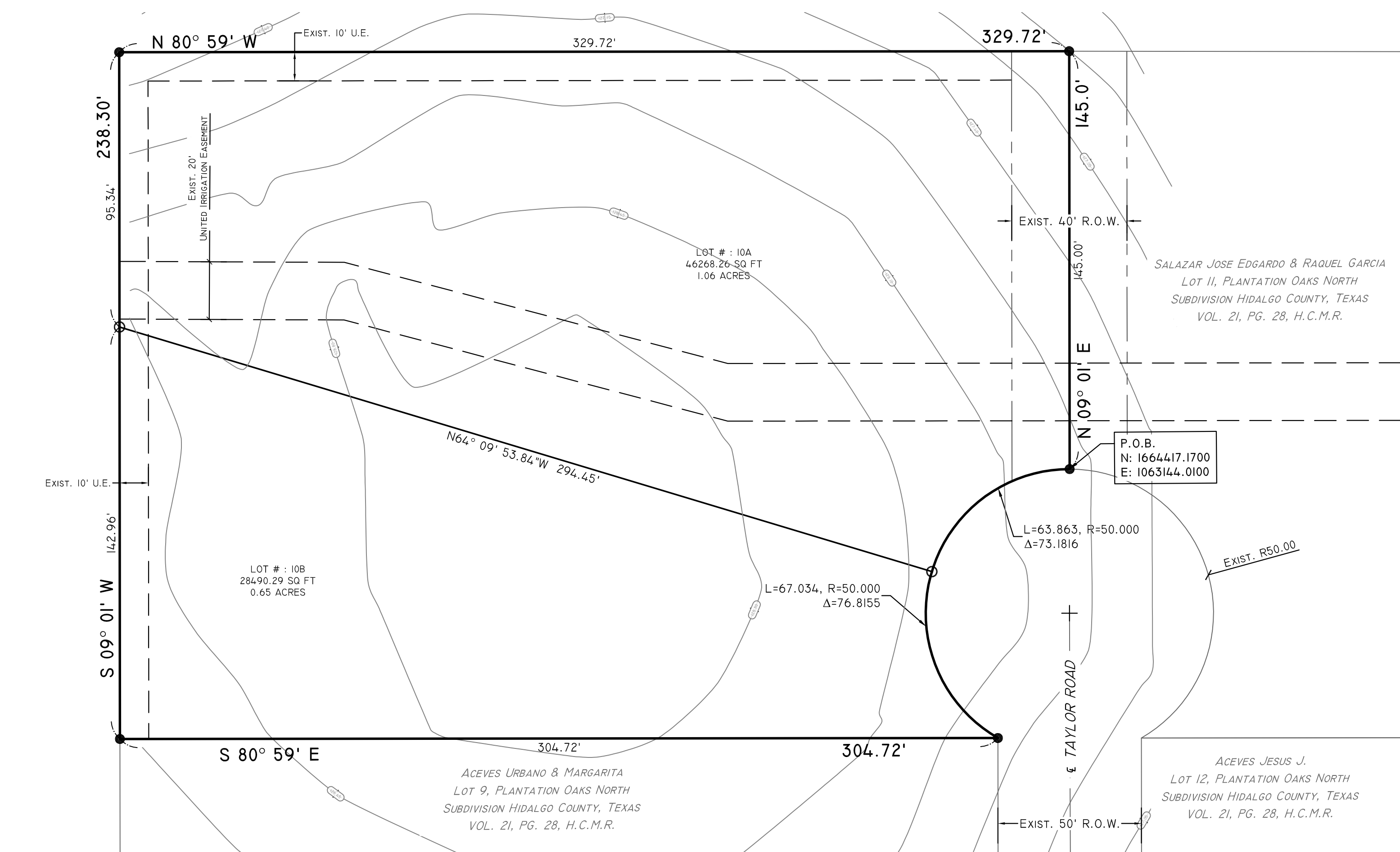
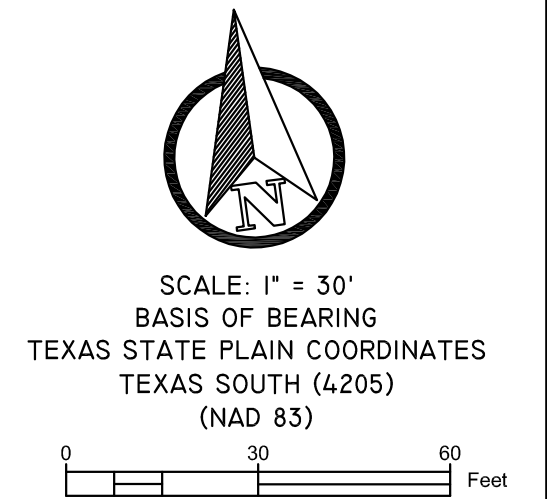


PREPARED BY: I.N. CIVIL DESIGNS, LLC 305 E. CLINTON AVE. ALTON, TEXAS 78573

DATE PREPARED: 08/28/2023 LOCATION MAP SCALE: 1"=1,000' DATE SURVEYED:

LEGEND

- 1/2" FIR - 1/2-INCH FOUND IRON ROD
- 1/2" SIR - 1/2-INCH SET IRON ROD W/CAP - WITH CAP STAMPED "3353"
- DENOTES NO MONUMENT
- M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
- D.R.H.C.T. - DEED RECORDS HIDALGO COUNTY TEXAS
- H.C.C.F. - HIDALGO COUNTY CLERK'S FILE
- VOL. - VOLUME
- Pg. - PAGE
- S.F. - SQUARE FEET
- U.E. - UTILITY EASEMENT
- R.O.W. - RIGHT-OF-WAY
- (C.M.) - CONTROL MONUMENT
- P.O.B. - POINT OF BEGINNING
- T.B.M. - TEMPORARY BENCHMARK
- ⊕ - CENTERLINE
- ⊕ - PROPERTY LINE
- Δ - BENCHMARK



GENERAL NOTES:
1. BEARING BASIS: RECORDED PLAT OF PLANTATION OAKS NORTH SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. 21, PG. 28, FROM THE MAP RECORDS, HIDALGO COUNTY, TEXAS.

2. BENCHMARK: 1/2" FIR LOCATED SOUTHEAST CORNER OF SUBDIVISION. ELEVATION 127.87 (NAVD 88).

3. FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: THE SUBDIVISION IS IN ZONE "X" ON A FLOOD INSURANCE RATE MAP - COMMUNITY PANEL No. 480334 0294 D, REVISED JUNE 06, 2000. ZONE "X" IS DEFINED AS AREAS OF 100-YEAR FLOOD WITH AVERAGES DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BE LEVEES FROM 100-YEAR FLOOD.

4. MINIMUM FINISHED FLOOR ELEVATION 18" ABOVE THE CENTER OF ROAD OR 24-INCHES ABOVE THE BASE FLOOD ELEVATION (BFE) IF PROPERTY IS ON A SPECIAL FLOOD HAZARD ZONE.

5. MINIMUM BUILDING SETBACK LINES ARE AS FOLLOWS (UNLESS GREATER SETBACK OR EASEMENT APPLIES):
• FRONT : 20 FT OR EASEMENT, WHICHEVER IS GREATER
• SIDE : 6 FT OR EASEMENT, WHICHEVER IS GREATER
• STREET SIDE: 10 FT OR EASEMENT, WHICHEVER IS GREATER
• REAR : 10 FT OR EASEMENT, WHICHEVER IS GREATER

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND CITY OF McALLEN REQUIREMENTS. THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 7,170 CU.FT. OR 0.165 AC.FT. OF STORM WATER RUNOFF.

7. NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY SWALES OR UTILITY EASEMENTS. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTERS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE DRAINAGE SWALE EASEMENT.

8. SHOULD ANY ENTITY HAVING AUTHORITY OVER THE RECORDED EASEMENTS DEDICATED HEREIN NEED TO REPAIR, REPLACE, INSTALL OR IN ANY WAY REQUIRE EXCAVATION ACCESS TO THE LINE THEREIN, THAT ENTITY SHALL HAVE THE RIGHT TO ACCESS THE EASEMENT WHICH MAY CAUSE INCIDENTAL DAMAGE TO PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, WALLS, SLABS, LANDSCAPING, AND PRIVATE IRRIGATION SYSTEMS. OWNER(S) OF PROPERTIES SHALL HOLD HARMLESS AND INDEMNIFY ANY SUCH ENTITY FROM THE DAMAGES AND/OR REPLACEMENT COSTS CAUSED BY NEEDED WORK.

9. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.

10. NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY DISTRICT EASEMENT OR RIGHT-OF-WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.

11. NO PERMANENT STRUCTURE, (EXAMPLE, FENCES OR DRIVEWAYS OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT IS SUBJECT TO REMOVAL.

12. NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL.

13. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.

STATE OF TEXAS COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, (WE) THE UNDERSIGNED OWNER(S) OF THE 1.72 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I, (WE) CERTIFY THAT I (WE) HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.052 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDE TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I, (WE) ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

GUILLERMO MELENDEZ, (DIRECTOR) - S A Construction, LLC
304 MAR VERDE ST
MISSION, TEXAS 78573

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **GUILLERMO MELENDEZ** KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE DAY _____ OF _____, 20____.



NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES: _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028(A)

WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON THIS THE _____ DAY _____, 20____.

HIDALGO COUNTY JUDGE DATE

ATTEST: HIDALGO COUNTY CLERK DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

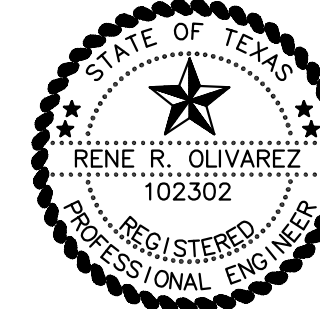
WILLIAM A. MANGUM, R.F.L.S.
REG. PROFESSIONAL LAND SURVEYOR NO. 4353



STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE R. OLIVAREZ, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

RENE R. OLIVAREZ, P.E.
REGISTERED PROFESSIONAL ENGINEER NO. 102302



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION IS LOCATED IN THE MIDDLE OF HIDALGO COUNTY APPROXIMATELY 1/4 MILE NORTH OF THE INTERSECTION OF 8 MILE LINE & TAYLOR ROAD THE ONLY NEARBY MUNICIPALITY IS THE CITY OF McALLEN. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF McALLEN (POPULATION 144,579), PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION LIES APPROXIMATELY 3.5 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.02. IT LIES IN PCT. 4.

INDEX	
SHEETS	LOCATION MAP AND E.T.C. PRINCIPAL CONTACTS: PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES AND BOUNDS); SURVEYORS AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION; CITY APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D. NO. 1; CERTIFICATION; IRRIGATION DISTRICT CERTIFICATION OF APPROVAL; ICHD CERTIFICATION REVISION NOTES.
SHEETS	WATER DISTRIBUTION AND SANITARY SEWER (OSSP) PLAN; ENGINEERING REPORT (ENR) AND SPECIFICATIONS; INCLUDING DESCRIPTION OF WATER AND WASTE WATER (OSSP) AND ENGINEER'S CERTIFICATION; SUBDIVISION CERTIFICATION AND VERIFICATION; SAMPLE OF LOG BORE FOR OSSP SYSTEM; TYPICAL WATER SERVICE CONNECTION; SUBDIVISION CERTIFICATION AND STATEMENT; DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION REVISION NOTES.



I.N. CIVIL DESIGNS, LLC
CIVIL DESIGNS - CIVIL DRAFTING
LAND SURVEYING - LAND DEVELOPMENT

ALTON, TEXAS
PHONE: (956) 209-3845
EMAIL: INFO@INCIVILDESIGNS.COM

www.incivildesigns.com

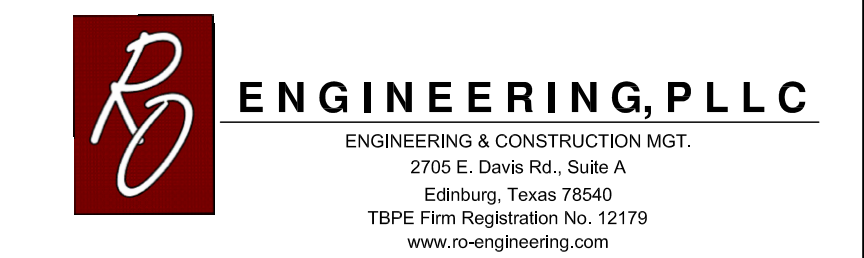
PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE
OWNER: GUILLERMO MELENDEZ	304 MAR VERDE ST. McALLEN, TEXAS 78574	(956) 844-9348
ENGINEER: RENE R. OLIVAREZ, P.E.	2705 E. DAVIS RD. EDINBURG, TEXAS 78540	(956) 209-3845
SURVEYOR: WILLIAM A. MANGUM, R.F.L.S.	817 N. WARE RD McALLEN, TEXAS 78501	(956) 821-7026



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



RO ENGINEERING, PLLC EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RO ENGINEERING, PLLC.



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 5/31/2024

SUBDIVISION NAME: PLANTATION OAKS NORTH LOTS 10A & 10B SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Taylor Rd.: 50 ft. ROW Paving: 32 ft. Curb & gutter: Both Sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are not built prior to recording. -For single family use. **COM Thoroughfare Plan</p>	Non-compliance
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac . **As per Fire Department requirements, 96 ft. of paving face-to face required. 10 ft. of R.O.W. back of curb around Cul-de-Sac required. -Existing Cul-De-Sac exceeds 600ft approximately 1,200 ft. in length. **Subdivision Ordinance: Section 134-105</p>	Non-compliance
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family development. *Application calls for a residential single family development, if proposed use changes, requirement for alley will apply as applicable. **Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
<p>* Front: 25 ft. or in line with existing structures or easements, whichever is greater Proposed: 20 ft. or easement, whichever is greater - Clarify/Revise the plat note as shown above prior to final. - For Lot 10A, clarify which side of the property will be the front to finalize the setback requirement prior to final. - Setback note will be finalized, once the front and rear sides are clarified. **Zoning Ordinance: Section 138-356"</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Rear: 10 ft. or greater for easements Proposed: 10 ft. or easement, whichever is greater - Clarify which side of the property will be the rear to finalize the setback requirement prior to final. - Setback note will be finalized, once the front and rear sides are clarified. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Sides: 6 ft. or greater for easements - Clarify/Revise the plat note as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Corner _____ **Zoning Ordinance: Section 138-356</p>	<p>NA</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies - Add a plat note as shown above prior to final **Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>* 4 ft. wide minimum sidewalk required on Taylor Rd. **Subdivision Ordinance: Section 134-120</p>	<p>Non-compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Add a plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	<p>Non-compliance</p>
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. - Add a plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	<p>Non-compliance</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Required</p>
<p>NOTES</p>	
<p>* No curb cut, access, or lot frontage permitted. **Must comply with City Access Management Policy</p>	<p>Applied</p>
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	<p>Applied</p>
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>NA</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 	Compliance
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: ETJ Proposed: ETJ ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. -Park fees do not apply for lots in ETJ unless they get annexed. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. -Park fees do not apply for lots in ETJ unless they get annexed. 	NA
<ul style="list-style-type: none"> * Pending review by the Parkland Dedication Advisory Board and CC. -Park fees do not apply for lots in ETJ unless they get annexed. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, TG waived for 2-single family lot subdivision. 	Applied
<ul style="list-style-type: none"> ** Traffic Impact Analysis (TIA) required prior to final plat. -TG waived for 2-single family lot subdivision. 	Applied
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - On principal contacts box, clarify address of owner. - There is an existing 20 ft. irrigation easement going through the proposed Lot 10A. Any abandonment or shift must be done with a separate instrument and referenced on the plat. Please clarify prior to final. - Please clarify location map to show a hatch for the City Limits and ETJ location. Add North Arrow and modify the scale to fit the whole map on the viewport. - Clarify the Existing 40.0' R.O.W. on the East side of Lot 10A. - Owner Signature box is for the County, please make sure to add the Signature Box of the City of McAllen as per Ordinance 134-61(e)(5) - Public notice is required prior to final approval. *Must comply with City's Access Management Policy. 	Non-compliance
RECOMMENDATION	
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION

8 1/2 MILE RD



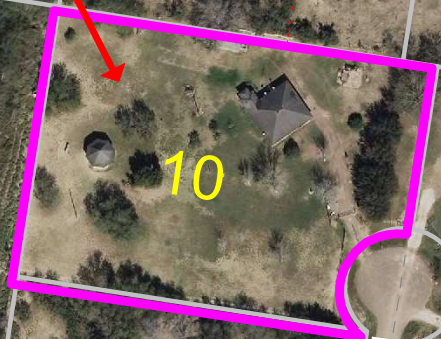
31

32

28

2

FT OF WAY



10

11

5200 BLOCK

N TAYLOR RD

4

5

TAYLOR RD

15

12

SUB2024-07560

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Las Nubes at Taylor Subdivision</u>	
	Legal Description <u>Being 6.59 acre tract being the South 5.0 acres of Lot 187 and 1.59 acres being the North 52.5 feet of abandoned canal right of way between lots 177 and 187, John H Shary Subdivision, Vol. 1, Page 17, HCMR City of McAllen, Hidalgo County, Texas.</u>	
	Location <u>Approximate 120-ft North of Victoria Street/S Taylor Road Intersection</u>	
	City Address or Block Number <u>1301 S. Taylor Road</u>	
	Total No. of Lots <u>76</u> Total Dwelling Units _____ Gross Acres <u>6.59</u> Net Acres _____	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>6.59</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-3T</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Private Mobile Trailer Park</u> Proposed Land Use <u>Residential Townhome</u>	
	Irrigation District # <u>United</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>281000</u>		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>ALPEG Properties, LLC</u> Phone <u>(832)373-4343</u>	
	Address <u>200 S 10th St. Suite 1400</u> E-mail _____	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>See Owner Information</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Engineer	Name <u>M2 Engineering, PLLC.</u> Phone <u>(956)600-8628</u>	
	Address <u>1810 E. Griffin Pkwy</u> E-mail <u>hector@m2-engineers.com</u>	
	City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u>	
	Contact Person <u>Hector Moreno</u>	
Surveyor	Name <u>Homero Luis Gutierrez, RPLS, PE</u> Phone <u>956-369-0988</u>	
	Address <u>2112 S Shary Rd</u> E-mail <u>homero_gutierrez@sbcglobal.net</u>	
	City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u>	

RECEIVED
MAY 23 2024
By NG

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

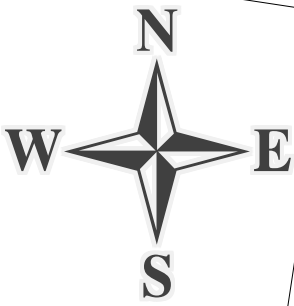
Signature  Date 4-29-2024

Print Name Emigdio Salinas, P.E.

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

THE TREE APARTMENTS
SUBDIVISION

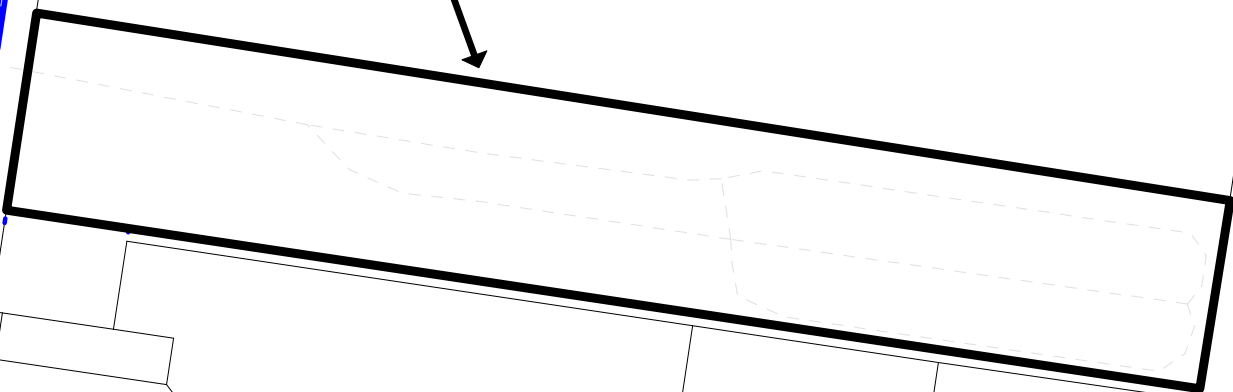


PROPOSED THE TREE APTS
PHASE 2 SUBDIVISION
LOT 1

UNIVERSAL AIR
SUBDIVISION

187

LOCATION



TAYLOR RD

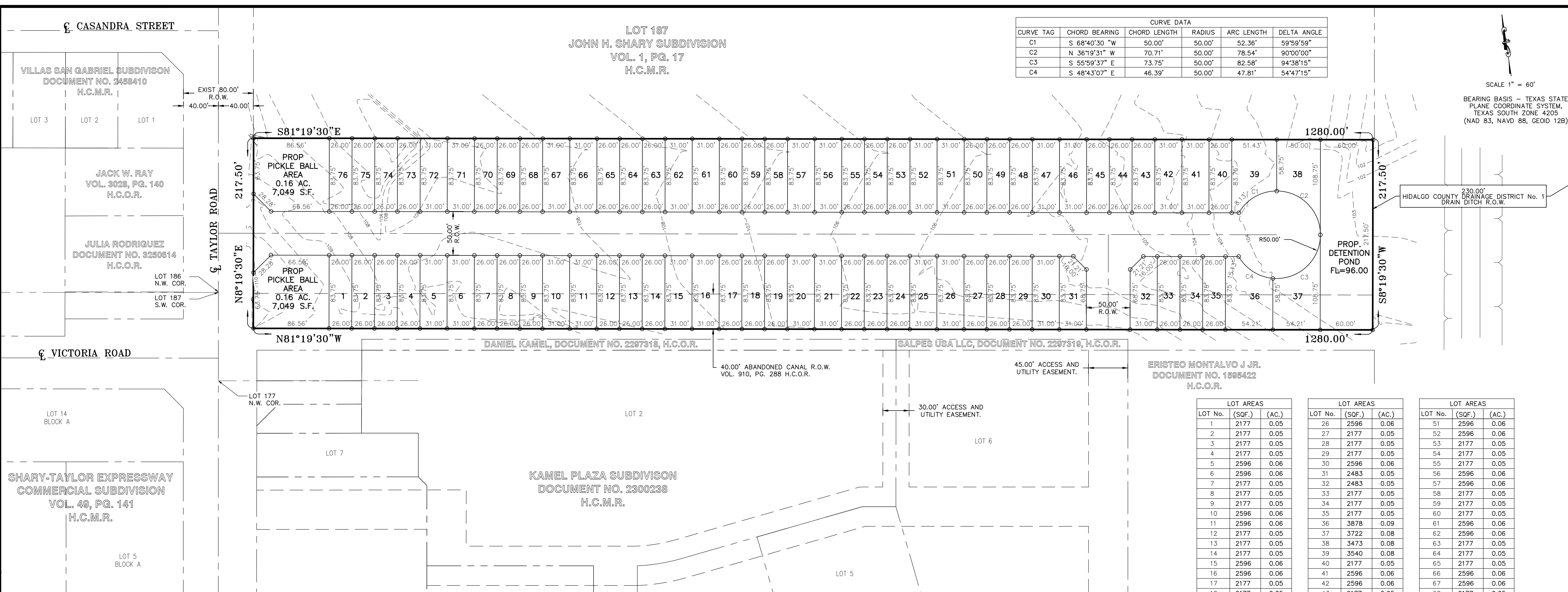
D PLAZA

SUBD

M&T MOTORS
NO. 1

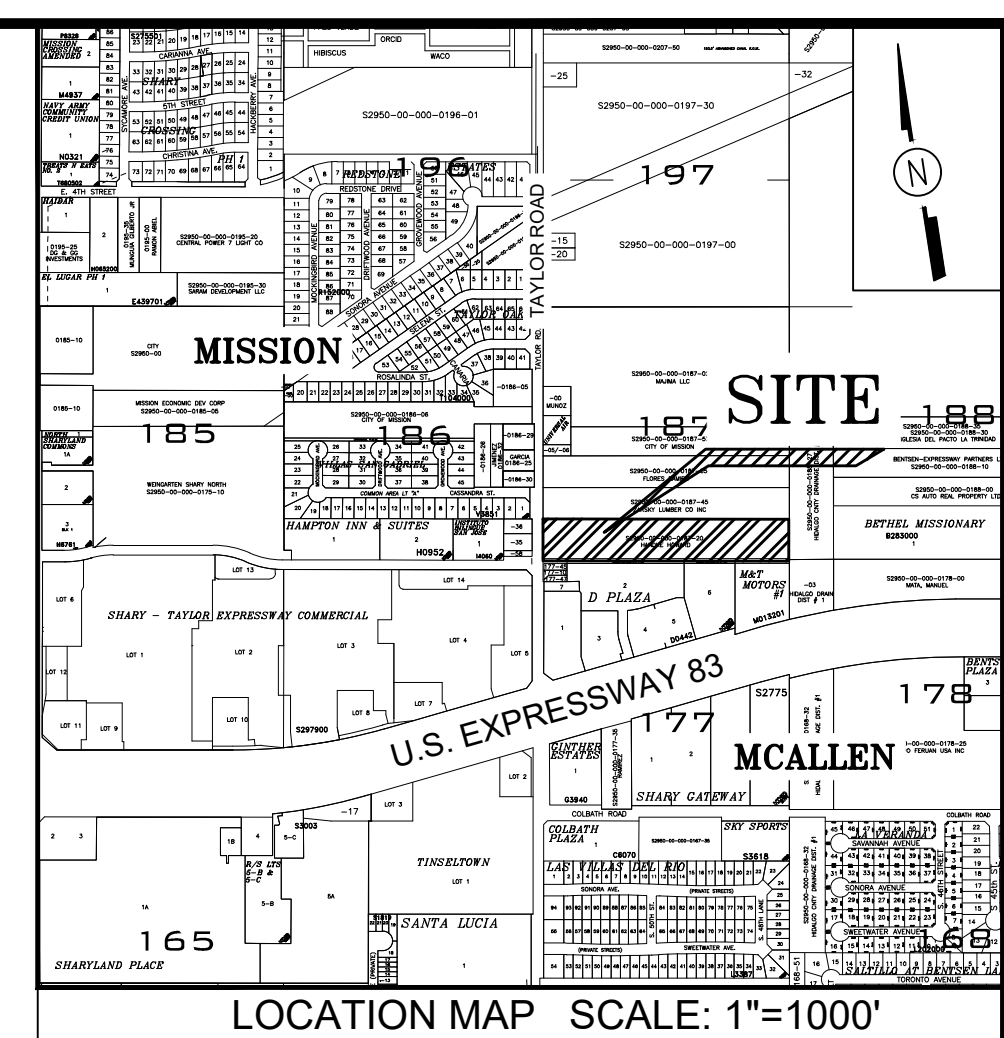
U.S. 83 EXPRESSWAY
177

ARYBAK 1
ON



CURVE DATA					
CURVE TAG	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH	DELTA ANGLE
C1	S 68°40'30" W	50.00'	50.00'	52.36'	59°59'59"
C2	N 36°19'31" W	70.71'	50.00'	78.54'	90°00'00"
C3	S 55°59'37" E	73.75'	50.00'	82.58'	94°38'15"
C4	S 48°43'07" E	46.39'	50.00'	47.81'	54°47'15"

SCALE 1" = 60'
 BEARING BASIS - TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH ZONE 4205 (NAD 83, NAVD 88, GEOID 12B)



- LEGEND**
- 1/2" FIR ● — 1/2" IRON ROD FOUND
 - 1/2" SIR ○ — 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED 2791
 - ▲ — CALCULATED POINT "CP"
 - (S0°00'00"W 0.0')
 - — EASEMENT LINE
 - - - - - — PROPERTY LINE
 - P.O.B. — POINT OF BEGINNING
 - R.O.W. — RIGHT OF WAY
 - D.R.H.C. — DEED RECORDS HIDALGO COUNTY TEXAS
 - M.R.H.C. — MAP RECORDS HIDALGO COUNTY TEXAS
 - O.R.H.C.T. — OFFICIAL RECORDS HIDALGO COUNTY TEXAS
 - VOL. — VOLUME
 - PG. — PAGE
 - SWD: — SPECIAL WARRANTY DEED
 - TBM — TEMPORARY BENCH MARK
 - — BENCHMARK

LOT AREAS			LOT AREAS			LOT AREAS		
LOT No.	(SQF.)	(AC.)	LOT No.	(SQF.)	(AC.)	LOT No.	(SQF.)	(AC.)
1	2177	0.05	26	2596	0.06	51	2596	0.06
2	2177	0.05	27	2177	0.05	52	2596	0.06
3	2177	0.05	28	2177	0.05	53	2177	0.05
4	2177	0.05	29	2177	0.05	54	2177	0.05
5	2596	0.06	30	2596	0.06	55	2177	0.05
6	2596	0.06	31	2483	0.05	56	2596	0.06
7	2177	0.05	32	2483	0.05	57	2596	0.06
8	2177	0.05	33	2177	0.05	58	2177	0.05
9	2177	0.05	34	2177	0.05	59	2177	0.05
10	2596	0.06	35	2177	0.05	60	2177	0.05
11	2596	0.06	36	3878	0.09	61	2596	0.06
12	2177	0.05	37	3722	0.08	62	2596	0.06
13	2177	0.05	38	3473	0.08	63	2177	0.05
14	2177	0.05	39	3540	0.08	64	2177	0.05
15	2596	0.06	40	2177	0.05	65	2177	0.05
16	2596	0.06	41	2596	0.06	66	2596	0.06
17	2177	0.05	42	2596	0.06	67	2596	0.06
18	2177	0.05	43	2177	0.05	68	2177	0.05
19	2177	0.05	44	2177	0.05	69	2177	0.05
20	2596	0.06	45	2177	0.05	70	2177	0.05
21	2596	0.06	46	2596	0.06	71	2596	0.06
22	2177	0.05	47	2596	0.06	72	2596	0.06
23	2177	0.05	48	2177	0.05	73	2177	0.05
24	2177	0.05	49	2177	0.05	74	2177	0.05
25	2596	0.06	50	2177	0.05	75	2177	0.05
						76	2177	0.05

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

- GENERAL NOTES:**
- FLOOD ZONE STATEMENT: FLOOD ZONE DESIGNATION: ZONE "B" AND ZONE "AH" (BFE=102.65' NAVD 88) (BFE=103.00' NGVD 29) AS DETERMINED IN LOWR CASE NO. 05-06-1607P
 - ZONE "B" AREAS: AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATION AND FLOOD HAZARD FACTORS NOT DETERMINED
 - ZONE "AH" AREAS: AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; BASE FLOOD ELEVATIONS ARE SHOWN, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED.
 - COMMUNITY PANEL NO. 480334 0400 C MAP REVISED: NOVEMBER 16, 1992.
 - SETBACKS: FRONT: 20.00 FEET; REAR: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER; SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER; CORNER 10.00 FEET OR EASEMENT WHICHEVER IS GREATER; GARAGE 18.00 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES
 - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB MEASURED AT THE FRONT CENTER OF EACH LOT.
 - BENCH MARK NOTE: MC-80, 30" ALUMINUM PIPE WITH 3-1/4" BRASS MONUMENT CAP ON TOP (ELEV. = 104.41) LOCATED AT THE SOUTH FRONTAGE ROAD BOUND OF EXPRESSWAY 83, 80 FT. SOUTH FROM THE EDGE OF PAVEMENT AND APPROXIMATELY 500 FT. EAST OF TAYLOR ROAD. HORIZONTAL COORDINATES AND VERTICAL ELEVATION:
 - IN ACCORDANCE WITH THE CITY OF McALLEN AND HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ CUBIC-FEET OR ACRE-FEET OF STORM WATER RUNOFF. RUNOFF WILL BE DETAINED IN DETENTION GREEN AREAS IN LOT 12. LOT 12 IS NOT A BUILDBLE LOT, AND SHALL BE USED FOR DRAINAGE AND DETENTION PURPOSES ONLY.
 - NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
 - THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.
 - A 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES. PERIMETER BUFFERS MUST BE BUILT AT TIME OF SUBDIVISION IMPROVEMENTS.
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR LAS NUBES AT TAYLOR RECORDED UNDER DOCUMENT NUMBER _____, DEVELOPER/OWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS, ANY AMENDMENT TO DECLARATION THAT CONFLICTS WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL AND VOID.
 - DETENTION/COMMON AREAS, ANY PRIVATE STREET/ALLEY, PRIVATE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
 - DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.

RAUL E. SESIN, P.E., C.F.M. DATE _____
 GENERAL MANAGER

UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE _____ DAY OF _____ 2023.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT-OF-WAYS OR EASEMENT. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

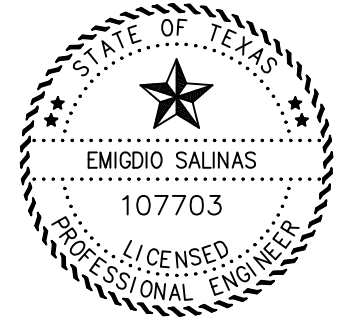
PRESIDENT _____ SECRETARY _____

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, EMIGDIO "MILO" SALINAS, P.E., A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

FOR PRELIMINARY REVIEW ONLY

EMIGDIO "MILO" SALINAS, P.E. DATE _____
 LICENSED PROFESSIONAL ENGINEER No. 107703
 FIRM REGISTERED No. F-19545



STATE OF TEXAS COUNTY OF HIDALGO

I, HOMERO LUIS GUTIERREZ, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR LAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

FOR PRELIMINARY REVIEW ONLY

HOMERO LUIS GUTIERREZ, R.P.L.S. DATE _____
 TEXAS R.P.L.S. No. 2791



STATE OF TEXAS COUNTY OF HIDALGO

I, (WE), THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS LAS NUBES AT TAYLOR SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AS EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS, UTILITY EASEMENT TO THE PUBLIC BY THIS PLAT THEREOF SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

ABEL HERNANDEZ ALPEG PROPERTIES, LLC
 2203 MCLEOD AVE
 EDINBURG, TX 78539

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ABEL HERNANDEZ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 2024

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

DATE MY COMMISSION EXPIRES _____

STATE OF TEXAS CITY OF McALLEN PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THIS LAS NUBES AT TAYLOR SUBDIVISION PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____ 2024

CHAIRMAN OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS CITY OF McALLEN MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY TAHT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

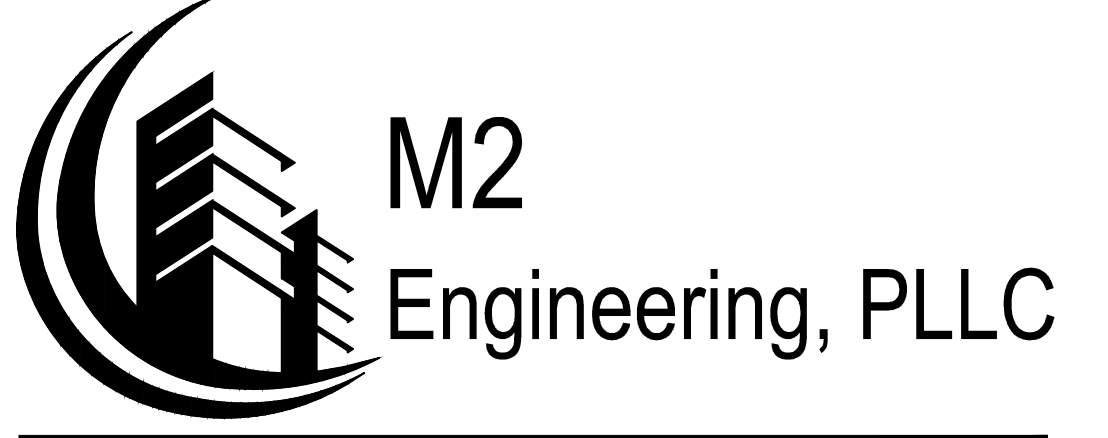
MAYOR, CITY OF McALLEN DATE: _____

ATTESTED BY: _____

CITY SECRETARY DATE: _____

LAS NUBES AT TAYLOR SUBDIVISION

A 6.59-ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF THE SOUTH 5 ACRES OUT OF LOT 187, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AND 1.21 ACRES OF ABANDONED CANAL RIGHT-OF-WAY, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND BEING 0.38 OF AN ACRE OUT OF THE CANAL RIGHT-OF-WAY BETWEEN LOT 177 AND SAID LOT 187 (OUT OF SAME SAID ABANDONED CANAL RIGHT-OF-WAY), JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, SAVE AND EXCEPT 0.22 OF AN ACRE DESCRIBED IN DEED FROM HOWARD HANDKE AND WIFE, MARIAN HANDKE, TO WAYNE L. HANDKE AND WIFE, SANDRA R. HANDKE, DATED JUNE 10, 1969 (VOLUME 1234, PAGE 311, DEED RECORDS, HIDALGO COUNTY, TEXAS)



TBPELS FIRM REGISTRATION F-19545

1810 E. GRIFFIN PARKWAY
 MISSION TX 7872
 956-600-8628

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: ALPEG PROPERTIES, LLC (ABEL HERNANDEZ)	3900 N. 10TH STREET SUITE 950	McALLEN, TEXAS 78501	(956) -
ENGINEER: EMIGDIO "MILO" SALINAS, P.E.	1810 E. GRIFFIN PARKWAY	MISSION, TEXAS 78572	(956) 600-8628
SURVEYOR: HOMERO LUIS GUTIERREZ, R.P.L.S.	P.O. BOX 548	McALLEN, TEXAS 78505	(956) 369-0988



FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 5/31/2024

SUBDIVISION NAME: LAS NUBES AT TAYLOR SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. Taylor Road: Dedication as needed from centerline for 80 ft. Total R.O.W. Paving : 52ft. Curb & gutter: both sides Revisions Needed: - Show R.O.W. dedication as needed, R.O.W. varies. -Verify alignment of road. -Label existing R.O.W. dedications, from centerline, total, etc., prior to final. -Include document numbers on plat and provide any documents as applicable regarding any existing ROW dedications for S. Taylor Road. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Kennedy Ave.: Dedication as needed for New Facility Collector Street for a 80 ft. Total R.O.W. Paving: 40ft Curb & gutter: Both Sides Revisions Needed: -Clarify existing ROW for future Kennedy Ave. along southern boundary prior to final. Any incorporation of use as a interior street must be established prior to final. -Street must align with existing Kennedy Ave. alignment(without offset) to the West, as per Engineering and Traffic Department requirements, finalize prior to final. -City of McAllen thoroughfare plan designates Kennedy Ave. as a collector street with 80ft. of R.O.W. -Current subdivision layout does not comply with required ROW dedication requirements. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Interior Street: 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: -Plat shows 50 ft. ROW for interior street with a stub out at the end. Show ROW dedication as needed above and clarify the stub out. Review and revise as applicable prior to final. -Clarify existing ROW for Kennedy Ave. along southern boundary prior to final. Any incorporation of use as a interior street must be established prior to final. -Street must align with existing Kennedy Ave. alignment(without offset) to the East, as per Engineering and Traffic Department requirements, finalize prior to final. -Clarify if subdivision is proposed to be private as gate details are required and ROW are subject to increase for gate areas, sidewalks, islands, etc. finalize prior to final and submit gate details as applicable. -Gates on private streets shall be setback with a turnaround as specified by the city engineer. Gate clearance and mechanisms shall comply with the requirements of the fire marshal for emergency access. -If boulevard/ island proposed, 20 ft. face to face of paving on both sides required, finalize prior to final. Will require R.O.W. to increase accordingly to accommodate gate areas. Will this be connecting South? Please provide gate details. -A secondary access shall be required for gated streets providing access to 30 or more dwelling units. -As per Fire Department requirements, 96 ft. of paving face-to face required. 10 ft. of R.O.W. back of curb around Cul-de-Sac required. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording.</p>	<p>Non-compliance</p>
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>NA</p>
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>NA</p>
<p>* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118</p>	<p>NA</p>
<p>* 900 ft. Block Length for R-3T Zone Districts. Revisions Needed: -The preliminary plat considered from May 23, 2024 does not comply with block length requirement, please revise accordingly. **Subdivision Ordinance: Section 134-118</p>	<p>Non-compliance</p>
<p>* 600 ft. Maximum Cul-de-Sac Revisions Needed: -The preliminary plat submitted on May 23, 2024 appears to not comply with the maximum cul-de-sac length requirement. Please revise accordingly. Provide ""Cul-de-sac"" details regarding R.O.W. and paving details to assure compliance prior to final. **As per Fire Department requirements, 96 ft. of paving face-to face required. 10 ft. of ROW back of curb around Cul-de-Sac required. **Subdivision Ordinance: Section 134-105"</p>	<p>Non-compliance</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties. **Subdivision Ordinance: Section 134-106	Non-compliance
SETBACKS	
* Front: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Setbacks are based on R-3T Zoning District. **Zoning Ordinance: Section 138-356	Non-compliance
* Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356"	Non-compliance
* Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Garage: 18 ft. except where greater setback is required, greater setback applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on S. Taylor Rd., Kennedy Ave., and both sides of all interior streets. Revisions Needed: -Include note as shown above prior to final, once final wording is established. Note may be subject to change once street designation is finalized, finalize wording prior to final. **Sidewalk requirement may increase to 5 ft. for interior streets per Engineering Department prior to final. Finalize wording prior to final. ****Subdivision Ordinance: Section 134-120"	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along S. Taylor Rd. and Kennedy Ave. Revisions Needed: -Include note as shown above prior to final once wording is established. Note subject to change once street designation is finalized, finalize wording prior to final. **Landscaping Ordinance: Section 110-46"	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	Required
<p>* No curb cut, access, or lot frontage permitted along Taylor Rd. & Kennedy Ave. Revisions Needed: -Include note as shown above prior to final once wording is established.. Other streets may be required once subdivision layout and street designations have finalize, finalize note wording prior to final. **Must comply with City Access Management Policy</p>	Non-compliance
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more attached dwelling units on each lot if applicable. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Review as applicable prior to final. ***Zoning Ordinance: Section 138-210."</p>	Non-compliance
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Add a plat note as shown above prior to final. Note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final.</p>	Non-compliance
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Applied
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Required
LOT REQUIREMENTS	
<p>* Lots fronting public/private streets. **Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area. Lot dedication min. 25' frontage on street. **Zoning Ordinance: Section 138-356</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
<p>* Existing: R-3T (townhouse residential) Proposed: R-3T (townhouse residential) ***Zoning Ordinance: Article V -Rezoning needed if pickle ball area will be used for public or only by the tenants/owner. If so, CUP for associated recreational area will be required prior to final.</p>	TBD
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V -Rezoning needed if pickle ball area will be used for public or only by the tenants/owner. If so, CUP for associated recreational area will be required prior to final.</p>	NA
PARKS	
<p>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. - Clarify the total number of dwelling units to finalize the park fee prior to final.</p>	Required
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Once the number of lots/dwelling units have been finalized, park fees to be paid prior to recording will be established. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. - Clarify the use of "Prop. Pickle Ball Areas" to finalize the park fee prior to final.</p>	Required
<p>* Pending review by City Managers Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication.</p>	Required
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to be submitted to determine if TIA is required, prior to final plat.</p>	Non-compliance
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	TBD
COMMENTS	
<p>"Comments: 1. Verify that Metes and Bounds on the Plat match the Bearings and Distances labeled on the Plat Boundary. 2. Verify Note #5, it makes reference to Lot 12 as Detention area, but Lot 12 seems to indicate a regular Lot, not a detention area. 3. Verify the Owner Signature Line, ALPEG Properties, LLC must include all of its member signature lines, with their own heading and title. 4. Verify City of McAllen Mayor signature line, misspelling of "TAHT." 5. Verify the neighboring subdivision owner names and doc. no's. 6. Location Map needs to show a hatch for the City of Mcallen City Limits. 7. For the HCDD#1 Drainage Ditch located on the East Side, show the CL of the Ditch to the property boundary. *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat. **Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat.</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



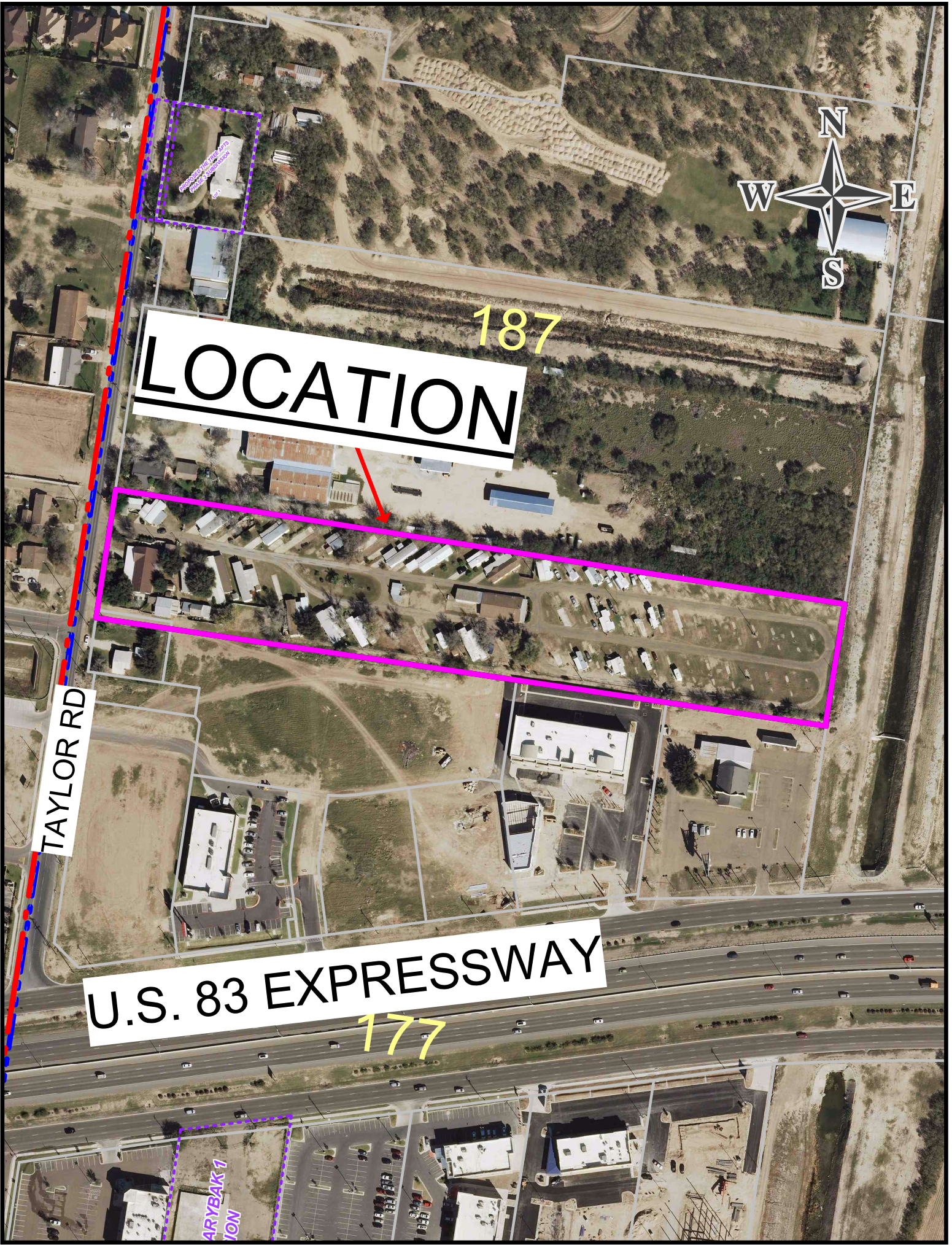
187
LOCATION

TAYLOR RD

U.S. 83 EXPRESSWAY
177

ARYBAK1
ION

APPROXIMATE SITE
LOCATION




City of McAllen
Planning Department
311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	TEXAS-MEXICAN RAILWAY COMPANY SURVEY / PROPOSED AQUALINA AT Subdivision Name <u>TRES LAGOS PHASE III SUBDIVISION</u>	
	Location <u>On the west side of Aqualina Phase II, west of Tres Lagos Boulevard</u>	
	City Address or Block Number <u>6617 TRES LAGOS BLVD</u>	
	Number of Lots <u>42</u> Gross Acres <u>21.496</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning <u>R1</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>United</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>n/a</u>	
	Parcel # <u>1333608</u> Tax Dept. Review _____	
	Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>21.496 acres out of Section 227, Texas-Mexican Railway Company Survey,</u> according to the patent issued by the State of Texas		
Owner	Name <u>Rhodes Development Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>nick@rhodesenterprises.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
Developer	Name <u>Rhodes Development Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>nick@rhodesenterprises.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
	Contact Person <u>Nick Rhodes, President</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

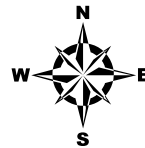
Signature  Date 04.07.2022

Print Name Mario A. Reyna, P.E.

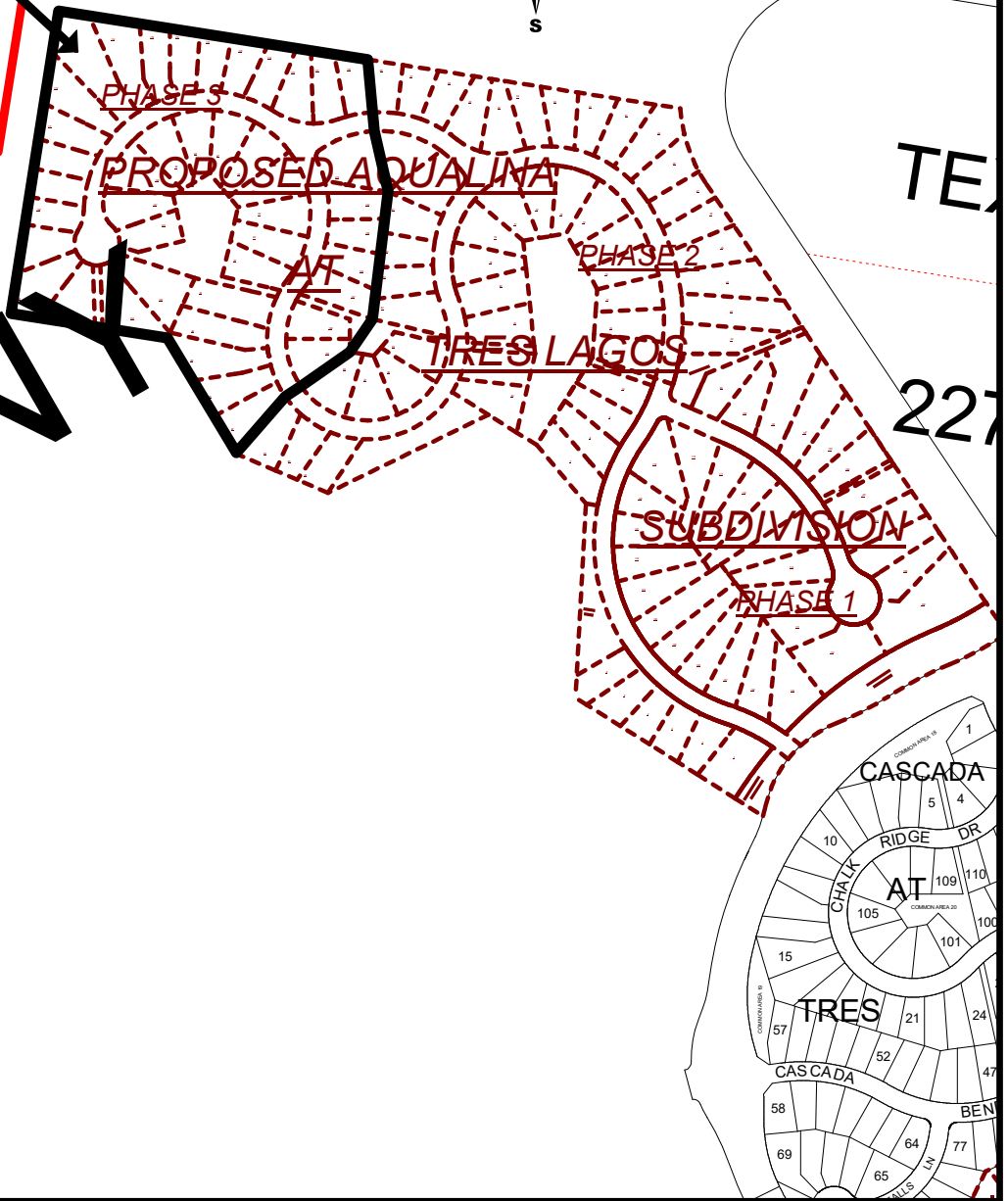
Owner

Authorized Agent

LOCATION



COMPANY



TE

227

CASCADA

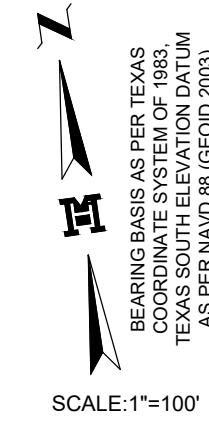
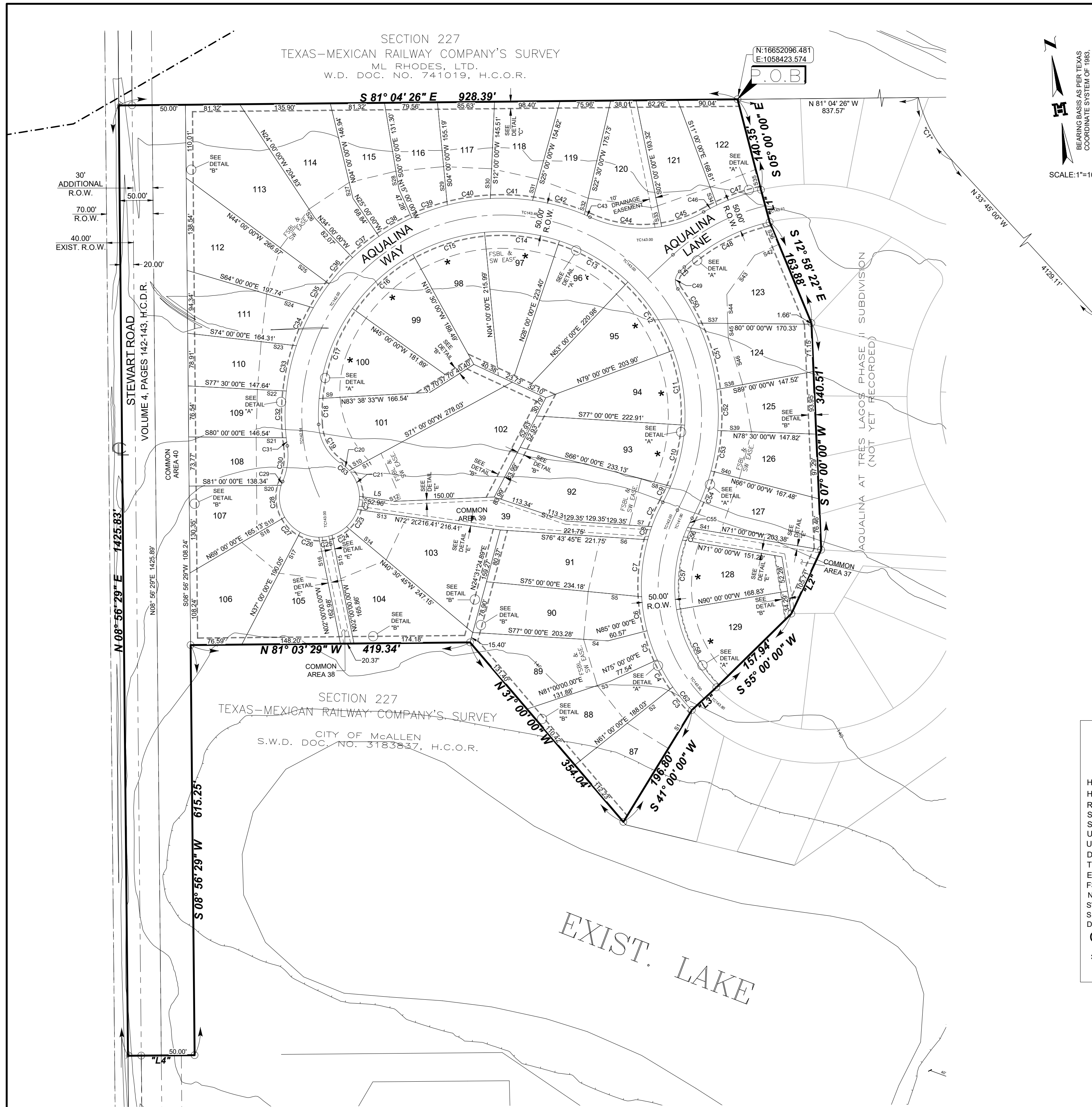
RIDGE DR

AT

TRES

CASCADA

BEN



CENTERLINE Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C1	02° 16' 22"	420.00'	214.58'	109.69'	N19° 06' 49"W	212.25'

BOUNDARY Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C1	02° 16' 22"	420.00'	214.58'	109.69'	N19° 06' 49"W	212.25'

LOT Line Table

Line #	Length	Direction
L5	52.96'	N72° 20' 42"W
L5	9.69'	S56° 26' 19"W

CENTERLINE LINE Table

Line #	Length	Direction
L1	50.04'	S05° 36' 51"E
L2	105.71'	S34° 31' 23"W
L3	50.02'	S56° 41' 18"W
L4	100.00'	N81° 00' 00"W

COMMON AREA Table

Lot #	SQ. FT.	AC.
37	6,142.20	0.141
38	3,277.18	0.075
40	71,295.59	1.637

BOUNDARY Line Table

Line #	Length	Direction
"L1"	50.04'	S05° 36' 51"E
"L2"	105.71'	S34° 31' 23"W
"L3"	50.02'	S56° 41' 18"W
"L4"	100.00'	N81° 00' 00"W

LOT Curve Table

Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
C2	008° 39' 26"	265.00'	40.04'	20.06'	S33° 37' 49"W	40.00'
C3	009° 42' 40"	265.00'	44.91'	22.51'	S30° 02' 30"E	44.86'
C4	010° 11' 10"	265.00'	47.11'	23.62'	S20° 05' 35"E	47.05'
C5	010° 00' 00"	265.00'	46.25'	23.18'	S10° 00' 00"E	46.19'
C6	011° 10' 46"	265.00'	51.71'	25.94'	S0° 35' 23"W	51.62'
C7	018° 40' 05"	265.00'	66.34'	43.56'	S15° 30' 49"W	65.96'
C8	004° 27' 14"	265.00'	20.60'	10.31'	S27° 04' 29"W	20.59'
C9	005° 34' 19"	275.00'	26.74'	13.38'	N35° 10' 22"E	26.73'
C10	019° 42' 39"	275.00'	94.61'	47.77'	N22° 31' 53"E	94.14'
C11	023° 49' 32"	275.00'	114.47'	58.08'	N0° 45' 03"E	113.65'
C12	025° 49' 32"	275.00'	123.95'	63.05'	N24° 05' 14"W	122.91'
C13	025° 09' 25"	275.00'	120.74'	61.36'	N49° 34' 42"W	119.78'
C14	023° 43' 36"	275.00'	113.88'	57.77'	N74° 01' 13"W	113.07'
C15	023° 33' 59"	275.00'	113.11'	57.37'	S82° 20' 00"W	112.31'
C16	025° 33' 01"	275.00'	122.63'	62.35'	S57° 46' 30"W	121.62'
C17	030° 20' 59"	275.00'	145.67'	74.59'	S29° 49' 30"W	143.97'
C18	008° 07' 22"	275.00'	38.99'	19.53'	S10° 35' 20"W	38.95'
C19	053° 57' 17"	75.00'	70.63'	38.18'	S20° 27' 00"E	68.05'
C20	015° 06' 53"	60.00'	15.83'	7.96'	N39° 52' 12"W	15.78'
C21	040° 29' 15"	60.00'	42.40'	22.13'	N12° 04' 07"W	41.52'
C22	019° 11' 17"	60.00'	20.09'	10.14'	N17° 46' 09"E	20.00'
C23	029° 27' 17"	60.00'	30.84'	15.77'	N42° 05' 26"E	30.51'
C24	024° 24' 48"	60.00'	25.57'	12.98'	N69° 01' 28"E	25.37'
C25	019° 12' 43"	60.00'	20.12'	10.15'	S89° 09' 46"E	20.02'
C26	027° 52' 45"	60.00'	29.19'	14.89'	S65° 37' 02"E	28.91'
C27	031° 20' 47"	60.00'	32.83'	16.83'	S36° 00' 16"E	32.42'
C28	047° 11' 15"	60.00'	49.41'	26.21'	S3° 15' 44"W	48.03'
C29	005° 41' 53"	60.00'	5.97'	2.99'	S29° 42' 19"W	5.96'
C30	031° 17' 06"	100.00'	54.60'	28.00'	N16° 54' 42"E	53.93'
C31	002° 10' 07"	325.00'	12.30'	6.15'	S2° 21' 13"W	12.30'
C32	012° 22' 57"	325.00'	70.23'	35.25'	S9° 37' 41"W	70.09'
C33	012° 18' 24"	325.00'	69.81'	35.04'	S21° 58' 19"W	69.67'
C34	010° 59' 01"	325.00'	62.30'	31.25'	S33° 37' 01"W	62.21'
C35	007° 35' 02"	325.00'	43.02'	21.54'	S42° 54' 03"W	42.99'
C36	009° 18' 26"	325.00'	52.79'	26.46'	S51° 20' 47"W	52.74'
C37	009° 00' 00"	325.00'	51.05'	25.58'	S60° 30' 00"W	51.00'
C38	010° 00' 00"	325.00'	56.72'	28.43'	S70° 00' 00"W	56.65'
C39	009° 57' 15"	325.00'	56.46'	28.30'	S79° 58' 37"W	56.39'
C40	011° 30' 29"	325.00'	65.28'	32.75'	N89° 17' 31"W	65.17'
C41	011° 11' 59"	325.00'	63.53'	31.87'	N77° 56' 16"W	63.43'
C42	014° 15' 23"	325.00'	80.87'	40.64'	N65° 12' 35"W	80.66'
C43	001° 39' 00"	325.00'	9.36'	4.68'	N57° 15' 23"W	9.36'
C44	033° 08' 58"	190.00'	109.93'	56.55'	S73° 00' 23"E	108.40'
C45	020° 11' 18"	190.00'	66.95'	33.82'	N80° 19' 29"E	66.60'
C46	003° 56' 29"	325.00'	22.36'	11.18'	S72° 12' 05"W	22.35'
C47	012° 21' 53"	325.00'	70.14'	35.20'	S80° 21' 16"W	70.00'
C48	030° 29' 22"	275.00'	146.34'	74.95'	S71° 41' 00"W	144.62'
C49	082° 30' 19"	20.00'	28.80'	17.54'	S19° 11' 09"W	28.38'
C50	010° 29' 05"	325.00'	59.47'	29.82'	N20° 49' 28"W	59.39'
C51	018° 18' 36"	325.00'	103.86'	52.38'	N6° 25' 37"W	103.42'
C52	010° 55' 05"	325.00'	61.93'	31.06'	N8° 11' 14"E	61.84'
C53	010° 49' 05"	325.00'	61.36'	30.77'	N19° 03' 19"E	61.27'
C54	013° 29' 40"	325.00'	76.54'	38.45'	N31° 12' 41"E	76.37'
C55	004° 06' 31"	215.00'	15.42'	7.71'	S35° 54' 16"W	15.41'
C56	005° 27' 13"	215.00'	20.46'	10.24'	S31° 07' 24"W	20.46'
C57	028° 11' 55"	215.00'	105.81'	54.00'	S14° 17' 51"W	104.75'
C58	035° 27' 51"	215.00'	133.08'	68.75'	S17° 32' 02"E	130.96'

Lot Area Table

Lot #	SQ. FT.	AC.
87	14,891.10	0.337
88	14,668.59	0.337
89	19,388.32	0.445
90	17,650.95	0.405
91	18,603.65	0.427
92	15,140.65	0.348
93	19,067.93	0.438
94	28,471.62	0.654
95	20,808.55	0.478
96	18,976.47	0.436
97	14,503.74	0.333
98	17,943.50	0.412
99	12,469.47	0.286
100	10,598.28	0.243
101	10,686.25	0.245
102	11,419.75	0.262
103	13,725.98	0.315
104	18,803.54	0.432
105	28,620.85	0.657
106	20,510.47	0.471
107	13,937.08	0.320
108	11,881.30	0.273
109	11,198.07	0.257
110	11,868.34	0.272
111	12,596.57	0.289
112	14,607.15	0.335
113	13,626.67	0.313
114	11,944.18	0.274
115	20,900.06	0.480
116	13,359.35	0.307
117	11,364.75	0.261
118	12,221.52	0.281
119	15,051.61	0.346
120	12,759.18	0.293
121	13,655.98	0.313

Front Setback Lines

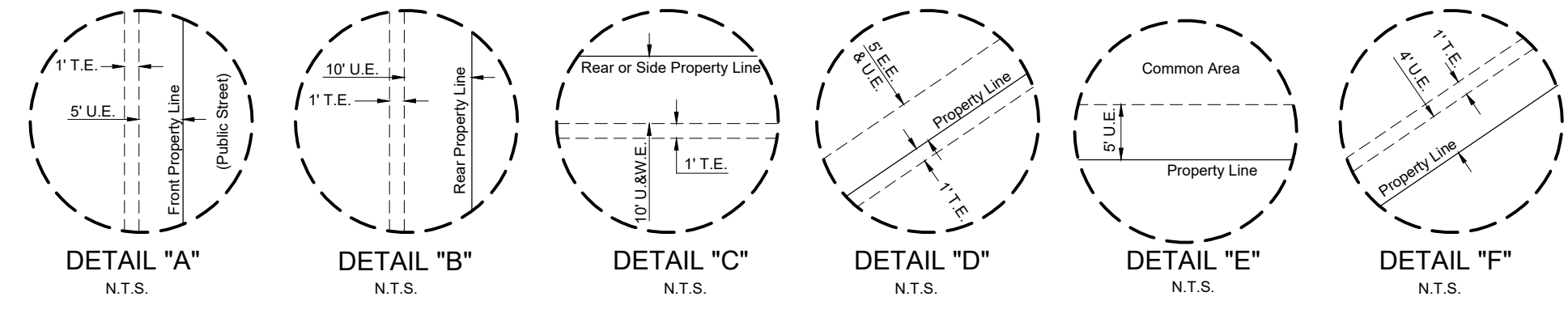
Line #	Length	Direction
S1	67.56'	N41° 00' 00"E
S2	87.40'	S61° 00' 00"W
S3	20.69'	S81° 00' 00"W
S4	36.73'	N77° 00' 00"W
S5	80.78'	N75° 00' 00"W
S6	71.30'	N76° 43' 45"W
S7	34.03'	S76° 43' 45"E
S8	45.31'	N66° 00' 00"W
S9	31.41'	S83° 38' 33"E
S10	32.56'	N71° 00' 00"E
S11	54.18'	S71° 00' 00"W
S12	10.29'	N76° 00' 00"E
S13	74.81'	N72° 20' 42"W
S14	77.64'	S40° 30' 45"E
S15	66.57'	S02° 00' 00"E
S16	64.87'	N02° 00' 00"W
S17	69.16'	S37° 00' 00"W
S18	74.99'	S69° 00' 00"W
S19	48.42'	N69° 00' 00"E
S20	37.13'	N81° 00' 00"W
S21	45.25'	N80° 00' 00"W
S22	43.58'	N77° 30' 00"W
S23	53.26'	N74° 00' 00"W
S24	73.20'	N64° 00' 00"W
S25	91.19'	N44° 00' 00"W
S26	16.27'	N24° 00' 00"W
S27	24.87'	N04° 00' 00"W
S28	27.18'	N00° 00' 00"W
S29	58.15'	N04° 00' 00"E
S30	44.83'	N12° 00' 00"E
S31	33.24'	N25° 00' 00"E
S32	25.45'	N22° 30' 00"E
S33	31.58'	N02° 00' 00"W
S34	28.63'	N11° 00' 00"W
S35	31.73'	N05° 00' 00"W
S36	36.12'	N12° 58' 22"W
S37	44.84'	S80° 00' 00"E
S38	39.54'	N89° 00' 00"E
S39	50.62'	S78° 30' 00"E
S40	44.14'	S66° 00' 00"E
S41	49.52'	S71° 00' 00"E
S42	39.80'	S75° 00' 00"W
S43	72.00'	S45° 00' 00"W
S44	43.53'	S07° 35' 37"W
S45	23.20'	S07° 35' 37"W
S46	72.00'	S08° 00' 00"E

LEGEND & ABBREVIATIONS

- FND. No. 4 REBAR
- SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- R.O.W. - RIGHT-OF-WAY
- S.E. COR. - SOUTHEAST CORNER
- SQ. FT. - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- U.&W.E. - UTILITY & WALL EASEMENT DEDICATED BY THIS PLAT
- D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- T.E. - TECHNOLOGY EASEMENT DEDICATED BY THIS PLAT
- E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- FSBL & SW EASE. - FRONT SETBACK LINE & SIDEWALK EASE.
- N.T.S. - NOT TO SCALE-DETAILS
- SWSC - SHARYLAND WATER SUPPLY CORPORATION
- S.W.D. - SPECIAL WARRANTY DEED
- DOC. NO. - DOCUMENT NUMBER
- ⊕ - ROAD CENTER LINE
- * - CURVED SETBACK LINE
- - INDICATOR FOR BEGIN AND END CURVE

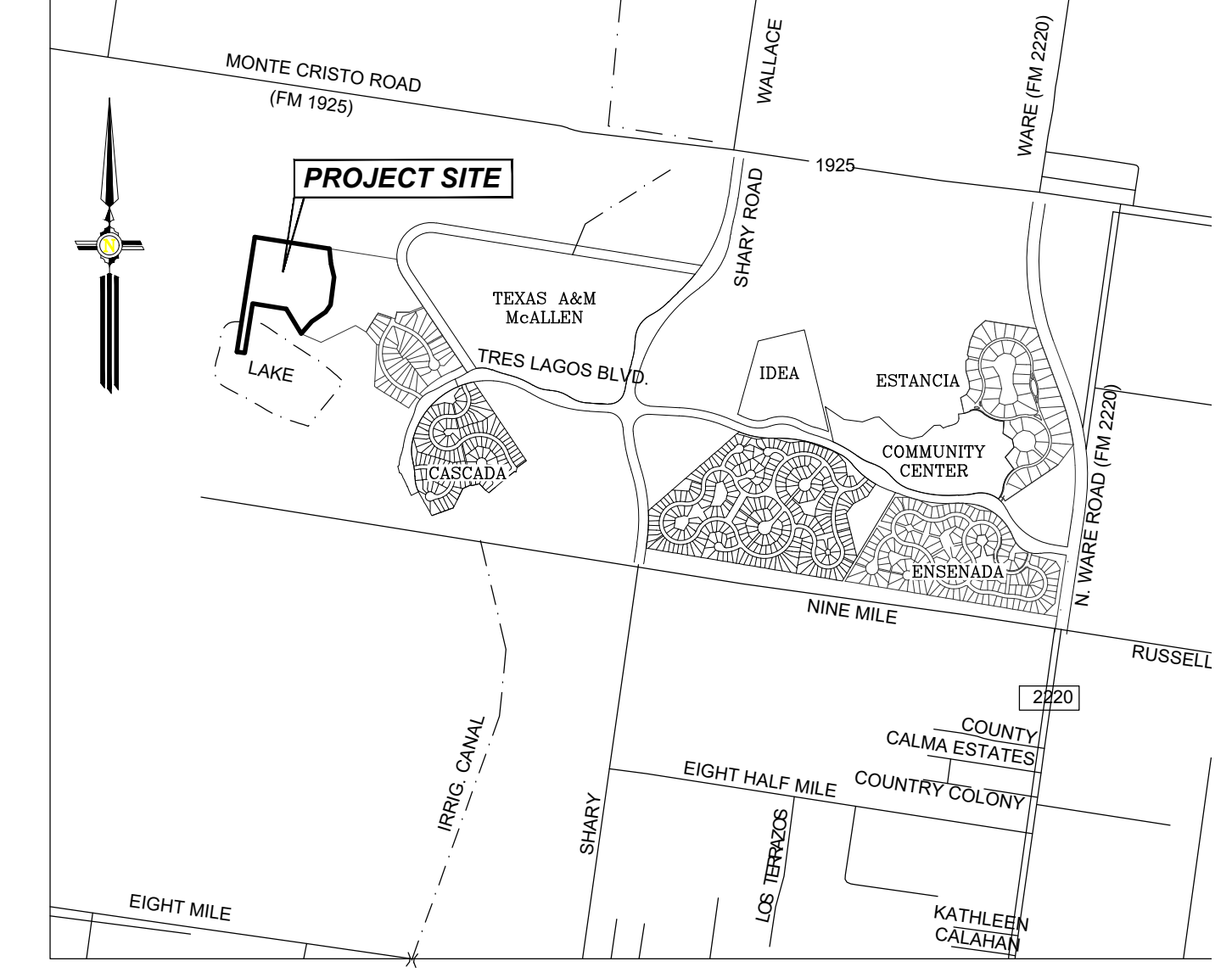
SUBDIVISION MAP OF AQUALINA AT TRES LAGOS PHASE III SUBDIVISION

SUBDIVISION OF 21.496 ACRES
OUT OF SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS



LOCATION MAP

SCALE: 1" = 2,000'



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: R.N./J.L.G./R.D.J. DATE: 03-31-2022
SURVEYED, CHECKED: _____ DATE: _____
FINAL CHECK: _____ DATE: _____



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 5/31/2024

SUBDIVISION NAME: AQUALINA AT TRES LAGOS PHASE III	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Major Collector (1/2): N. Stewart Road dedication as needed for 40 ft. from centerline for 80 ft. total R.O.W. Paving <u> 52 ft. </u> Curb & gutter <u> Both Sides </u> Revisions Needed: -Plat proposes 30 ft. of ROW, finalize/clarify ROW requirements prior to NTP/recording. Any changes to plat may require board action in the future. -Remove "Prop" from any dedications, and label as ROW dedicated by this plat as applicable prior to recording. -Label total ROW after accounting for dedication from center line as "Total", prior to recording. -Label total ROW after accounting for dedication from Existing ROW line across N. Stewart Road as "Total", prior to recording. -Provide a copy of document regarding referenced existing dedications prior to recording. -Recording of Contractual Agreement for Stewart Rd. will be required prior to recording of the Plat. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>Interior streets: Aqualina Way 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides Revisions needed: - Street names will be established prior to recording. Finalize street name requirement prior to recording/Mylar printing. - Clarify islands in ROW, remove or labels as common areas, islands are not required as part of plat layout, finalize prior to recording. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>Interior streets: Aqualina Lane 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides Revisions needed: - Street names will be established prior to recording. Finalize street name requirement prior to recording/Mylar printing. - Clarify islands in ROW, remove or labels as common areas, islands are not required as part of plat layout, finalize prior to recording. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>Paving <u> </u> Curb & gutter <u> </u> **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	NA
<p>* 1,200 ft. Block Length: common areas and access walks/drives provided. **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 600 ft. Maximum Cul-de-Sac: Cul-de-sac street length does not apply provided that the development uses the "coving method" and emergency access walks/drives are provided, per agreement. ***As per Fire Department, paving must be 96 ft. in diameter face to face. They recommend removal of island, but if it remains, island must meet 32 ft. paving all around and must be fire lane striped, finalize prior to NTP/recording. **Subdivision Ordinance: Section 134-105</p>	<p>Applied</p>
<p>ALLEYS</p>	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	<p>NA</p>
<p>SETBACKS</p>	
<p>* Front: 20 ft. minimum or greater for setbacks. ***The proposed subdivision complies with minimum setback requirements, as per agreement. ****Zoning Ordinance: Section 138-356 * Rear: 11 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Sides: 5 ft. or greater for easements. **The proposed subdivision complies with minimum setback requirements, as per agreement. **Zoning Ordinance: Section 138-356 * Side corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>* 4 ft. wide minimum sidewalk required along N. Stewart Road. Interior Sidewalks: City ordinance will not apply provided a sidewalk having at least an adequate width for pedestrian and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit of development, per agreement. Pending Items: -Please submit sidewalk plan for this development, prior to recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>
	<p>Required</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Stewart Road. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Applied</p>
	<p>Applied</p>
	<p>Required</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

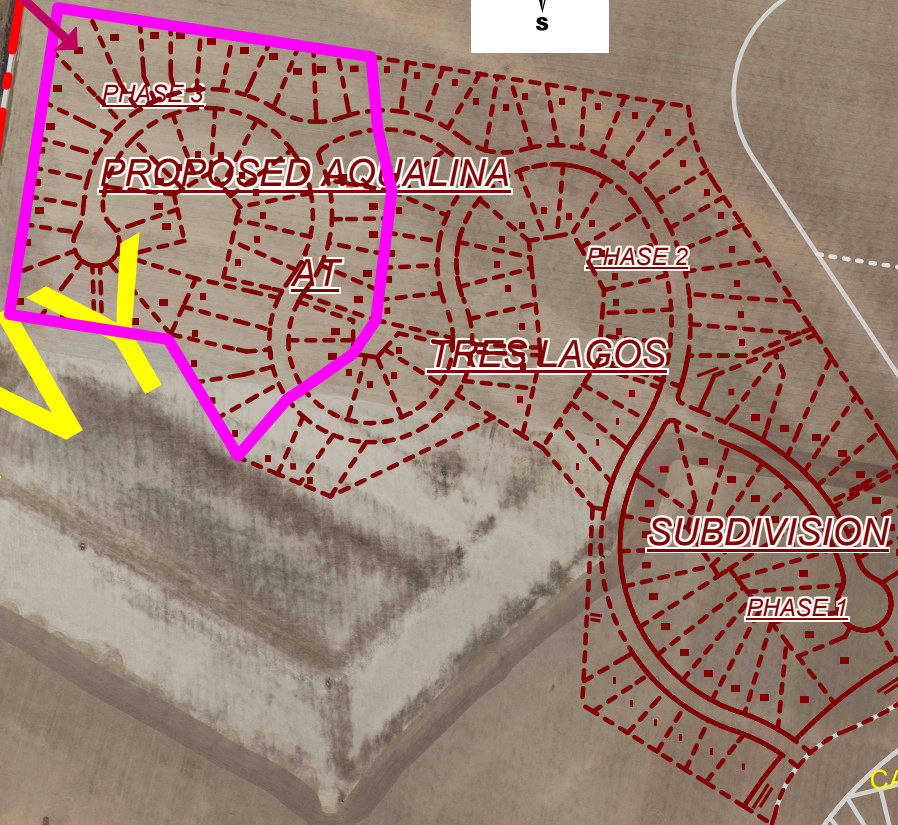
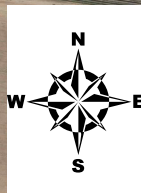
NOTES	
<p>* No curb cut, access, or lot frontage permitted along North Stewart Road. Revisions Needed: **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc., must be maintained by the lot owners/PID and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Applied
	NA
	Applied
	NA
	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets: Access to subdivision from Aqualina at Tres Lagos Phase I & Proposed Phase II subdivision, which has access to Tres Lagos Boulevard. **The proposed subdivision complies with minimum access points, as per agreement. ***Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area: Lots must comply with the minimum 50 ft. frontage requirement and 54 ft. on corner lots, or in compliance per Agreement. **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: R-1 (Single-Family Residential) District Proposed: R-1 (Single-Family Residential) District **Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process. ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Applied
	NA
PARKS	
<p>* Land dedication in lieu of fee. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Pending review by City Manager's Office. As per Parks Department, In this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Master Trip Generation approved, no TIA is required. * Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Master Trip Generation approved, no TIA is required.</p>	<p>Compliance NA</p>
<p>COMMENTS</p>	
<p>Comments: *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat. *Must comply with the Agreement and Public Improvement District (PID) conditions. *Must comply with other requirements, as may be applicable, prior to recording. *Any documents being recorded by separate instrument must be finalized prior to recording. *The subdivision was approved in Final form at the Planning and Zoning Commission meeting of August 8, 2023, subject to the conditions noted. *Reason for the Revised Final was in regards to changes to Lot Layouts & Lot Configurations regarding the Common Areas (Common Area 39 reduction).</p>	<p>Applied</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM, SUBJECT TO CONDITIONS NOTED.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



COMPANY



City of McAllen
Planning Department

SUB2023-0110

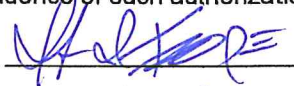
311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Mediterranean Subdivision</u>
	Legal Description <u>Survey plat showing a 4.687-acre tract of land, more or less, out of lots 52 thru 54, out of lots 35-68, inclusive, section 22A, Tex-Mex Subdivision, Hidalgo County, Texas, Volume 12, Page 55, H.C.M.R.</u>
	Location <u>West side of Ware Rd, Approx. 258 feet south of Mile 9 North Rd.</u>
	City Address or Block Number <u>13931 N. WARE RD</u>
	Total No. of Lots <u>15</u> ^{KF} Total Dwelling Units <u>13</u> ^{KF} Gross Acres <u>4.687</u> Net Acres <u>3.602</u> <small>05/16/24 05/16/24</small>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (<u>1.454</u> Acres) / <input type="checkbox"/> Residential (<u>9</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No <small>C-3 C-3 KF</small>
	Existing Zoning <u>R-2</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input type="checkbox"/> No / <input checked="" type="checkbox"/> Yes: Date <u>05/16/24</u>
	Existing Land Use <u>General business / duplex</u> Proposed Land Use <u>business / duplex-fourplex residential</u>
	Irrigation District # <u>United Irrigation</u> Water CCN: <input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>294163</u> (C-3)	
Estimated Rollback Tax Due <u>not on tax roll</u> Tax Dept. Review <u>UPG</u>	
Owner	Name <u>Ancer Properties LLC</u> Phone <u>(956) 522-3299</u>
	Address <u>P.O. BOX 1198</u> E-mail <u>jorge@ancerpools.com</u>
	City <u>MISSION</u> State <u>TX</u> Zip <u>78512</u>
Developer	Name <u>Ancer Properties LLC</u> Phone <u>(956) 522-3299</u>
	Address <u>P.O. BOX 1198</u> E-mail <u>jorge@ancerpools.com</u>
	City <u>MISSION</u> State <u>TX</u> Zip <u>78512</u>
	Contact Person <u>Jorge Ancer</u>
Engineer	Name <u>Iden Treviño - Treviño Engineering</u> Phone <u>(956) 283-8847</u>
	Address <u>2211 E. Griffin Pkwy Ste 160</u> E-mail <u>ident@trevinoengineering.com</u>
	City <u>MISSION</u> State <u>TX</u> Zip <u>78512</u>
	Contact Person <u>Karime Farachala - karime@trevinoengineering.com</u>
Surveyor	Name <u>Homero Luis Gutierrez</u> Phone <u>(956) 369-0988</u>
	Address <u>P.O. BOX 548</u> E-mail <u>homero.gutierrez@sbcglobal.net</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78505</u>

KF

RECEIVED
OCT 09 2023
BY: [Signature]

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application	<p style="text-align: center;"><u>In Person Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps - 2 8 ½" by 11" copies/legible copies of plat with name & north arrow - 6 Folded blue-line prints of the proposed plat - 2 Warranty Deeds (identifying owner on application) - AutoCAD 2005 DWG file and PDF of plat - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation (if applicable) 	<p style="text-align: center;"><u>Email Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - Sealed Survey - Location Map - Plat & Reduced Plat - Warranty Deed - DWG File - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation, if applicable <p><small>*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents*</small></p> <p><small>*Submit documents to subdivisions@mcallen.net</small></p> <p style="text-align: center;">*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL*</p>
	<p>PLAT TO SHOW:</p> <ul style="list-style-type: none"> - Metes and bounds - Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts - Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines - North arrow, scale and vicinity map - Name & dimension of adjoining street ROWs (total width & width from centerline) <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net</small></p>	
Owner(s) Signature(s)	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>10/09/2023</u></p> <p>Print Name <u>IDEN I. TREVINO, PE</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p style="text-align: center; font-size: small;">The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion</p>	

VAR 2024-0024



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description	A 4.687-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOTS 52 THRU 54, OUT LOTS 35-68, INCLUSIVE, SECTION 229, TEX-MEX SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 12, PAGE 55, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS		
	Proposed Subdivision (if applicable)	MEDITERRANEAN SUBDIVISION (PROPOSED)		
	Street Address	W. WARE RD (HIGHWAY FM 2220), APPROX 258 FT SOUTH OF MILE 9 NORTH RD		
	Existing Zoning	R-2	C-3	Existing Land Use
				MULTIFAMILY & GENERAL BUSINESS RESIDENTIAL TOWNHOUSE

Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)

Applicant	Name	TREVINO ENGINEERING	Phone	956-283-8847
	Address	2211 E. GRIFFIN PKWY, SUITE 160	E-mail	ident@trevisoengineering.com karime@trevisoengineering.com
	City	MISSION	State	TEXAS

Zip 78572

Owner	Name	JORGE ABRAHAM ANCER	Phone	956-522-3299
	Address	P.O. BOX 1198	E-mail	jorge@ancerpools.com
	City	MISSION	State	TEXAS

Zip 78572

Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?	
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.	
	Signature	Date 05/14/2024

Print Name IDEN I. TREVINO Owner Authorized Agent

Office	*FOR OFFICE USE ONLY*	
	APPLICATION FILING FEE:	<input checked="" type="checkbox"/> \$250.00
	Accepted by <u>KI</u>	Payment received by _____ Date _____

Rev 06/21

RECEIVED

MAY 16 2024

By NG



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Interior street dedicatin 60ft total R.O.W. requested

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

Currently, there is arecorded access 50ft R.O.W. easement
DOC #917187 H.C.O.R. street R.O.W. is lcoated at
recorded access easement

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

Single street with 50ft R.O.W. in lieu of 60ft R.O.W.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

Single street with 50ft R.O.W. in lieu of 60ft R.O.W.



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

900 ft block length for R-3T zone district requested

Culs-de-sac shall not exceed 600 ft in length

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

Currently, the length of street is 817.96 ft

No street proposed within the 817.96 block length

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

Culs-de-sac is at 817.96 ft in lieu of the required 600 ft in length

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The street is a single street with a culs-de-sac, no other streets in subdivision



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The dedication of a N/S collector street is being requested on the west property line

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

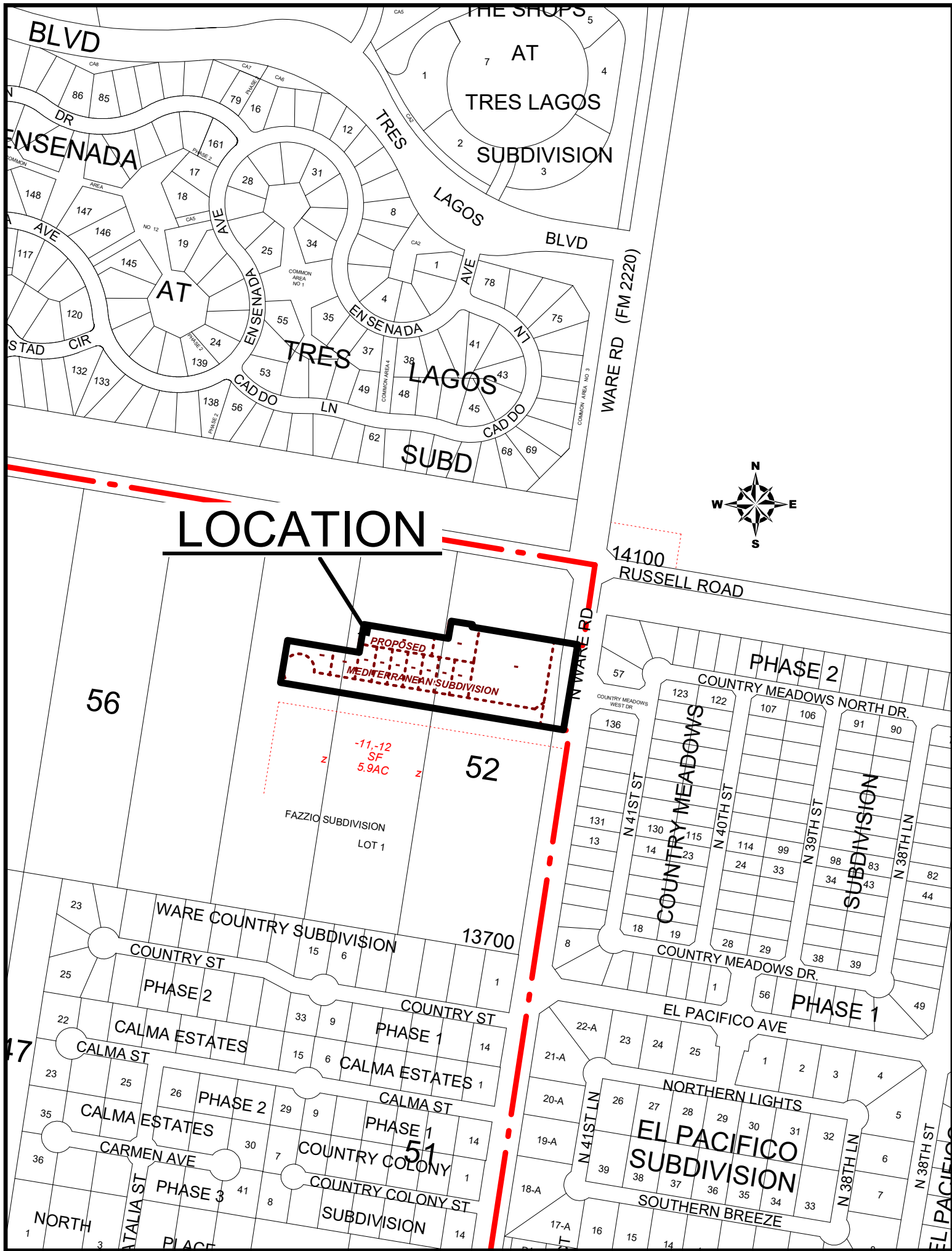
Currently, there is not street along proposed N/S collector street alignment

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

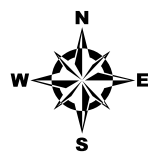
Since no street has been constructed at N/S collector street alignment, no one is being affected

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

No street has been constructed at N/S collector alignment



LOCATION



PROPOSED
MEDITERRANEAN SUBDIVISION

-11,-12
SF
5.9AC

FAZZIO SUBDIVISION
LOT 1

56

52

13700

51

47

BLVD

ENSENADA DR

AVE

STAD CIR

ENSENADA

ENSENADA

ENSENADA

ENSENADA

ENSENADA

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THE STOPS
AT
TRES LAGOS
SUBDIVISION

TRES LAGOS

TRES LAGOS
SUBD

WARE RD (FM 2220)

14100
RUSSELL ROAD

PHASE 2

COUNTRY MEADOWS
SUBDIVISION

COUNTRY MEADOWS
SUBDIVISION

WARE COUNTRY SUBDIVISION

PHASE 2

CALMA ESTATES

PHASE 2

CALMA ESTATES

PHASE 3

COUNTRY ST

COUNTRY ST

CALMA ST

PHASE 1

COUNTRY COLONY

COUNTRY COLONY

SUBDIVISION

EL PACIFICO AVE

NORTHERN LIGHTS
EL PACIFICO
SUBDIVISION

SOUTHERN BREEZE

N 41ST LN

N 38TH LN

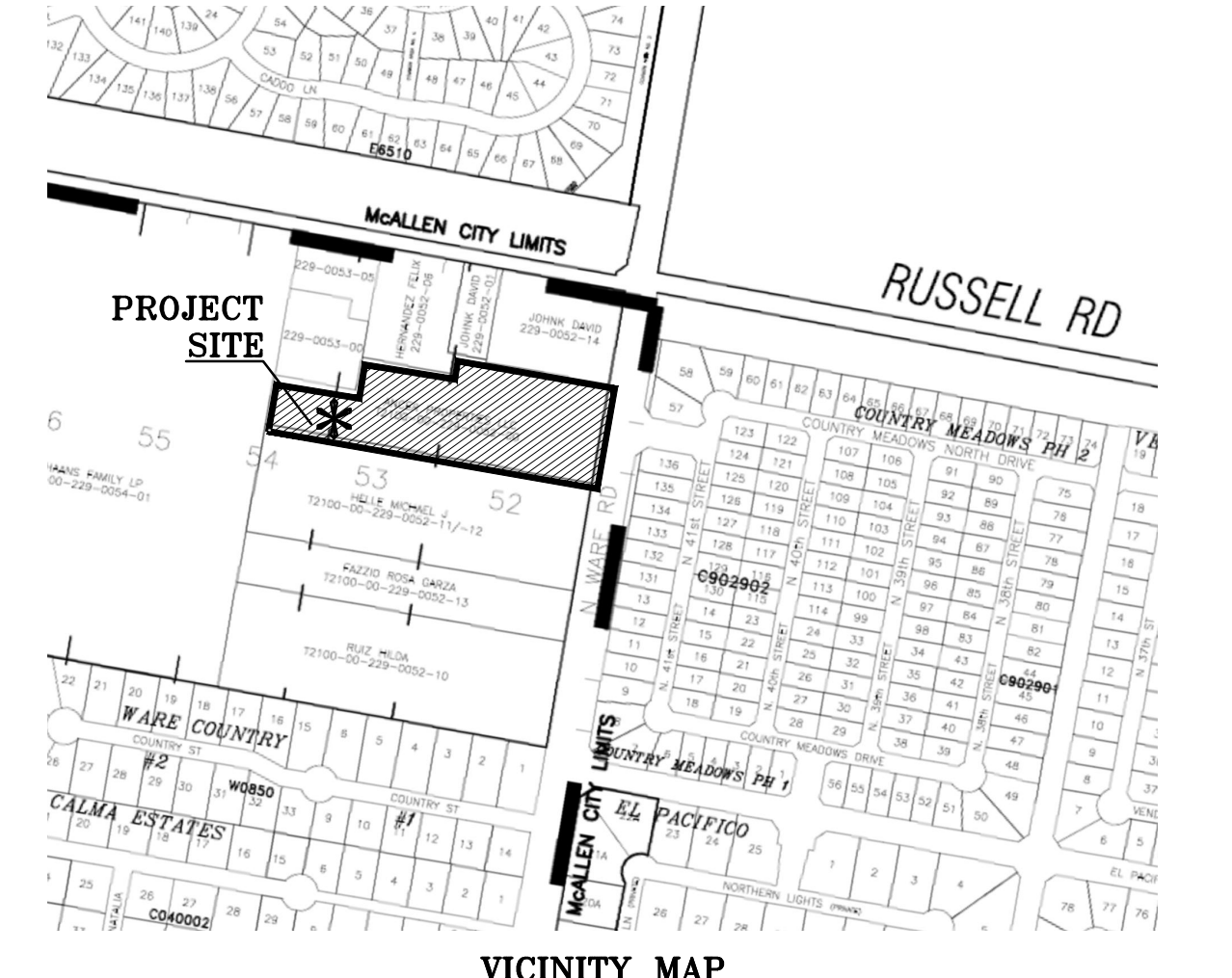
N 38TH LN

EL PACIFICO



SCALE: 1"=40'
BEARING BASIS AS PER NAD 1983
STATE PLANE TEXAS
SOUTH FIPS 4205 FEET

- LEGEND**
- SET IRON ROD WITH PLASTIC CAP STAMPED 2791
 - ⊙ FOUND IRON ROD
 - ⊕ FOUND PIPE



METES AND BOUNDS

A 4.687-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOTS 52 THRU 54, OUT LOTS 35-68, INCLUSIVE SECTION 229, TEX-MEX SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 12, PAGE 55, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED ON THE WEST SIDE OF WARE ROAD (HIGHWAY FM 2220), APPROXIMATELY 258 FEET SOUTH OF MILE 9 NORTH ROAD, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A COTTON PICKER SPINDLE (N:16647373.30, E:1067388.46) FOUND AT THE INTERSECTION OF THE APPARENT EXISTING 80-FOOT RIGHT-OF-WAY CENTERLINE OF SAID WARE ROAD (FM 2220) AND THE APPARENT EXISTING 60-FOOT RIGHT-OF-WAY CENTERLINE OF SAID MILE 9 NORTH ROAD FOR THE APPARENT NORTHEAST CORNER OF SAID LOT 52; THENCE, S 81°54'00" W, WITH THE SAID WARE ROAD EXISTING RIGHT-OF-WAY CENTERLINE AND THE APPARENT EAST LOT LINE OF SAID LOT 52 TO A POINT OF BEGINNING A DISTANCE OF 273.87 FEET TO A POINT FOR THE APPARENT SOUTHWEST CORNER OF A 2.62-ACRE TRACT OF LAND VESTED IN DAVID JOHNNK (DOCUMENT NO. 723693, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE EASTERNMOST NORTHEAST CORNER OF SAID 4.687-ACRE TRACT, AND ALSO BEING THE POINT OF BEGINNING OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81°54'00" W, WITH THE SAID WARE ROAD EXISTING RIGHT-OF-WAY CENTERLINE, THE EAST LOT LINE OF LOT 52 AND THE APPARENT SOUTHERNMOST EAST LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 273.87 FEET TO A POINT FOR THE APPARENT NORTHEAST CORNER OF A 6.173-ACRE TRACT OF LAND VESTED IN MICHAEL JOSEPH HELLE (DOCUMENT NO. 2866591, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHWEST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 80°31'30" W, PARALLEL TO THE APPARENT NORTH LOT LINE OF SAID 6.173-ACRE TRACT VESTED IN MICHAEL JOSEPH HELLE AND THE SOUTH LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 135.55 FEET TO A POINT FOR THE APPARENT EXISTING WEST RIGHT-OF-WAY LINE OF SAID WARE ROAD, THENCE ANOTHER DISTANCE OF 388.36 FEET PAST THE APPARENT COMMON LOT LINE OF SAID LOT 52 AND LOT 53, THENCE ANOTHER DISTANCE OF 300.01 FEET PAST THE APPARENT COMMON LOT LINE OF SAID LOT 53 AND LOT 54, CONTINUING FOR A TOTAL DISTANCE OF 908.24 FEET TO A No. 4 REBAR FOUND ON THE APPARENT EAST LOT LINE OF A 29.48-ACRE TRACT OF LAND VESTED IN PIM-HAANS LP (DOCUMENT NO. 2840162, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) FOR THE SOUTHWEST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 08°53'00" E, PARALLEL TO THE APPARENT EAST LOT LINE OF SAID LOT 54, AND WITH THE APPARENT EAST LOT LINE OF SAID 29.48-ACRE TRACT AND THE SOUTHERNMOST WEST LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 135.55 FEET TO A No. 4 REBAR FOUND FOR THE APPARENT SOUTHWEST CORNER OF A 1.20-ACRE TRACT OF LAND VESTED IN JOSEPH W. & ROSA LINDA TREVINO (DOCUMENT NO. 1005710, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHERNMOST NORTHWEST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

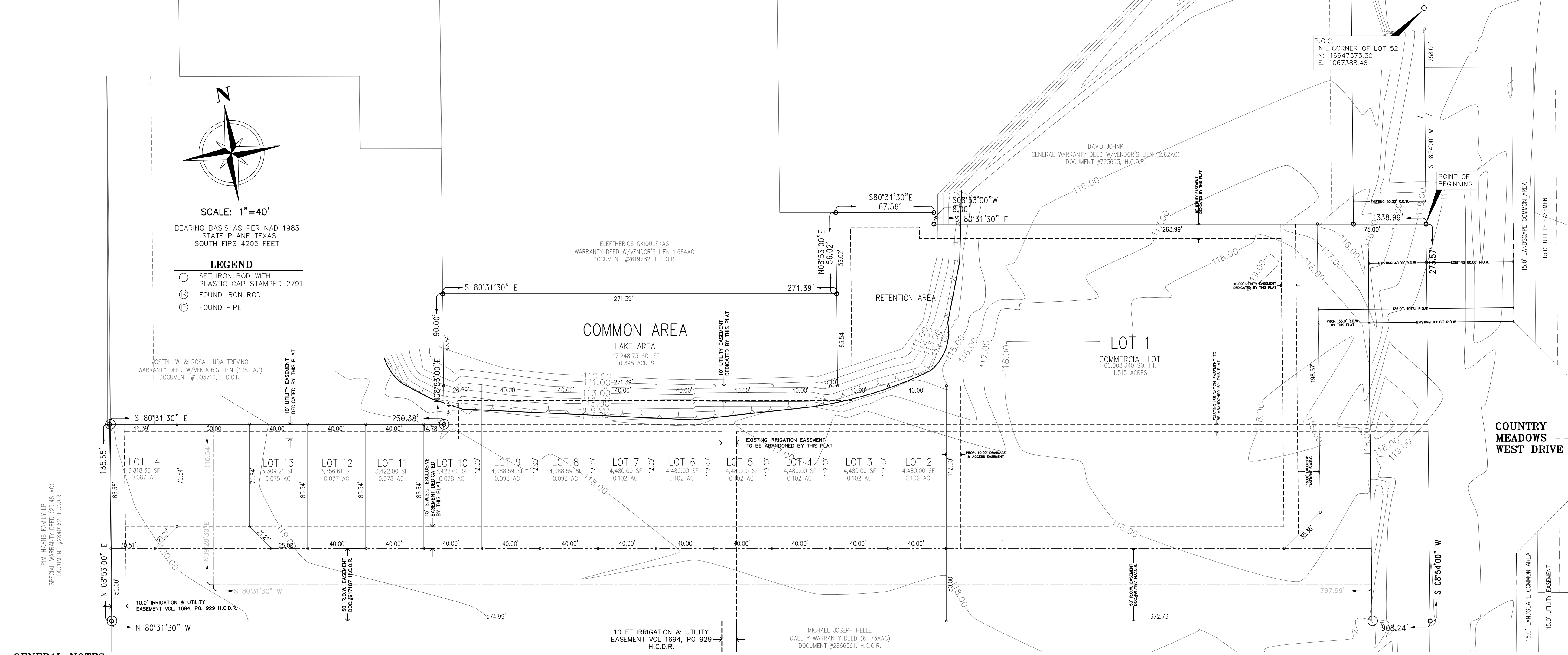
THENCE, S 80°31'30" E, PARALLEL TO THE APPARENT NORTH LOT LINE OF SAID LOT 54, AND WITH THE APPARENT SOUTH LOT LINE OF SAID 1.20-ACRE TRACT VESTED IN JOSEPH W. & ROSA LINDA TREVINO, AND A WESTERN LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 90.00 FEET TO A POINT (NOT SET IN POND) FOR THE APPARENT SOUTHWEST CORNER OF A 1.684-ACRE TRACT OF LAND VESTED IN ELEFTHERIOS KIOULEKAS (DOCUMENT NO. 261282, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND AN EXTERNAL CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 80°31'30" E, PARALLEL TO THE APPARENT NORTH LOT LINE OF SAID LOT 53, AND WITH THE APPARENT SOUTH LOT LINE OF SAID 1.684-ACRE TRACT VESTED IN ELEFTHERIOS KIOULEKAS, AND THE NORTHERN LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 249.51 FEET PAST THE COMMON LINE OF SAID LOT 53 AND LOT 52, CONTINUING FOR A TOTAL DISTANCE OF 271.39 FEET TO POINT (NOT SET IN POND) FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.684-ACRE TRACT AND AN INTERNAL CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 08°53'00" E, PARALLEL TO THE APPARENT WEST LOT LINE OF SAID LOT 52, AND WITH THE APPARENT SOUTHERNMOST EAST LOT LINE OF SAID 4.687-ACRE TRACT VESTED IN ELEFTHERIOS KIOULEKAS, AND A WESTERN LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 56.02 FEET TO POINT (NOT SET IN POND) ON AN APPARENT NORTHERNMOST SOUTH LOT LINE OF SAID 2.62-ACRE TRACT OF LAND VESTED IN DAVID JOHNNK FOR THE APPARENT NORTHERNMOST NORTHWEST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08°31'30" E, PARALLEL TO THE SAID NORTH LOT LINE OF LOT 52, AND WITH THE SAID NORTHERNMOST SOUTH LOT LINE OF SAID 2.62-ACRE TRACT VESTED IN DAVID JOHNNK, AND THE APPARENT NORTHERNMOST NORTH LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 67.56 FEET TO POINT (NOT SET IN POND) FOR AN APPARENT INTERNAL CORNER OF SAID 2.62-ACRE TRACT OF LAND VESTED IN DAVID JOHNNK, AND THE APPARENT NORTHERNMOST NORTHEAST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08°53'00" W, PARALLEL TO THE APPARENT WEST LOT LINE OF SAID LOT 52 AND WITH THE SAID SOUTHERNMOST SOUTH LOT LINE OF SAID 4.687-ACRE TRACT, A DISTANCE OF 288.99 FEET PAST A No. 4 REBAR FOUND ON THE SAID WARE ROAD EXISTING WEST RIGHT-OF-WAY LINE, CONTINUING FOR A TOTAL DISTANCE OF 338.99 FEET TO THE SAID POINT FOR THE EASTERNMOST NORTHEAST CORNER OF SAID 4.687-ACRE TRACT OF LAND HEREIN DESCRIBED, ALSO BEING THE POINT OF BEGINNING, CONTAINING A GROSS OF 4.687 ACRES OF LAND, OF WHICH 2.289 OF AN ACRE LIES IN EXISTING RIGHT-OF-WAY, 0.619 OF AN ACRE LIES IN RIGHT-OF-WAY EASEMENT, 0.018 OF AN ACRE LIES IN PIPELINE EASEMENT, 0.047 OF AN ACRE LIES IN SHARLAND WATER SUPPLY CORPORATION EASEMENT, AND 0.116 OF AN ACRE LIES IN IRRIGATION & UTILITY EASEMENT, FOR A NET OF 3.598 ACRES OF LAND, MORE OR LESS.



- GENERAL NOTES**
- THE SUBDIVISION IS ON FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN COMMUNITY PANEL No. 480334 0295 D MAP REVISED: JUNE 6, 2000
 - BENCHMARK =
 - COMMERCIAL MINIMUM BUILDING SETBACKS (LOT 1)
FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS OR IN-LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
CORNER: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
 - MULTIFAMILY MINIMUM BUILDING SETBACKS (LOTS 2-14)
FRONT: 20 FEET EXCEPT 15 FEET FOR ENCLOSED CARPORT OR GREATER FOR EASEMENT
REAR: 10 FEET OR GREATER FOR EASEMENT
SIDE: 6 FEET OR GREATER FOR EASEMENT
CORNER: 10 FEET OR GREATER FOR EASEMENT
GARAGE: 18 FEET EXCEPT WHERE A GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
 - A TOTAL OF 0.350 ACRE FEET (15,282 CUBIC FEET) OF STORM WATER RETENTION IS REQUIRED FOR THIS SUBDIVISION, FOR COMMERCIAL 0.129 ACRE FEET (5,640 CUBIC FEET) AND FOR MULTIFAMILY 0.221 ACRE FEET (9,642 CUBIC FEET).
 - A 5 FT WIDE MINIMUM SIDEWALK REQUIRED ON N. WARE ROAD (FM 2220) AND 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS AND OTHER STREETS APPLICABLE.
 - ALL LOT CORNER MARKED WITH A 1/2-INCH DIAMETER ROD
 - ALL UTILITIES IN THIS SUBDIVISION SHALL BE UNDERGROUND
 - OWNERS/DEVELOPERS SHALL BE RESPONSIBLE FOR MAINTENANCE OF RETENTION PONDS
 - 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES AND OTHER STREET AS APPLICABLE, PRIOR TO FINAL.
 - 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - COMMON AREAS, PRIVATE SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF McALLEN.
 - SHOULD ANY ENTITIES HAVING AUTHORITY OVER THE RECORDED EASEMENTS DEDICATED HEREIN NEED TO REPAIR, REPLACE, INSTALL, OR IN ANY WAY REQUIRE EXCAVATION ACCESS TO THE LINES THEREIN, HAT ENTITY SHALL HAVE THE RIGHT TO ACCESS THE EASEMENT WHICH MAY CAUSE INCIDENTAL DAMAGE TO PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, WALLS, SLABS, LANDSCAPING AND PRIVATE IRRIGATION SYSTEMS, OWNER(S) OF PROPERTIES SHALL HOLD HARMLESS AND INDEMNIFY ANY SUCH ENTITY FROM THE DAMAGES AND/OR REPLACEMENT COSTS CAUSED BY NEEDED WORK.
 - ALL IRRIGATION DISTRICT EASEMENTS, IF SHOWN, ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT IT EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES, OR OTHER WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
 - A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN FOR LOT 1 AND WILL BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF McALLEN.
 - NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. WARE ROAD. LOT 1 WILL NOT BE GRANTED ACCESS OFF N. WARE ROAD.

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **MEDITERRANEAN SUBDIVISION** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

**HIDALGO COUNTY
DRAINAGE DISTRICT No. 1**

HIDALGO COUNTY DRAINAGE DISTRICT No. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 42-211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

ANCER PROPERTIES, LLC.

ANCER PROPERTIES, LLC
MARIA DALIA ANGER, ITS PRESIDENT

ANCER PROPERTIES, LLC

ANCER PROPERTIES, LLC
JORGE ABRAHAM ANGER, ITS VICE PRESIDENT

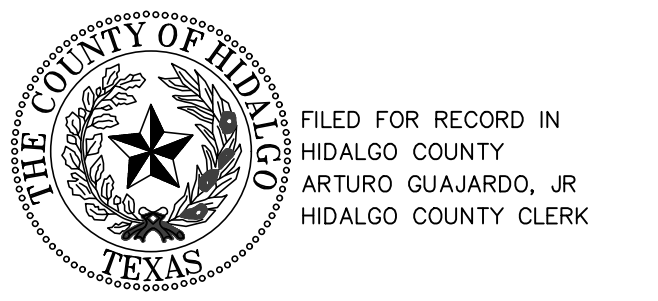
**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED MARIA DALIA ANGER AND JORGE ABRAHAM ANGER KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES ON _____

PABLO RAMOS JR.
Notary Public, State of Texas
Comm. Expires 08-13-2025
Notary ID #122892193



RAUL SESIN, P.E., CFM
GENERAL MANAGER
HIDALGO COUNTY DRAINAGE DISTRICT No.1

**HIDALGO COUNTY
UNITED IRRIGATION DISTRICT**

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAY OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WEATHER SHOWN OR NOT.

HOMERO LUIS GUTIERREZ RPLS NO. 2791

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

HOMERO LUIS GUTIERREZ RPLS NO. 2791

CITY OF McALLEN PLANNING & ZONING

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

CITY OF McALLEN MAYOR

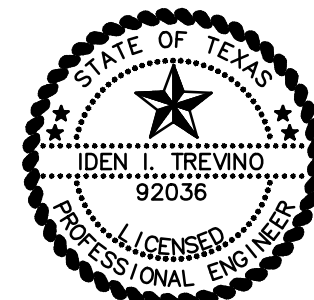
I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

MEDITERRANEAN SUBDIVISION

A 4.687-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOTS 52 THRU 54, OUT LOTS 35-68, INCLUSIVE SECTION 229, TEX-MEX SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 12, PAGE 55, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK HIDALGO COUNTY, TEXAS.



PRINCIPAL CONTACTS:		ADDRESS	CITY & ZIP	PHONE
OWNER:	ANCER PROPERTIES, LLC	P.O. BOX 1198	MISSION, TEXAS 78572	(956) 522-3299
ENGINEER:	IDEN I. TREVINO, P.E.	2211 E. GRIFFIN PKWY, SUITE 160	MISSION, TEXAS 78572	(956) 283-8847
SURVEYOR:	HOMERO LUIS GUTIERREZ, RPLS	P.O. BOX 548	McALLEN, TEXAS 78505	(956) 369-0988

ON _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY TEXAS

BY: _____ DEPUTY

DATE

CITY SECRETARY

DATE

DATE OF PREPARATION: FEBRUARY 02, 2024

TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847 2211 E. Griffin Pkwy, Suite 160
Mission, Texas 78572
ident@trevinoengineering.com



Reviewed On: 5/30/2024

SUBDIVISION NAME: MEDITERRANEAN SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. Ware Road: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: By the States Curb & gutter: By the State Revisions needed:</p> <ul style="list-style-type: none"> - The existing ROW line and centerline is not clear. Remove the contour lines from the ROW and use bigger font to show ROW details prior to final. - Label centerline and existing ROW on both sides with the document number for the existing ROW prior to final. - Show the ROW dedicated by plat, and ROW dedication from centerline, and total ROW including the dedication prior to final. - Clarify what appears to be a unlabeled 35' area along the Eastern plat boundary to establish dedication requirements, prior final. - Ensure that ROW complies with State plans for North Ware Road, any acquisitions should be include with document number, dimensions, and labeling, finalize prior to final. - Reference the document number on the plat for any existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review prior to final. - Please review dedication requirements as noted above, label dedications by this plat, prior to final. - Remove any reference to "Proposed" ROW prior to final. Use "dedicated by this plat" for referencing any ROW dedicated by this plat. - Revise reference from ""Future"" to ""Total"" , prior to final. <p>**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are required prior to recording.</p> <p>Interior Street: Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed:</p> <ul style="list-style-type: none"> - Interior street references a document number on the Plat for the R.O.W. easement, provide copy of this for review prior to final. - Proposed Interior dedications present 50 ft. ROW, Subdivision layout does not comply with ROW requirements, please revise accordingly prior to final. - Street names will be established prior to final and plat will need to revised accordingly. - Clarify 10 ft. Easement dedicated to United Irrigation within ROW, need to resolve any issues with overlap, finalize prior to final. - Identify centerline for proposed interior street and existing Country Meadows West Drive and provided distance from centerline to centerline to verify compliance with 125 ft. from centerline to centerline for street jogs.(134-105(d)) finalize prior to final. <p>**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording</p> <p>** Project Engineer, on behalf of the developer, submitted a variance application (VAR2024-0024) including a variance to provide 50 ft. ROW for the interior streets in lieu of 60 ft. ROW requirement. The applicant stated that the proposed ROW is an existing 50 ft. recorded access easement.</p>	<p>Non-compliance</p> <p>Non-compliance</p>

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<p>N/S collector(Western Boundary): Dedication as needed for 60 ft. total R.O.W. Paving _40 ft._ Curb & gutter: Both Sides. Pending Items: -Please provide ownership map to verify that no landlocked properties exist or will be created, prior to final. -Clarify status of remnant tract along northern plat boundary, finalize prior to final. -Street alignment, transitions and R.O.W being reviewed by staff and plat would need to be revised accordingly as applicable prior to final once ROW requirements have been established. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	<p>Non-compliance</p>
<p>** Project Engineer, on behalf of the developer, submitted a variance application (VAR2024-0024) including a variance to not dedicate ROW for a N/S Collector street along the west boundary of the subdivision for a future collector street. The applicant stated that there is no existing N/S street along the west side of the property. * 1,200 ft. Block Length **Current Zoning is R-2 & C-3. The subdivision complies with 1,200 ft. maximum block length requirement for R-2 & C-3 zones. A rezoning request (REZ2024-0031) to R-3T zone for all of tract zoned R-2 and a portion of C-3 zoned parcel has been submitted and is scheduled to be heard by the Planning and Zoning Commission on June 6, 2024, and City Commission on June 24, 2024. If the rezoning is approved, the portion zoned R-3T must comply with 900 block length requirement. **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 900 ft. Block Length for R-3T & R-3C Zone Districts. **Current Zoning is R-2 & C-3. The subdivision complies with 1,200 ft. maximum block length requirement for R-2 & C-3 zones. A rezoning request (REZ2024-0031) to R-3T zone for all of tract zoned R-2 and a portion of C-3 zoned parcel has been submitted and is scheduled to be heard by the Planning and Zoning Commission on June 6, 2024, and City Commission on June 24, 2024. If the rezoning is approved, the portion zoned R-3T must comply with 900 block length requirement. **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 600 ft. Maximum Cul-de-Sac. Revision needed: -Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement. Finalize prior to final. Should a variance be approved it would be subject to 60 ft. of ROW with 40 ft. of paving. - T-Head is not an acceptable street design. Provide a Cul-De-Sac to comply with minimum requirements: as per Fire Department requirements, 96 ft. of paving face-to-face required for Cul-De-Sac turnaround area, and minimum 10 ft. of ROW back of curb around Cul-De-Sac area, finalize prior to final. **Subdivision Ordinance: Section 134-105 ** Project Engineer, on behalf of the developer, submitted a variance application (VAR2024-0024) including a variance to the maximum 600 ft. Cul-de-Sac length requirement. The applicant stated that the current street length is 817.96 ft. If the variance is approved it will be subject to 40 ft. of paving for the interior street.</p>	<p>Non-compliance</p>

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. Revisions Needed: Lot 1: Commercial - Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. - If a service drive easement is proposed, it must be at least 24 ft. wide. If proposing note, finalize wording for note regarding Private Service Drive Easement prior to final. If applicable note should read as follows :“A minimum 24 ft. private service drive easement will be established as part of the site plan for lot 1 and will be maintained by the lot owners and not the city of McAllen.”” *Alley/service drive easement required for commercial and multi-family properties Lots 2-10: Residential - Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. *Alley/service drive easement required for commercial and multi-family properties **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>Lot 1: Commercial Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: -Revise the front setback for the commercial lot as noted above, prior to final. **Zoning Ordinance: Section 138-356,134-367 Lots 2-10: Residential Front:20 feet except 15 feet for unenclosed carport or greater for easement. Revisions needed: -Clarify reference to carport as it will require a variance submittal, prior to final. Finalize wording for note prior to final. **Zoning Ordinance: Section 138-356</p> <p>*A rezoning request for the property (REZ2024-0031) is in process. The setback notes and other subdivision requirements will be finalized once the zoning is finalized.</p> <p>Lot 1: Commercial Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Revise the rear setback for the commercial lot as noted above, prior to final. Lots 2-10: Residential Rear: 10 feet or greater for easements. **Zoning Ordinance: Section 138-356</p> <p>*A rezoning request for the property (REZ2024-0031) is in process. The setback notes and other subdivision requirements will be finalized once the zoning is finalized.</p>	TBD
	TBD

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<p>Lot 1: Commercial Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Revise the sides setback for the commercial lot as noted above, prior to final. Lots 2-10: Residential Sides: 6 feet or greater for easements **Zoning Ordinance: Section 138-356"</p> <p>*A rezoning request for the property (REZ2024-0031) is in process. The setback notes and other subdivision requirements will be finalized once the zoning is finalized.</p>	<p>TBD</p>
<p>Lot 1: Commercial Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Include the corner setback for the commercial lot as noted above, prior to final Lots 2-10: Residential Corner:10 feet or greater for easements. Revision Needed: -Clarify proposed setback as lots 2-10 do not have lots abutting a street, revise as applicable prior to final. **Zoning Ordinance: Section 138-356</p> <p>*A rezoning request for the property (REZ2024-0031) is in process. The setback notes and other subdivision requirements will be finalized once the zoning is finalized.</p>	<p>TBD</p>
<p>Lot 1: Commercial * Garage: N/A Commercial Development. Lots 2-10: Residential Garage:18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>* Note: "5 ft. wide minimum sidewalk required on North Ware Road (FM 220) and 4 ft. wide minimum sidewalk required on both sides of all interior streets and other street as applicable." Revisions Needed: -Finalize wording for note once ROW requirements have been established. -Finalize wording prior to final. Revisions Needed: -Revise note #5 as shown above prior to final. **5 ft. sidewalk along N. Ware Road as per Engineering Department, 4ft. Sidewalk requirement may increase to 5 ft. for interior streets per Engineering Department prior to final. Finalize wording for note prior to final. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p> <p>Required</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and other street as applicable, prior to final. Revisions Needed: -Finalize wording for note once ROW requirements have been established. -Clarify Note #. **Landscaping Ordinance: Section 110-46</p>	<p>Non-compliance</p>

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<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. -Clarify Note #. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Non-compliance</p>
	<p>Required</p>
<p>NOTES</p>	
<p>* No curb cut, access, or lot frontage permitted along North Ware Road and other street as applicable, prior to final. Revisions Needed: -Finalize wording for note once ROW requirements have been established. **Must comply with City Access Management Policy ***As per Traffic Department, as per Access Management Policy, spacing requirement along Ware Road @ 55MPH is 425 ft. show distance from proposed street to any exiting driveways/streets. Lot 1 will not be granted access off Ware Road</p>	<p>Non-compliance</p>
<p>Commercial Lot: * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Multi-family Lot: *Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final.</p>	<p>Required</p>
<p>* Common Areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen. Pending Items: -Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final.</p>	<p>Required</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed.</p>	<p>Required</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets. Revisions Needed: -Lot referenced as ""Lot A""/ Lake does not exhibit any frontage on a public street, revise prior to final. Please keep lots must comply with the minimum 50 ft. frontage requirement and 54 ft. on corner lots. Common areas and detention areas must meet a minimum of 25 ft. of frontage, and be labeled accordingly. Finalize lot frontage requirements prior to final. **Subdivision Ordinance: Section 134-1</p>	<p>Non-compliance</p>

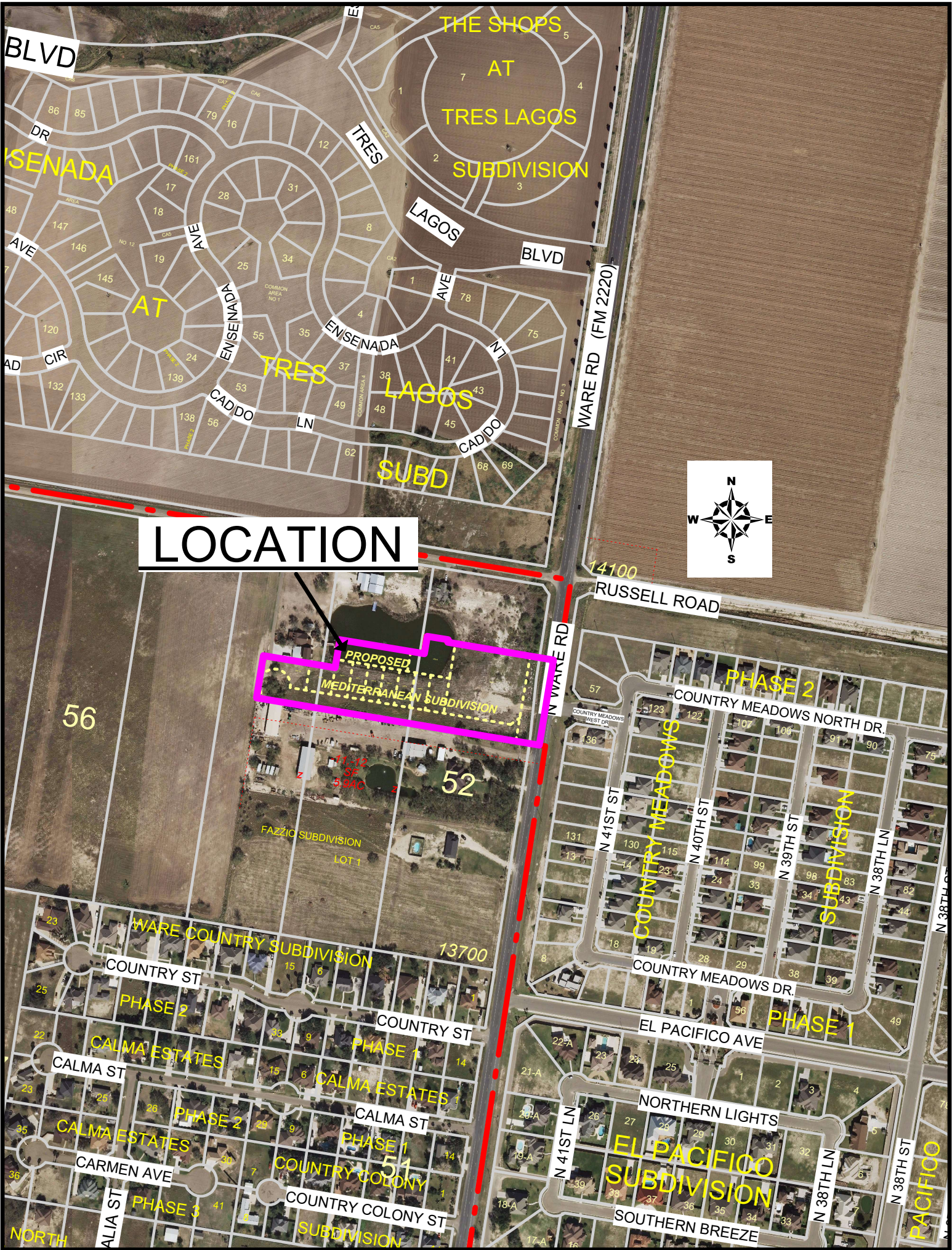
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<p>* Minimum lot width and lot area. - The lots do not comply with current R-2 Zone. If the rezoning to R-3T is approved, additional requirement may be applicable and must be finalized prior to final. **Current subdivision layout exhibits various lot square footages, ensure that proposed square footages comply with proposed use as there may be limitation to the amount of units per lot. Finalize prior final. ***Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>ZONING/CUP</p>	
<p>* Existing:R-2(Duplex-Fourplex) District and C-3 (General Business) District Proposed:R-2(Duplex-Fourplex) District and C-3 (General Business) District **Annexation and initial zoning approved by City Commission on August 28th, 2023. ***Zoning Ordinance: Article V</p> <p>**Current Zoning is R-2 & C-3. The subdivision complies with 1,200 ft. maximum block length requirement for R-2 & C-3 zones. A rezoning request (REZ2024-0031) to R-3T zone for all of tract zoned R-2 and a portion of C-3 zoned parcel has been submitted and is scheduled to be heard by the Planning and Zoning Commission on June 6, 2024, and City Commission on June 24, 2024. Other requirements as may be applicable to the subdivision, will be finalized prior to final.</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval ****Annexation and initial zoning approved by City Commission on August 28th, 2023. ***Zoning Ordinance: Article V</p> <p>**Current Zoning is R-2 & C-3. The subdivision complies with 1,200 ft. maximum block length requirement for R-2 & C-3 zones. A rezoning request (REZ2024-0031) to R-3T zone for all of tract zoned R-2 and a portion of C-3 zoned parcel has been submitted and is scheduled to be heard by the Planning and Zoning Commission on June 6, 2024, and City Commission on June 24, 2024. Other requirements as may be applicable to the subdivision, will be finalized prior to final.</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee.Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multi-family), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	<p>TBD</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording .Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multi-family), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	<p>TBD</p>
<p>* Pending review by the City Manager's Office.Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multi-family), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	<p>TBD</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Non-compliance</p>

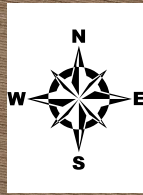
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<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Use a bold line for the original subdivision boundary to distinguish from the lot lines prior to final. - Remove the contour lines from Ware Road ROW as it obstructs some ROW information. - Use a lighter shade for contour lines to avoid any information obstruction and confusion with lot lines prior to final. - Legal Description of all adjacent lots on all sides are needed, including the east side of N. Ware Road, prior to final. *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat. *Please review vicinity map, project site appears to be offset, review and revise accordingly. **At the Planning & Zoning Commission meeting of November 07, 2023 the subdivision was approved in Preliminary Form subject to conditions noted, drainage and utilities approvals. **Current Zoning is R-2 & C-3. The subdivision complies with 1,200 ft. maximum block length requirement for R-2 & C-3 zones. A rezoning request (REZ2024-0031) to R-3T zone for all of tract zoned R-2 and a portion of C-3 zoned parcel has been submitted and is scheduled to be heard by the Planning and Zoning Commission on June 6, 2024, and City Commission on June 24, 2024. Other requirements as may be applicable to the subdivision, will be finalized prior to final. ** Project Engineer, on behalf of the developer, submitted a variance application (VAR2024-0024) including: 1. A variance request to provide 50 ft. ROW for the interior streets in lieu of 60 ft. ROW requirement. The applicant stated that the proposed ROW is an existing 50 ft. recorded access easement. 2. A variance to the maximum 600 ft. Cul-de-Sac length requirement. The applicant stated that the current street length is 817.96 ft. If the variance is approved it will be subject to 40 ft. of paving for the interior street. 3. A variance to not dedicate ROW for a N/S Collector street along the west boundary of the subdivision for a future collector street. The applicant stated that there is no existing N/S street along the west side of the property.</p>	<p>Required</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL, AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCES.</p>	<p>Applied</p>

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LOCATION



**PROPOSED
MEDITERRANEAN SUBDIVISION**

**WARE COUNTRY SUBDIVISION
PHASE 2**

**COUNTRY MEADOWS
PHASE 2**

**COUNTRY MEADOWS
SUBDIVISION**

COUNTRY ST

COUNTRY MEADOWS DR.

**CALMA ESTATES
PHASE 1**

EL PACIFICO AVE

CALMA ST

**CALMA ESTATES
PHASE 2**

NORTHERN LIGHTS

**CALMA ESTATES
PHASE 3**

**COUNTRY COLONY
SUBDIVISION**

**EL PACIFICO
SUBDIVISION**

CARMEN AVE

COUNTRY COLONY ST

SOUTHERN BREEZE

ALIA ST

N 41ST LN

N 38TH LN

N 38TH ST

PACIFICO

