

## AGENDA

### PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, NOVEMBER 21, 2023 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3<sup>RD</sup> FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

#### CALL TO ORDER -

#### PLEDGE OF ALLEGIANCE -

#### INVOCATION -

#### 1) MINUTES:

- a) Approval/Disapproval of minutes from the November 7, 2023 meeting.

#### 2) PUBLIC HEARING

##### a) CONDITIONAL USE PERMITS:

1. Request of Felipe A. Gonzalez, for a Conditional Use Permit, for one year, and adoption of an ordinance, for an Automotive Service and Repair Shop (Auto Air Conditioning Service), at Lot 30, Block 2, Balboa Acres Subdivision, Hidalgo County, Texas; 4502 South 23rd Street. **(CUP2023-0150)**
2. Request of Umair A. Pariyani, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Vaporizer Store (Vape Store), at S 35.08'-Lot 1, 2 & E 9.82'-N 100.02'- Lot 2, All Lot 3 & 7.30IN- S 35.08' -Lot 9, East McAllen Business District Subdivision, N130' of Lots 4, 5 & 6, Block 1, Best Courts Subdivision, Hidalgo County, Texas; 409 Business Highway 83, Suite A. **(CUP2023-0151)**
3. Request of Jorge A. Richaud for a Conditional Use Permit, for a one year, and adoption of an ordinance, for an event center (Drive-in theater) at 9.08 acres out of the South 40 feet of Lot 74 and Lot 91 except the South 50.06 feet, C.E Hammond Subdivision, Hidalgo County, Texas; 3116 Ash Avenue. **(CUP2023-0153)**
4. Request of Oscar I. Guerrero, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Vaporizer Store, at Lot 18A and 1.99% Common Area "A", Amended Map of Broadway North Subdivision, Hidalgo County, Texas; 721 Dove Avenue. **(CUP2023-0154)**

##### b) REZONING:

1. Rezoning from C-4 (commercial-industrial) District to R-1 (single-family residential) District: 20.245 acres being a portion out of Section 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 4800 Town Lake Drive. **(REZ2023-0048)**



2. Rezoning from C-3 (general business) District to I-1 (light industrial) District: 3.953 acres out of Lot 3, Section 4, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 1100 West Military Highway. **(REZ2023-0051)**.
3. Rezoning from C-1 (office building) District to C-3L (light commercial) District: Lot 1, Iglesias Subdivision, Hidalgo County, Texas; 4400 Pecan Boulevard. **(REZ2023-0052)**
4. Rezoning from R-1 (single-family residential) District to C-3 (general business) District: Lot 1, Faith Christian Center Subdivision, Hidalgo County, Texas; 432 South 33rd Street. **(REZ2023-0053)**

### 3) SITE PLAN:

- a) Site plan approval for LOT 1, Eagle Auto Plaza Phase II Subdivision, Hidalgo County, Texas; 11300 North 23rd Street. **(SPR2023-0040)**
- b) Site plan approval for LOTS 3A AND 4A, McAllen Produce Terminal Market Amended Subdivision, Hidalgo County, Texas; 2421 & 2401 West Military Highway. **(SPR2022-0049)**

### 4) CONSENT:

- a) Casa Corsica Subdivision, 3700 North Ware Road, Graco Real Estate **(SUB2023-0089) (REVISED FINAL) KH**
- b) Georgetown Park Subdivision (Previously Rancho Valencia Subdivision), 1200 East El Rancho Road, Bona Fide RE, LLC **(SUB2023-0090) (REVISED FINAL) MGE**
- c) Belterra at Tres Lagos Phase II Subdivision, 14401 North Shary Road, Belterra at Tres Lagos LLC **(SUB2023-0127) (FINAL) M&H**
- d) CEH Addition Subdivision, 6321 South 23rd Street, Circle K **(SUB2023-0114) (FINAL) MAE**
- e) Austin 495 Plaza Subdivision, 4101 Pecan Boulevard, Jinguo Liu **(SUB2023-0120) (FINAL) TE**

### 5) SUBDIVISIONS:

- a) McAllen Palms Business Park Subdivision, 4900 South Old 10th Street, Megaware Corp. **(SUB2023-0073) (FINAL) JHE**
- b) Northwood Trails Block II and Block III Subdivision, 3300 Freddy Gonzalez Drive, Red Rock Real Estate development Group, Ltd. **(SUB2022-0031) (REVISED PRELIMINARY) QHA**
- c) El Dorado at Thousand Oaks I, II, III, IV Phase 2 Subdivision, 13100 North 38th Street, Red Rock Real Estate development Group, Ltd. **(SUB2023-0071) (REVISED PRELIMINARY) QHA**
- d) Bentsen Village Subdivision, 420 South Bentsen Road, Argo Construction **(SUB2022-0083) (REVISED PRELIMINARY) M&H**

- e) Villas at Northgate Subdivision, 1701 Northgate Lane, Lourdes Gabriella Vela **(SUB2023-0087) (REVISED PRELIMINARY) RDE**
- f) Phares Subdivision Lot 5A, 2128 Cedar Avenue, Javier Martinez & Maria P. Hinojosa De Martinez **(SUB2023-0121) (PRELIMINARY) RDE**
- g) M.J. Terrace Subdivision, 9318 North Bentsen Road, Michelle Scurlock **(SUB2023-0125) (PRELIMINARY) QHA**
- h) Dos Lobos I Subdivision, 1721 Trenton Road, Dos Lobos Una Meta, LLC **(SUB2023-0122) (PRELIMINARY) RDE**
- i) Bright Woods Subdivision, 2700 Sprague Road, Star Trail Holdings, LLC **(SUB2023-0084) (REVISED PRELIMINARY) S2E**

**ADJOURNMENT:**

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday November 7, 2023, at 3:30p.m. at the McAllen City Hall, 3<sup>rd</sup> Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

<b>Present:</b>	<b>Michael Fallek</b>	<b>Chairperson</b>
	<b>Gabriel Kamel</b>	<b>Vice Chairperson</b>
	<b>Jose Saldana</b>	<b>Member</b>
	<b>Jesse Ozuna</b>	<b>Member</b>
	<b>Reza Badiozzamani</b>	<b>Member</b>

<b>Absent:</b>	<b>Marco Suarez</b>	<b>Member</b>
	<b>Emilio Santos Jr.</b>	<b>Member</b>

<b>Staff Present:</b>	<b>Benito Alonzo</b>	<b>Assistant City Attorney I</b>
	<b>Edgar Garcia</b>	<b>Planning Director</b>
	<b>Luis Mora</b>	<b>Deputy Director</b>
	<b>Rodrigo Sanchez</b>	<b>Senior Planner</b>
	<b>Mario Escamilla</b>	<b>Planner III</b>
	<b>Kaveh Forghanparast</b>	<b>Planner III</b>
	<b>Samuel Nunez</b>	<b>Planner II</b>
	<b>Adriana Solis</b>	<b>Planner II</b>
	<b>Samantha Trevino</b>	<b>Planner I</b>
	<b>Jacob Salazar</b>	<b>Planner Technician II</b>
	<b>Florencio De la Cruz</b>	<b>Designer/Subdivision Coordinator</b>
	<b>Magda Ramirez</b>	<b>Administrative Assistant</b>

**CALL TO ORDER** – Chairperson Mr. Michael Fallek

**PLEDGE OF ALLEGIANCE**

**INVOCATION**-. Mr. Jesse Ozuna

**1) MINUTES:**

- a) Approval/Disapproval of REVISED minutes from the October 3, 2023 meeting.
- b) Approval/Disapproval of minutes from the October 17, 2023 meeting.
- c) Approval/Disapproval of minutes from the July 26, 2022 (Special Meeting).

The revised minutes for the regular meeting held on October 3, 2023, regular meeting minutes for the October 17, 2023, and Special Meeting minutes for July 26, 2023 were all approved together as submitted by Mr. Jesse Ozuna. Seconding the motion was Mr. Jose Saldana which carried unanimously with five members present and voting.

**2) PUBLIC HEARING:**

- a) **CONDITIONAL USE PERMITS:**

- 1) Request of Kerla Gil De Ortiz, for a Conditional Use Permit, for one year, for a Daycare at Lot 12, Block 56, McAllen Additions Subdivision, Hidalgo County, Texas, 1720 Galveston Avenue. **(CUP2023-0140)**

Ms. Samantha Trevino stated that the property is located at the northeast corner of Bicentennial Boulevard and Galveston Avenue and is zoned C-3 (general business) District. A Home Occupation day care is allowed in a C-3 District with a conditional use permit. The residence was established prior to rezoning of the property to C-3 District.

This is the initial Conditional Use Permit for a home occupation at this location.

The applicant is proposing to operate a daycare center from the approximate 1,578 square foot home. The proposed hours of operation are from 7:30 A.M to 5:30 P.M. Monday through Friday only. The applicant stated that they will have two employees and up to 12 children.

Fire and Health Department have inspected the location and have approved for the Conditional Use Permit process to continue. The establishment must comply with requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall meet the requirements of the Department of Human Resources;
- 2) Fenced areas for outside play yards shall be provided;
- 3) A paved area adjacent to the street for pickup and delivery of children off the street shall be provided;
- 4) The day care facility shall be clearly secondary to the residential use.
- 5) The applicant must reside at the location of the permit;
- 6) No more than two day care facilities shall be located within 600 feet of each other as measured over the shortest distance of street right-of-way.
- 7) No more than one day care facility shall be located on a dead end street or cul-de-sac. Day care facilities located on a dead end street or cul-de-sac shall be limited of the number of children permitted in a registered family home as defined by the Department of Human Resources;
- 8) Day care facilities shall not be located on a ½ street or a street that is accessed by a ½ street.
- 9) Day care facilities located in residential and agricultural zoning districts shall not contain more than 12 children;
- 10) Signs shall not be permitted except a nameplate not exceeding one square foot bearing the person's name or occupation, and attached against the wall of the main building in A-O, R-2 to C-2 Districts.
- 11) No more than one additional employee that does not reside on the premises shall be employed at the day care facility; and
- 12) The application shall be signed by the property owner or the applicant shall provide a letter of authorization from the property owner.

Staff has not received any letters, calls, or emails in opposition to the request.

Staff is recommending approval of the request subject to compliance with conditions.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve subject to conditions noted. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

- 2) Request of Ashwin George on Behalf of Elite Entertainment Investments LLC, for a Conditional Use Permit, For one year, and adoption of an Ordinance for a bar at Lot 7 & 8, 83 Citrus Plaza Condominium Subdivision, Hidalgo County, Texas, 4037 West Expressway 83, Suites 100, 105, 110. **(CUP2023-0143)**

Ms. Samantha Trevino stated that the property is located along the north side of Colbath Road, south of U.S. Expressway 83. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the North, East, and West. There is R-1 (single family residential) District along the south side of Colbath Road. Surrounding land uses include Turbo Bicycles, Lucky 4, Express 83 Nails, Be Fit Nutrition, and True Fit Athletic Clubs. A social club is permitted in a C-3 District with a Conditional Use Permit.

The initial application for this location was for a social club and was approved earlier this year. The applicant is requesting to amend the original Conditional Use Permit to include a smoking section inside of the establishment.

The applicant is proposing to designate an area for smoking in the cigar room only. The applicant stated the proposed area will be enclosed and will have one point of entry through a set of doors, therefore it will not be an open-concept layout within the bar.

Based on the square footage of the proposed establishment, 57 parking spaces are required. As per the submitted site plan there are 274 parking spaces provided as common parking.

A Conditional Use Permit is required for a bar/social club. The Health and Fire Departments inspected the property and allowed the CUP process to continue. The applicant must comply with all their requirements. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The property is within 400 ft. of residential uses.
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has access to U.S. Expressway 83 and Colbath Road.
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on the square footage, 57 parking spaces are required. There are 274

common parking spaces provided as common parking. Based on area utilized, the proposed facility complies with parking. Parking spaces must comply with Section 138-400 of the Ordinance and must be clearly striped and pavement surface shall be maintained free of litter, debris, loose gravel, cracks and potholes;

- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any letters, calls, or emails, in opposition to the request.

Should the Conditional Use Permit be approved by the Board, the applicant will be subject to compliance with the Building and Fire departments requirements.

Staff is recommending disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Jose Saldana seconded the motion, which was disapproved with favorable recommendation with five members present and voting.

- 3) Request of Emma Clarke on behalf of Interchange Park Partners Inc., for a Conditional Use Permit, for one year, for a gasoline service station (Circle K Convenience Store & Gas Station), at a 3.50-acre tract out of Lots 30 and 31, Block 3, C.E. Hammond Subdivision, Hidalgo County, Texas; 6321 South 23rd Street. **(CUP2023-0144)**

Mr. Samuel Nunez stated that the subject property is located on the northeast corner of South 23<sup>rd</sup> Street and Military Highway. The property is zoned I-1 (light-industrial) District. The adjacent zoning is I-1 District in all directions. A gasoline service station is permitted in an I-1 District, subject to compliance with Conditional Use Permit requirements.

The applicant is proposing to build and operate a Circle K convenience store and gas station from the subject property. The location will offer a 5,200 square-foot convenience store and two canopies for gasoline and diesel fuel pumps. Based on the square footage of the convenience store, 16 parking spaces are required for the location. The latest site plan information for the use proposes 37 regular parking spaces and six trailer parking spaces. This is the initial Conditional Use Permit request for the proposed use. The Circle K store will operate 24 hours a day, 7 days a week.

Applications for a subdivision review and site plan review were submitted in June and August of this year, respectively. The subdivision plat received approval from the Planning and Zoning Commission in preliminary form on July 12, 2023. The site plan review is underway and its approval depends on the Planning and Zoning Commission's determination of this Conditional Use Permit request.

The Fire and Health Departments are pending their inspections. The proposed use must comply with Sections 138-257 through 138-261 of the Zoning Ordinance and the following specific requirements:

- 1) Activities are limited to sale of gasoline, oil, and minor accessories and incidental services;
- 2) Ingress or egress shall not be permitted at locations where it will tend to create traffic hazards. Curb cuts are proposed from Military Highway and South 23<sup>rd</sup> Street;
- 3) Front yard building setbacks, not including gas pumps or driveway covers (canopy), shall be 60 feet. Convenience store building is proposed to comply with required setbacks.
- 4) All lighting shall be shielded from adjacent residential districts;
- 5) A 6 ft. opaque buffer shall be provided where abutting or adjacent to residential districts;
- 6) Gasoline service stations that have facilities for the repair or servicing of automobiles shall be a minimum of 13,000 square feet. Retail outlets for gasoline, oil, and minor accessories, without repair facilities, may be permitted on lots less than 13,000 square feet. There will be no automobile servicing;
- 7) Gas pumps/islands shall be set back at least 13 ft. from the property line or 18 ft. from the curb, whichever is greater;
- 8) Gas pump canopy shall be set back at least 9 ft. from the property line or 10 ft. from the curb, whichever is greater; and
- 9) Gas pumps shall not be located within 100 ft. of a residential district. The gas pumps are not located within 100 ft. of a residential district.

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the Conditional Use Permit request for one year, subject to compliance with Sections 138-257 through 138-261 and the specific conditions noted, Building Code requirements, Fire Department requirements, and all other relevant Zoning and Subdivision ordinances. This permit must be renewed yearly.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve subject to conditions noted. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

- 4) Request of Ricardo De La Garza on behalf of South Texas College for a Conditional Use Permit, for the life of the use, and adoption of an ordinance for an Institutional Use (College Campus) at Lot 1, South Texas College Technology Campus Subdivision, Hidalgo County, Texas; 3700 Military Highway. **(CUP2023-0145)**

Mr. Samuel Nunez stated that the subject property is located on the northwest corner of Military Highway and South Ware Road. The subject property is zoned I-2 (heavy industrial) District. The adjacent zoning is I-2 District in all directions, except for the east across South Ware Road where there is I-1 (light industrial) District. An Institutional Use is permitted within an I-1 District, subject to compliance with Conditional Use Permit requirements.

The applicant is proposing to build a 6,413 square-foot building for a welding lab. This will serve as an addition to the existing South Texas College Technology Campus. As per the submitted master plan for future development, the location will also be adding three two-floor additions totaling, more or less, 151,000 square feet. Existing buildings B and D will also be expanded by 6,000 square feet and 10,000 square feet, respectively.

The initial Conditional Use Permit for the existing Institutional Use was approved by City Commission on April 22, 1996, and was later amended in 2011 to include more property and additional buildings for existing and future development. The site provides 473 parking spaces to comply with requirements for the existing buildings and future developments. Landscape requirements are currently met by the existing trees and green area on site.

The Fire and Health Departments are pending their inspections. The proposed use must comply the Zoning Ordinance and the following specific requirements:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. There is access through South Ware Road and Military Highway.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas. Currently there are 474 parking spaces provided on site, however additional parking requirements will be determined at the time of any building permits. At a minimum the school must provide five spaces for each classroom and 1.5 spaces for each office;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;



- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence;

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the Conditional Use Permit request, for the life of the use, subject to compliance with the conditions noted, Building Code requirements, Fire Department, and all other relevant Zoning and Subdivision ordinances.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve subject to conditions noted. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

- 5) Request of the City of McAllen for a Conditional Use Permit, for the life of the use, and adoption of an ordinance for an Institutional Use (learning center and park), at a 8.06-acre tract, more or less, out of Lot 7, Block 6, Hidalgo Canal Company Subdivision, 4.25 acres out of Lot 8, Block 6, Hidalgo Canal Company Subdivision, Lots 9 through 11, Ford's Subdivision, and Lot 1, Quinta Mazatlan Subdivision, Hidalgo County, Texas; 600 Sunset Drive, 701 Sunset Drive, 2801 South 10th Street, 516 Bales Road, and 804 Bales Road. **(CUP2023-0147)**

Mr. Samuel Nunez stated that the subject property is located on the southeast corner of Sunset Drive and South 10<sup>th</sup> Street, with frontage also on Bales Road (proposed parking lot). The property has multiple zoning districts which include: A-O (agricultural and open space), R-1 (single-family residential) District, and C-3 (general business) District. An Institutional Use is permitted within all of the mentioned zoning districts, subject to compliance with Conditional Use Permit requirements.

The applicant is proposing to expand the existing Quinta Mazatlan use to include a Palm Room with administrative offices, a learning center, a park/open space, and a new parking lot. The expansion will add 327 parking spaces to accommodate the new buildings and uses that will be associated with the Quinta Mazatlan site. 42 parking spaces would be required for the proposed additions and the existing parking spaces complies with the Quinta Mazatlan use on 600 Sunset Drive. 59,938.35 square feet of green area would be the minimum requirement for the proposed sites. Existing trees and green area exceed the minimum requirement.

A site plan review was submitted for the project on July 17, 2023 and has been approved by all of the Development Team departments.

The Fire and Health Departments are pending their inspections. The proposed use must comply the Zoning Ordinance and the following specific requirements:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence;

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the Conditional Use Permit request, for the life of the use, subject to compliance with the conditions noted, Building Code requirements, Fire Department, and all other relevant Zoning and Subdivision ordinances.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jesse Ozuna moved to approve. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

b) REZONING:

- 1) Rezoning from R-1 (single-family residential) District to C-3 (general business) District: Lot 1, Block 2, Colonia Hermosa No. 2 Subdivision, Hidalgo County, Texas; 2213 El Rancho Avenue. **(REZ2023-0049)**

Ms. Adriana Solis stated that the property is located southeast of El Rancho Avenue and South 23<sup>rd</sup> Street. The lot is approximately 12,759.09 sq. ft. The subject property is zoned R-1 (single family) District.

The applicant is proposing to rezone the property to C-3 (general business) District in order to develop the tract of land for a proposed auto shop. A feasibility or site plan has not been submitted for the proposal.

The adjacent zoning is R-1 District to the east. The adjacent zoning is R-1 District and C-3 District to the north of the subject property. The adjacent zoning is A-O (agricultural and open space) District to the south.

The subject property is currently vacant. Surrounding land uses includes single-family residences to the north and east. There are existing auto shops fronting South 23<sup>rd</sup> Street.

The Envision McAllen Future Land Use Plan categorizes the future land use for this property under Complete Communities. Single-family detached and mixed-use urban are considered most appropriate for this area. Mixed urban uses include retail, office and diverse housing options.

The development trend for this area is commercial along South 23<sup>rd</sup> Street with other existing auto shops. The development trend along El Rancho Avenue is single-family homes.

An attempt was made on November 13, 2017 to rezone the subject property from R-1 to C-3 and was disapproved by the City Commission. In 2005, a rezoning request was made regarding lots 19 and 20 north of the subject property from R-1 to C-3. The City Commission approved the rezoning to C-3 for lot 19 and disapproved the request for lot 20. A canopy does extend from lot 19 to lot 20, however building inspection records do not show a submitted building permit.

The requested zoning conforms to the Future Land Use Plan designation. However, the proposed zoning does not conform to the existing character of the vicinity.

The subject property does not have direct access to South 23<sup>rd</sup> Street. The applicant is proposing to construct an auto shop and must comply with the zoning ordinance, landscaping requirements, buffer requirements, parking requirements and all other conditions should the rezoning to C-3 be approved.

Permitted uses within a C-3 District include an auto shop, as well as the following: Restaurants, uses within a C-1 (office building) District and a C-2 (neighborhood commercial) District. However, excluding lumberyard, farm equipment, general warehousing etc.

Staff has not received any phone calls, emails, or letters in opposition to the zoning request.

Staff recommends disapproval of the rezoning request to C-3 (general business) District as it does not conform to the existing character of the vicinity; the subject property lacks direct access to South 23<sup>rd</sup> Street.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Applicant Mr. Jorge Garza (2213 El Rancho Avenue, McAllen, Texas) stated he believes the proposed location is not a good location to build a home due to business surrounding the area.

After a brief discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove the rezoning request. Mr. Reza Badiozzamani seconded the motion, which was disapproved with five members present and voting with one member opposing the disapproval.

- 2) Rezoning from R-4 (mobile home) District to C-3 (general business) District: South 78.0 feet of a certain 1.27 acre tract of land out lots 2 and 3, Kings Hiway Subdivision, Hidalgo County, Texas; 3321 U.S. Highway 83 (rear).  
**(REZ2023-0050)**

Ms. Adriana Solis stated that the property is located south of U.S. Business 83 and east of South Ware Road. The lot is approximately 55,321.20 sq. ft. The rear of the subject property is zoned R-4 (mobile home) District.

The applicant is proposing to rezone the property to C-3 (general business) District and coincide with the north portion of the property as it is currently zoned C-3 District. The subject property does have an existing structure, where a meat market has been established and operating from.

The adjacent zoning is I-1 (light industrial) District to the north. The adjacent zoning is C-3 District to the west and east of the subject property. The adjacent zoning is R-2 (duplex-fourplex) District and R-4 District to the south.

The subject property is does have an existing structure. Surrounding land uses include an auto shop, commercial plaza, mobile home park and vacant land.

The Envision McAllen Future Land Use Plan categorizes the future land use for this property under Public/Semi-Public. Generally all land use categories are considered appropriate for this area.

The development trend for this area is commercial along Business 83 as well as light industrial.

The requested zoning conforms to the Future Land Use Plan designation. The proposed zoning also conforms to the existing character of the vicinity.

The subject property is undergoing subdivision review, any future additions or exterior changes will require site plan review and that the plat be recorded.

The applicant is requesting to zone the property to C-3 to align with the current zoning fronting Business 83.

Permitted uses within a C-3 District include retail uses, restaurants, as well as the following: Permitted uses within a C-1 (office building) District and a C-2 (neighborhood commercial) District. However, excluding lumberyard, farm equipment, general warehousing etc.

Staff has not received any phone calls, emails, or letters in opposition to the zoning request.

Staff recommends approval of the rezoning request to C-3 (general business) District as it does

conform to the existing character of the vicinity

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve rezoning request. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

### **3) CONSENT:**

- a) Vida Subdivision, 5901 Mile 5 Road, Liman Ventures, LTD **(SUB2022-0057) (REVISED FINAL) STIG**
- b) Arca Subdivision, 3501 Highway 83, Jorge and Oliva Hi **(SUB2023-0111) (FINAL) SEA**
- c) McAllen Oaks North Subdivision, 2701 State Highway 107, Mark Wilkins & Noe Gonzalez **(SUB2023-0092) (FINAL) MDC**
- d) Northwest Creek Subdivision, 3420 Mile 6 ½ Road, Garman Investments, LP **(SUB2023-0072) (FINAL) M&H**

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve subdivision in consent form for Items 3a, 3b, 3c and 3d. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

### **4) SUBDIVISIONS:**

- a) CEH Addition Subdivision, 6321 South 23rd Street, Circle K **(SUB2023-0059) (REVISED PRELIMINARY) MAE**

Mr. Kaveh Forghanparast stated State Curb & gutter: By State Revisions needed: Show and label S. 23rd Street Centerline to establish ROW dedication requirement prior to final. Show the west ROW line, existing ROW on both sides of the centerline, and total existing ROW prior to final. Provide a copy of the document for the existing ROW for staff review prior to final. Show the existing ROW on multiple points to show how it varies in this area prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Military Highway: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: 65 ft. to 105 ft. Curb & gutter: both sides Revisions needed: If 135 ft. is the existing ROW, please add "existing ROW" label prior to final. If 15 ft. is dedicated by this plat label it as "15 ft. additional ROW dedicated by this plat" and show the ROW from centerline and total ROW including the ROW dedicated by this plat and label is as "Total ROW" prior to final. Add the existing and total ROW on the southeast side of the subdivision, in addition to the one already shown on the southwest side, to verify compliance prior to final. - Show the ROW dedicated by this plat, ROW from centerline after the dedication, and total ROW after the dedication, prior to final. Provide a copy of the document for the existing ROW for staff review prior to final/recording. Based on TxDOT's online GIS Map, it seems that this area of Military Highway is not a State Road. Clarify and provide documents if it is a State Road, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final.

1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Plat note #9 proposes minimum 24 ft. private service drive to provide City Services at times of site plan. Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revise the plat note from "whichever applies" to "whichever is greater applies" prior to final. Combine all setbacks in one plat note with the following title prior to final: "Setbacks" Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. - Combine all setbacks in one plat note with the following title prior to final: "Setbacks" Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Combine all setbacks in one plat note with the following title prior to final: "Setbacks" Zoning Ordinance: Section 138-356. Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Combine all setbacks in one plat note with the following title prior to final: "Setbacks" Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on S. 23rd Street and Military Highway. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: I-1 Proposed: I-1. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation was approved, and TIA Waived. Submitted application proposed the name of the subdivision as "CEH Addition" while the plat shows "CEH Addition Lot 30R, Block 3." Clarify if "Lot 30R, Block 3" is part of the subdivision name prior to final. The originally signed application must be revised prior to final if the name of the subdivision has changed. If not, please remove "Lot 30R, Block 3" from the name of the subdivision prior to final. Remove "Lot 30R, Block 3" label from the Lot and add Lot 1 instead prior to final. If the U.E. on the north and east are by this plat, please add "by this plat" label. If not, provide the document number and a copy for staff review prior to final. - Provide the lot lines and legal description of the adjacent properties on all sides, including the west side of S. 23rd Street and south side of Military Highway prior to final. Any overlap of ROW dedication with the existing easements must be clarified prior to prior to final/recording. Staff will review to verify if the dedication may include an existing easement prior to prior to final. All signature blocks must comply with Section 134-61 of the subdivision ordinance prior to recording. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Jose Saldana moved to approve in revised preliminary form, subject to conditions noted, drainage, & utility approvals. Vice Chairperson, Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

**b) 521 Subdivision, 3401 South 10th Street, MDM Land Company, LLC (SUB2022-0123) (PRELIMINARY 6-MONTH EXTENSION) RDE**

Mr. Kaveh Forghanparast stated S.10th Street: Dedication as needed for 150 ft. total ROW. Paving :65 -105ft. Curb & gutter Both Sides. Revisions Needed: Review and revise ROW dedications, please see requirements above. Label existing ROW dedications, from centerline, total, etc., on both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. S.2nd Loop: Dedication as needed for 60 ft. from centerline for 120 ft. total ROW. Paving :65 -85 ft. Curb & gutter Both Sides. Revisions Needed: Revise ROW dedication, please see requirements above. Label existing ROW dedications, from centerline, total, etc., on both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Alley or service drive easement cannot dead-end. Provide for alley or service drive easement on the plat prior to final. Subdivision Ordinance: Section 134-106. Front: Proposing 10TH STREET: 40 ft. or greater for easements for approved site plan. Revisions needed: Clarify proposed setback note, prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions needed: Revise note as shown above, prior to final. Proposing: In accordance with Zoning Ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides :In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions needed: Revise note as shown above, prior to final. Proposing: In accordance with Zoning Ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner: Proposing 2nd Street Loop: 50 ft. or greater for easements for approved site plan. Revisions needed: Clarify proposed setback, prior to final. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along S. 10th Street and S.2nd Loop. Revisions needed: Add note as shown above, prior to final. Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: Revise note as shown above, prior to final. Proposing: 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses and along west property line. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. As per Traffic Department, Please show access locations, spacing requirement are as follows: for 2nd Loop- 360 ft., for 10th Street at 45MPH- 360 ft. if the spacing is not met a variance will be required. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 (General Business) District Proposed: C-3 (General Business) District. Zoning Ordinance: Article V. As per Traffic Department, Trip

Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Subdivision was approved in Preliminary form at Planning and Zoning Commission meeting of November 1st, 2022. On October 27, 2023, the engineer submitted a letter and requested 6 month extension for 521 Subdivision.

Staff recommends approval of the subdivision for preliminary six-month extension, subject to conditions noted, drainage and utilities approvals.

Being no discussion, Mr. Jose Saldana moved to approve preliminary six-month extension, subject to conditions noted, drainage and utilities approvals. Mr. Jesse Ozuna seconded the motion, which was approved with five members present and voting.

**c) MNR Subdivision, 7610 North Ware Road, MNR Garza Investments, LLC (SUB2023-0112) (PRELIMINARY) DGE**

Mr. Mario Escamilla stated N. Ware Road: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: By the States Curb & gutter: By the State Revisions needed: Label centerline on plat prior to final. Once labeled provide Total ROW labeling with dimension after accounting for ROW dedication, from centerline and existing West ROW line of North Ware Road, prior to final. Reference the document number on the plat for the existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review prior to final. Please review dedication requirements as noted above, label dedications by this plat, prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Revisions Needed: Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: 15 feet or easement whichever is greater. Zoning Ordinance: Section 138-356, 134-367. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: 10 feet or easement whichever is greater. Zoning Ordinance: Section 138-356. Interior sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: 5 feet or easement whichever is greater. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required on N. Ware Road (F.M. 2222). Revisions Needed: Include note as shown above prior to final. 5 ft. Sidewalk as per Engineering Department requirements. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: Revise note#8 as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revision needed: Revise note#10 as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Yellowhammer Avenue. Revisions Needed: Include note as shown above, prior to final. Must comply with City Access Management Policy. As per Traffic Department, As per Access



Management Policy, spacing requirement along Ware Road @ 50 MPH is 425 ft., show distance from proposed driveway to existing driveways. No Access would be permitted through Yellowhammer Ave Non-compliance. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Once subdivision requirements have been finalized, finalize wording for note prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing :C-1 (Office Building) District Proposed:C-1 (Office Building) District. Engineer must continue to verify proposed use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. Zoning requirements must be finalized prior to final. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Engineer must continue to verify proposed use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. Engineer must continue to verify proposed use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. Clarify if dashed line running along subdivision boundary, easements being dedicated by plat must be labeled as such with dimensions and corresponding labeling. Any existing easements must be shown on plat with document numbers. Finalize prior to final.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage and utilities approvals.

Being no discussion, Mr. Jose Saldana moved to approve preliminary form subject to conditions noted, drainage and utilities approvals. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

**d) Mediterranean Subdivision, 13931 North Ware Road, Ancer Properties LLC (SUB2023-0110) (PRELIMINARY) TE**

Mr. Mario Escamilla stated N. Ware Road: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: By the States Curb & gutter: By the State Revisions needed: Clarify what appears to be a unlabeled 35' area along the Eastern plat boundary to establish dedication requirements, prior final. Ensure that ROW complies with State plans for North Ware Road, any acquisitions should be include with document number, dimensions, and labeling, finalize prior to final. Reference the document number on the plat for any existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review prior to final. Please review dedication requirements as noted above, label dedications by this plat, prior to final. Revise reference from "Future" to "Total", prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. Interior Street: Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both Sides. Revisions Needed: Proposed Interior dedications present 50 ft. ROW, Subdivision layout does not comply with ROW requirements, please revise accordingly prior to final. Street names will be established prior to final and plat will need to revised accordingly. Clarify 10 ft. Easement dedicated to United Irrigation within ROW, need to resolve any issues with overlap, finalize prior to final. Identify centerline for proposed interior street and existing Country Meadows West Drive and provided

distance from centerline to centerline to verify compliance with 125 ft. from centerline to centerline for street jogs.(134-105(d)) finalize prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. N/S collector(Western Boundary): Dedication as needed for 60 ft. total R.O.W. Paving 40 ft. Curb and gutter: Both Sides. Pending Items: Please provide ownership map to verify that no landlocked properties exist or will be created, prior to final. Clarify status of remnant tract along northern plat boundary, finalize prior to final. Street alignment, transitions and R.O.W being reviewed by staff and plat would need to be revised accordingly as applicable prior to final once ROW requirements have been established. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Revision needed: Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement. Finalize prior to final. Should a variance be approved it would be subject to 60 ft. of ROW with 40 ft. of paving. Cul-De-Sac does not comply with minimum requirements, as per Fire Department requirements, 96 ft. of paving face-to-face required for Cul-De-Sac turnaround area, minimum 10 ft. of ROW back of curb around Cul-De-Sac area, finalize prior to final. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. Revisions Needed: Lot 1: Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. If a service drive easement is proposed, it must be at least 24 ft. wide. If proposing note, finalize wording for note regarding Private Service Drive Easement prior to final. If applicable note should read as follows :“A minimum 24 ft. private service drive easement will be established as part of the site plan for lot 1 and will be maintained by the lot owners and not the city of McAllen.” Alley/service drive easement required for commercial and multi-family properties Lots 2-10. Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. Alley/service drive easement required for commercial and multi-family properties. Subdivision Ordinance: Section 134-106. Lot1 Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: Revise the front setback for the commercial lot as noted above, prior to final. Zoning Ordinance: Section 138-356,134-367 Lots 2-10 Front:20 feet except 15 feet for unenclosed carport or greater for easement. Revisions needed: Clarify reference to carport as it will require a variance submittal, prior to final. Finalize wording for note prior to final. Zoning Ordinance: Section 138-356. Lot1 Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise the rear setback for the commercial lot as noted above, prior to final. Lots 2-10 Rear: 10 feet or greater for easements. Zoning Ordinance: Section 138-356. Lot 1 Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise the sides setback for the commercial lot as noted above, prior to final. Lots 2-10 Sides: 6 feet or greater for easements. Zoning Ordinance: Section 138-356. Lot 1 Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Include the corner setback for the commercial lot as noted above, prior to final Lots 2-10 Corner:10 feet or greater for easements. Revision Needed: Clarify proposed setback as lots 2-10 do not have lots abutting a street, revise as applicable prior to final. Zoning Ordinance: Section 138-356. Lot1: Garage: N/A Commercial Development. Lots 2-10 Garage:18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required on North Ware Road (FM 220) and 4 ft. wide minimum sidewalk required on both sides of all interior streets and other street as applicable, prior to final. Revisions Needed: Finalize wording for note once ROW requirements

have been established. Revisions Needed: Revise note #5 as shown above prior to final. 5 ft. sidewalk along N. Ware Road as per Engineering Department, 4ft. Sidewalk requirement may increase to 5 ft. for interior streets per Engineering Department prior to final. Finalize wording for note prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and other street as applicable, prior to final. Revisions Needed: Finalize wording for note once ROW requirements have been established. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North Ware Road and other street as applicable, prior to final. Revisions Needed: Finalize wording for note once ROW requirements have been established. Must comply with City Access Management Policy. As per Traffic Department, as per Access Management Policy, spacing requirement along Ware Road @ 55MPH is 425 ft. show distance from proposed street to any exiting driveways/streets. Lot 1 will not be granted access off Ware Road. Commercial Lot: Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Multi-family Lot: Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Common Areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen. Pending Items: Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final. Required. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Revisions Needed: Lot referenced as "Lot A"/ Lake does not exhibit any frontage on a public street, revise prior to final. Please keep lots must comply with the minimum 50 ft. frontage requirement and 54 ft. on corner lots. Common areas and detention areas must meet a minimum of 25 ft. of frontage, and be labeled accordingly. Finalize lot frontage requirements prior to final. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Current subdivision layout exhibits various lot square footages, ensure that proposed square footages comply with proposed use as there may be limitation to the amount of units per lot. Finalize prior final. Zoning Ordinance: Section 138-356. Existing: R-2(Duplex-Fourplex) District and C-3 (General Business) District Proposed: R-2(Duplex-Fourplex) District and C-3 (General Business) District. Annexation and initial zoning approved by City Commission on August 28th, 2023. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Annexation and initial zoning approved by City Commission on August 28th, 2023. Zoning Ordinance: Article V. Land dedication in lieu of fee. Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multi-family), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once

clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multifamily), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Pending review by the City Manager's Office. Lot 1 :Commercial , as per parks department park fees do not apply to commercial developments. For Lot 2-10 (Multi-family), Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. Please review vicinity map, project site appears to be offset, review and revise accordingly.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage and utilities approvals.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form, subject to conditions noted, drainage, & utility approvals. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

**e) Lark Apartments Subdivision, 6320 North Taylor Road, Lark Heights Development LLC (SUB2023-0113) (FINAL) M2E**

Mr. Mario Escamilla stated N. Taylor Road: 40 ft. of dedication from centerline for 80 ft. total ROW. Paving: 52 ft. - 65 ft. Curb & gutter: both side. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. Lark Avenue (4 Mile Line): Dedication as needed for 50 ft. dedication from centerline for 100 ft. ROW Paving: 65 ft. Curb & gutter: both sides Revisions Needed: Revise street names as shown above were applicable, prior to recording. Clarify reference UID Blanket Easement along ROW any issues, finalize prior to recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. 900 ft. Block Length for R-3 Zone Districts. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial and multi-family properties. As per plat submitted October 17th,2023 plat exhibits proposed 24-48' Service Drive and Utility Easement. Revisions Needed:-Provide additional dimensions and labeling for area running E/W along the northern boundary prior to recording. Subdivision Ordinance: Section 134-106. N. Taylor Road /Lark Avenue (4 Mile Line): 40 feet, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. Revisions Needed: Revise note as shown above, prior to recording. Proposing: Lark Avenue (4 Mile Line): 40 feet, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. As per conversation with Engineer on November 2nd,2023, building and any proposed carports would comply with setbacks. Zoning Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides: In accordance with Zoning Ordinance or greater for easements

or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Corner: See front setback section above. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along N. Taylor Road and Lark Avenue (4 Mile Line). Sidewalk requirements may increase to 5 ft. prior to recording per Engineering Department requirements. Please finalize plat note prior to recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: Revise note#9 as shown above prior to recording. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Required. Must comply with City Access Management Policy. As per Traffic Department, As per McAllen's Access Policy, Spacing requirement and corner clearance along Taylor Road (collector) is 200 ft. and for Mile 4(Lark, minor arterial) is 250 ft. from any entrance, exit or street- Access along Taylor approved through Variance, finalize and comply with any conditions as applicable prior to recording. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final. Zoning Ordinance: Section 138-210. Common Areas, any private service drive easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing :R-3A (Apartment Residential) District Proposed: R-3A (Apartment Residential) District. Zoning Ordinance: Article V. Land dedication in lieu of fee. As per Engineer 102 units proposed, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Engineer 102 units proposed, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording. Pending review by the City Manager's Office. As per Engineer 102 units proposed, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording. As per Traffic Department, Trip Generation approved, no TIA required. Must comply with City's Access Management Policy. Clarify if 15' Sharyland Water Supply Easement is being dedicated by this plat, any existing easements must include document number on plat finalize prior to recording. Review signature blocks and ensure they are in accordance with Sec.134-61 of the City of McAllen Ordinance. Remove reference to 10 ft. Landscape Buffer.

Staff recommends approval of the subdivision in final form subject to conditions noted.

Being no discussion, Mr. Jose Saldana moved to approve in preliminary form, subject to conditions noted, drainage, & utility approvals. Mr. Jesse Ozuna seconded the motion, which was approved with five members present and voting.

**ADJOURNMENT:**

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel Kamel adjourned the meeting at 3:55p.m. with Mr. Jose Saldana. seconding the motion with five members present and voting.

---

Chairperson Michael Fallek

ATTEST: \_\_\_\_\_  
Magda Ramirez, Administrative Assistant

## Memo

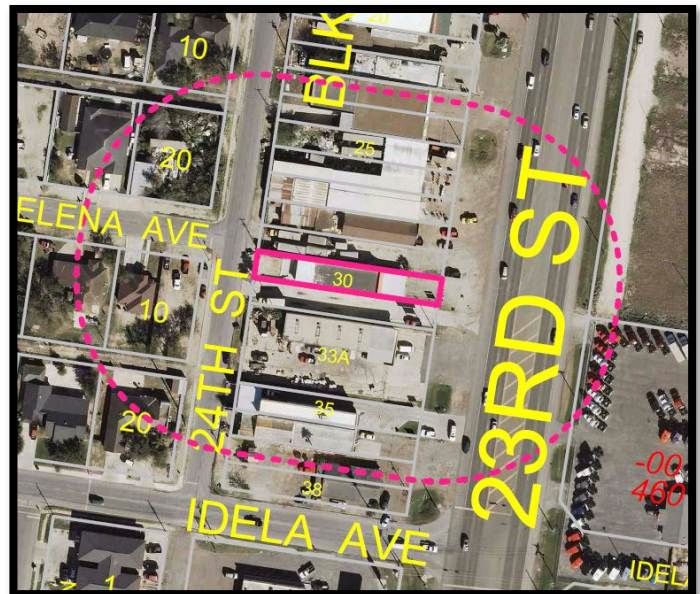
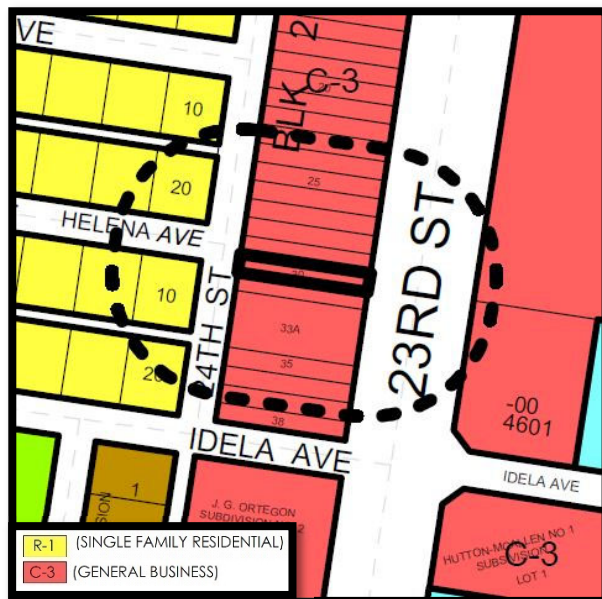
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** November 15, 2023

**SUBJECT:** REQUEST OF FELIPE A. GONZALEZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR AN AUTOMOTIVE SERVICE AND REPAIR SHOP (AUTO AIR CONDITIONING SERVICE), AT LOT 30, BLOCK 2, BALBOA ACRES SUBDIVISION, HIDALGO COUNTY, TEXAS; 4502 SOUTH 23<sup>RD</sup> STREET. (CUP2023-0150)

**BRIEF DESCRIPTION:** The property is located along the west side of South 23<sup>rd</sup> Street, between South 23<sup>rd</sup> and 24<sup>th</sup> Streets. It is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south and to the east across North 23<sup>rd</sup> Street. There is R-1 (single family residential) District to the west across South 24<sup>th</sup> Street. Surrounding land uses include Super Buy Tires & Wheels, M & A Paints and other various commercial uses and single-family residences to the west. An automotive service and repair shop is permitted in the C-3 district with a Conditional Use Permit and in compliance with requirements.



**REQUEST/ANALYSIS:**

The applicant is proposing to operate an auto air conditioning service. The proposed hours of operation will be 8:00 a.m. to 5:00 p.m., Monday through Friday, 8:00 a.m. to 12:00 p.m. on Saturday; the business will be closed on Sundays. A submitted site plan shows a 2,700 sq. ft. concrete block building that will be used for the proposed business. Based on the 1,678 sq. ft. of work area, seven parking spaces are required and seven parking spaces are provided.

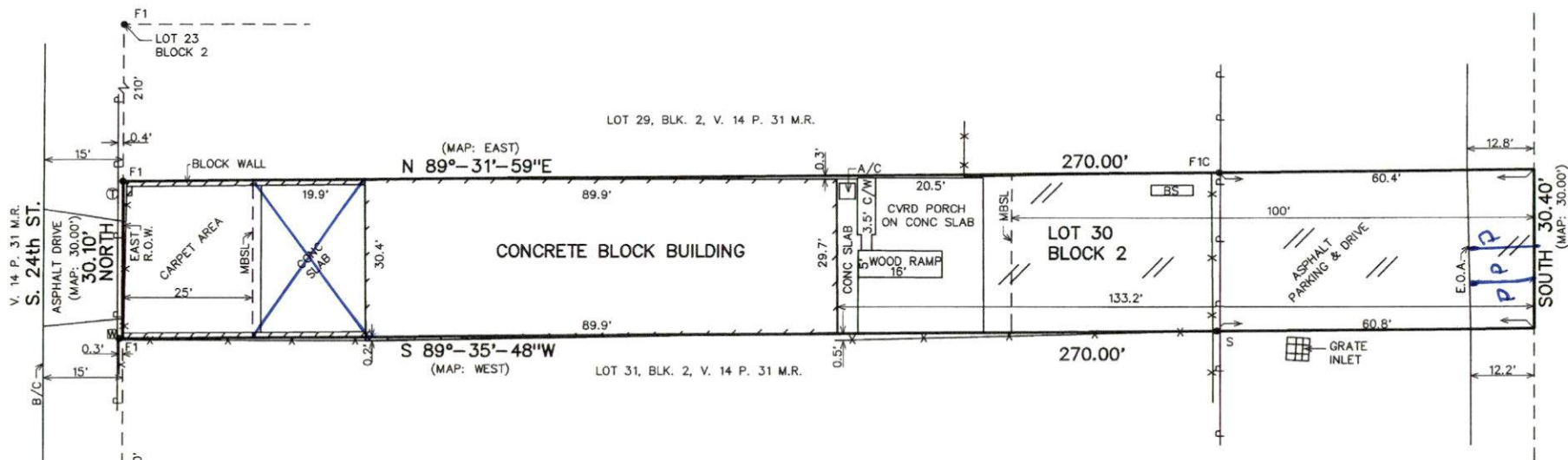
The Fire Department approved inspection and advised the CUP process to continue. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 6,210 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing to perform all work inside the structure.
- 3) Outside storage of materials is prohibited.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The distance to a single-family residence is greater than 160 feet.
- 5) A 6 ft. opaque fence may be required to buffer residential uses or districts.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

**RECOMMENDATION:** Staff recommends disapproval of the request based on non-compliance with requirement #1 (minimum lot size square footage) of Section 138-281 of the Zoning Ordinance.







NOTE: SURVEY PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW EASEMENTS OF RECORD THAT MAY AFFECT THIS PROPERTY

#### LEGEND

F1 - FOUND 1/2" DIAMETER IRON ROD  
 F1C - FOUND 1/2" DIAMETER IRON ROD W/ CAP STAMPED "RPLS 4541"  
 S - SET 1/2" DIAMETER IRON ROD W/ CAP STAMPED "PENA 5242"  
 B/C - BACK OF ASPHALT  
 E.O.A. - EDGE OF ASPHALT  
 R.O.W. - RIGHT OF WAY  
 MBSL - MINIMUM BUILDING SETBACK LINE  
 \* - 6' CHAINLINK FENCE  
 BS - BUSINESS SIGN  
 C/W - CONCRETE WALK  
 W - WATER METER  
 T - TELEPHONE PEDESTAL  
 P - POWER POLE LINE

SCALE: 1"=20'  
 CAD: BALBOAACRE2-30M  
 JOB: 74952

NOTE: BASIS OF BEARING IS THE WEST LINE OF LOTS 23-38 BLOCK 2, BALBOA ACRES ADDITION, V. 14 P. 31 MAP RECORDS

BUYER'S NAME: MUHAMMAD SALIM

FLOOD ZONE: "AH" COMMUNITY PANEL NUMBER: 480343 0010 C  
 MAP REVISED: NOVEMBER 2, 1982

I CERTIFY THAT THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND AT THE TIME OF SURVEY AND THAT THERE ARE NO VISIBLE OR APPARENT EASEMENTS, DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES, OR ANY ENCROACHMENTS, OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN ON THIS PLAT © COPYRIGHT 2021 PENA ENGINEERING THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE BORROWER NAMED HEREON. IN CONJUNCTION WITH THE ORIGINAL TRANSACTION WHICH SHALL TAKE PLACE WITHIN 6 MONTHS AFTER THE SURVEY WAS PROVIDED. NO LICENSE HAS BEEN CREATED OR IMPLIED TO COPY THIS SURVEY. SURVEY VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE

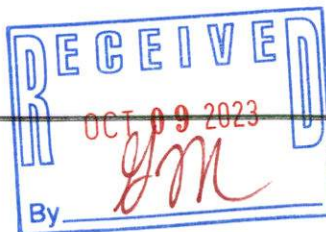
ADDRESS: 4502 S. 23rd ST. McALLEN, TX 78503

LEGAL DESCRIPTION: LOT 30 BLOCK 2, BALBOA ACRES ADDITION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP THEREOF RECORDED IN VOLUME 14 PAGE 31 OF THE MAP RECORDS OF SAID COUNTY.

*Pablo Peña III*

PABLO PEÑA III  
 REG. PROFESSIONAL LAND SURVEYOR No. 5242  
 DATE: 10/05/2021

**pe**  
**PENA ENGINEERING**  
 POST OFFICE BOX 4320  
 McALLEN TEXAS 78502  
 OFFICE (956) 682-8812  
 FAX (956) 631-7362  
 FIRM#10087200





44  
PRINTS  
956-828-1577

RESALE  
TRACTORS

TOE &  
SUPPLIES

CHAPA'S  
MOVING SERVICE  
210-527-0340

CHAPA'S  
MOVING SERVICE  
956-686-3247

CHAPA'S  
MOVING SERVICE  
956-686-3247







CITY OF  
McALLEN  
1006

4502 S.

CHAPA'S MOVING SERVICE

CHAPA'S MOVING  
Valley & State Wide Services  
COMMERCIAL RESIDENTIAL  
TEL (956) 686-3247

CHAPA'S  
MOVING SERVICE

WARNING  
NO DUMPING  
NOT FOR PUBLIC  
USE  
CITY OF McALLEN





NOTICE  
AUTO SERVICE  
FOR  
THIS PROPERTY  
CUP2023-0150  
CITY OF MESA PLANNING DEPT  
800 N. GATE  
MESA, AZ 85205

My Furniture Boutique  
(Third Store)  
We have a huge selection of furniture and home decor items. Call today to see our new arrivals.  
210-627-0144  
1000 N. GATE RD. SUITE 100  
MESA, AZ 85205

#4502

CHAPA'S  
MOVING SERVICE  
210-627-0144

CHAPA'S  
MOVING SERVICE  
210-627-0144



## **Memo**

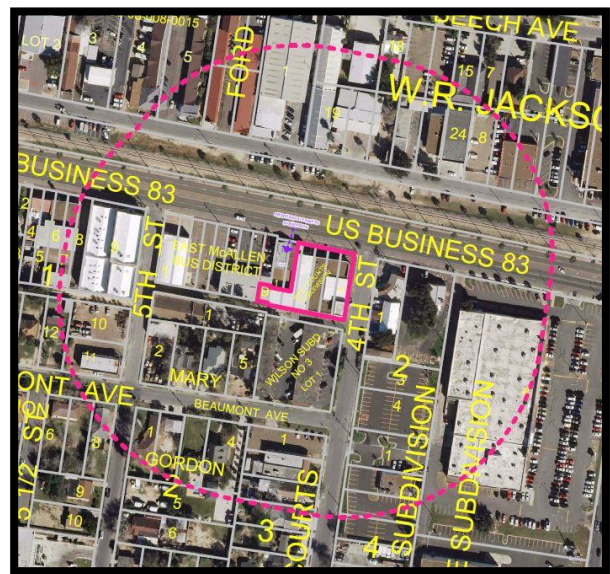
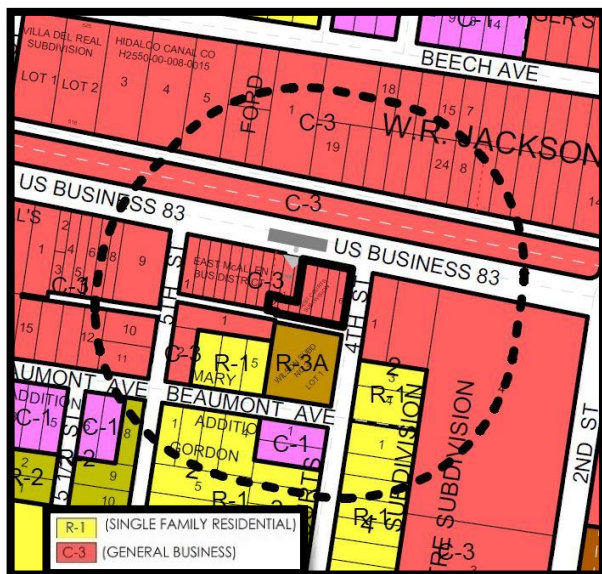
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** November 13, 2023

**SUBJECT:** REQUEST OF UMAIR A. PARIYANI, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A VAPORIZER STORE (VAPE STORE), AT S 35.08'-LOT 1, 2 & E 9.82'-N 100.02'- LOT 2, ALL LOT 3 & 7.30IN- S 35.08' -LOT 9, EAST MCALLEN BUSINESS DISTRICT SUBDIVISION, N130' OF LOTS 4, 5 & 6, BLOCK 1, BEST COURTS SUBDIVISION, HIDALGO COUNTY, TEXAS; 409 BUSINESS HIGHWAY 83, SUITE A. (CUP2023-0151)

**BRIEF DESCRIPTION:** The property is located at the southwest corner of Business Highway 83 and South 4<sup>th</sup> Street and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the west. There is also C-3 district to the north across Business 83 and to the east across South 4<sup>th</sup> Street. There is R-3A (multi family residential apartment) District to the south. Surrounding land uses include Outdoor Kitchens & Grill Store, South Texas Solar Systems and single family residential. A vaporizer store is permitted in the C-3 district with a Conditional Use Permit and in compliance with requirements.



### **REQUEST/ANALYSIS:**

The applicant is proposing to operate a vaporizer store with retail sales only, with storage area

of related general merchandise. There will be no customer seating inside the establishment. The proposed hours of operation will be 9:00 a.m. to 6:00 p.m., Monday through Saturday. The vape shop will be closed on Sundays.

The Fire Department approved inspection and advised the CUP process to continue. The Planning Department has received no calls or concerns regarding the proposed use. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The business must meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

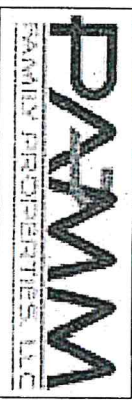
- 1) The property line of the lot of any of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. of a residential zone to the south and southeast.
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The subject property has frontage along Business Highway 83 and does not generate traffic into residential areas.
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. The proposed 2,311 sq. ft. commercial area requires six parking spaces.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. The occupancy load for this establishment will be established by the Building and Inspections Department as part of the building permit review process.

**RECOMMENDATION:** Staff recommends disapproval of the request based on non-compliance with requirement listed above as #1 (distance to a residence or residentially zoned property) of Section 138-118(a)(4)(a) of the Zoning Ordinance. If approved, the conditional use permit must comply with conditions noted.



RECEIVED  
OCT 09 2023  
By *mm*

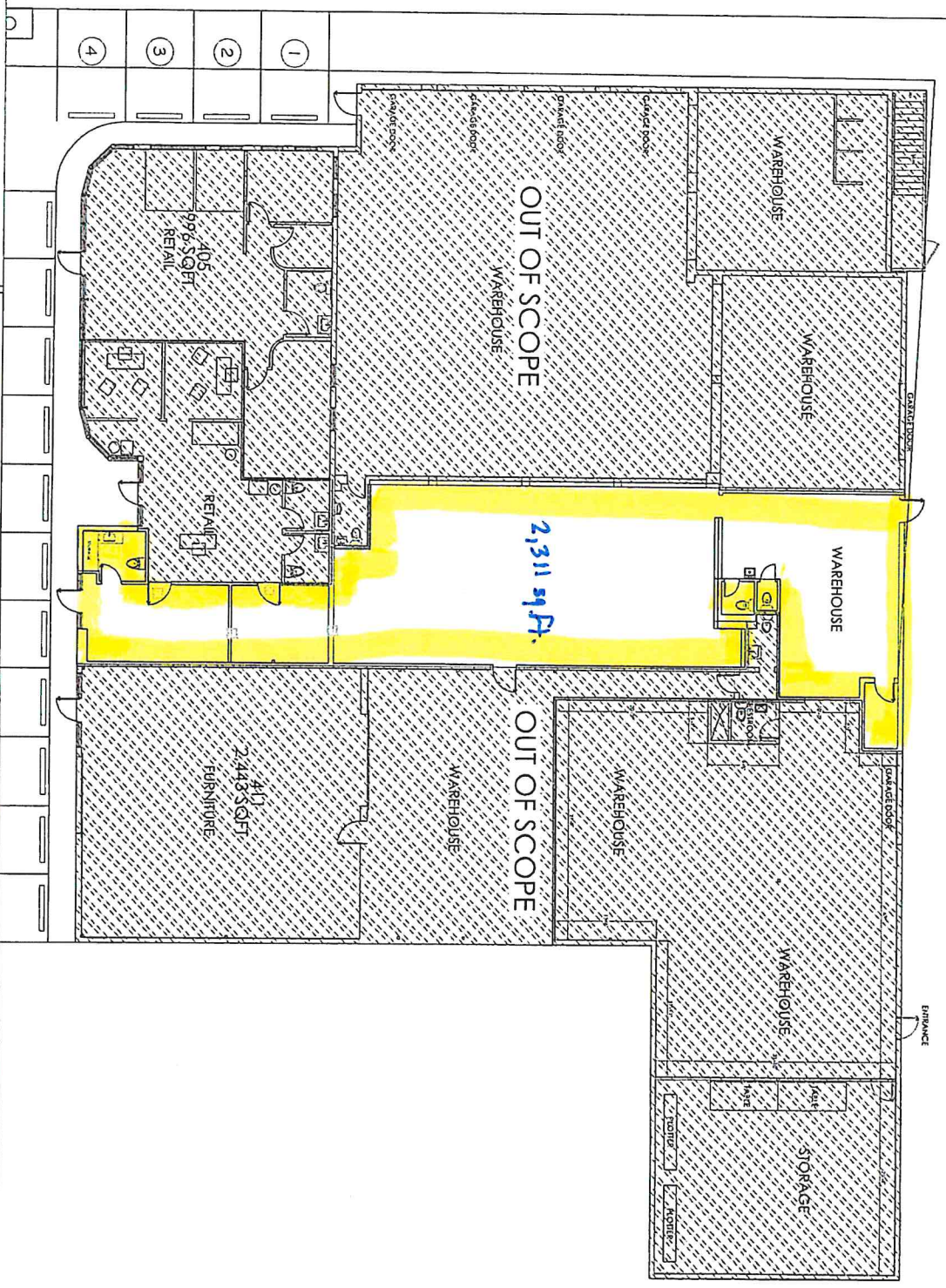
COMMERCIAL LOCATION  
ARCHITECTURAL FLOOR PLAN



LOCATION:  
409 BUS HWY 83  
MCALLEN, TEXAS, 78501

SHEET A-3.1

DATE:  
03-12-2020  
SCALE:







Furniture  TRIPLE GGG Mattress

NO CREDIT NEEDED 100 DAY CASH PAYOFF approval in a snap! snap!

LIVING ROOM

NO CREDIT CHECK

Shop without using credit

OPEN Shop without credit

TESLA POWERWALL  
Panasonic Solar  
systems.com



# Furniture



409A

NOTICE  
VAPE STORE  
FOR  
THIS PROPERTY  
CUP2023-0151

409 W BUS 83  
B

OPEN

Shop  
without  
credit

NO  
CREDIT  
NEEDED  
WITH  
MULTIPLE  
snap!

MINI SPLIT  
HEAT PUMP

MINI SPLIT  
HEAT PUMP

MINI SPLIT  
HEAT PUMP



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

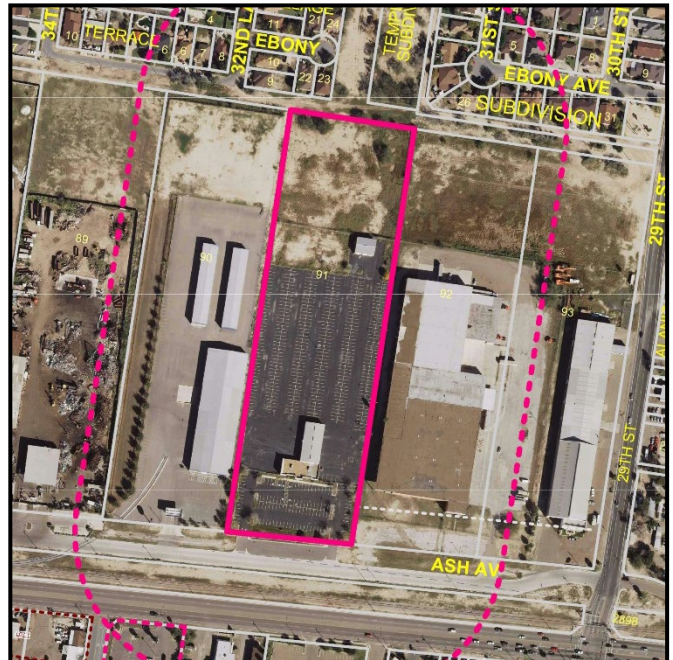
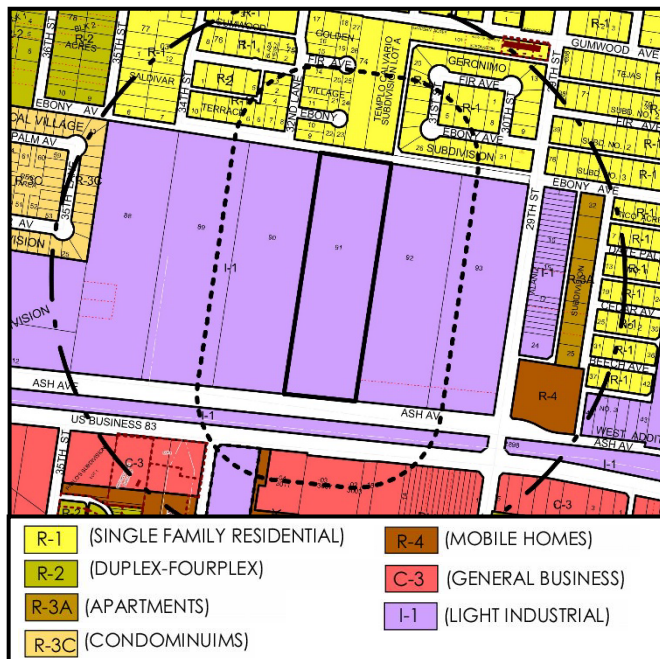
**DATE:** November 13, 2023

**SUBJECT: REQUEST OF JORGE A. RICHAUD FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN EVENT CENTER (DRIVE-IN THEATER) AT 9.08 ACRES OUT OF THE SOUTH 40 FEET OF LOT 74 AND LOT 91 EXCEPT THE SOUTH 50.06 FEET, C.E. HAMMOND SUBDIVISION, HIDALGO COUNTY, TEXAS; 3116 ASH AVENUE. (CUP2023-0153)**

#### BRIEF DESCRIPTION:

The subject property is located along the north side of Ash Avenue west of North 29<sup>th</sup> street. The tract has 330.45 feet of frontage along Ash Avenue and a depth of 1,206.61 feet at its deepest point for a Lot size of 9.08 acres.

The property is zoned I-1 (light industrial) District. The adjacent zoning is R-1 (single-family residential) District to the north and I-1 District to the east, south, and west. Surrounding land uses include single-family residences to the north, American Tire Distribution warehouse, Petro Gas, Wilkinson Ray Iron, Metal Recycling Center and Missouri Pacific Railroad. An event center is allowed in an I-1 District with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

The existing main building located at the front of the property was previously used as an event center during 2014 and 2015. Since the event center was used for children only, subsequently the renewal of the CUP was not required. The initial Conditional Use Permit for a Drive-in theater was approved by the City Commission on November 22, 2021; however, the Drive-in theater did not begin operation. A new application for a conditional use permit to operate (Drive-in theater) on the rear of the property was submitted on October 17, 2023.

**REQUEST/ANALYSIS:**

The applicant is proposing to set up an 80 feet by 36 feet screen on the north side of the property's parking lot. There will also be four portable buildings (two snack stand and two restrooms). The applicant stated that there are 500 striped parking spaces; however, he is planning to allow a maximum number of 200 cars for the drive-in theater. The hours of operation will be Monday through Sunday from 7 p.m. to 12 a.m. No loud speakers will be used and the customers will listen to the movie inside their cars.

The Fire Department and the Health Department has inspected the location and indicated the CUP process may continue. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the Lot of the above mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from residentially zoned properties to the north.
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has access to North 29<sup>th</sup> street and US Business 83 via Ash Avenue. The Traffic Department stacking requirements and the Fire Department service drive requirements must be in compliance. Any required access agreements have to be provided prior to building permit issuance;
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage and use of the existing building (event center), all of the rear parking area is available use by the proposed Drive-in theatre; however, the parking lot has to be maintained free of potholes according to Sec. 138-400 of the Zoning Ordinance;
4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirements listed above as #1 (distance to a residence or residentially zoned property) of Section 138-118(a)(4)(a) of the Zoning Ordinance.



VACANT



Screen Structure

80' x 36'

Made from 8 40' x 9.6"

Shipping containers

Projection Room 8.1' x 9.1'

Box Office 8' x 9'

Concession Stand 1 20' x 12'

Concession Stand 2 20' x 12'

Women Restroom 20' x 10'

Men Restroom 20' x 10'

EPIC EVENT CENTER









NOTICE  
EVENT CENTER  
FOR  
THIS PROPERTY  
CUP 2023-0153



## Memo

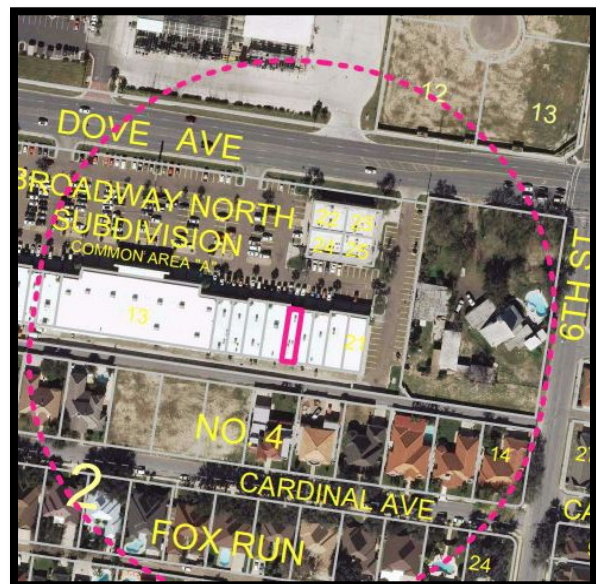
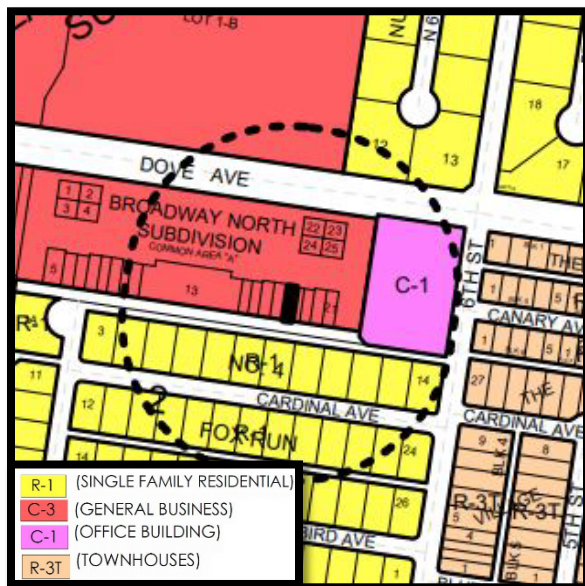
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** November 13, 2023

**SUBJECT: REQUEST OF OSCAR I. GUERRERO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A VAPORIZER STORE, AT LOT 18A AND 1.99% COMMON AREA "A", AMENDED MAP OF BROADWAY NORTH SUBDIVISION, HIDALGO COUNTY, TEXAS; 721 DOVE AVENUE. (CUP2023-0154)**

**BRIEF DESCRIPTION:** The property is located along the south side of Dove Avenue. It is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) district to the east, C-3 and R-1(single family residential) districts to the north. There is also R-1 district to the south. Surrounding land uses on the subject property are Pizza Hut, Casa Petrides, Helium Trampoline Park, Plant Based Cuisine restaurant, Holiday Wine & Liquor and various other commercial uses. A vaporizer store is allowed in a C-3 district with a Conditional Use Permit and in compliance with requirements.



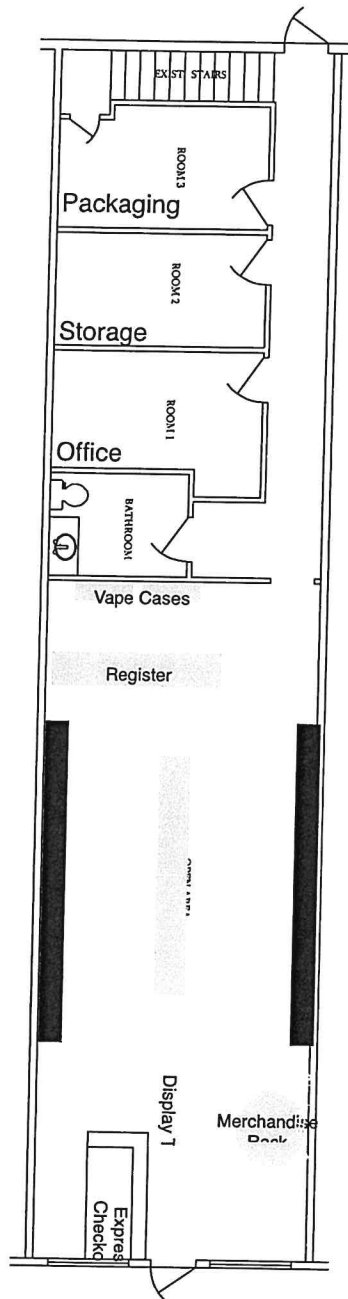
**HISTORY:** This is the initial application for a Conditional Use Permit for a vaporizer store at this location. The location was formerly the site for "The Grill Proshop", a barbecue equipment store.

**SUMMARY/ANALYSIS:** The applicant is proposing to operate a CBD and vaporizer store in a 1,660 square feet property as per Hidalgo County Appraisal District records. The store hours are proposed to be Monday through Sunday from 10 a.m. to 11 p.m. The applicant stated that no smoking will be allowed on the premises. This is strictly a retail operation.

The Fire Department has inspected the location and indicated the CUP process may continue. The Planning Department has received no inquiries regarding this proposed establishment. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the Lot of the above mentioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from an R-1 (single family residential) property to the north and south.
- 2) The business must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has access to Dove Avenue.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The 1,660 sq. ft. vaporizer shop would require 7 parking spaces; there are 316 common parking spaces provided on site.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

**RECOMMENDATION:** Staff recommends disapproval of the request based on noncompliance with requirement listed above as #1 (distance to a residence or residentially zoned property) of Section 138-118(a)(4)(a) of the Zoning Ordinance.



FLOOR PLAN





AVAILABLE

**RE/MAX**  
COMMERCIAL

**RE/MAX**  
PLATINUM

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JONATHAN LINDLEY  
BROKER

956.668.8555

721

AVAILABLE

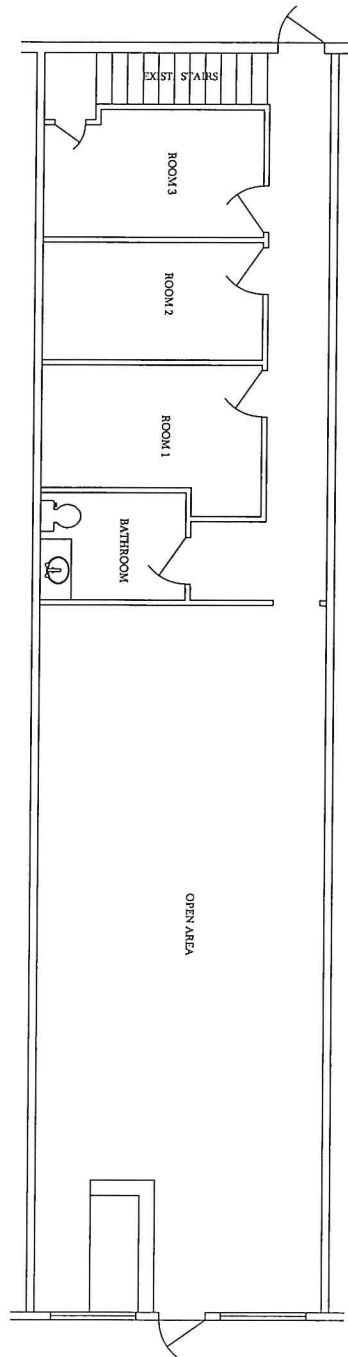
**RE/MAX**  
COMMERCIAL

**RE/MAX**  
PLATINUM

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JONATHAN LINDLEY  
BROKER

956.668.8555



EXISTING FLOOR PLAN  
SCALE 1/8" = 1'-0"



ST  
LIUM  
TIVE  
FY'S  
OUTIQUE  
k Deli  
- Burgers  
soups  
631-8787  
RK'S  
SHOP  
SHOP.COM

CIGARS

BEER

NOTICE  
VAPE STORE  
FOR  
THIS PROPERTY  
CUP2023-0154

TOBACCO

CASA PETRIDES  
TOBACCOS

Pizza Hut



## **Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

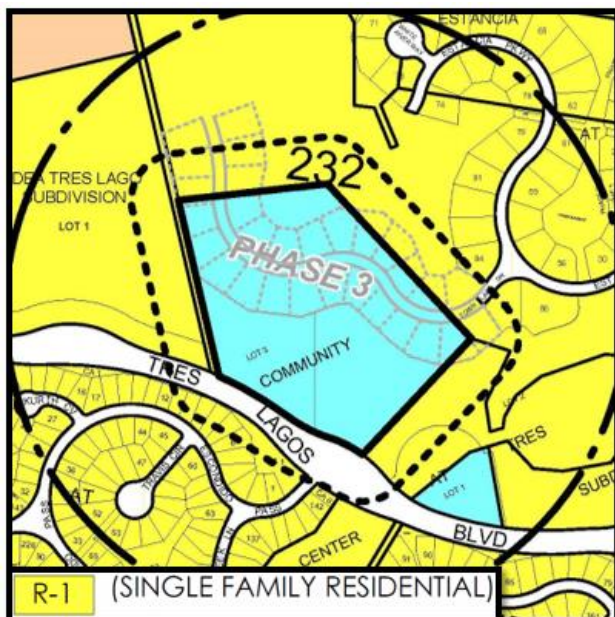
**DATE:** November 01, 2023

**SUBJECT: REZONE FROM C-4 (COMMERCIAL-INDUSTRIAL) DISTRICT TO R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 20.245 ACRES BEING A PORTION OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY SURVEY, HIDALGO COUNTY, TEXAS; 4800 TOWN LAKE DRIVE. (REZ2023-0048)**

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**LOCATION:** The subject property is located on the north side of Tres Lagos Boulevard.

**PROPOSAL:** The applicant is proposing to rezone the property from C-4 (commercial-industrial) District to R-1 (single-family residential) District in order to continue to develop the tract of land for a single-family residential subdivision with 29 lots proposed. The subject property will be part of a proposed single-family residential subdivision under the name "Estancia at Tres Lagos Phase III".



**ADJACENT ZONING:** The adjacent zoning is R-1 (single-family residential) District in all directions.

**LAND USE:** The northern portion of the subject property is currently vacant and the southern portion contains the Tres Lagos Community Center. Surrounding land uses include IDEA Tres Lagos, Tres Lagos facilities, and vacant land.

***FUTURE LAND USE PLAN:*** The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. The most appropriate type of development includes single-family detached homes, accessory uses to single-family residences, neighborhood-scale offices and retail, civic buildings, and parks and open space uses.

***DEVELOPMENT TRENDS:*** The development trend for this area is single-family residential, and parks and open space uses.

***HISTORY:*** The property was annexed and initially zoned as R-1 (single-family residential) District on December 22, 2014. The property was rezoned to C-4 (commercial-industrial) District on February 23, 2015 as part of the Tres Lagos master planned community. It allowed the greatest commercial flexibility and a potential down zone in the future based upon the market. The requested rezoning is following the proposed zoning master plan submitted by the applicant in 2019. A subdivision review application was submitted on November 19, 2021 for a private subdivision under the name "Estancia at Tres Lagos Phase III". The subdivision plat received approval in final form by the Planning and Zoning Commission on September 19, 2023. The Tres Lagos Public Improvement District Project Plan Map shows this area as the continuation of the Estancia at Tres Lagos Subdivision.

***ANALYSIS:*** The requested zoning and proposed uses conforms to future land use designation on the Envision McAllen Future Land Use Plan. The request will also be in line with the existing uses and development trends in the area.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

***RECOMMENDATION:*** Staff recommends approval of the rezoning request to R-1 (single-family residential).



October 13, 2023

**METES AND BOUNDS DESCRIPTION  
20.245 ACRES  
BEING OUT OF SECTION 232,  
TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
CITY OF MCALLEN  
HIDALGO COUNTY, TEXAS**

A tract of land containing 20.245 acres situated in the City of McAllen, County of Hidalgo, Texas, being out of Section 232, Texas-Mexican Railway Company Survey, according to the patent recorded in Volume 4, Pages 142-143, Hidalgo County Deed Records, said 20.245 acres also being more particularly described as follows:

COMMENCING at a No. 4 rebar found at the Southwest corner of said Section 232 and the Southeast corner of Section 227 of said Texas-Mexican Railway Company Survey and being within the existing right-of-way of 9 Mile Line Road;

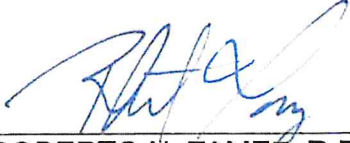
THENCE, S 80° 30' 26" E along the South line of said Section 232, and within the right-of-way of 9 Mile Line Road, a distance of 2,113.53 feet to a point being on the South line of said Section 232;

THENCE, N 09° 29' 34" E a distance of 1,860.44 feet to a No. 4 rebar set on the Southeast corner of a certain tract of land conveyed to City of McAllen by virtue of a Special Warranty Deed recorded in Document Number 2793204, Hidalgo County Official Record, and the Southwest corner of Lot 3, Community Center at Tres Lagos according to the plat thereof recorded in Instrument Number 2822018, Hidalgo County Map Records, for the Southwest corner and POINT OF BEGINNING of this herein described tract;

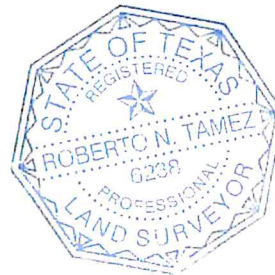
1. THENCE, N 13° 00' 00" W along the East line of said Lot 3, Community Center at Tres Lagos, at a distance of 445.22 feet pass the Northwest corner of said Lot 3 and the Southwest corner of a certain tract conveyed to Rhodes Enterprises, Inc., a Texas corporation by virtue of a Correction Special Warranty Deed recorded under Document Number 2869684, Hidalgo County Official Records, continuing a total distance of 761.73 feet to a No. 4 rebar set, for the Northwest corner of this tract;
2. THENCE, N 84° 00' 00" E a distance of 660.08 feet to a No. 4 rebar set, for an outside corner of this tract;
3. THENCE, S 41° 49' 16" E a distance of 902.05 feet to a No. 4 rebar set, for the Northeast corner of this tract;
4. THENCE, S 45° 14' 57" W at a distance of 129.64 feet pass the South line of said certain tract conveyed to Rhodes Enterprises, Inc. and the North line of Lot 2, said Community Center at Tres Lagos, continuing a total distance of 669.51 feet to a No. 4 rebar set on the existing North right-of-way line of Tres Lagos Boulevard, for the Southeast corner of this tract;

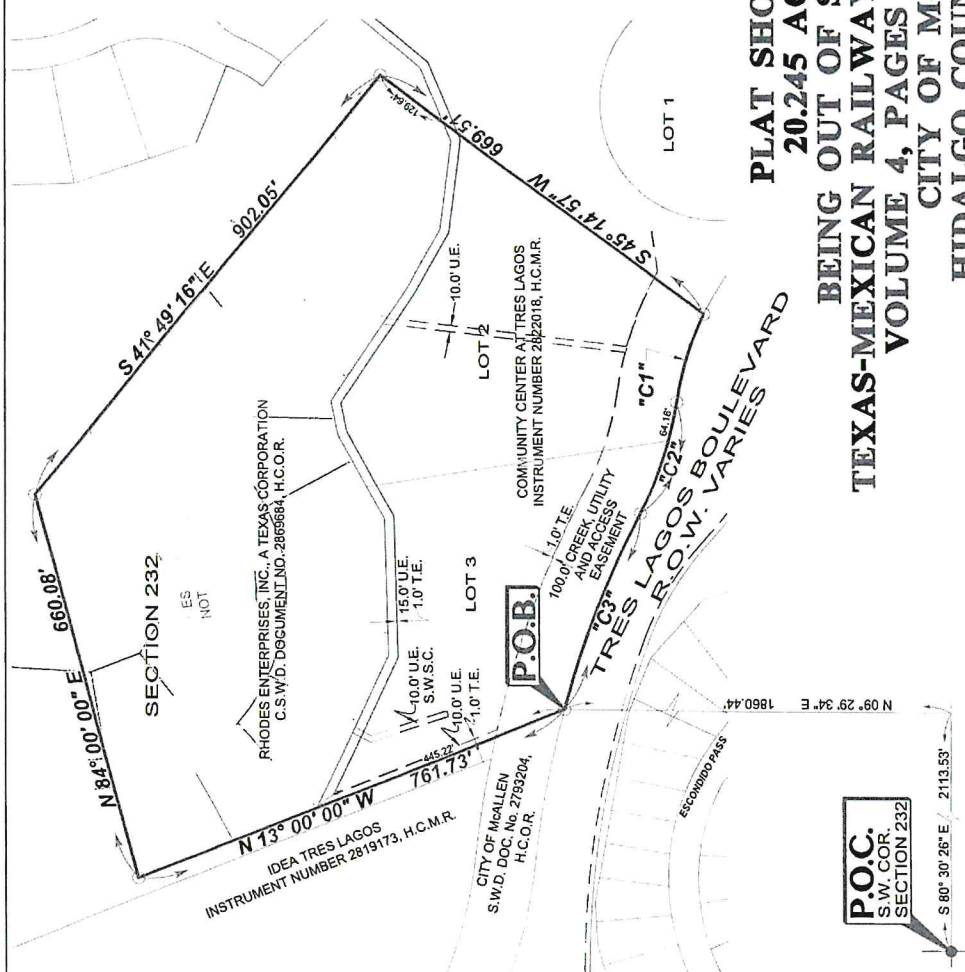
5. THENCE, in a Northwesterly direction, along the existing North right-of-way of Tres Lagos Boulevard, along a curve to the left with a central angle of  $17^{\circ} 27' 16''$ , a radius of 500.00 feet, an arc length of 152.32 feet, a tangent of 76.75 feet, and a chord that bears  $N 63^{\circ} 37' 56'' W$  a distance of 151.73 feet to a No. 4 rebar set, for a corner of this tract;
6. THENCE, in a Northwesterly direction, along the existing North right-of-way of Tres Lagos Boulevard, along a curve to the right with a central angle of  $18^{\circ} 45' 05''$ , a radius of 600.00 feet, an arc length of 196.36 feet, a tangent of 99.07 feet, and a chord that bears  $N 62^{\circ} 58' 27'' W$  a distance of 195.49 feet to a No. 4 rebar set, for a corner of this tract;
7. THENCE, in a Northwesterly direction, along the existing North right-of-way of Tres Lagos Boulevard, along a curve to the left with a central angle of  $12^{\circ} 08' 05''$ , a radius of 1,650.00 feet, an arc length of 349.45 feet, a tangent of 175.38 feet, and a chord that bears  $N 59^{\circ} 39' 57'' W$  a distance of 348.80 feet, to the POINT OF BEGINNING and containing 20.245 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 10/09/2023 UNDER MY DIRECTION AND SUPERVISION.

  
ROBERTO N. TAMEZ, R.P.L.S. #6238

10/13/2023  
DATE:





Curve Table				
Curve #	Delta	Radius	Length	Chord Direction
"C1"	017° 27' 16"	500.00'	153.32'	N 83° 37' 56" W
"C2"	018° 45' 05"	600.00'	156.36'	N 82° 56' 27" W
"C3"	012° 08' 05"	1650.00'	349.45'	N 59° 39' 57" W

**LEGEND**

- FOUND NO. 4 REBAR
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- S.W. COR. - SOUTHWEST CORNER
- U.E. - UTILITY EASEMENT
- T.E. - TECHNOLOGY EASEMENT
- S.W.S.C. - SHARYLAND WATER SUPPLY CORPORATION

- NOTES:**
1. THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
  2. ALL BEARINGS AND DISTANCES AS PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205 GRID COORDINATES.
  3. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE PARTIES THAT ANY SUCH EASEMENTS MAY AFFECT THIS TRACT.

**PLAT SHOWING  
20.245 ACRES  
BEING OUT OF SECTION 232,  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 4, PAGES 142-143 H.C.D.R.  
CITY OF McALLEN  
HIDALGO COUNTY, TEXAS**



I, ROBERTON N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 10/09/23 UNDER MY DIRECTION AND SUPERVISION

*Roberton N. Tamez*  
ROBERTON N. TAMEZ, RPLS No 6238 DATE: 10/09/2023

**MELDEN & HUNT, INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

**MH**  
18PELS No. 10076/2023

PAGE 3 OF 3  
DATE: 10/13/2023  
JOB No. 21216.02  
FILE NAME: 21216.02\_20.245 Ac Tr  
DRAWN BY: B.M.  
115 W. MCINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1859  
ESTABLISHED 1947  
www.meldenandhunt.com

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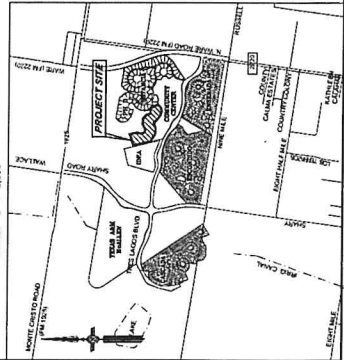
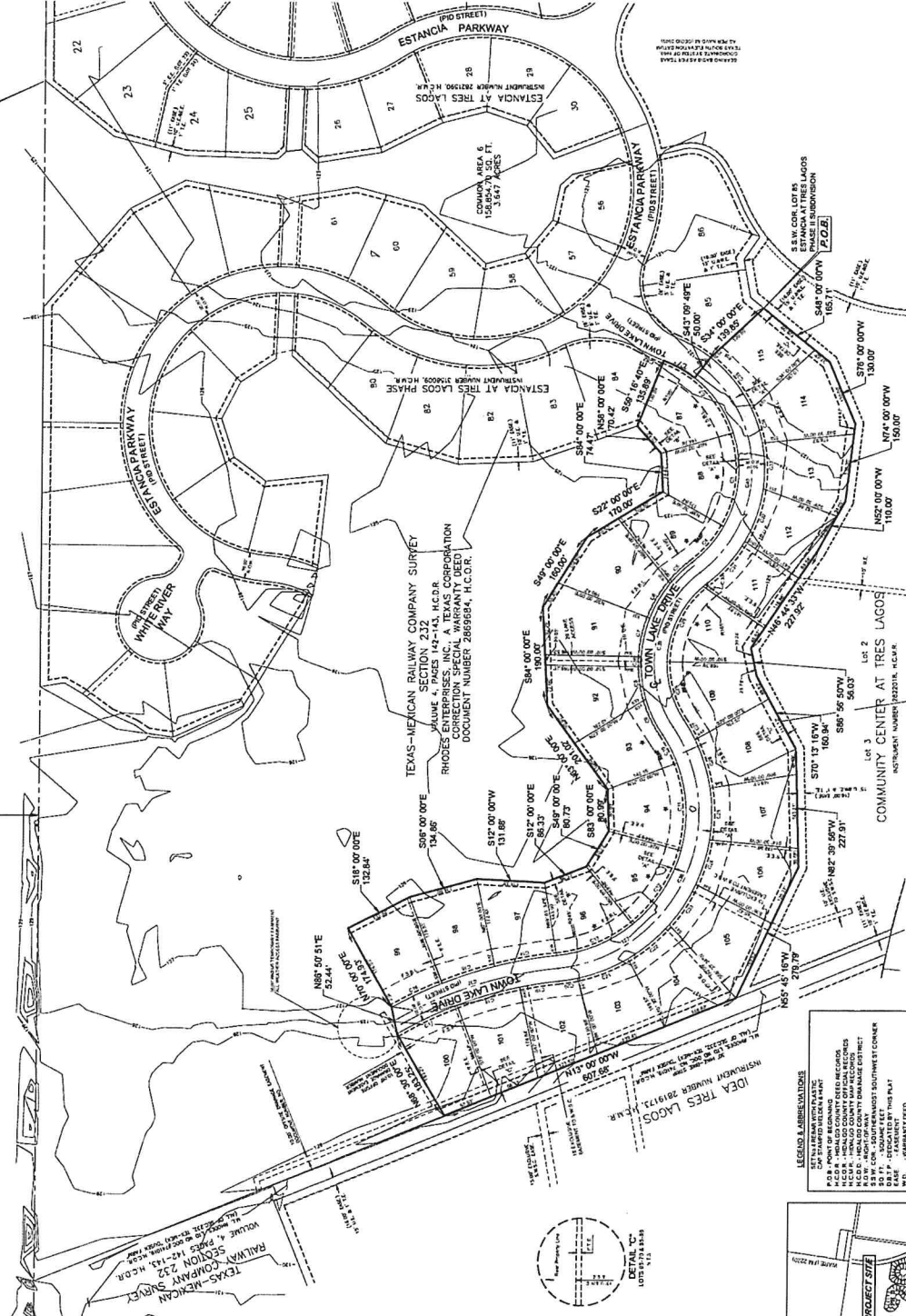
327 R.O.W. TO CITY OF MCALLEN  
BY DOCUMENT NUMBER 2780212. H.C.O.R.

N.W. COR. LOT 22

Cross Section	Length	Radius	Chord	Chord Distance	Chord Length	Tangent
20"	45.42	275.00	411.24 86°	5.16 ±0.00 390°	44.35	34.10

Case No.	LOTS		Cure Rate	Outcome
	Lot 1	Lot 2		
1	10	10	100%	100%
2	10	10	100%	100%
3	10	10	100%	100%
4	10	10	100%	100%
5	10	10	100%	100%
6	10	10	100%	100%
7	10	10	100%	100%
8	10	10	100%	100%
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50	10	10	100%	100%

Year	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	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SUBDIVISION MAP OF  
ESTANCIA AT TRES LAGOS PHASE III  
SUBDIVISION

BEING A SUBDIVISION OF 15.279 ACRES OUT OF SECTION 232,  
TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,  
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,  
CITY OF McALLEN, HIDALGO COUNTY, TEXAS.

**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERING • SURVEYORS

115 W. MONTYRE • EDINBURGH, TX 78641  
PH: (505) 351-0591 • FAX: (505) 351-1629  
ESTABLISHED 1947 • [www.meldenhunt.com](http://www.meldenhunt.com)

DRAWN BY: \_\_\_\_\_ IN \_\_\_\_\_ DATE 11-15-2021  
 SURVEYED, CHECKED \_\_\_\_\_ JLG \_\_\_\_\_ DATE 08-14-2020  
 FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2023-0048

CITY OF ALBUQUERQUE  
PLANNING DEPT.  
ALBUQUERQUE, NM  
WWW.PLA.NM.GOV



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

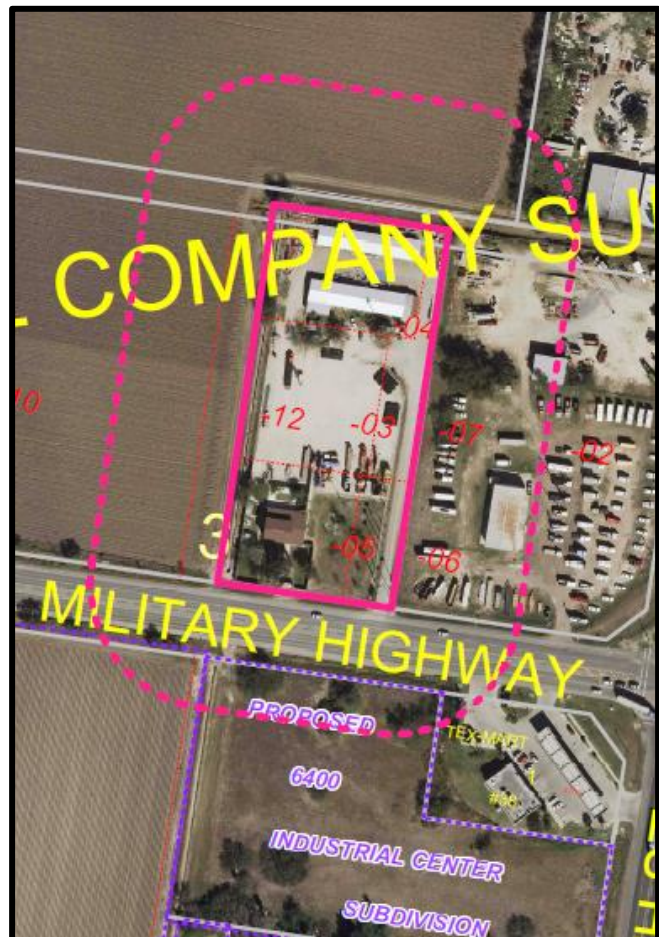
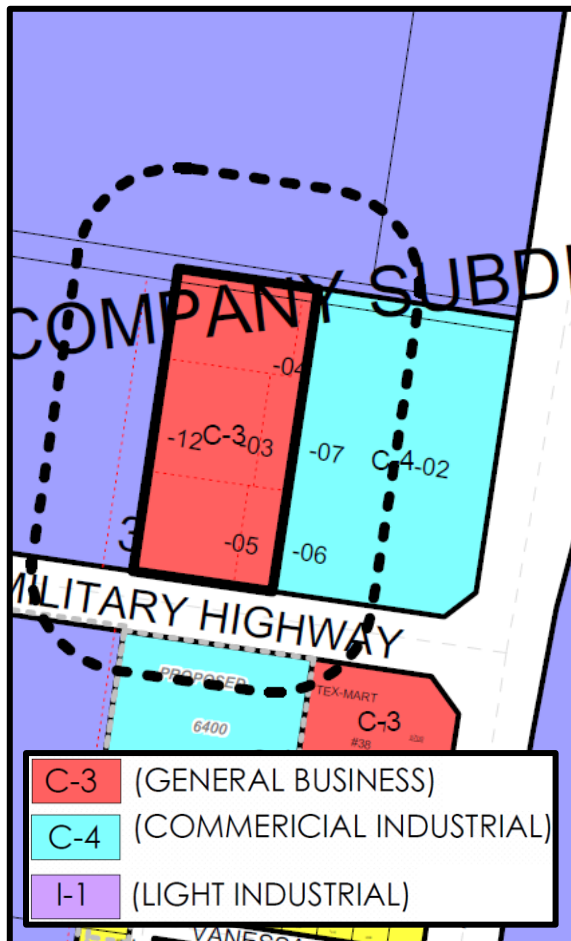
**FROM:** Planning Staff

**DATE:** November 1, 2023

**SUBJECT: REZONING FROM C-3 (GENERAL BUSINESS) DISTRICT TO I-1 (LIGHT INDUSTRIAL) DISTRICT: 3.953 ACRES OUT OF LOT 3, SECTION 4, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 1100 WEST MILITARY HIGHWAY. (REZ2023-0051)**

**LOCATION:** The property is located along the north side of Military Highway, approximately 350 feet west of South 10<sup>th</sup> Street.

**PROPOSAL:** The applicant is proposing to rezone the property to I-1 (light industrial) District in order to develop the tract of land for a 36,930 square-foot cold-storage warehouse building. A proposed site plan has been submitted and is included in the case packet.



**ADJACENT ZONING:** The adjacent zoning is I-1 District to the north and west, C-4 (commercial-industrial) District to the east, and also I District, C-3 District, and C-4 District to the south across Military Highway.

**LAND USE:** The subject property currently has a single-family dwelling and other structures used for storage in the rear yard. All structures in the subject property are proposed to be demolished in the future for a warehouse project. Surrounding land uses include commercial uses, a Stripes Convenience Store and Gas Station, and vacant land, with single-family residential uses.

**FUTURE LAND USE PLAN:** The Envision McAllen Future Land Use Plan categorizes the future land use for this property as mixed-density complete neighborhood. Single-family detached homes, single-family accessory buildings, mixed-use urban and community scale commercial, civic, parks and open space uses are considered most appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend along Military Highway is primarily industrial and commercial, with vacant lands zoned from C-4 District to I-2 (heavy industrial) District throughout.

**ANALYSIS:** The requested zoning does not conform to the Future Land Use Plan designation. However, the proposed zoning aligns with the existing developments and zoning districts along Military Highway. The proposed development over this location will be comparable to other similar warehouse developments in the area.

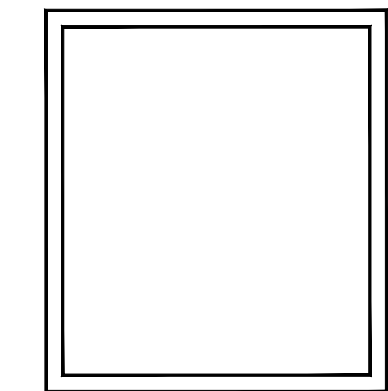
A recorded plat and an approved site plan review will be required prior to building permit issuance.

Staff has not received any phone calls, emails, or letters in opposition to the zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to I-1 (light industrial) District.







o let put your ideas on paper

## heet A-01



HIDALGO CANAL COMPANY'S  
SUBDIVISION  
VOL. Q, PG. 177  
H.C.D.R.

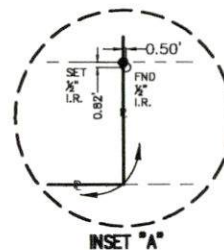
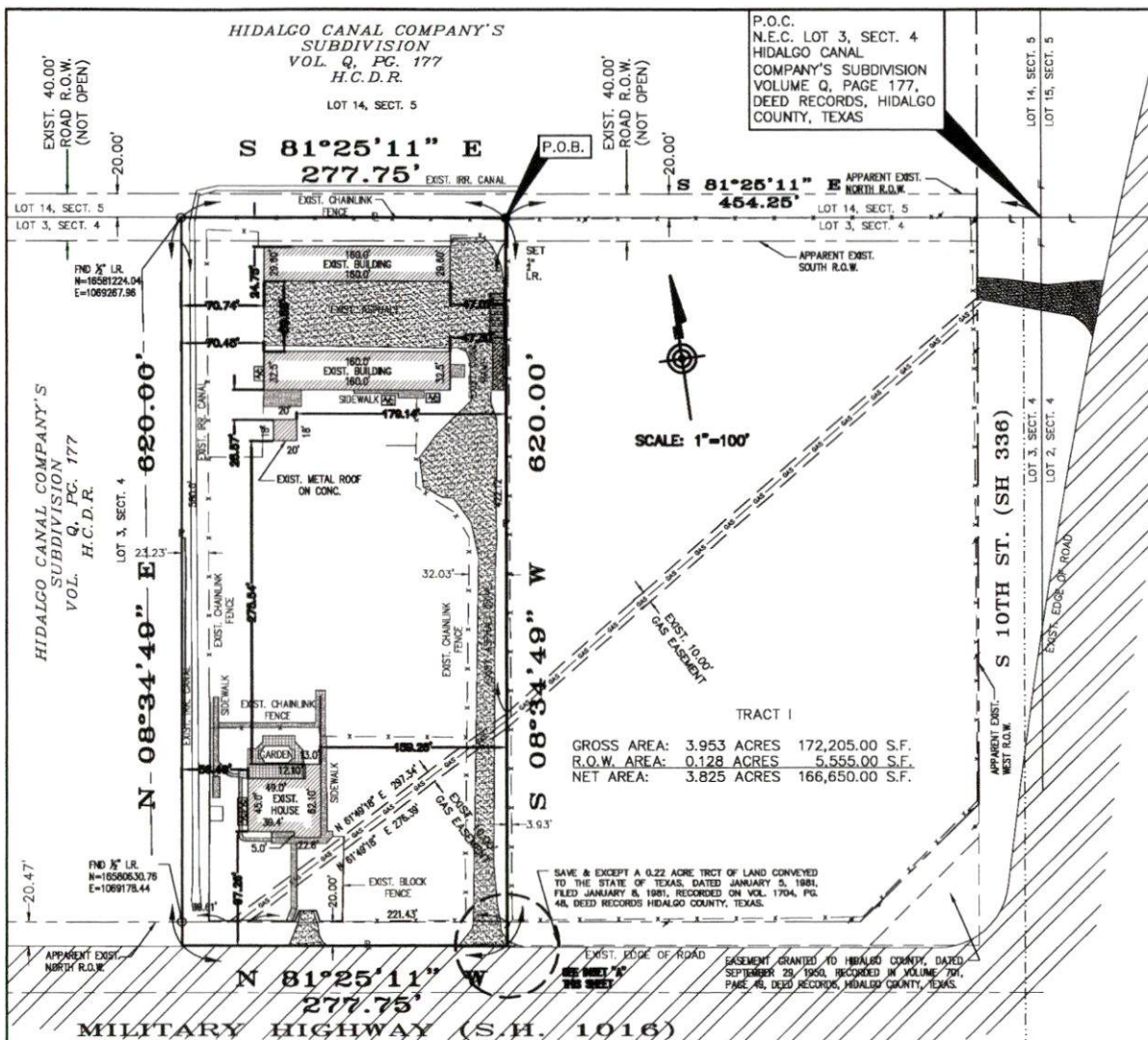
LOT 14, SECT. 5

P.O.C.  
N.E.C. LOT 3, SECT. 4  
HIDALGO CANAL  
COMPANY'S SUBDIVISION  
VOLUME Q, PAGE 177,  
DEED RECORDS, HIDALGO  
COUNTY, TEXAS

**SURVEY PLAT SHOWING  
A 3.953 ACRE TRACT OF LAND OUT OF  
LOT 3, SECTION 4, HIDALGO CANAL  
COMPANY'S SUBDIVISION  
VOLUME Q, PAGE 177, DEED RECORDS,  
HIDALGO COUNTY, TEXAS  
(SEE EXHIBIT "A" FOR METES & BOUNDS)**

**NOTES:**

1. FLOOD ZONE STATEMENT: ZONE "B", AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING); AS PER COMMUNITY-PANEL NUMBER: 480334 0400 C MAP REVISED NOVEMBER 16, 1982.
2. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE RESEARCH.
3. THE EXISTENCE, IF ANY UNDERGROUND GAS LINES OR OTHER UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY SHOULD BE THOROUGHLY INVESTIGATED BY THE OWNER PRIOR TO ANY CONSTRUCTION ON THIS SITE. THE SURVEYOR HAS LIMITED HIS INVESTIGATION OF UNDERGROUND UTILITIES ON THIS SITE TO THAT WHICH CAN BE SEEN.
4. NO BUILDING CONSTRUCTION SHALL BE ALLOWED WITHIN OR OVER ANY EASEMENTS OR LOT LINES.
5. BASIS OF BEARING AS PER NAD 1983 STATE PLANE TEXAS SOUTH FIPS 4205 FEET.



**HOMERO LUIS GUTIERREZ, P.E., R.P.L.S.**

P.O. Box 548  
McAllen, Texas 78505  
(956) 369-0988

JOB# 23-056  
DATE: 10/06/23

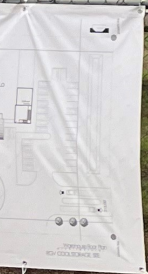
DRAWN BY: LF.

HOMERO L. GUTIERREZ, REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS, STATE THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION ON OCTOBER 01, 2023, AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

*Homero Luis Gutierrez*  
HOMERO LUIS GUTIERREZ, R.P.L.S. DATE: 10/06/23  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 2791







**AVAILABLE**

**FOR SALE**

- INDUSTRIAL BUILDING, 11,000 SQ. FT. EXPOSED
- LOCATED AT INDUSTRIAL PARK, 1/4 MILE FROM I-10
- POSSIBLES CLEAR 30' HEIGHT WITH 11 LEVEL DOORS
- 11,000 SQ. FT. BUILDING
- PROXIMATE TO PRIVATE BRIDGE, MACALLEN AIRPORT



**BORALIS USA** **R GV COLD STORAGE**

CONTACT: JESUS GONZALEZ  
(956) 239 2150

**NOTICE**  
**REZONING**  
**FOR**  
**THIS PROPERTY**  
**REZ2023-0051**

CITY OF MACALEN PLANNING DEPT.  
JESUS GONZALEZ  
WWW.BORALISUSA.NET



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

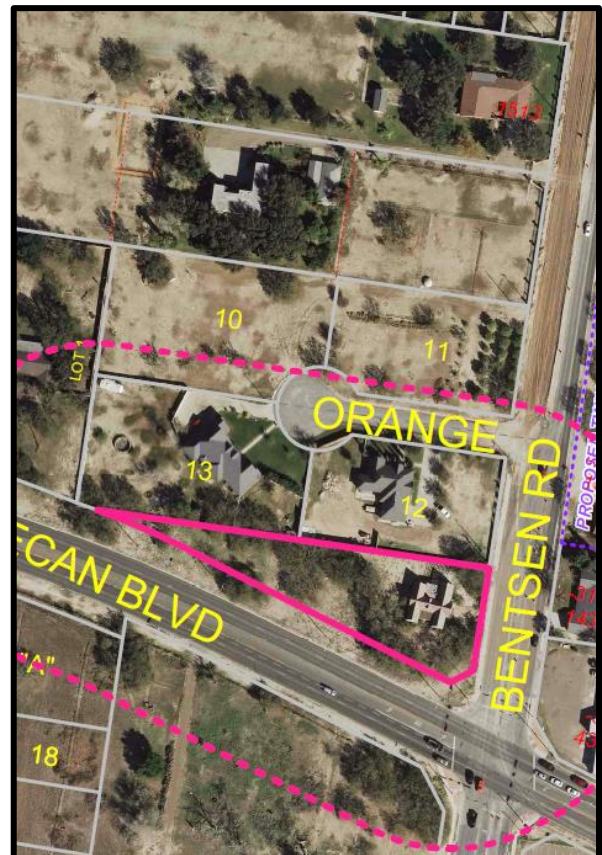
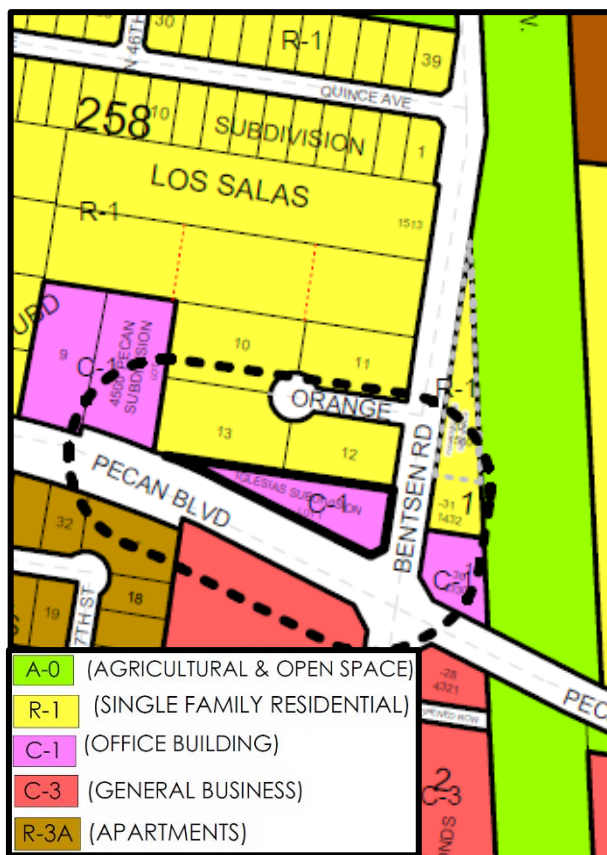
**FROM:** Planning Staff

**DATE:** October 26, 2023

**SUBJECT: REZONING FROM C-1 (OFFICE BUILDING) DISTRICT TO C-3L (LIGHT COMMERCIAL) DISTRICT: LOT 1, IGLESIAS SUBDIVISION, HIDALGO COUNTY, TEXAS; 4400 PECAN BOULEVARD. (REZ2023-0052)**

**LOCATION:** The subject property is located at the northwest corner of Pecan Boulevard and North Bentsen Road.

**PROPOSAL:** The applicant is proposing to rezone the property to C-3L (light commercial) District in order to include retail uses into an existing multitenant office building.



**ADJACENT ZONING:** The adjacent zoning is R-1 (single-family residential) District to the north.

**LAND USE:** The subject property was approved through the site plan review process for a two-story office building only. During the site plan review, the second story was approved for storage only due to parking requirements. The property owner recently proposed retail uses for apparel and accessories within the approved building, which require a C-3L District (at minimum). Surrounding land uses include single-family and multi-family residences, office uses, and vacant land.

**FUTURE LAND USE PLAN:** The Envision McAllen Future Land Use Plan categorizes the future land use for this property as Complete Communities. Single-family residences and accessory uses, neighborhood-scale commercial uses, and civic and parks and open space uses are considered most appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend along North Bentsen Road is single-family residential uses. However, the development trend along this area of Pecan Boulevard includes a mix of multi-family residential and commercial uses.

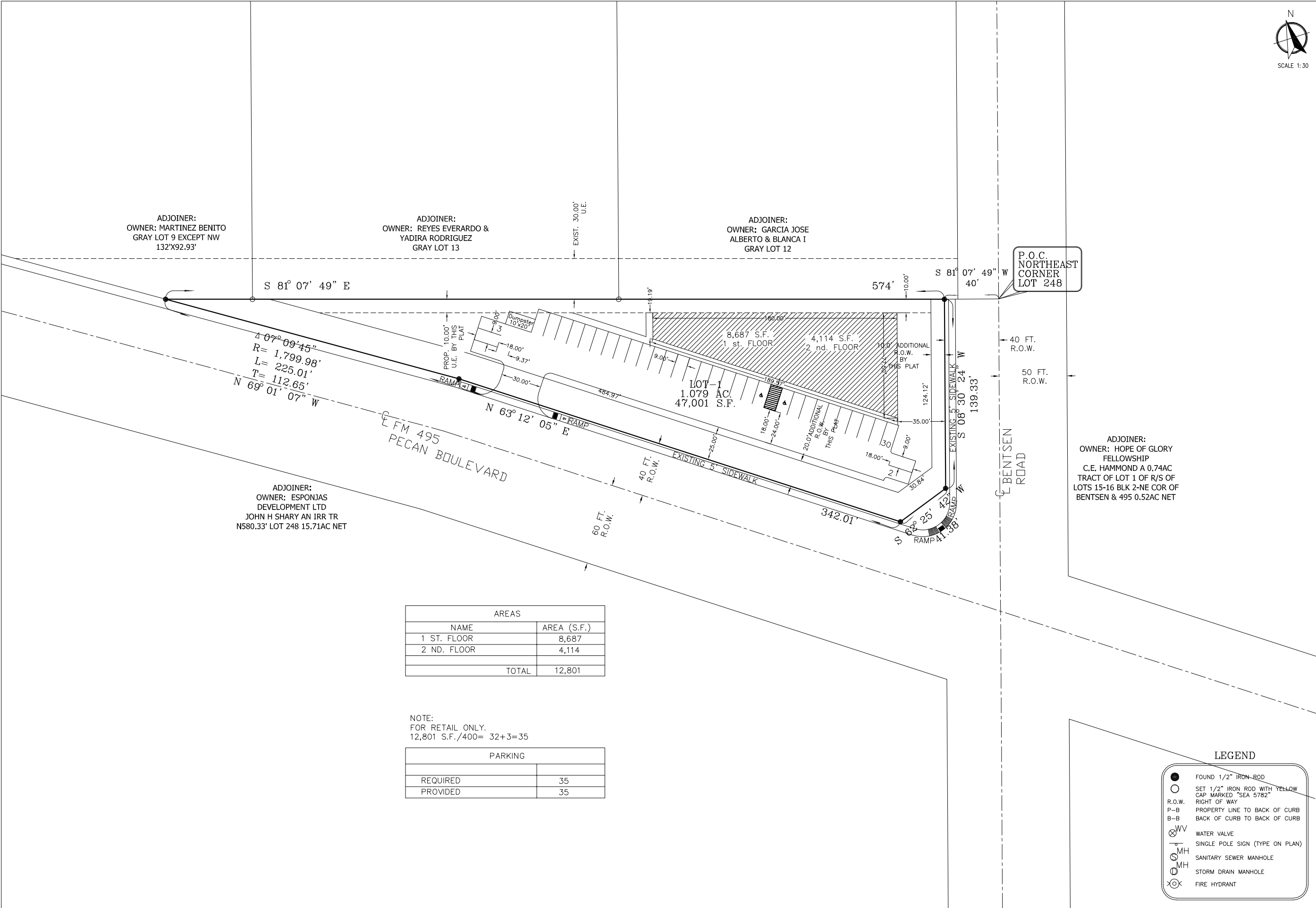
**ANALYSIS:** The requested zoning does not conform to the Future Land Use Plan designation.

In 2014 a request was made to rezone the property from A-O (agricultural and open space) District to C-1 District. A supermajority vote was triggered due to opposition to the request during the Planning and Zoning Commission meeting of November 4, 2014. City Commission, at their meeting of November 24, 2014, made a motion to approve the rezoning request, however the motion failed to carry forward due to the lack of a supermajority vote. The same rezoning request was made later in 2019 and was approved by City Commission at their meeting of September 23, 2019, this time with no opposition going on record.

The location must comply with required conditions under the approved site plan review (SPR2021-0017). If new additions, alterations, or constructions are proposed for the site, additional permits will be required, up to and including an amendment to the approved site plan review.

Staff has not received any phone calls, emails, or letters in opposition to the zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to C-3L (light commercial) District since this zoning would allow for proposed retail uses at the location while prohibiting uses that will be at odds with single-family residential uses in the area.



SCALE 1:30

PROJECT NAME:	IGLESIAS SUBDIVISION
ADDRESS:	1421 N. BENTSEN RD. MCALLEN TX, 78501
CLIENT INFORMATION:	IGLESIAS CAPITAL INVESTMENTS LLC

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N 10TH STREET, SUITE H  
MCALLEN, TEXAS. 78501

PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET

THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OF ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

SHEET NAME:	
SITE PLAN	
REVISION:	BY:
1	JB
APPROVED BY:	
MAS	
DATE OF PREPARATION:	
04-17-2021	
PROJECT No.	SHEET No.
	C-1



MAP  
OF  
IGLESIAS SUBDIVISION

McALLEN, TEXAS

BEING A 1.079 ACRE TRACT OF LAND, OUT OF LOT 248, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

ADJOINER:  
OWNER: MARTINEZ BENITO  
GRAY LOT 9 EXCEPT NW  
132'X92.93'

ADJOINER:  
OWNER: REYES EVERARDO &  
YADIRA RODRIGUEZ  
GRAY LOT 13

ADJOINER:  
OWNER: GARCIA JOSE  
ALBERTO & BLANCA I  
GRAY LOT 12



METES AND BOUNDS DESCRIPTION

BEING A 1.079 ACRE TRACT OF LAND, MORE OR LESS, OF LOT 248, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF THE HIDALGO COUNTY, TEXAS, SAID 1.079 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 248; THENCE NORTH 81 DEGREES 07 MINUTES 49 SECONDS WEST, WITH THE APPARENT NORTH LINE OF SAID LOT 248, A DISTANCE OF 40.00 FEET TO A NO. 4 REBAR WITH A CAP FOUND APPARENT EXISTING WEST RIGHT OF WAY LINE OF BENTSEN ROAD FOR THE NORTHEAST CORNER OF SAID 1.079 ACRE TRACT OF LAND AND FOR THE POINT OF BEGINNING OF SAID 1.079 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 08 DEGREES 30 MINUTES 24 SECONDS WEST, WITH SAID EXISTING WEST RIGHT OF WAY LINE OF BENTSEN ROAD, A DISTANCE OF 139.33 FEET TO A NO. 4 REBAR WITH A CAP FOUND, FOR THE APPARENT SOUTHEAST CORNER OF SAID 1.079 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 62 DEGREES 25 MINUTES 42 SECONDS WEST, WITH THE APPARENT NORTH BENTSEN ROAD AND FM 495 EXISTING NORTHWEST CORNER CLIP RIGHT OF WAY, A DISTANCE OF 41.38 FEET TO A NO. 4 REBAR FOUND WITH A PLASTIC CAP ON THE APPARENT EXISTING NORTH RIGHT OF WAY LINE OF SAID FM 495 FOR THE SOUTHERN MOST SOUTH CORNER OF SAID 1.079 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 63 DEGREES 12 MINUTES 05 SECONDS WEST, WITH THE SAID EXISTING NORTH RIGHT OF WAY LINE OF SAID FM 495 AND A SOUTHER LOT LINE OF SAID 1.079 ACRE TRACT, A DISTANCE OF 342.01 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE BEGINNING POINT OF A CURVE TO THE LEFT FOR SAID 1.079 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, CONTINUING WITH SAID CURVE TO THE LEFT IN A NORTHWESTERLY DIRECTION AND A RADIUS OF 1799.98 FEET HAVING A DEFLECTION ANGLE OF 07 DEGREES 09 MINUTES 45 SECONDS, AND WITH A CORD OF 224.87 FEET BEARING NORTH 89 DEGREES 01 MINUTES 07 SECONDS WEST, A TANGENT LENGTH OF 112.65 FEET AND FOR A CURVE ARC LENGTH OF 225.01 FEET TO A NO. 4 REBAR SET WITH A PLASTIC CAP STAMPED 2791 ON THE APPARENT SOUTH LOT LINE OF GRAY SUBDIVISION, RECORDED IN VOLUME 19, PAGE 137, HIDALGO COUNTY MAPS RECORDS, HIDALGO COUNTY, TEXAS, FOR THE APPARENT NORTHWEST CORNER OF SAID 1.079 ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE SOUTH 81 DEGREES 07 MINUTES 49 SECONDS EAST, WITH THE SAID SOUTH LOT LINE OF GRAY SUBDIVISION AND APPARENT NORTH LOT LINE OF SAID 1.079 ACRE TRACT, A DISTANCE OF 574.90 FEET TO A NO. 4 REBAR FOUND WITH PLASTIC CAP FOR THE NORTHEAST CORNER OF SAID 1.079 ACRE TRACT AND THE POINT OF BEGINNING, SAID TRACT CONTAINING 1.079 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: AS PER THE NORTH LINE DESCRIBED IN DOCUMENT NO. 3133496, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

ADJOINER:  
OWNER: HOPE OF GLORY  
FELLOWSHIP  
C.E. HAMMOND A 0.74AC  
TRACT OF LOT 1 OF R/S OF  
LOTS 15-16 BLK 2-NE COR OF  
BENTSEN & 495 0.52AC NET

NOTES:

- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
A) FRONT: PECAN BOULEVARD: 52 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
NORTH BENTSEN ROAD: 25 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
B) REAR= IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
C) INTERIOR SIDES= IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
- THIS PROPERTY FALLS IN ZONE "C" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480343 0005C, REVISED NOV. 2, 1982, FLOOD ZONE "C" IS DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
- STORM WATER DETENTION OF 8709 C.F. OR 0.20 AC-FT IS REQUIRED FOR THIS SUBDIVISION;
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP CENTERLINE OF PAVEMENT MEASURED AT FRONT CENTER OF LOT.
- 4.0 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG WEST SIDE OF NORTH BENTSEN ROAD AND 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH SIDE OF PECAN BOULEVARD (FM 495).
- NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- 6.0 FOOT OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- CITY OF McALLEN BENCHMARK: MC 691 IS LOCATED AT THE NORTH BOUND OF FM 495, 90 FT EAST OF TAYLOR RD AND 7 FT NORTH FROM BACK OF CURVE OF FM 495.
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, PRIOR TO ISSUANCE OF BUILDING PERMITS.
- AN 8 FOOT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- COMMON AREAS FOR COMMERCIAL DEVELOPMENTS PROVIDE FOR COMMON PARKING, ACCESS, SETBACKS, LANDSCAPING, ETC.
- COMMON AREAS MUST BE MAINTAINED BY THE LOT OWNER(S) AND NOT THE CITY OF McALLEN.
- PRIVATE SERVICE DRIVE EASEMENT WILL BE REVIEWED AND REQUIRED AS PART OF SITE PLAN. PRIVATE SERVICE DRIVE EASEMENT WILL BE MAINTAINED BY PROPERTY OWNERS AND NOT THE CITY OF McALLEN.

STATE OF TEXAS  
COUNTY OF HIDALGO  
I/WE, THE UNDERSIGNED HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS IGLESIAS SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

By: Providence Boneta  
PROVIDENCE BONETA, SENIOR VICE PRESIDENT,  
FROST BANK  
510 EAST RIDGE ROAD, McALLEN, TEXAS 78503

STATE OF TEXAS  
COUNTY OF HIDALGO  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Providence Boneta OF BANK OF SOUTH TEXAS, A STATE BANKING CORPORATION, ON BEHALF OF SAID CORPORATION. THIS THE 12-1-2021 DAY OF December, 2021.

Notary Public, State of Texas  
My Comm. Exp. 03-10-2025  
10 No. 126746194-1

DATE OF PREPARED DECEMBER 1, 2021

MAS ENGINEERING LLC.  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N 10TH. ST. STE. H  
McALLEN, TEXAS. 78501

PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET

LEGEND

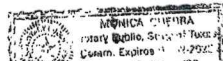
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B BACK OF CURB TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- M.B.S.L. MINIMUM BUILDING SETBACK LINE

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE IGLESIAS SUBDIVISION TO THE CITY OF McALLEN, TEXAS AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATERLINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALVARO IGLESIAS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE DAY 12-6-21 OF December, 2021.



Monica Guerra  
NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

M. Tallich  
CHAIRMAN, PLANNING COMMISSION

1-18-22  
Date

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

[Signature]  
MAYOR, CITY OF McALLEN

1-19-22  
Date



HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

[Signature]  
RAUL SEAN, P. E., CFM  
General Manager

Date

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

SALINAS ENGINEERING & ASSOCIATES  
CONSULTING ENGINEERS & SURVEYORS  
FIRM NO. 100657-00  
2221 DAFFODIL AVE.  
McALLEN, TEXAS 78501  
(956) 682-9081

12/6/21  
DATE



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JP  
HIDALGO COUNTY CLERK

ON 5-24-2022 AT 12:49 AM (PM)  
INSTRUMENT NUMBER: 3345533 AS  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEX

By: [Signature] DEPUTY





4400

100

90

80

**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2023-0052**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLENNET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

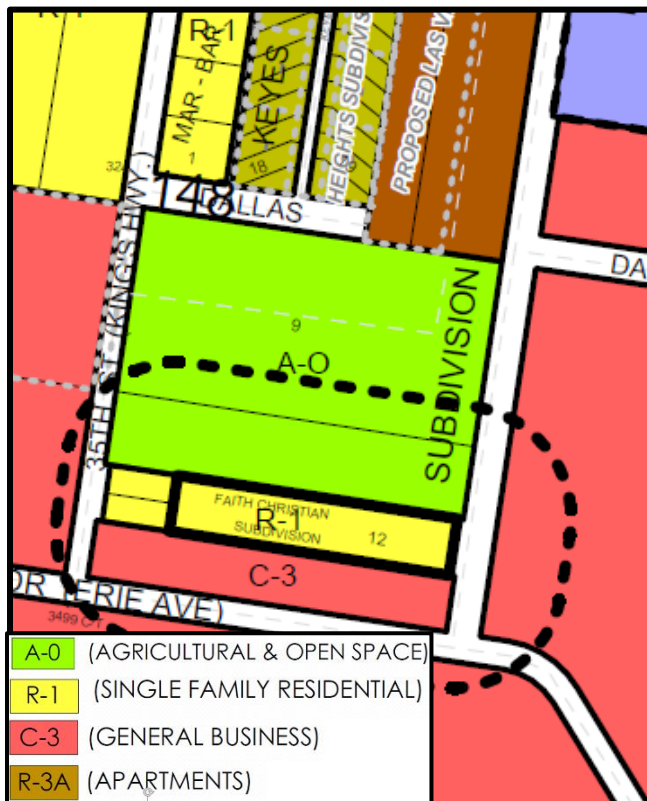
**FROM:** Planning Staff

**DATE:** October 26, 2023

**SUBJECT: REZONING FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: LOT 1, FAITH CHRISTIAN CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 432 SOUTH 33RD STREET. (REZ2023-0053)**

**LOCATION:** The property is located along the west side of South 33<sup>rd</sup> Street, approximately 100 feet north of Erie Avenue.

**PROPOSAL:** The applicant is proposing to rezone the property to C-3 (general business) District in order to operate a therapy clinic. The owner would also like to have this zoning designation to host pop-up markets or special events that require a C-3 District as per ordinance requirements.



**ADJACENT ZONING:** The adjacent zoning is C-3 District to the south, and east and west across South 33<sup>rd</sup> and 35<sup>th</sup> Streets. There is also A-O (agricultural and open space) District to the north, and two R-1 (single-family residential) District properties adjacent to the west: Lots 2 and 3 of Faith Christian Center Subdivision.

**LAND USE:** The subject property is currently used for a church with accessory structures. Surrounding land uses include McAllen's Convention Center, multi-family residential, hotels, commercial retail uses, and vacant land.

**FUTURE LAND USE PLAN:** The Envision McAllen Future Land Use Plan categorizes the future land use for this property as public/semi-public. Civic and parks and open space uses are considered most appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend for this area is a mix of civic use buildings and open spaces, multi-family residential, hotel buildings, and community-scale shopping centers.

**ANALYSIS:** The requested zoning does not conform to the Future Land Use Plan designation. However, the proposed zoning and uses align with the existing commercial developments in the area.

If an institutional use (church) is to continue at the property, a Conditional Use Permit will be required. A Conditional Use Permit will also be required of any other uses that need such a permit to operate under a C-3 District (as per Sections 138-278 and 138-280 to 138-281).

There are three existing single-family residential uses adjacent to the property lines to the west and southwest. As per Section 110-49, *"A buffer shall be provided where a nonresidential use has a side or rear area property line in common with any residential use or zone. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Where such use has 200 feet or less in common with any residential use or zone, the buffer shall be eight feet in height but may be cedar planks."* This requirement will apply if the property proposes a commercial use adjacent to any single-family use or zone.

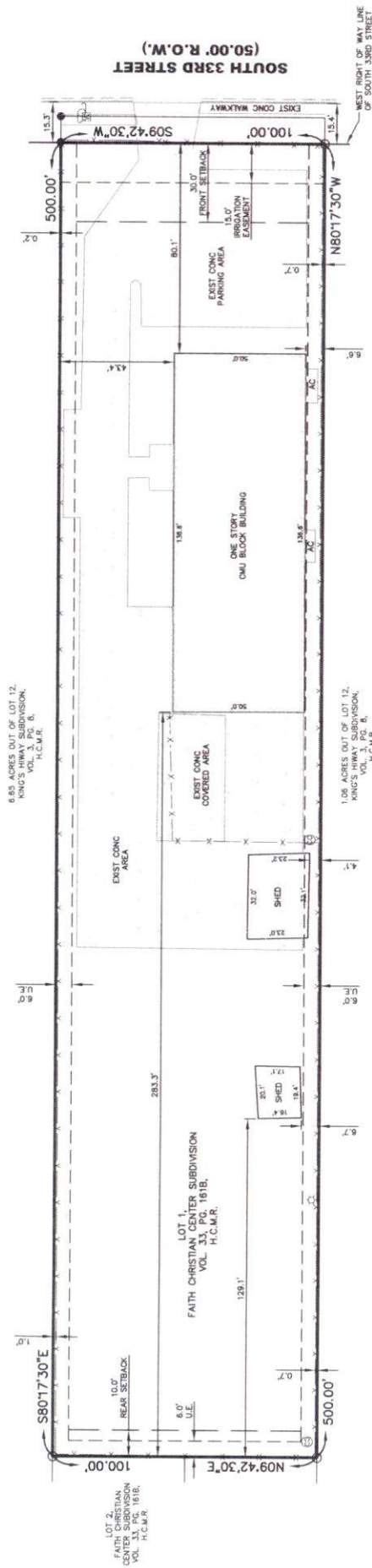
Staff has not received any phone calls, emails, or letters in opposition to the zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to C-3 (general business) District.





**SOUTH 33RD STREET**  
**(50.00' R.O.W.)**



**SETBACK NOTES:**  
SIDE SETBACKS SHALL BE AS PER ZONING ORDINANCE OR GREATER FOR EASEMENTS.

**LEGEND**

●	- 1ND 1/2" IRON ROD WITHOUT CAP
○	- SET 1/2" IRON ROD W/PLASTIC CAP STAMPED "SMES"
⊙	- POWER POLE
⊕	- LIGHT POLE
⊗	- CLEAN OUT
⊖	- WATER METER
⊗	- CHAINLINK FENCE LINE
X	- EXISTING
CONC	- CONCRETE
ASPH	- ASPHALT
CONC	- CONCRETE
U.E.	- UTILITY EASEMENT
H.C.M.R.	- HIDAOLGO COUNTY MAP RECORDS
H.C.D.R.	- HIDAOLGO COUNTY DEED RECORDS
O.B.N.C.	- OFFICIAL RECORDS OF HIDAOLGO COUNTY
R.W.	- RIGHT OF WAY
RND	- ROUND

**SURVEY NOTES:** THE WEST BOUT OF WAY LINE OF SOUTH 1260 STREET, FATH CHRISTIAN CENTER SUBDIVISION, ACCORDING TO THE MAP RECORDED IN VOLUME 31 PAGE 1618, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HANCOCK COUNTY, TENNESSEE.

RECORDS SHOWN ARE BASED ON FATH CHRISTIAN CENTER SUBDIVISION, ACCORDING TO THE MAP RECORDED IN VOLUME 31 PAGE 1618, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HANCOCK COUNTY, TENNESSEE.

3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTH GPS METHODS.

4. THE SURVEYOR DID NOT PREPARE AN ABSTRACT OF TITLE. TITLE WORK WAS FURNISHED BY FIRST AMERICAN TITLE GUARANTY COMPANY, UNDER OF WHICH THE SURVEYOR HAS NO INTEREST. THE SURVEYOR HAS NO LIABILITY FOR ANY ASSUMES NO LIABILITY FOR THE ACCURACY OF THE TITLE WORK FURNISHED.

**THE FOLLOWING MATTERS, AND ALL TERMS OF THE DOCUMENTS CREATING OR AFFECTING THE FORCE OF THE MATTER:**

1. SUBJECT TO THE SUPERVISION RULES AND REGULATIONS OF THE COUNTY OF HEALD AND ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID PROPERTY.

2. EASEMENTS, RULES, REGULATIONS AND RIGHTS IN FAVOR OF HEALDO COUNTY (PROBATION DISTRICT NO. 1).

3. MINIMUM FLOOR ELEVATIONS, SETBACKS, UTILTY EASEMENTS AND SUBDIVISIONS, RECORDED IN VOLUME XX, PAGE 1819, MAP RECORDS OF HEALDO COUNTY, TEXAS.

4. RIGHT OF WAY EASEMENT IN FAVOR CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED MARCH 16, 1921, RECORDED IN VOLUME 346, PAGE 53, DEED RECORDS OF HEALDO COUNTY, TEXAS.

5. EASEMENT IN FAVOR CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED MARCH 16, 1921, RECORDED IN VOLUME 346, PAGE 53, DEED RECORDS OF HEALDO COUNTY, TEXAS.

6. VISIBLE AND APPARENT EASEMENTS ON OR ACROSS THE PROPERTY HEREIN DESCRIBED.

### PLAT SHOWING

ALL OF LOT 1, FAITH CHRISTIAN CENTER SUBDIVISION, AN ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 33, PAGE 161B, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.



200 S. 10TH STREET, SUITE 1500 TEL: (956) 702-8880  
MCALLEN, TEXAS 78501 FAX: (956) 702-8883

---

SURVEY FIRM REG. NO. 101418-00

---

MCALLEN TX. | SAN ANTONIO TX. | SAN PABLO CA. | LOS ANGELES CALIF.



RECEIVED  
OCT 18 2023  
By *DM*

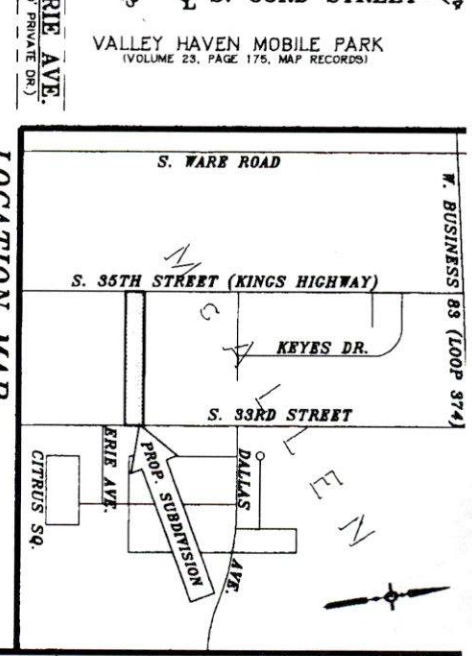
SHEET 1 OF 1: SURVEY PLAT

JOSE L. RODRIGUEZ, JR.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 2448

DATE: 6/10/2023

JOB NUMBER	DRAWN BY	BY	DATE
JOB 23.360	S.S.	L.L.R.	6/10/2023



[illegible]

INTERESTS IN THE ABOVE DESCRIBED PROPERTY BEING THE LAND SHOWN ON THIS PLAT AND HEREBY CONSENTED TO THE SURRENDER OF THE PROPERTY TO THE PUBLIC FOR MICHIGAN USES, DO HEREBY CONSENT TO THE SURRENDER OF THE PROPERTY AS PROVIDED. THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED HEREIN.

33 16115

Book 33 Page 16115

Recorded in Volume 33, Page 16115 of the State of Michigan

Witness my hand and seal this 14th day of March, 1960.

Notary Public for Michigan, Inc.

SECURITY INTEREST HOLDER: Walter D. Smith

STATE OF MICHIGAN: Walter D. Smith

COUNTY OF HOOVER: Walter D. Smith

BEFORE ME, THE UNDERSIGNED, AUTHORITY, ON THIS DAY PERSONALLY APPEARED Walter T. Trinkle, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations herein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 29 th OF February, 1988.

*[Signature]*

NOTARY PUBLIC

*John Michael Canty*

NOTARY PUBLIC IN AND FOR  
THE STATE OF TEXAS  
MY COMMISSION EXPIRES: DEC. 09, 2000

STATE OF TEXAS  
COUNTY OF HOLLAND:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER AND A REGISTERED PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FURTHER CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

By *JMC*

**LUNA MICHAEL CANTY**  
**NOTARY PUBLIC**  
State of Texas  
Commission # 1246-0086

**OCT 18 2023**

76C  
AG  
#2

AGENTS  
IN CHARGE

APR 28 1998 AT 10:49H

MAD - Small  
Social Fees Number 1

102150 -

RECEIVED

STATE OF TEXAS  
COUNTY CLERK  
ARTURO A. SALINAS  
4802  
MAY 1998

STATE OF TEXAS  
COUNTY CLERK  
ARTURO A. SALINAS  
64446  
MAY 1998

NOTARIAL PUBLIC  
JULIA M. GARCIA  
NO. 003157470

BY: [Signature] SECRETARY

ATTEST: [Signature]

THIS PLAT IS HEREBY APPROVED BY HIDALGO COUNTY, REGISTRATION DISTRICT NO. 1 ON THIS DAY OF MAY 1998.

HIDALGO COUNTY REGISTRATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DAMAGE OR DESTRUCTION OF ANY RECORDS HEREON, IF DESTROYED, THIS WILL BE AT THE EXPENSE OF THE APPLICANT.

HIDALGO COUNTY REGISTRATION DISTRICT NO. 1

REGISTERED PROFESSIONAL LAND SURVEYOR #4002

[Signature]

1.515 ACRE SUBDIVISION BEING THE NORTH 100 FEET OF THE SOUTH 200 FEET OF LOT 12, KING'S HIGHWAY SUBDIVISION, AN ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS. ACCORDING TO MAP RECORDED IN VOLUME 8, PAGE 8, MAP RECORDS THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

720899

McAllen County Clerk  
County Clerk  
Dose Clay Building  
Dallas Texas

ART SALINAS  
ENGINEERING & SURVEYING

1524 DOVE AVENUE  
MCALLEN, TEXAS

Tel. (210)618-5565  
FAX. (210)618-5340

BEARING BASIS: "A. LAMINA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION"

FAITH CHRISTIAN  
CENTER SUBDIVISION

COMMEMORATING a found  $1/2^e$  two rod at the Southwest corner of said Lot 12;

THENCE, North 9 degrees 42' minutes 30" seconds East, along the East line of said Lot 12 and the West right of way line of South 33rd Street, a distance of 100.0 feet to a found  $3/4^e$  iron pipe for the Southwest corner hereof; and the POINT OF BEGINNING;

THENCE, North 80 degrees 17' minutes 30" seconds West, parallel to the South line of said Lot 12, a distance of 660.0 feet to a found  $1/2^e$  rod on the West line of said Lot 12 and the East right of way line of South 35th Street for the Southwest corner hereof;

THENCE, North 9 degrees 42' minutes 30" seconds East, along the West line of said Lot 12 and the East right of way line of South 35th Street, a distance of 100.0 feet to a found  $1/2^e$  iron rod for the Northeast corner hereof;

THENCE, South 80 degrees 17' minutes 30" seconds East, parallel to the South line of said Lot 12, a distance of 660.0 feet to a found  $1/2^e$  rod on the East line of said Lot 12 and the East right of way line of South 33rd Street, a distance of 660.0 feet to a found  $1/2^e$  iron rod on the East line of said Lot 12 for the Northeast corner hereof;

*LOCATION MAP*

SCALE: 1"=1000'

LEGEND

D.E.	—	DRAINAGE EASEMENT
U.E.	—	UTILITY EASEMENT
U.E.	—	UTILITY EASEMENT
R.O.W.	—	RIGHT-OF-WAY LINE
C.L.	—	CENTERLINE

PREPARED BY: ARTURO A. SALINAS P.E.  
DATE OF PREPARATION: NOVEMBER 13, 1996  
REVISID: MARCH 23, 1997

OWNER: FAITH CHRISTIAN CENTER  
2010 PERLA STREET  
MISSION, TX. 76072

METES AND BOUNDS DESCRIPTION

ERIE AVE. PRIVATE DR.

VALLEY HAVEN MOBILE PARK  
(VOLUME 23, PAGE 175, MAP RECORDS)

S. WARE ROAD

W. BUSINESS 83 (LOOP 374)

S. 35TH STREET (KINGS HIGHWAY)

KEYES DR.

S. 33RD STREET

DALLAS AVE.

E. 1ST ST.

ERIE AVE.

CITRUS SQ.

PROP. SUBDIVISION



NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2023-0053  
CITY OF MCALLEN PLANNING DEPT.  
3000 N. 10TH  
WWW.MCALLENETX





## Memo

**TO:** Planning and Zoning Commission

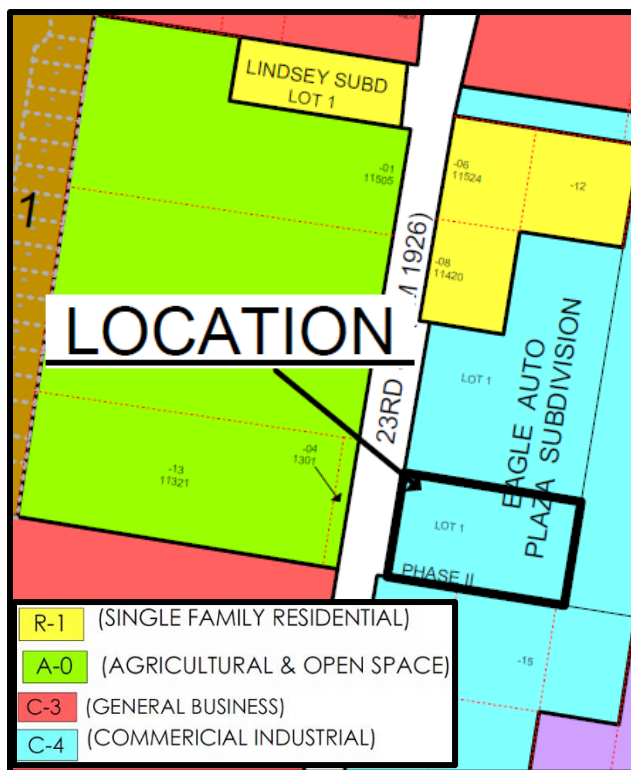
**FROM:** Planning Staff

**DATE:** November 6, 2023

**SUBJECT: SITE PLAN APPROVAL FOR LOT 1, EAGLE AUTO PLAZA PHASE II SUBDIVISION, HIDALGO COUNTY, TEXAS; 11300 NORTH 23<sup>rd</sup> STREET. (SPR2023-0040)**

**LOCATION:** The subject property is located on the east side of North 23<sup>rd</sup> Street. The property is zoned C-4 (commercial-industrial) District. Adjacent properties are zoned C-4 District in all directions. Surrounding land uses include commercial retail and vacant land.

**PROPOSAL:** The applicant is proposing to construct a 12,634 square-foot building and operate a Dollar General Market Store.



## **ANALYSIS:**

### Access:

Access to the site is from North 23<sup>rd</sup> Street. No alley exists or is proposed.

### Parking Requirements:

Based on 12,634 square feet that will be used for retail use, 35 parking spaces are required for the site. 38 parking spaces are proposed. Moreover, 2 of the proposed regular parking spaces must be accessible spaces, with 1 space for van accessibility with an 8-foot wide aisle. The applicant is meeting parking requirements for the new development.

### Landscape Requirements:

7,448 square feet of green area is required for the new development. The tree requirement is as follows: 21 two-and-a half-inch-caliper trees, 11 four-inch caliper trees, 5 six-inch caliper trees, or 8 palm trees. A minimum 10 feet wide landscaped strip is required inside the front property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. Finally, a 6-foot buffer is required around dumpsters/compactors if visible from the street. The applicant is meeting landscaping requirements for green area and trees.

### Other Planning Requirements:

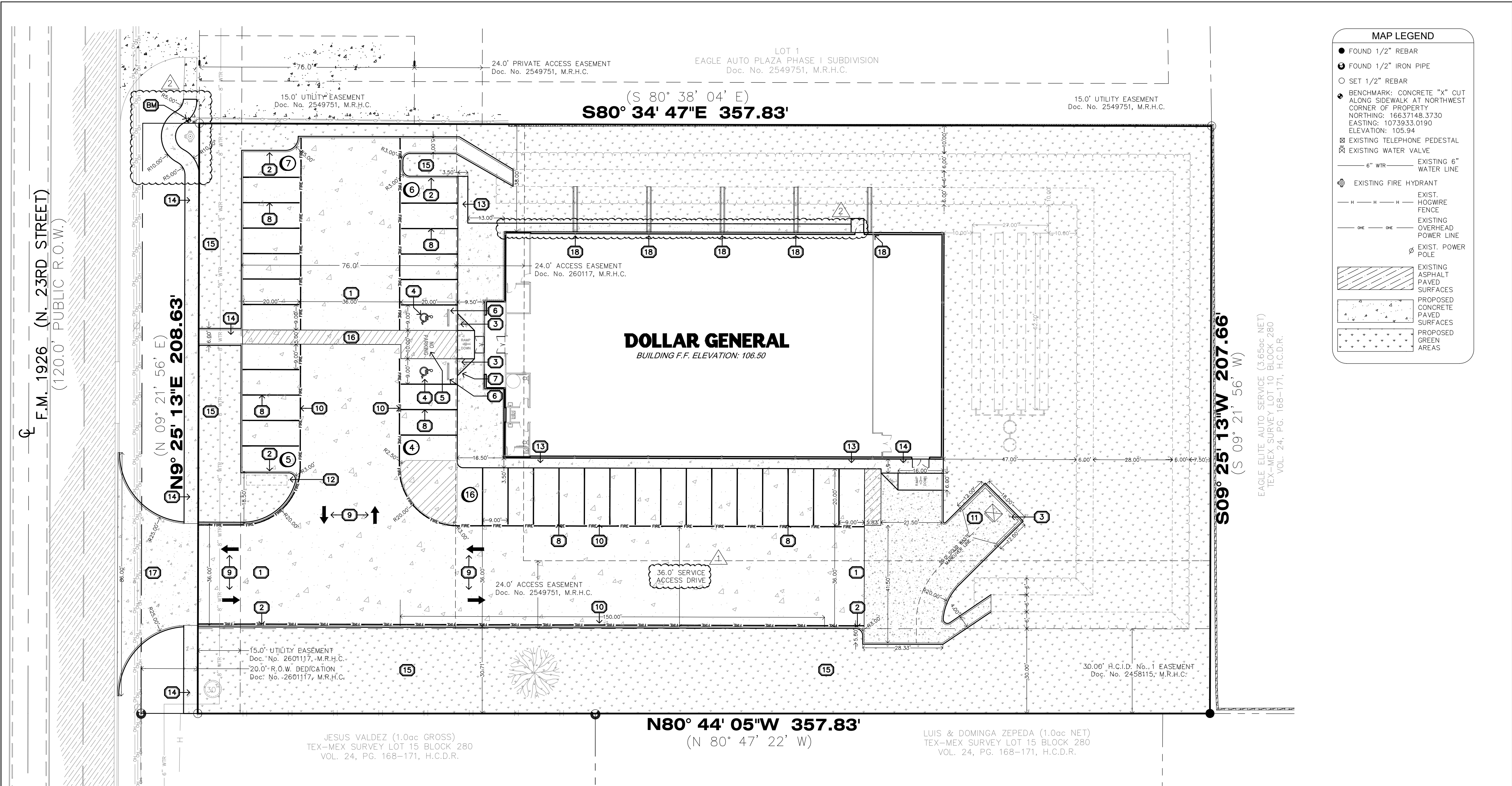
There is a 60-foot front yard setback or greater for easements, and all other setbacks must be in accordance with the zoning ordinance minimum requirements for commercially zoned properties. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot wide minimum sidewalk is required along North 23<sup>rd</sup> Street. A 5-foot wide sidewalk is proposed.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet.

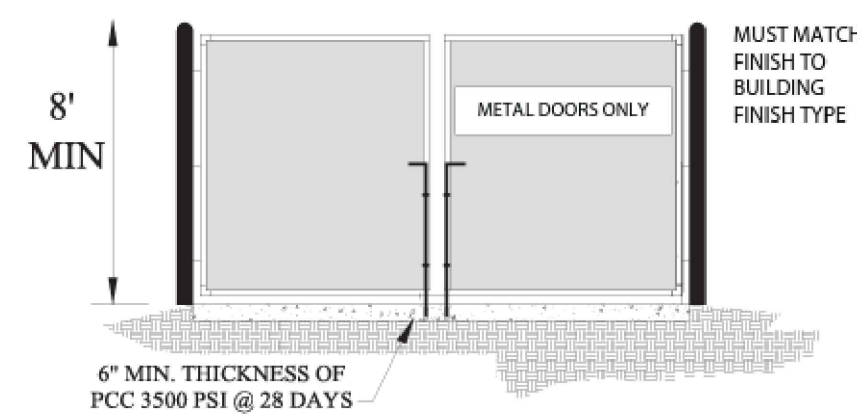
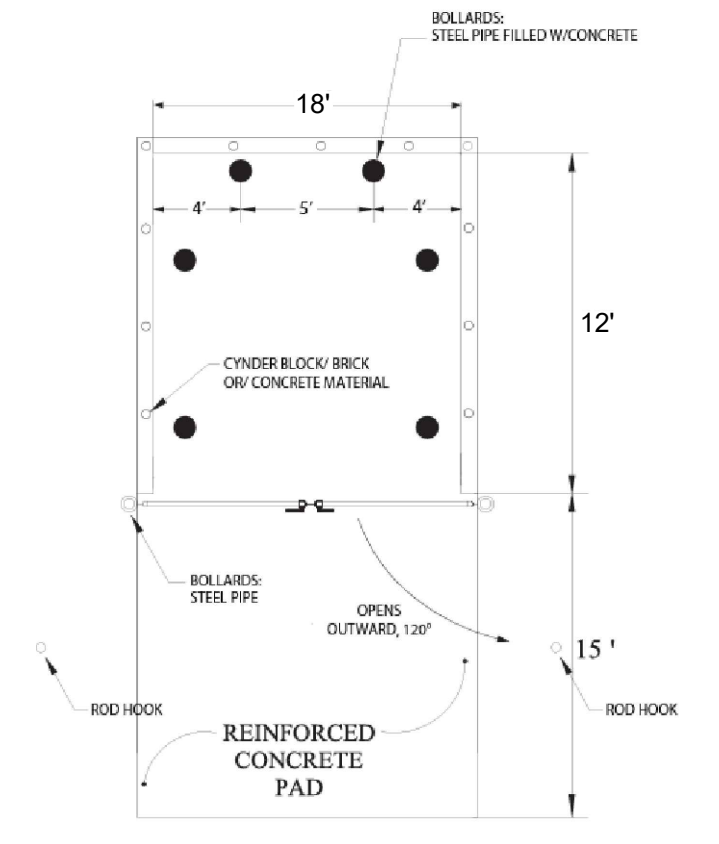
**RECOMMENDATION:** Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements and the subdivision and zoning ordinances.





## SITE PLAN CONSTRUCTION KEYNOTES

- PROPOSED 5", 4,000 PSI MIN., CONCRETE PAVING THROUGHOUT PARKING FACILITIES. SEE "PAVING AND STORM DRAINAGE DETAILS" PLAN FOR CONCRETE SPECIFICATIONS.
- 6" RAISED CONCRETE CURBING ON CONCRETE PAVEMENT. SEE "PAVING AND STORM DRAINAGE DETAILS" PLAN.
- 6" DIAMETER CONCRETE FILLED STEEL POST (BOLLARD), TYPICAL WHERE SHOWN. FOR DETAIL SEE "SITE PLAN DETAILS" PLAN.
- SURFACE PAINTED SYMBOL OF INTERNATIONAL ACCESSIBILITY. FOR DETAIL SEE "SITE PLAN DETAILS" PLAN.
- PROPOSED SURFACE PAINTED "NO PARKING" PAINTED ON ACCESS AISLE ADJACENT TO HANDICAP DESIGNATED STALLS. LETTERS MUST BE CAPITAL LETTERS AT LEAST 12" IN HEIGHT AND STROKE WIDTH OF NOT LESS THAN 2". ALL WORDING SHALL BE CENTERED WITHIN AISLE.
- PRECAST CONCRETE WHEEL STOPS. FOR DETAIL SEE "SITE PLAN DETAILS" PLAN (TYPICAL WHERE SHOWN).
- HANDICAP ACCESSIBLE SIGNAGE (POLE MOUNTED), ONE OUT OF THE 2 (TWO) ADA STALLS SHALL BE VAN ACCESSIBLE. SEE SITE PLAN DETAILS SHEET FOR SPECIFICATIONS.
- PARKING FACILITY PAINTED STRIPING CONSISTING OF 4" WIDE YELLOW PAINT (TYPICAL WHERE SHOWN). ALL PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS.
- SURFACE PAINTED TRAFFIC DIRECTIONAL ARROWS (TYPICAL WHERE SHOWN). FOR DETAIL SEE "SITE PLAN DETAILS" PLAN.
- 8-INCH WIDE FIRE LANE RED STRIPING PAINTED ON DRIVE SURFACE, WITH 4" WHITE LETTERING "FIRE LANE—PARKING PROHIBITED". CONTRACTOR SHALL VERIFY WORDING WITH FIRE DEPARTMENT.
- PROPOSED 7" HEAVY DUTY CONCRETE, 4,000 PSI MIN., TRASH ENCLOSURE AREAS FOR SOLID WASTE/RECYCLE CONTAINER WITH OPAQUE GATES (FRONT LOADER CONFIGURATION). REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR DETAILS (18'x18', ENCLOSURE 18'x12' MIN.)
- PROPOSED PYLON SIGN. MODEL AND ASSOCIATED SPECIFICATIONS SUBJECT TO SIGN SELECTION AND DESIGN (BY OTHERS). SIGN INSTALLATION SHALL BE NOT CLOSER THAN 10 FEET FROM AN AERIAL ELECTRICAL LINE, UNLESS OTHERWISE ALLOWED DURING CONSTRUCTION BY POWER COMPANY. SIGN SHALL BE LOCATED OUTSIDE OF ANY EXISTING OR PROPOSED EASEMENT(S), SUBJECT TO PERMIT CONDITIONS AND MINIMUM REQUIREMENTS (TO BE APPLIED, AND PERMITTED BY OTHERS). FINAL LOCATION AND ORIENTATION ANGLE TO BE COORDINATED BY THE DEVELOPER AND CONSTRUCTION MANAGER. FIELD ADJUSTMENT AS NEEDED.
- 3.5—FOOT WIDE, 4—INCH THICK CONCRETE SIDEWALK CONSISTING OF NO LESS THAN 4,000 PSI CONCRETE MATERIAL. REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF CONTROL JOINTS ADJACENT TO BUILDING PERIMETER.
- 5—FOOT WIDE, 4—INCH THICK SIDEWALK CONSISTING OF NO LESS THAN 4,000 PSI CONCRETE MATERIAL. UPON CONSTRUCTION, SIDEWALK SHALL HAVE A STANDARD BROOM FINISH. CROSS-SLOPE SHALL NOT EXCEED 2%, AND RUNNING-SLOPE SHALL NOT EXCEED 5% (SEE "TYPICAL SIDEWALK DETAIL" ON "SITE PLAN DETAILS" SHEET). THIS SIDEWALK SHALL REQUIRE APPROVAL FROM TxDOT AT BUILDING PERMIT STAGE.
- PROPOSED GREEN/LANDSCAPING AREAS. SEE "LANDSCAPING PLAN".
- A.D.A. ACCESSIBLE ROUTE. CONTRACTOR SHALL ENSURE THAT THIS ROUTE DOES NOT EXCEED 3% RUNNING-SLOPE AND 2% CROSS-SLOPE.
- PROPOSED CONCRETE ENTRANCE. THIS ENTRANCE SHALL REQUIRE APPROVAL FROM TxDOT AT BUILDING PERMIT STAGE OR AS PER APPROVED SITE PLAN. SEE "PAVING AND GRADING PLAN" FOR PROPOSED GRADES (86.0 FEET OF EXISTING CONCRETE CURB TO BE REMOVED FOR DRIVE.)
- PROPOSED CONCRETE DOWNSPOUT EXTENSION (TYPICAL WHERE SHOWN). FOR DETAIL SEE "SITE PLAN DETAILS" PLAN.
- PARKING SPACES/STALLS NOTE:  
DENOTES THE NUMBER OF PARKING SPACES LOCATED IN EACH AREA WITHIN THE PROPOSED PARKING LOT.



## SINGLE DUMPSTER ENCLOSURE CITY OF McALLEN - DETAIL 401

NOT TO SCALE

SITE INFORMATION:	
LAND USE:	COMMERCIAL
BUILDING AREA:	+- 12,634 S.F.
SITE NET AREA:	74,480.17 S.F. (1.70 ACRES)
GREEN AREA PROVIDED:	+- 36,805 S.F. (49%)
TOTAL PARKING SPACES PROVIDED:	38
TOTAL A.D.A. PARKING SPACES PROVIDED:	2

PROJECT INFORMATION:

**DOLLAR GENERAL**

City of McALLEN (23rd St.),  
Hidalgo County, Texas

BEARING BASIS: NAD83 Texas State Planes,  
South Zone, US Foot

GRAPHIC SCALE  
0 20 30 40 60  
1 inch = 20 ft.

CALL BEFORE YOU DIG!  
**Texas811**  
PARTICIPANTS REQUEST  
48 HOURS NOTICE  
BEFORE YOU DIG,  
DRILL, OR BLAST —  
STOP AND CALL  
CONSTRUCTION  
Know what's below.  
Call before you dig. **811**

THE LONE STAR NOTIFICATION COMPANY  
AT 1-800-669-8344

SHEET HIGHLIGHTS/RESTRICTIONS

- EARTH AND PAVEMENT RECOMMENDATIONS AS PER GEOTECHNICAL ENGINEERING REPORT BY "INTERTEK PSI", DATED JUNE 22, 2023 - PROJECT NO. 0312-2886. ALL TESTING RESULTS SHALL BE SUBMITTED TO THE ENGINEER.
- Contractor shall refer to architectural building plans for exact location and orientation of all exterior doors.
- The location of any proposed pylon sign is shown as approximate ONLY. It is the responsibility of the sign contractor to verify compliance with setback, size, height and related zoning requirements prior to any installation.
- All existing utility appurtenances that are called to remain, shall be adjusted to finish grade as necessary by proposed design.
- Benchmark information:  
"X" Cut at sidewalk located at Northwest corner of property.  
ELEVATION: 105.94
- All radial and linear dimensions shown herein are to and from the FACE OF THE CURB, unless otherwise noted.
- Any lot lighting concrete footing symbols or calls shown on these plans, if any, shall always conform to the soils report recommendations as provided for this specific site.
- Conduit installation for parking lot lighting shall be coordinated by the General Contractor for, but not limited, to light fixtures, poles, bases, conduit, wiring and irrigation.
- ALL existing structures, utilities and/or trees, if any, WITHIN the limits of this property to be cleared UNLESS NOTED OTHERWISE.
- Contractor is responsible to field adjust any and all proposed improvements as necessary for proper installation upon notification to the Engineer.
- Proposed improvements shown on these plans ARE subject to final approval by applicable regulating entities, and ultimately the City of McAllen, TX permit issuance. Any additional improvements required, but not shown on these plans, shall not relieve the General Contractor of his responsibility to comply. Developer shall NOT consider these plans as FINAL prior to the permit issuance. Should the Developer wish to use these plans for purposes other than PRELIMINARY prior to said permit issuance, he/she may do so at his/her own risk.
- Address numbers shall be plainly legible and visible from the street.
- When applicable, Contractor shall coordinate/verify with corresponding power company the location of Electrical Transformer, as well as size and specifications for the construction of the Transformer concrete pad.

FOR CONSTRUCTION

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

BY

AEC	AEC	AEC	AEC	AEC
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DESCRIPTION

TRASH ENCLOSURE	LOCATION TO ALLOW 50' BACK UP SPACE	
15' OUTSIDE RADIUS ON SIDEWALK CONNECTION TO EX. SIDEWALK		
LABELING OF 36.0' SERVICE ACCESS DRIVE		
15' AND 10' RADIUS ON SIDEWALK CONNECTION		
3' SIDEWALK ALONG NORTH BUILDING WALL		

DATE

08/25/2023				
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REV

1	1	2		
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DESIGN INFORMATION

Job Type: CIVIL

Job No.: 1456.038

Prep. Date: NOVEMBER 14, 2023

Designed/Drawn: J. B.

Checked: CARLOS GARZA, P.E.

Approved: CARLOS GARZA, P.E.

PLAN SCALE: AS SHOWN

PROJECT ADDRESS OR NEAREST INTERSECTION

PROJECT ADDRESS: 11300 N. 23RD STREET, McALLEN TX  
EAST RIGHT OF WAY OF 23RD ST. APPROX. 1,400 LF NORTH OF SPRAGUE ROAD

CITY: McALLEN  
STATE: TEXAS  
COUNTY: HIDALGO

SHEET DESIGNATION:

SHEET NUMBER:

**ENGINEERING, L.L.C.**

A TEXAS REGISTERED ENGINEERING FIRM F-9688  
1116 S. 10TH AVENUE, EDINBURG, TX 76539  
PHONE: (956) 380-6558 www.aecengineering.net

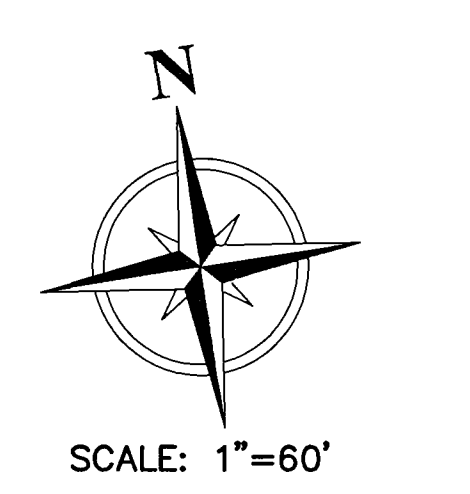
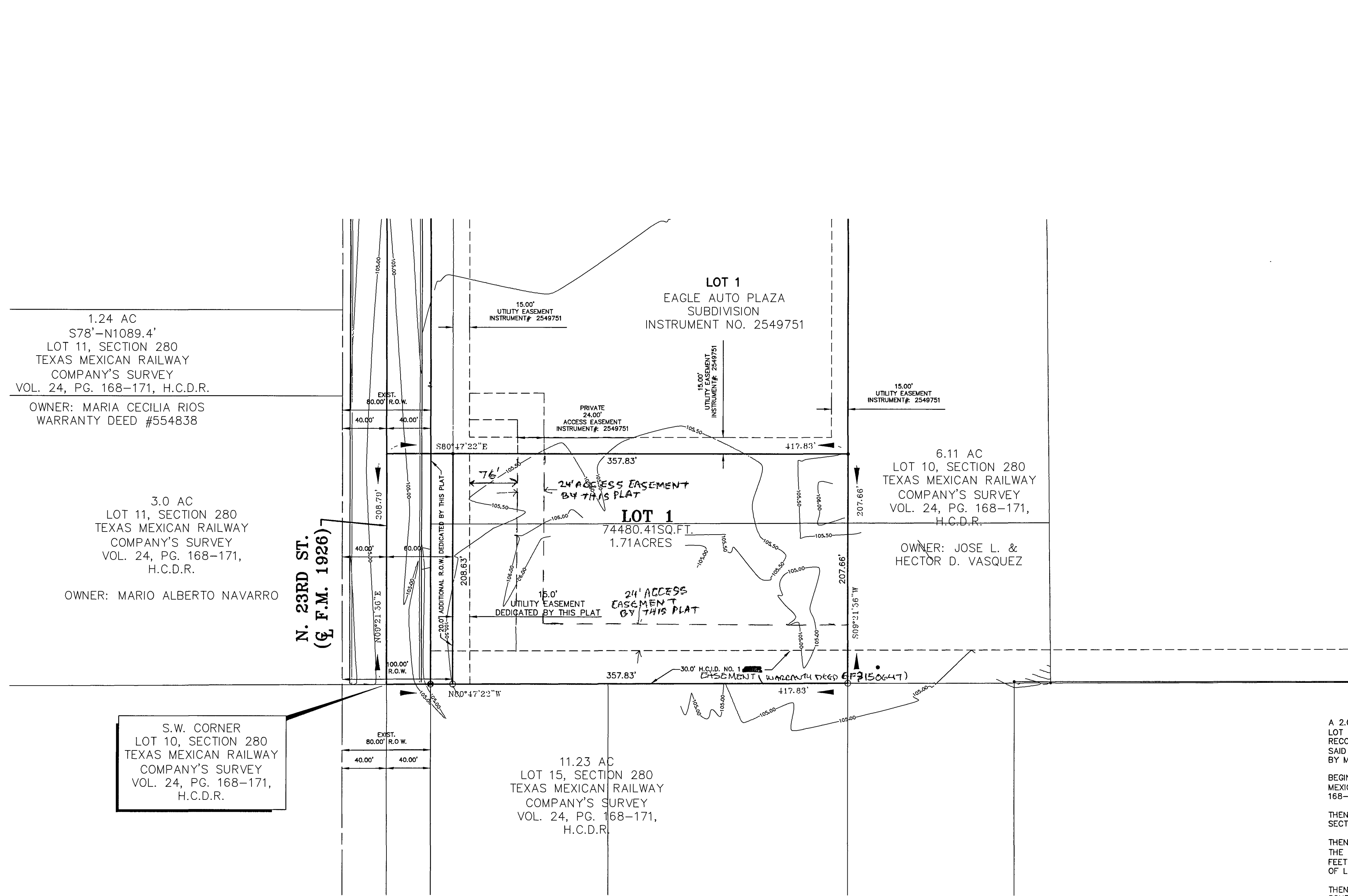
**ENGINEERING, L.L.C.**

**C7 of 14**



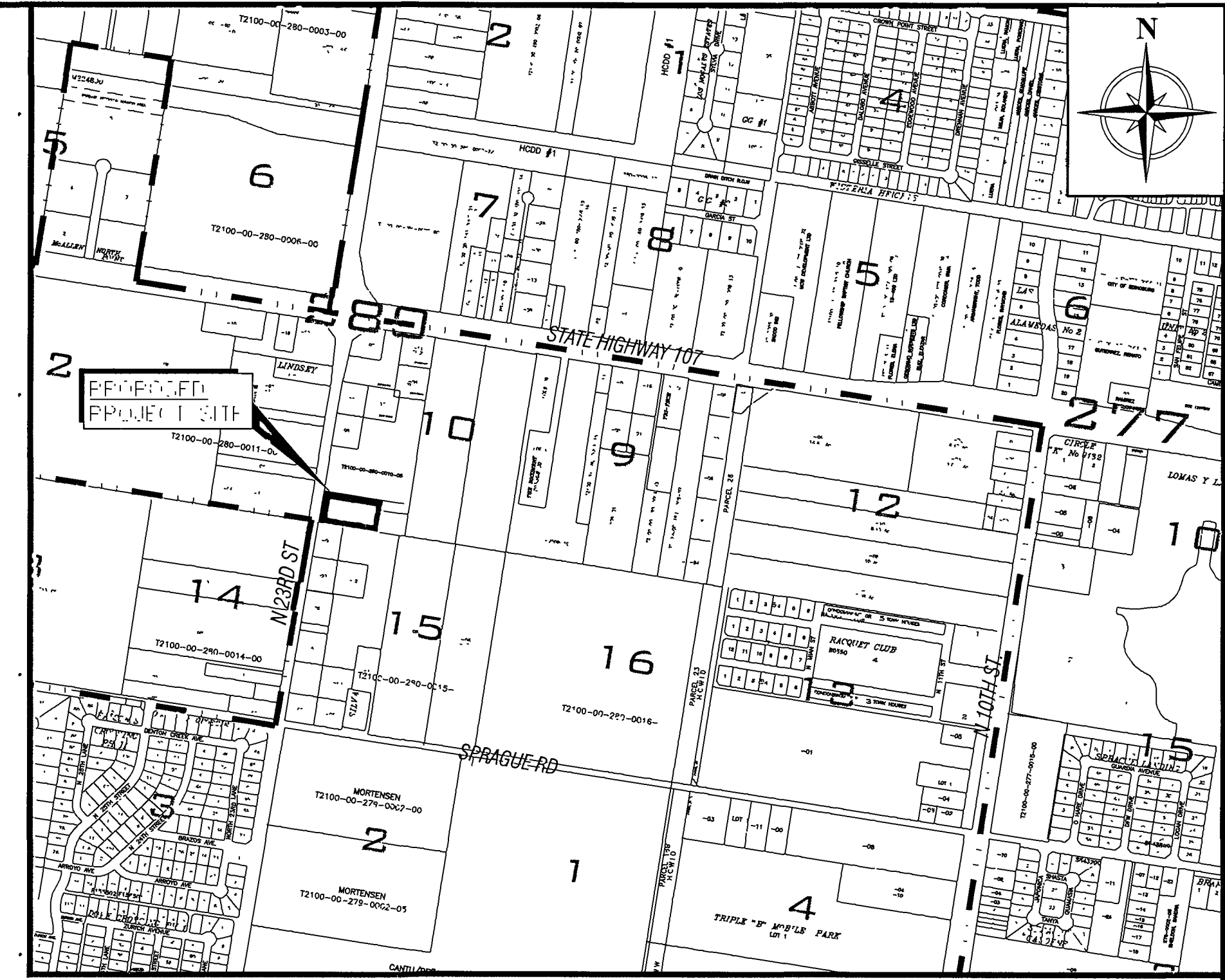






NOTES:  
1.) ALL BEARINGS AND DISTANCES ARE BASED ON THE TEXAS STATE PLANE COORDINATES SYSTEM, SOUTH ZONE, NAD 83 DATUM  
2.) ALL BEARING AND DISTANCES IN PARENTHESES ARE BASED ON RECORDED PLAT AND/OR DEED.

LEGEND	
○	FND. 1/2" IRON ROD
○	SET 1/2" IRON ROD
⊙	FND. 1/2" IRON PIPE
⊙	FND. SURVEY MARKER
—	R.O.W. - RIGHT OF WAY
—	FND. - FOUND
—	P.O.C. - POINT OF COMMENCEMENT
—	P.O.B. - POINT OF BEGINNING



## EAGLE AUTO PLAZA PHASE II SUBDIVISION

A 2.00 ACRE (87,003.140 SQFT) TRACT OF LAND, MORE OR LESS, BEING A PORTION OF LOT 10, SECTION 280, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY AS PER MAP RECORDED IN VOLUME 24, PAGES 168-171 DEED RECORDS OF HIDALGO COUNTY, TEXAS.

### METES AND BOUNDS

A 2.00 ACRE (87,003.140 SQFT) TRACT OF LAND, MORE OR LESS, BEING A PORTION OF LOT 10, SECTION 280, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY AS PER MAP RECORDED IN VOLUME 24, PAGES 168-171 DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 2.00 ACRE (87,003.140 SQFT) TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS A WHOLE AS FOLLOWS:  
  
BEGINNING AT A POINT FOR THE SOUTHWEST CORNER OF SAID LOT 10, SECTION 280, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY AS PER MAP RECORDED IN VOLUME 24, PAGES 168-171 DEED RECORDS OF HIDALGO COUNTY, TEXAS,  
  
THENCE NORTH 09°21'56" EAST, 208.79 FEET WITH THE WEST LINE OF SAID LOT 10, SECTION 280, TO A POINT, FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;  
  
THENCE SOUTH 80°38'04" EAST, AT 40.00 FEET PASS A (1/2) INCH IRON ROD FOUND FOR THE EAST RIGHT OF WAY LINE OF F.M. 1926 (23RD STREET) A TOTAL DISTANCE 417.83 FEET TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;  
  
THENCE SOUTH 09°21'56", 207.66 FEET TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;  
  
THENCE NORTH 80°47'22" WEST, AT 377.83 FEET PASS THE EAST RIGHT OF WAY LINE OF F.M. 1926 (23RD STREET) A TOTAL DISTANCE OF 417.83 FEET TO THE POINT OF BEGINNING, CONTAINING 2.00 ACRES (87,003.14 SQ. FT.), MORE OR LESS

### GENERAL PLAT NOTES:

1. THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" ON A FLOOD INSURANCE RATE MAP - COMMUNITY PANEL NO. 480334 0325 D, REVISED MAY 17, 2001. AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN
2. MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 24" ABOVE TOP OF CURB OR 18" ABOVE NATURAL GROUND, OR ABOVE BFE, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION
3. MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
N. 23RD STREET 60 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS  
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS  
INTERIOR SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
4. CITY OF MCALLEN BENCHMARK - MC 38- (LOCATED WEST BOUND OF WARE RD. AT A DRAIN DITCH BY 7 MILE LINE RD.) ELEV. 118.16, LAT. 26°18'21.75402"N LONG. 098°14'56.35643"W.
5. DRAINAGE: THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 18,497 CUBIC- FEET 0.425 ACRE FEET OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS.
6. A 6-FOOT OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONE/USES. AN 8-FOOT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
7. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTING (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
8. THERE ARE NOT WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
9. A FOUR (4.00) FOOT WIDE MINIMUM SIDEWALK IS REQUIRED ON NORTH 23RD STREET.
10. ALL LOT CORNERS ARE MARKED BY A 1/2" IRON ROD.
11. AN ENGINEERED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
12. THE SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS.  
  - A. OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE AND MULTI-FAMILY USE.
  - B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.
  - C. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
  - D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCERPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD
  - E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPANCY A LOT.
13. SITE PLAN MUST BE APPROVED BY THE PLANNING & ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE
14. NO CURB OR ACCESS IS PERMITTED ALONG N. 23RD STREET. ACCESS TO 23RD STREET SHALL BE VIA DEDICATED 24-FOOT ACCESS EASEMENT DEDICATED BY EAGLE AUTO PLAZA SUBDIVISION AS RECORDED IN HIDALGO COUNTY WITH INSTRUMENT #2549751

### OWNER'S ACKNOWLEDGEMENT: STATE OF TEXAS COUNTY OF HIDALGO

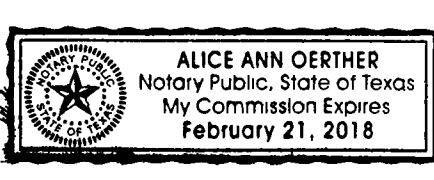
I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS EAGLE AUTO PLAZA PHASE II SUBDIVISION, TO THE CITY OF MCALLEN, TEXAS AND WHOSE NAME ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF PUBLIC ALL STREET, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

*[Signature]*  
OWNER  
ADDRESS: 1100 NORTH 23RD STREET  
MCALLEN, TEXAS 78504

### STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alice Ann Cerrito KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 20th DAY OF March, 2015.

*Alice Ann Cerrito*  
NOTARY PUBLIC, HIDALGO COUNTY, TEXAS  
MY COMMISSION EXPIRES 2-21-18



### STATE OF TEXAS CITY OF MCALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN. A SIGNATURE OF THE CITY OF MCALLEN IS REQUIRED.

*[Signature]*  
MAYOR JIMMY G. FLORES

### STATE OF TEXAS CITY OF MCALLEN

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

*[Signature]*  
CHAIRMAN JAMES J. JONES  
COMMISSION

HIDALGO DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

*[Signature]*  
Raul Serrano, P.E.  
DISTRICT

### STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, SAUL D. MALDONADO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREIN DESCRIBED.

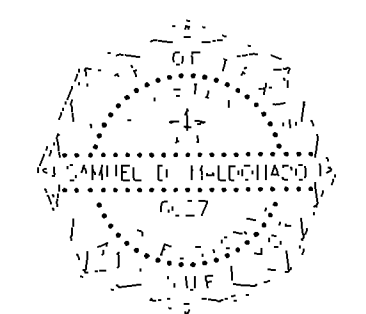
*[Signature]*  
SAUL D. MALDONADO, P.E.  
DATE 03/19/2015



### STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, SAMUEL D. MALDONADO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND IS CORRECTLY MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

*[Signature]*  
SAMUEL D. MALDONADO, P.L.S.  
DATE 3/19/15



### COUNTY CLERK CERTIFICATE

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK  
ON: 4-8-15 AT 4:30am/PM  
INSTRUMENT NUMBER: 2601117  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: *[Signature]* DEPUTY CLERK



### PRINCIPAL CONTACTS

	NAME	ADDRESS
OWNER	CHRISTOPHER DOMINGUEZ	9103 NORTH 33RD AVENUE
ENGINEER	SAUL D. MALDONADO, P.E.	200 S. CAGE BLVD.
DEVELOPER	SAUL D. MALDONADO, P.L.S.	200 S. CAGE BLVD.

### LIENHOLDER'S ACKNOWLEDGEMENT: STATE OF TEXAS COUNTY OF HIDALGO

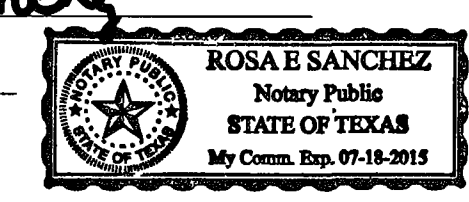
I/WE, THE UNDERSIGNED, HOLDER(S) OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE EAGLE AUTO PLAZA PHASE II SUBDIVISION OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

*[Signature]*  
SECURITY INTEREST HOLDER  
INTERNATIONAL BANK OF COMMERCE  
BY: ADRIAN VILLAREAL

### STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Adrian Villareal KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 20th DAY OF March, 2015.

*Adrian Villareal*  
NOTARY PUBLIC, HIDALGO COUNTY, TEXAS  
MY COMMISSION EXPIRES: 7-18-15



**SAMES**

**SAM Engineering & Surveying, Inc.**  
200 S. CAGE BLVD.  
PHARR, TEXAS 78577  
TEL: (956) 702-8880  
FAX: (956) 702-8883  
REGISTRATION # F-10602

DATE OF PREPARATION: DECEMBER 08, 2014



## **Memo**

**TO:** Planning and Zoning Commission

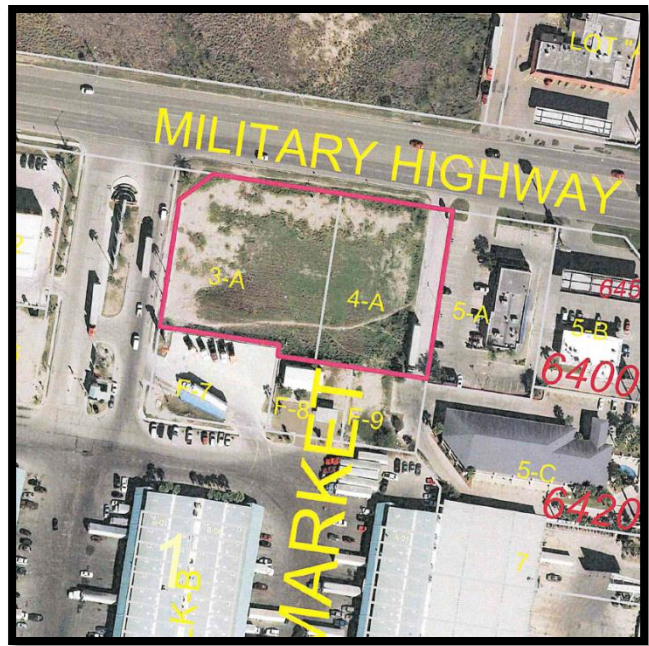
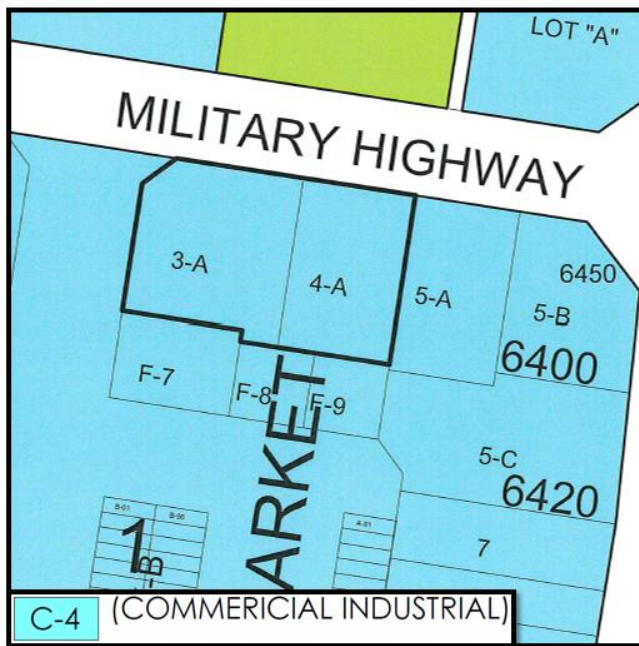
**FROM:** Planning Staff

**DATE:** November 17, 2023

**SUBJECT: SITE PLAN APPROVAL FOR LOTS 3A AND 4A, MCALLEN PRODUCE TERMINAL MARKET AMENDED SUBDIVISION, HIDALGO COUNTY, TEXAS; 2421 & 2401 WEST MILITARY HIGHWAY. (SPR2022-0049)**

**LOCATION:** The subject property is located on the south side of West Military Highway. The property is zoned C-4 (commercial-industrial) District. Adjacent properties are zoned C-4 District in all directions. Surrounding land uses include McAllen Produce Terminal Market, commercial retail uses, and vacant land.

**PROPOSAL:** The applicant is proposing to construct a 32,000 square-foot building and operate a distribution warehouse.



### **ANALYSIS:**

#### Access:

Access to the site is from West Military Highway through an existing access drive.

#### Parking Requirements:

Based on 28,251 square feet that will be used for warehouse use, 4,718 square feet for office use, and 1,050 square feet for retail use; 45 parking spaces are required. 46 parking spaces are proposed. Moreover, 2 of the proposed regular parking spaces must be accessible spaces, with 1



space for van accessibility with an 8-foot wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

7,801 square feet of green area is required for the new development. The tree requirement is as follows: 22 two-and-a half-inch-caliper trees, 11 four-inch caliper trees, 6 six-inch caliper trees, or 9 palm trees. A minimum 10 feet wide landscaped strip is required inside the front property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. Finally, a 6-foot buffer is required around dumpsters/compactors if visible from the street. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

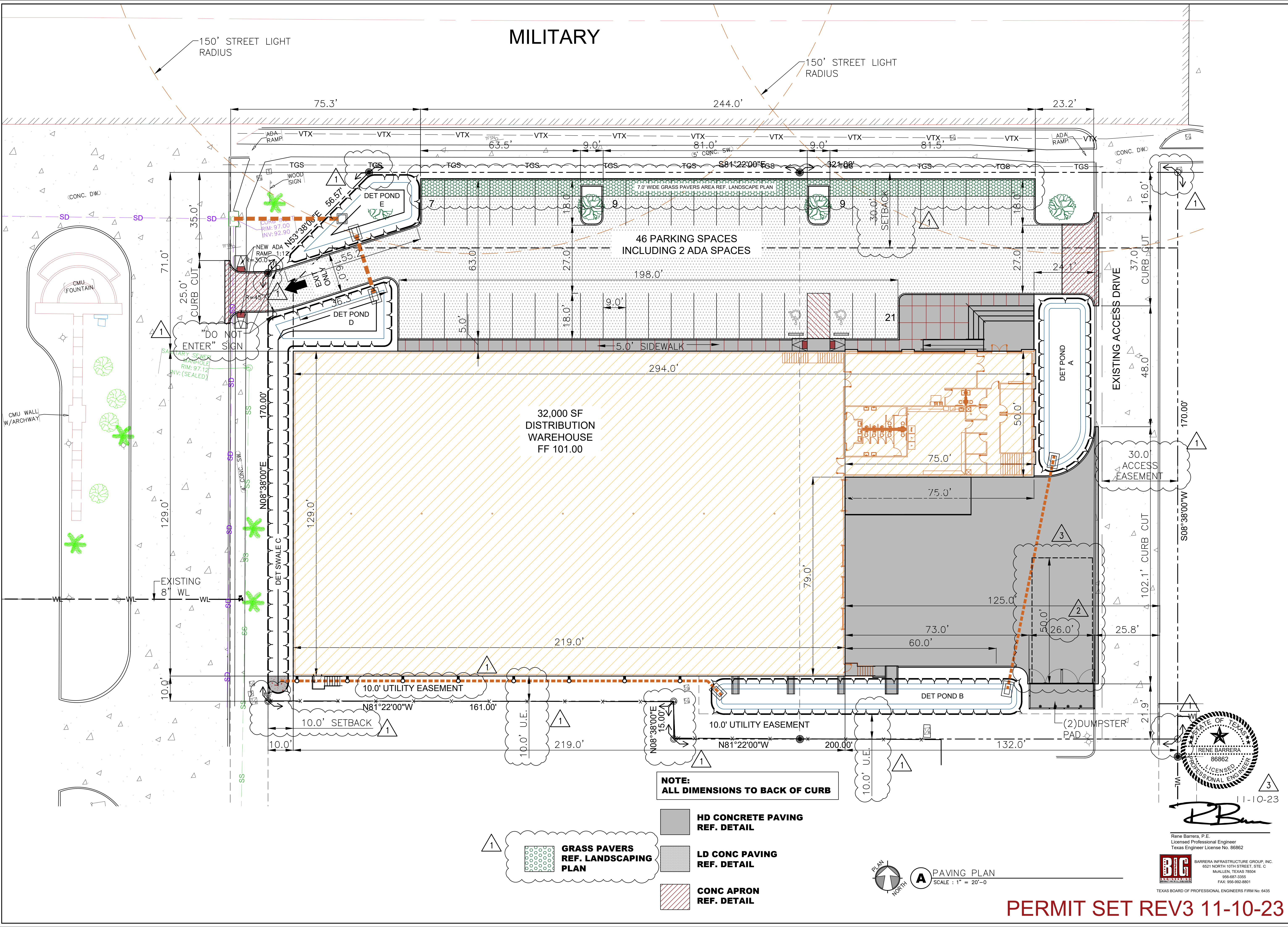
There is a 60-foot front yard setback along Military Highway, and all other setbacks must be in accordance with the zoning ordinance or greater as needed for easements or approved site plan. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot wide minimum sidewalk is required along West Military Highway. A 5-foot wide sidewalk is proposed.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. The Site Plan must also comply with conditions and requirements set forth by the Utility and Fire Departments regarding fire hydrant location and connection to the water line.

**RECOMMENDATION:** Staff recommends approval of the site plan subject to the conditions noted, Utility and Fire Departments approval regarding fire hydrant location and connection to the water line, Building Permit requirements and the subdivision and zoning ordinances.





jmerc  
DESIGN  
CONSULTING, LLC

J. Mercado  
EDINBURG, TEXAS  
jmercDESIGN@gmail.com  
956-792-0523

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TO jmercDESIGN.

Emma's Distribution Warehouse  
McAllen Trade Zone  
Paving Plan / Dimension Plan  
Texas

REV	DATE	ISSUES AND REVISIONS
1	07-25-23	ISSUES AND REVISIONS

11-10-23

**RENE BARRERA**  
86862  
LICENSED PROFESSIONAL ENGINEER  
STATE OF TEXAS

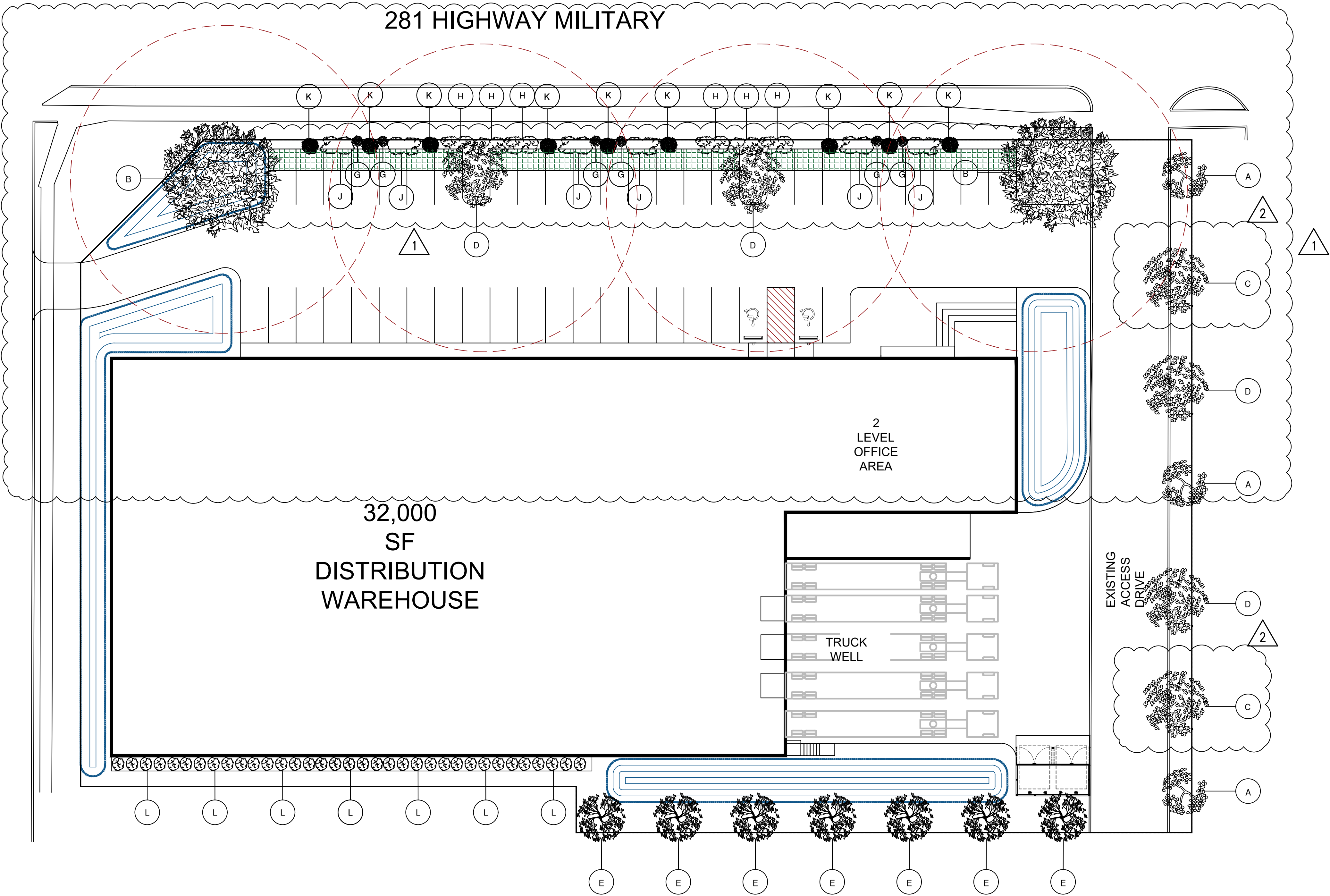
**BIG**  
BARRERA INFRASTRUCTURE GROUP, INC.  
6521 NORTH 10TH STREET, STE. C  
MCALLEN, TEXAS 78504  
956-687-3355  
FAX: 956-992-8801  
TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NO: 6435

**PAVING PLAN**  
SCALE: 1" = 20'-0"

**PERMIT SET REV3 11-10-23**

**C1.1**





TREE SCHEDULE			
TYPE	COMMON NAME	MATURE CANOPY (FT)	QTY.
A	OAK, POST - 2.5"	314	3
B	OAK, LIVE - 4"	1256	2
C	ASH, TEXAS - 4"	1256	2
D	MAGNOLIA, SOU. - 2.5"	1256	4
E	BOTTLEBRUSH - 2.5"	100	7
TOTAL PROVIDED		8,878	15
TOTAL REQUIRED		3,901	15

SHRUB SCHEDULE		
TYPE	COMMON NAME	QTY.
G	IXORA	6
H	DWARF BURFORD HOLLY	6
J	GREEN PITTOSPORUM	6
K	DWARF YAUPOH HOLLY	9
L	DWARF PITTOSPORUM	35
TOTAL PROVIDED		62
TOTAL REQUIRED		44

PRIMARY LANDSCAPING CALCULATIONS

63,960

S.F. (IMPERVIOUS COVERAGE)

x

10%

LANDSCAPING PERCENTAGE

=

6,396

S.F. REQUIRED

6,396

S.F. / 1,000 =

7

UNITS

PRIMARY LANDSCAPING NEEDED

TREES

7

UNITS x 1 TREE =

7

TREES REQUIRED

XX

TREES PROVIDED

SHRUBS

7

UNITS x 4 SHRUB =

28

SHRUBS REQUIRED

XX

SHRUBS PROVIDED

PARKING LOT LANDSCAPING CALCULATIONS

TREES

43

S.F. LANDSCAPING PER PARKING STALL

x

46

PARKING STALLS =

1,978

S.F.

1,978

S.F. /

600

=

4

UNITS

4

UNITS x 2 TREE =

8

TREES REQUIRED

XX

TREES PROVIDED

4

UNITS x 4 SHRUB =

16

SHRUBS REQUIRED

XX

SHRUBS PROVIDED

TREE CANOPY CALCULATION

178,010

S.F. OF TOTAL LOT AREA

x

5%

LANDSCAPING PERCENTAGE

=

8,901

S.F. OF TREE CANOPY REQUIRED

8,901

S.F. OF TREE CANOPY PROVIDED

LOT FRONTAGE SQUARE FEET

MILITARY HWY

1,193

SQUARE FEET

/

50

LINEAR FEET PER TREE

=

7

TREES REQUIRED

XX

TREES PROVIDED

PLAN NORTH LANDSCAPING PLAN SCALE : 1" = 20'-0"

X

jmerc  
DESIGN  
Consulting, LLC

J. Mercado  
EDINBURG, TEXAS  
jmercDESIGN@gmail.com  
956-792-0523

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REGISTERED ARCHITECT  
STEVEN L. MCGARRAUGH  
19734  
STATE OF TEXAS

09-21-23

ARCHITECT: Steven L. McGarraugh, AIA T.B.A.E. REGISTRATION NO. 19734

Emma's Distribution Warehouse  
McAllen Trade Zone  
Landscaping Plan  
Texas

REV	DATE	DESCRIPTION
1	09-21-23	ISSUES AND REVISIONS
2	09-21-23	
3	09-21-23	
4	09-21-23	
5	09-21-23	
6	09-21-23	
7	09-21-23	
8	09-21-23	
9	09-21-23	
10	09-21-23	

Landscaping Plan  
TITLE  
12-02-22  
ISSUE DATE  
JOB NUMBER  
jmerc  
DRAWN BY  
CHECKED BY

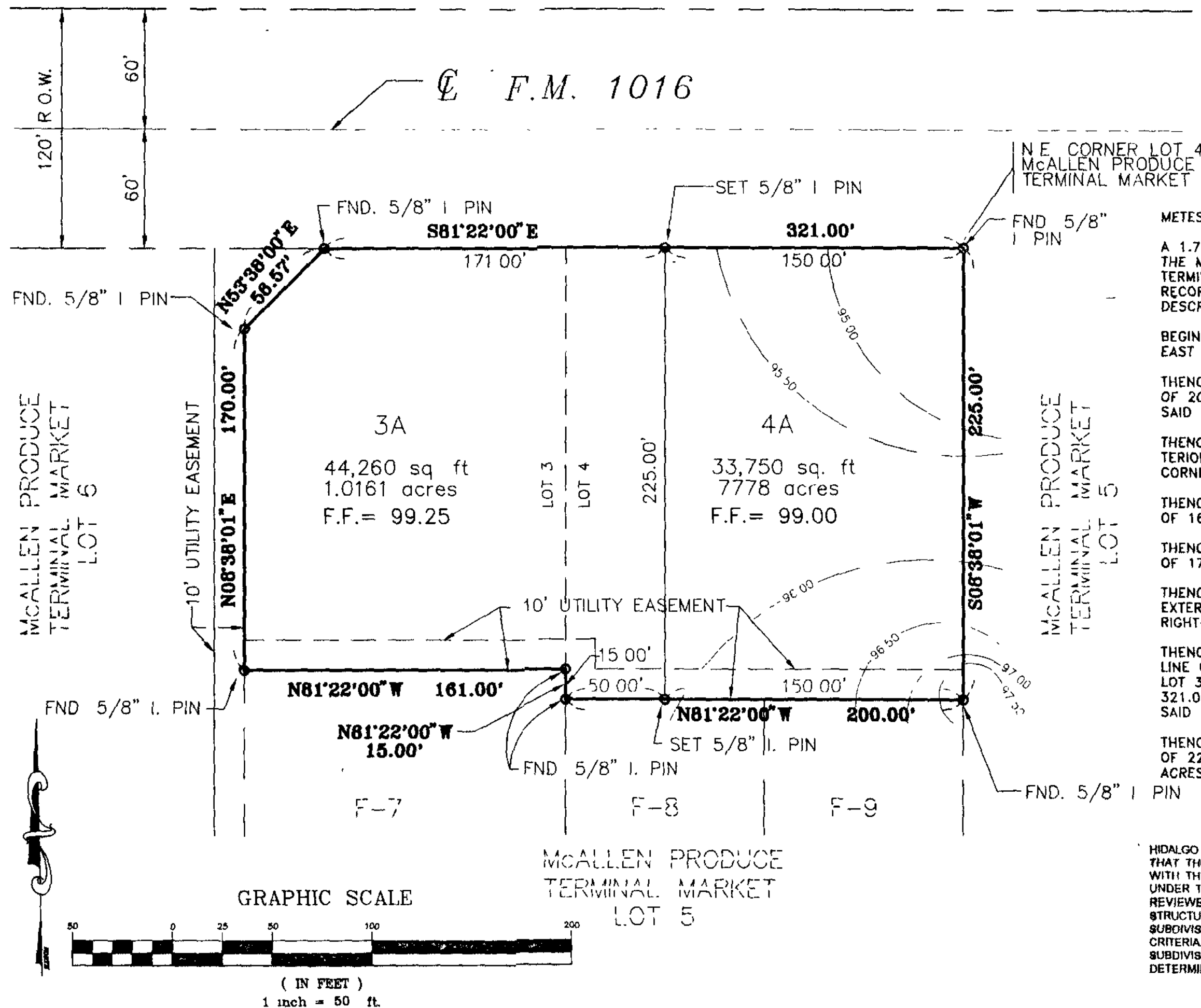
SHEET NUMBER  
L1.1

PERMIT SET REV2 09-21-23



# AMENDED SUBDIVISION PLAT OF LOTS 3A AND 4A McALLEN PRODUCE TERMINAL MARKET

A 1.791 ACRE TRACT OF LAND BEING ALL OF LOTS 3 AND 4 OUT OF THE MAP OF LOTS 1 THRU 18 AND F-1 THRU F-9 McALLEN PRODUCE TERMINAL MARKET AS RECORDED IN VOLUME 29 PAGE 146 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS.



## METES AND BOUNDS DESCRIPTION:

A 1.791 ACRE TRACT OF LAND BEING ALL OF LOTS 3 AND 4 OUT OF THE MAP OF LOTS 1 THRU 18 AND F-1 THRU F-9 McALLEN PRODUCE TERMINAL MARKET AS RECORDED IN VOLUME 29 PAGE 146 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 4 FOR THE SOUTH-EAST CORNER OF THIS TRACT;

THENCE N81°22'00"W ALONG THE SOUTH LINE OF SAID LOT 4 A DISTANCE OF 200.00 FEET TO A POINT FOR AN EXTERIOR CORNER OF THIS TRACT, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 4;

THENCE N08°38'00"E A DISTANCE OF 15.00 FEET TO A POINT FOR AN INTERIOR CORNER OF THIS TRACT; SAID POINT BEING THE SOUTHWEST CORNER OF SAID LOT 3;

THENCE N81°22'00"W ALONG THE SOUTH LINE OF SAID LOT 3 A DISTANCE OF 161.00 FEET TO A POINT FOR THE SOUTHWEST CORNER OF SAID LOT 3;

THENCE N08°38'00"E ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 170.00 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE N53°38'00"E A DISTANCE OF 56.57 FEET TO A POINT FOR AN EXTERIOR CORNER OF THIS TRACT; SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF F.M. 1016;

THENCE S81°22'00"E ALONG THE SOUTH LINE OF F.M. 1016 AND NORTH LINE OF SAID LOT 3, AT 121.00 FEET THE NORTHEAST CORNER OF SAID LOT 3 AND NORTHWEST CORNER OF SAID LOT 4, IN ALL A DISTANCE OF 321.00 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT; SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID LOT 4;

THENCE S08°38'00"W ALONG THE EAST LINE OF SAID LOT 4 A DISTANCE OF 225.00 FEET THE POINT OF BEGINNING AND CONTAINING 1.791 ACRES OF LAND, MORE OR LESS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY *[Signature]* 7/20/98

Recorded in Volume **33** Page **1098**  
of the map records of Hidalgo  
County, Texas  
Melden and Hunt, Inc.

## GENERAL NOTES:

- THIS SUBDIVISION IS IN ZONE "AH" ON A FLOOD INSURANCE RATE MAP; COMMUNITY-PANEL No. 480334 0400 C, REVISED NOV. 16, 1982.
- THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE SHOWN ON EACH LOT
- 0.08 ACRE FEET OF DETENTION AREA REQUIRED FOR THIS SUBDIVISION. AN ENGINEERING DETENTION PLAN WILL BE SUBMITTED PRIOR TO BUILDING PERMIT.
- MINIMUM BUILDING SETBACKS TO BE AS FOLLOWS:  
F.M. 1016: 60.00 FEET  
OTHER SETBACKS TO BE IN CONFORMANCE WITH ZONING ORDINANCE OR GREATER AS NEEDED FOR EASEMENTS OR APPROVED SITE PLAN.
- PERMITS FOR CURB CUTS SHALL BE REQUIRED FROM THE CITY OF McALLEN AND THE TEXAS HIGHWAY DEPARTMENT.
- SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS. THIS WILL INCLUDE THE NUMBER AND LOCATION OF CURB CUTS TO BE ALLOWED.

Document Number: 698054  
Total Fees: 48.50  
Received by: Bea O'Brien  
Date: Aug 03, 1998 at 01:05P  
As a  
Hidalgo County, Texas  
by Jose Eloy Pulido  
County Clerk

STATE OF TEXAS  
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS LOTS 3A AND 4A McALLEN PRODUCE TERMINAL MARKET, AN ADDITION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER  
McALLEN PRODUCE TERMINAL MARKET, LTD.  
2501 MILITARY HIGHWAY, SUIT F-8  
McALLEN, TEXAS 78503  
BY ELIO BOTELLO, GENERAL PARTNER

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ELIO BOTELLO KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE (THEY) EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE 23 DAY OF July A.D. 1998



NOTARY PUBLIC, TEXAS  
EXPIRATION DATE 9/5/2001



I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

*[Signature]* 7/27/98  
CITY CLERK DATE MAYOR, CITY OF McALLEN

THIS AMENDED SUBDIVISION PLAT OF LOTS 3A AND 4A McALLEN PRODUCE TERMINAL MARKET HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF McALLEN, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS 27th DAY OF July A.D. 1998

*[Signature]*  
CHAIRMAN

STATE OF TEXAS  
COUNTY OF HIDALGO

I, LEO L. RODRIGUEZ, JR., REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT

LEO L. RODRIGUEZ, JR., P.E.  
REGISTERED PROFESSIONAL ENGINEER No. 34928

I, LEO L. RODRIGUEZ, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND FURTHER CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

LEO L. RODRIGUEZ, JR., R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2448



SUB 2023-0048



# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Casa Corsica Subdivision</u>	
	Location <u>McAllen, TX</u>	
	City Address or Block Number <u>3700 N. WARE RD</u>	
	Number of Lots <u>6</u> Gross Acres <u>9.073 Ac.</u> Net Acres <u>9.073 Ac.</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Agriculture</u> Proposed Land Use <u>Commercial</u> Irrigation District # _____	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential _____	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>26,893.03</u>	
	Parcel # <u>1444188</u> Tax Dept. Review <u>MP</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>LA LOMITA (HOIT) 9.073AC AN IRR TR S799.55'-N849.82' EXC AN IRR TR E184.70'-N289.06' LOT 117 7.866 AC NET</u>		
Owner	Name <u>Christian A. McClendon - Graco Real Estate, Authorized Agent For: SB MCALLEN, LTD. and 34TH AND SONCY #2, LTD.</u> Phone <u>806-745-9718</u>	
	Address <u>5307 W. Loop 289, Suite 302</u> E-mail <u>Christy@gracorealestate.com</u>	
	City <u>Lubbock</u> State <u>TX</u> Zip <u>79414</u>	
Developer	Name <u>Graco Real Estate</u> Phone <u>806-745-9718</u>	
	Address <u>5307 W. Loop 289, Suite 302</u> E-mail <u>Tyler@gracorealestate.com</u>	
	City <u>Lubbock</u> State <u>TX</u> Zip <u>79414</u>	
	Contact Person <u>Tyler Parr</u>	
Engineer	Name <u>Kimley-Horn</u> Phone <u>972-471-9403</u>	
	Address <u>2600 N. Central Expressway, Suite 400</u> E-mail <u>Caleb.Jones@kimley-horn.com</u>	
	City <u>Richardson</u> State <u>TX</u> Zip <u>75080</u>	
	Contact Person <u>Caleb Jones</u>	
Surveyor	Name <u>John G. Mosier</u> Phone <u>210-541-9166</u>	
	Address <u>10101 Reunion Place, Suite 400</u> E-mail <u>Greg.Mosier@kimley-horn.com</u>	
	City <u>San Antonio</u> State <u>TX</u> Zip <u>78216</u>	

ENTERED

KF

MAY 11 2023

Name: MM



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

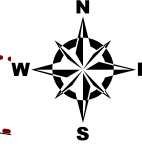
Signature DocuSigned by: Christian A. McClendon Date 4/17/2023

Print Name Christian A. McClendon

Owner ☐ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application





MCAULIFFE ELEMENTARY  
SCHOOL M.I.S.D  
NO. 7 LOT 1  
123





STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY KIMLEY-HORN & ASSOCIATES, INC.

JOHN G. MOSIER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6330

STATE OF TEXAS  
COUNTY OF LUBBOCK

I, CHRISTIAN A. MCCLENDON, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE CASA CORSICA SUBDIVISION, SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS DESCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINAGE, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

STATE OF TEXAS  
COUNTY OF LUBBOCK

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CHRISTIAN A. MCCLENDON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE MCALLEN PLANNING COMMISSION.

JOHNATHAN KERBY, REGISTERED PROFESSIONAL ENGINEER NO. 127734

SURVEYOR'S NOTES

- ALL PROPERTY CORNERS ARE MONUMENTED WITH A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "KHA" UNLESS OTHERWISE NOTED.
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, SOUTH ZONE (FIPS 4205) (NAD83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

OWNER/DEVELOPER:  
CHRISTIAN A. MCCLENDON  
GRACO REAL ESTATE  
AUTHORIZED AGENT FOR  
SB MCALLEN, LTD.  
5307 W. LOOP 289, SUITE 302,  
LUBBOCK, TEXAS, 79414

DATE \_\_\_\_\_

LOT NO.	ACRES	SQ. FT.
LOT 1	1.828	79,620
LOT 2	1.180	51,411
LOT 3	1.467	63,882
LOT 4	0.983	42,807
LOT 5	2.473	107,719
LOT 6	1.034	45,055
OVERALL BOUNDARY	9.073	395,210
RIGHT-OF-WAY DEDICATION	0.108	4,716

OWNER/DEVELOPER:  
CHRISTIAN A. MCCLENDON  
GRACO REAL ESTATE  
AUTHORIZED AGENT FOR  
34TH AND SONY NO. 2  
5307 W. LOOP 289, SUITE 302  
LUBBOCK, TEXAS, 79414

DATE \_\_\_\_\_

### LEGEND

IRF	1/2" IRON ROD FOUND
IRFC	1/2" IRON ROD W/PLASTIC CAP FOUND
IRSC	1/2" IRON ROD W/PLASTIC CAP STAMPED "KHA" SET
P.O.B.	POINT OF BEGINNING
ROW	RIGHT-OF-WAY
MEAS.	MEASURED
VOL.	VOLUME
PG.	PAGE
DOC.	DOCUMENT
OPRHC	OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS
MRHC	MAP RECORDS OF HIDALGO COUNTY, TEXAS
---	EXISTING CONTOUR
---	RIGHT OF WAY CENTERLINE

### VICINITY MAP

NOT TO SCALE

### GRAPHIC SCALE IN FEET

1" = 60' @ 24X36

### A METES AND BOUNDS DESCRIPTION OF A 9.073 ACRE TRACT

**BEING** a 9.073 acre (395,210 square feet) tract of land situated in the Jose De La Cerda Survey No. 61, Abstract No. 29 and the Francisco Guajardo Survey No. 62, Abstract No. 35, City of McAllen, Hidalgo County, Texas, being a portion of Lot 117 of La Lomita Irrigation & Construction Co. Subdivision, plat of which is recorded in Volume 24, page 67-69 of the Deed Records of Hidalgo County, same being a portion of that certain 9.073 acre tract described in instrument to SB McAllen, LTD, recorded in Document No. 2022-3356741 of the Official Public Records of Hidalgo County; and of that certain 1,207 acre tract described in instrument to 34th and Sony No. 2, LTD, recorded in Document No. 2022-3356751 of the Official Public Records of Hidalgo County; and being more particularly described as follows:

**BEGINNING** at a 1/2-inch iron rod with cap stamped "FNM" found on the southerly line of Nolana Loop (variable width public right-of-way), same being the southerly line of that certain 0.97 acre tract described in the Special Warranty Deed to the City of McAllen in Document 1996-553386 of the Official Public Records of Hidalgo County, and marking the northwest corner of a called 2.70 acres, described as Tract 2 in the Contribution Special Warranty Deed to Ponderosa Investors, LTD in Document No. 2021-3208223 of the Official Public Records of Hidalgo County, for the northeast corner of the herein described tract;

**THENCE** South 08°34'53" West, 799.55 feet along the westerly line of the said 2.70 acre Tract 2, and the west line of Ponderosa Park Subdivision, Phase 5, plat of which is recorded in Volume 34, Page 31 of the Map Records of Hidalgo County, to a 1/2-inch iron rod found marking the southwest corner of Lot 29 of said Phase 5;

**THENCE** North 81°24'04" West, 490.46 feet along the northerly line of Ponderosa Park Subdivision, Phase 6, plat of which is recorded in Volume 37, Page 66 of the Map Records of Hidalgo County to a 1/2-inch iron rod with orange plastic cap found on the easterly line of Ware Road (F.M. 2220 - 120 foot wide public right-of-way), marking the northwest corner of Lot 6 of said Phase 6;

**THENCE** North 08°31'46" East, 744.61 feet along the easterly right-of-way line of said Ware Road to a 1/2-inch iron rod with a yellow plastic cap found for corner;

**THENCE**, along a cutback corner at the intersection with the southerly right-of-way line of Nolana Loop (variable width public right-of-way) and easterly right-of-way line of said Ware Road, the following two (2) courses and distances:

- North 53°31'35" East, 70.71 feet to a 1/2-inch iron rod with a yellow plastic cap found for corner;
- North 08°28'11" East, 20.50 feet to a 1/2-inch iron rod found for corner;

**THENCE**, along the southerly right-of-way line of said Nolana Loop the following two (2) courses and distances:

- South 81°07'05" East, 128.32 feet to a 1/2-inch iron rod found for corner;
- South 78°36'34" East, 300.32 feet to a 1/2-inch iron rod found for corner;
- South 79°50'43" East, 12.98 feet to the **POINT OF BEGINNING** and containing 9.073 acres of land in Hidalgo County, Texas. The basis of this description is the Texas State Plane Coordinate System, South Zone (FIPS 4205) (NAD83). All distances are on the Grid and shown in U.S. Survey Feet. This description was generated on 3/7/2023 at 9:00 PM, based on geometry in the drawing file: K:\SNA\_Survey\064587306-McAllen Nolana and Ware Rd\Wdg\Plats\Casa Corsica Plat.dwg, in the office of Kimley-Horn and Associates in San Antonio, Texas.

### GENERAL SUBDIVISION PLAT NOTES:

- FLOOD ZONE STATEMENT:  
ACCORDING TO COMMUNITY PANEL NO. 480343000C, DATED NOVEMBER 2, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), ALL OF THE SUBJECT TRACT IS LOCATED WITHIN ZONE "B" (SHADED) WHICH IS DEFINED BY FEMA AS "AREAS OF 50-YEAR FLOOD, 0.2% ANNUAL CHANCE FLOOD HAZARD". AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."
- SETBACKS:  
FRONT: NOLANA AVENUE/ WARE ROAD. IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.  
INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.  
CORNER: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS OR INLINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES.  
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 97,138 CUBIC-FEET 2.23 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- DRAINAGE DETENTION POND TO BE CONSTRUCTED IN DESIGNATED EASEMENT AREAS AS DESIGNED BY PROJECT PLAT ENGINEER AT DEVELOPMENT APPLICATION PERMIT STAGE PRIOR TO THE COUNTY ISSUING A FINAL STORMWATER DRAINAGE APPROVAL.
- COMMON AREAS, AND ANY PRIVATE/SERVICE DRIVE EASEMENTS, MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
- 20 FT. X 20 FT. CORNER CLIP EASEMENTS IS REQUIRED AT ALL INTERSECTIONS OF SERVICE DRIVE EASEMENTS (AS SHOWN ON THE PLAT).
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON N. WARE ROAD AND NOLANA AVENUE. SIDEWALK REQUIREMENT MAY INCREASE TO 5 FT. AS PER THE ENGINEERING DEPARTMENT PRIOR TO FINAL.
- 6 FT. OPAQUE BUFFER REQUIRED FORM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE/USE.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 50-YEAR DETENTION VOLUME REQUIRED: 2.23 AC-FT

### RESUBDIVISION PLAT ESTABLISHING CASA CORSICA SUBDIVISION

BEING A 9.073 ACRE TRACT OF LAND SITUATED IN THE JOSE DE LA CERDA SURVEY NO. 61, ABSTRACT NO. 29, AND THE FRANCISCO GUAJARDO SURVEY NO. 62, ABSTRACT NO. 35, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, CONTAINING 7.866 OF THAT CERTAIN 9.073 ACRE TRACT DESCRIBED IN INSTRUMENT TO SB MCALLEN, LTD, RECORDED IN DOCUMENT NO. 2022-3356741 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY; AND ALL OF THAT CERTAIN 1,207 ACRE TRACT DESCRIBED IN INSTRUMENT TO 34TH AND SONY NO. 2, LTD, RECORDED IN DOCUMENT NO. 2022-3356751 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS.

OWNER/DEVELOPER:  
CHRISTIAN A. MCCLENDON  
GRACO REAL ESTATE  
AUTHORIZED AGENT FOR  
SB MCALLEN, LTD.  
5307 W. LOOP 289, SUITE 302  
LUBBOCK, TEXAS, 79414

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CHRISTIAN A. MCCLENDON -  
GRACO REAL ESTATE  
AUTHORIZED AGENT FOR  
34TH AND SONY #2, LTD.  
5307 W. LOOP 289, SUITE 302  
LUBBOCK, TEXAS, 79414

CIVIL ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REUNION PLACE, SUITE 400  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REUNION PLACE, SUITE 400  
SAN ANTONIO, TEXAS 78216  
PH: (210) 541-9166 FAX: (210) 541-8699  
CONTACT: JOHN G. MOSIER, R.P.L.S.  
TBPLS FIRM REGISTRATION NO. 10193973

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	DJG	JGM	11/01/2023	068705128	1 OF 1





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: CASA CORSICA SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

N. Ware Road: Dedication as required for 60 ft. from centerline for 120 ft. total ROW  
Paving: By the State Curb & gutter: By the State  
\*\*Monies must be escrowed if improvements are required prior to recording  
\*\*COM Thoroughfare Plan

Nolana Avenue: Dedication as required for 60 ft. from centerline for 120 ft. total ROW  
Paving: 65 ft. to 85 ft. Curb & gutter: Both sides  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

\* 1,200 ft. Block Length  
\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts  
\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac  
\*\*Subdivision Ordinance: Section 134-105

Applied

Applied

Applied

Applied

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
\* Proposed: VARIABLE WIDTH PRIVATE ACCESS/SERVICE DRIVE EASEMENT (BY THIS PLAT)  
\* A revised plat submitted on November 8, 2023, shows revised layout for the private access/service drive easement. The E/W easement was moved from Lot 6 to Lot 5.  
\* Private access/service drive easement must be at least 24 ft. wide. Proposed private access/service drive easement ranges from 26 ft. to 45 ft. wide.  
\* Access/service drive easement layout must be approved by Fire and Public Works Departments.  
\* Alley/service drive easement required for commercial properties.  
\*\*Subdivision Ordinance: Section 134-106

Applied

##### SETBACKS

\* Nolana Avenue/N. Ware Road: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies.  
\*\*Zoning Ordinance: Section 138-356

\* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies.  
\*\*Zoning Ordinance: Section 138-356

Applied

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Interior Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Corner: See Front Setback</li> <li>-Revise corner setback as shown above prior to recording.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Applied
	Required
	NA
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on N. Ware Road and Nolana Avenue.</li> <li>- Revise plat note #9 as shown above prior to recording.</li> <li>** Sidewalk requirement may increase to 5 ft. as per the Engineering Department.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Required
	Applied
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
	Applied
	Applied
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>**Must comply with City Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
	Applied
	Applied
	Applied
	NA
	NA



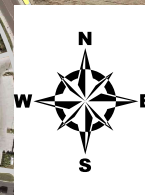
LOT REQUIREMENTS	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>** Lot 5 proposed to be a "flag" lot with a 15 ft. wide portion of the lot extending north and widening to 50 ft. at Nolana Ave.</li> <li>**Subdivision Ordinance: Section 134-1</li> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> <li>* Existing: C-3 Proposed: C-3</li> <li>***Zoning Ordinance: Article V</li> <li>* Rezoning Needed Before Final Approval</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
	NA
PARKS	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee.</li> <li>As per the subdivision application submitted on May 11, 2023, the development is proposed to be commercial. Parkland dedication does not apply to commercial developments.</li> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.</li> <li>As per the subdivision application submitted on May 11, 2023, the development is proposed to be commercial. Parkland dedication does not apply to commercial developments.</li> <li>Pending review by the City Manager's Office.</li> </ul>	NA
	NA
	NA
TRAFFIC	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation is approved. TIA level 3 is approved with conditions.</li> <li>* Traffic Impact Analysis (TIA) level 3 is approved with the following conditions:</li> <li>1a. A shared access easement will be need to be dedicated for the east driveway be centered between proposed drive-thru restaurant and adjacent lot. PENDING</li> <li>1b. Proposed median opening and deceleration lane improvements within TxDOT ROW will need to be reviewed and approved by the Texas Department of Transportation (TxDOT) in accordance with their standards. Construction or escrow of these improvements may be required.</li> <li>2. As per McAllen Access Management policy, spacing requirement along Ware Road @50 MPH is 425 ft. and for Nolana is 360 ft.- please show dimensions to ensure spacing is being met. Access along Nolana would be need to have a shared access with the undeveloped land east of the subject property - PENDING</li> </ul>	Applied
	Required



COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"><li>- Use Sec. 134-61 of the subdivision ordinance for the signature blocks' wording, including the owner's acknowledgement prior to recording.</li><li>*Must comply with City's Access Management Policy.</li><li>*The Planning and Zoning Commission approved the subdivision in preliminary form at the meeting of June 6, 2023, subject to the conditions noted, drainage, and Utilities approval.</li><li>*The Planning and Zoning Commission approved the subdivision in revised preliminary form at the meeting of August 8, 2023, subject to the conditions noted and drainage approval.</li><li>*The Planning and Zoning Commission approved the subdivision in final form at the meeting of September 13, 2023, subject to the conditions noted and drainage approval.</li><li>* A revised plat submitted on November 8, 2023, shows revised layout for the private access/service drive easement. The E/W easement was moved from Lot 6 to Lot 5; therefore, it is scheduled to be heard by the Planning and Zoning Commission in revised final form on November 21, 2023.</li></ul>	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



## LOCATION







## City of McAllen Planning Department


311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	<u>GEORGETOWN PARK</u>		
	Location	<u>840 FEET WEST OF JACKSON RD, SOUTH SIDE OF EL RANCHO RD</u>		
	City Address or Block Number	<u>1100 E. EL RANCHO ROAD</u>		
	Number of Lots	<u>82</u>	Gross Acres	<u>9.18</u> Net Acres <u>8.87</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning	<u>R-3T</u>	Proposed Zoning	<u>R-3T</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____
	Existing Land Use	<u>VACANT</u>	Proposed Land Use	<u>R-3T</u> Irrigation District # <u>2</u>
	Replat	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Commercial	_____ Residential <u>X</u>
	Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Rollback Tax Due	<u>\$0</u>
	Parcel #	_____	Tax Dept. Review	_____
	Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	Other	_____
Legal Description	9.18 AC. O/O LOT 1, BLK 17, STEELE & PERSHING SUBDIVISION (H.C.M.R. V 8 PGS 114-115) AND LOT 1, BLK 9, A.J. MCCOLL SUBDIVISION (H.C.M.R. V 21 PG 598)			
Owner	Name	<u>BONA FIDE RE, LLC</u>	Phone	<u>52 55 5104 5367</u>
	Address	<u>501 W. NOLANA AVE.</u>	E-mail	<u>FRANCISCOPONS@SEDELPRADO.COM</u>
	City	<u>McALLEN</u>	State	<u>TEXAS</u> Zip <u>78504</u>
Developer	Name	<u>BONA FIDE RE, LLC</u>	Phone	<u>52 55 5104 5367</u>
	Address	<u>501 W. NOLANA AVE.</u>	E-mail	<u>FRANCISCOPONS@SEDELPRADO.COM</u>
	City	<u>McALLEN</u>	State	<u>TEXAS</u> Zip <u>78504</u>
	Contact Person	<u>FRANCISCO PONS BALLESTEROS</u>		
Engineer	Name	<u>M GARCIA ENGINEERING, LLC</u>	Phone	<u>(956) 207-6036</u>
	Address	<u>1616 E. GRIFFIN PARKWAY #146</u>	E-mail	<u>mariano@mgarciaengineering.com</u>
	City	<u>MISSION</u>	State	<u>TEXAS</u> Zip <u>78572</u>
	Contact Person	<u>MARIANO GARCIA, P.E.</u>		
Surveyor	Name	<u>RIO DELTA SURVEYING.</u>	Phone	<u>(956) 380-5154</u>
	Address	<u>24593 FM 88</u>	E-mail	<u>jmgonzalezrpls@msn.com</u>
	City	<u>MONTE ALTO</u>	State	<u>TEXAS</u> Zip <u>78538</u>



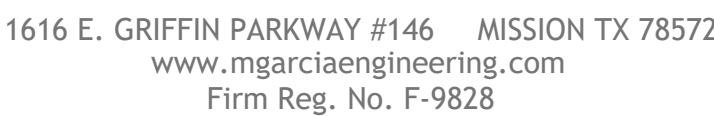
## Proposed Plat Submittal

<b>Minimum Developer's Requirements Submitted with Application</b>	<p style="text-align: center;"><u><b>In Person Submittal Requirements</b></u></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps</li> <li>- 2 8 ½" by 11" copies/legible copies of plat with name &amp; north arrow</li> <li>- 6 Folded blueline prints of the proposed plat</li> <li>- 2 Warranty Deeds (identifying owner on application)</li> <li>- AutoCAD 2005 DWG file and PDF of plat</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)</li> </ul>	<p style="text-align: center;"><u><b>Email Submittal Requirements</b></u></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- Survey</li> <li>- Location Map</li> <li>- Plat &amp; Reduced P</li> <li>- Warranty Deed</li> <li>- DWG File</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation, if applicable</li> </ul> <p><small>*Documents must be submitted in PDF format. No scanned documents*</small></p> <p><small>*Please submit documents to <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p> <p style="text-align: center;"><b>*ORIGINAL APPLICATION &amp; FEE MUST BE SUBMITTED IN PERSON*</b></p>
	<p><b>PLAT TO SHOW:</b></p> <ul style="list-style-type: none"> <li>- Metes and bounds</li> <li>- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts</li> <li>- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines</li> <li>- North arrow, scale and vicinity map</li> <li>- Name &amp; dimension of adjoining street ROWs (total width &amp; width from centerline)</li> </ul> <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p>	
<b>Owners Signature</b>	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature  Date <u>Sept-11-2023</u></p> <p>Print Name <u>FRANCISCO PONS BALLESTEROS</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p style="text-align: center; font-size: small;">The Planning Department is now accepting DocuSign signatures on application</p>	









	NAME	ADDRESS	CITY, STATE & ZIP CODE	PHONE	FAX
OWNER:	BONA FIDE RE LLC	501 W. MOLANA AVE.	McALLEN TX, 78504	---	---
ENGINEER:	MARIANO GARCIA, P.E.	1616 E. GRIFFIN PARKWAY #146	MISSION TX 78572	(956) 598-5417	---
SURVEYOR:	MARIO GONZALEZ, R.P.L.S.	24593 FM 88	MONTE ALTO, TEXAS 78538	(956) 380-5154	(956) 380-

1616 E. GRIFFIN PARKWAY #146 MISSION TX 78572





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: GEORGETOWN PARK SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

E. El Rancho Road: 20 ft. of additional dedication for 40 ft. from centerline for 80 ft. total ROW.  
Paving: 52 ft. Curb & gutter :Both Sides

Revisions Needed:

-Please provide a copy of any referenced document regarding existing ROW for staff review, prior to recording.

-Clarify abandonment status of ROW Easement granted to Valley Industrial Gas Company along street and irrigation easement, as to ensure there is no overlap/issues with ROW dedications, etc. provide a copy of any referenced document for staff review, finalize prior to recording. Reference to abandonment with document number on plat is needed as applicable, finalize prior to NTP/recording.

-Any relocation of easements(gas, irrigation, etc.) must be outside of ROW and shown on plat, finalize easement dedications prior to NTP/recording.

\*\*Any changes to plat including but not limited to name, easement locations, row, may require Planning and Zoning Commission action in the future.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Required

South "K" Center Street (N/S 1/4 Mile Collector ):Dedication as needed for 60 ft. of total ROW.  
Paving 40 ft. Curb & gutter: Both Sides.

Revisions Needed:

-Clarify dedications along southwestern plat boundary, new and existing and provide centerline to ensure compliance with required ROW dedications, and street alignment, prior to recording.

Base on existing dedications, 20 ft. of ROW dedication required for 60 ft. total ROW. Finalize ROW requirements prior to NTP/ recording.

-Include ROW labeling on plat, prior to recording.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Required

Interior Streets: 60 ft. of total ROW dedication.

Paving: 40 ft. Curb & gutter: Both Sides

Pending Items:

-Developer submitted a variance application on April 13, 2023 requesting that the ROW be reduced from 60 ft. to 50 ft. for the street ROW along the south side of lots 39 & 70, as per layout submitted on February 14, 2023 the engineer has indicated that the 40 ft. paving width will remain as well as "Knuckle" along the SE and SW ends of the interior streets proposed.

Development staff has reviewed the request and indicated that if approved that a 10 ft. U.E and Sidewalk Easement be dedicated along the lots as applicable as well as any no parking striping needed as necessary. At the Planning and Zoning Commission meeting of May 2nd, 2023, the subdivision was approved in Revised Preliminary Form subject to conditions noted, with the requested Variance for the Interior Streets ROW

-Street names to be established, finalize prior to recording/Mylar printing.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>Paving _____ Curb &amp; gutter _____</p> <p>***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan</p> <p>***Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>Paving _____ Curb &amp; gutter _____</p> <p>***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan</p> <p>***Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>* 1,200 ft. Block Length.</p> <p>**Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts.</p> <p>**Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac.</p> <p>**Subdivision Ordinance: Section 134-105</p>	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.</p> <p>*Alley/service drive easement required for commercial properties and multi-family properties.</p> <p>**Subdivision layout is being processed with public works recycle centralized locations and individual bins for collection.</p> <p>***Subdivision Ordinance: Section 134-106</p>	Applied
<b>SETBACKS</b>	
<p>* Front: 10.00 ft. or greater for easements.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: In accordance with the Zoning Ordinance or greater for easements.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Interior Sides: In accordance with the Zoning Ordinance or greater for easements.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: 10.00 ft. or greater for easements</p> <p>Revision Needed:</p> <p>-Clarify proposed note regarding side specific setback along E. El Rancho Road as corner setback note appears to address setback requirements, finalize prior to recording.</p> <p>**Proposed side specific setbacks: South Side of Lot 39 &amp; 70...10.00 ft. or greater for easements</p> <p style="text-align: center;">North Side of Lot 1,21,22,54,55 &amp; 84...10.00 ft. or greater</p> <p>for easements</p> <p>***Zoning Ordinance: Section 138-356</p>	Required
<p>*Garage: 18 ft. except where greater setback is required, greater setback applies.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required along E. El Rancho Road and on both sides of S. "K" Center Street and all interior streets.</p> <p>Revisions Needed:</p> <p>-Revise note#9 as shown above prior to recording.</p> <p>***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize note wording prior to recording/Mylar printing.</p> <p>****Subdivision Ordinance: Section 134-120</p>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Perimeter sidewalks must be built or money escrowed if not built at this time, including the southside of E/W interior street.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, or industrial zones/uses and along E. El Rancho Road. ***Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along E. El Rancho Road. **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. ***Zoning Ordinance: Section 138-210.	Applied
*Proposing: Common areas must be maintained by the developer/ homeowner's association/owners, their successors and/or assignees and not the City of McAllen. Revisions needed: -In note include reference to "lot owners", finalize wording for note prior to recording.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	Required
<b>LOT REQUIREMENTS</b>	
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Compliance
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>ZONING/CUP</b>	
<p>* Existing: R3-T (Townhouse Residential) District Proposed:R3-T (Townhouse Residential) District            ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval            **Proposed zoning is compliant with current zoning.            ***Zoning Ordinance: Article V</p>	Compliance
	Applied
<b>PARKS</b>	
<p>* Land dedication in lieu of fee. As per plat submitted on November 10th,2022, plat depicts 84 lots, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Engineer submitted letter on November 10th, 2023, requesting fees in lieu of land, request is under review. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on November 10th,2022, plat depicts 84 lots, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Engineer submitted letter on November 10th, 2023, requesting fees in lieu of land, request is under review. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording.</p> <p>* Pending review by the City Managers Office. As per plat submitted on November 10th,2022, plat depicts 84 lots, as per City of McAllen Parkland Dedication Ordinance land dedication is over an acre. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. Engineer submitted letter on November 10th, 2023, requesting fees in lieu of land, request is under review. Should land dedication be required, the plat must be revised to accommodate the dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Parkland dedication requirements must be finalized prior to recording.</p>	Required
	Required
	Required
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation approved no TIA is required.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> <p>** As per Traffic Department, Trip Generation approved no TIA is required.</p>	Compliance
	Applied



COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"><li>*Must comply with City's Access Management Policy.</li><li>*Any abandonments including any gas and irrigation easements needing to be abandoned must be done by separate process, not by plat.</li><li>*Any changes to plat including but not limited to name, easement locations, row, may require Planning and Zoning Commission action in the future.</li><li>* Subdivision was approved in Preliminary form at the Planning and Zoning Commission meeting of December 6, 2022.</li><li>*The subdivision was approved in Revised Preliminary form at the Planning and Zoning Commission meeting of May 2nd, 2023, subject to conditions noted.</li><li>*At the Planning and Zoning special meeting of September 13th,2023, the subdivision was approved in Final form subject to conditions noted in the Planning Review. Subdivision approved under the name of Rancho Valencia, as per application dated September 19th,2023 new name proposed under Georgetown Park Subdivision.</li><li>*Please review all subdivision notes and ensure that necessary changes have been made regarding the updated name, finalize prior to recording. Please see HOA notes.</li></ul>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied









# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Belterra At Tres Lagos Phase II</u>	
	Location <u>West of Escondido at Tres Lagos Phase III &amp; East of Cascada Phase I</u>	
	City Address or Block Number <u>14401 N. SHARY RD</u>	
	Number of Lots <u>50</u>	Gross Acres <u>11.172</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No
	Existing Zoning <u>R2</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____	
	Existing Land Use <u>VACANT</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>U.I.D.</u>	
	Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial <u>N/A</u> Residential _____	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>2631.44</u>	
	Parcel # <u>1075074</u> Tax Dept. Review <u>ng</u>	
	Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>8.173 Acres out of section 227 Texas-Mexican Railway Company Volume 4, Pages 142-143 H.C.D.R</u>		
Owner	Name <u>Belterra at Tres Lagos, LLC</u>	Phone <u>956-287-2800</u>
	Address <u>200 S. 10TH ST., STE. 1700</u>	E-mail <u>NICK@RHODESENERPRISES.COM</u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78502</u>	
Developer	Name <u>Belterra at Tres Lagos, LLC</u>	Phone <u>956.287-2800</u>
	Address <u>200 S. 10TH ST., STE. 1700</u>	E-mail <u>NICK@RHODESENERPRISE.COM</u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78502</u>	
	Contact Person <u>NICK RHODES</u>	
Engineer	Name <u>MELDEN &amp; HUNT, INC.</u>	Phone <u>956.381.0981</u>
	Address <u>115 W. MCTYRE ST. - EDINBURG, TX 78541</u>	E-mail <u>MARIO@MELDENANDHUNT.COM</u>
	City <u>EDINBURG</u> State <u>TEXAS</u> Zip <u>78541</u>	
	Contact Person <u>MARIO A. REYNA</u>	
Surveyor	Name <u>MELDEN &amp; HUNT, INC.</u>	Phone <u>956.381.0981</u>
	Address <u>115 W. MCTYRE ST. - EDINBURG, TX 78541</u>	E-mail <u>Robert@meldenandhunt.com</u>
	City <u>EDINBURG</u> State <u>TX</u> Zip <u>78541</u>	

AUG 29 2022



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07-24-12

Print Name Mario A. Reyna, P.E

Owner ☐

Authorized Agent ☒



RES

LAGOS

BLVD

# LOCATION

PROPOSED



LAGOS  
CHALK RIDGE DR  
RD  
PH 1  
GORMAN FALLS RD

PROPOSED CASCADA

TRES LAGOS

SUBDIVISION

# SION

BELTERRA

TRES LAGOS

SHARY RD

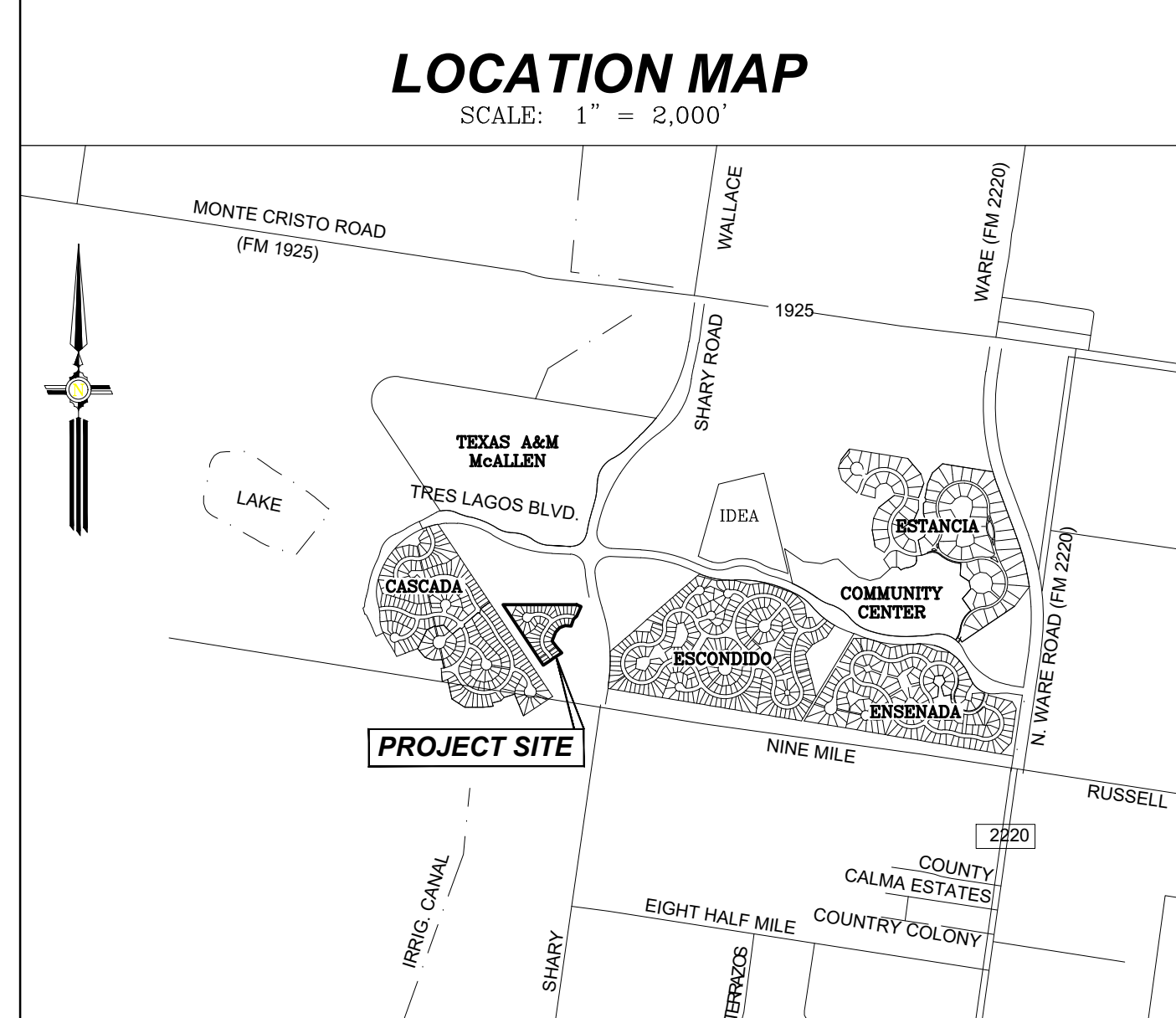
RUSSELL ROAD

68


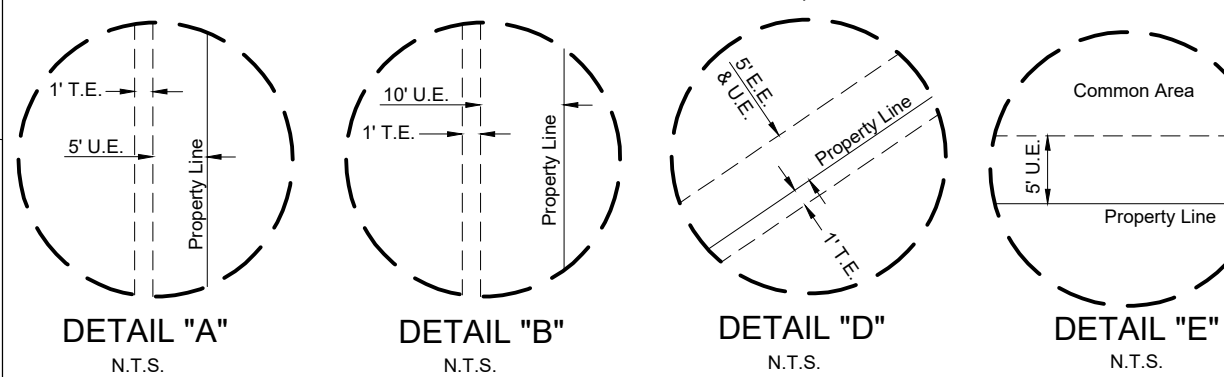
ESCONDIDO

RIVER RD





**METES AND BOUNDS DESCRIPTION  
8.126 ACRES OUT OF SECTION 227  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 4, PAGES 142-143, H.C.D.R.  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS**



TBPLS No. 10096900

**MELDEN & HUNT INC**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - [www.meldenandhunt.com](http://www.meldenandhunt.com)

- SET NO 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- R.O.W. - RIGHT-OF-WAY
- S.E. COR. - SOUTHEAST CORNER
- S.F. - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- U.W.E. - UTILITY & WALL EASEMENT DEDICATED BY THIS PLAT
- V.E. - VARIANCE EASEMENT DEDICATED BY THIS PLAT
- T.E. - TECHNOLOGY EASEMENT DEDICATED BY THIS PLAT
- E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- N.B.L & S.W. EASE - FRONT SETBACK LINE & SIDEWALK EASE.
- FSL - NOT TO SCALE-DETAILS

- Ⓢ - ROAD CENTER LINE
- \* - CURVED SETBACK LINE
- - INDICATOR FOR BEGIN AND END CURVE

Front Setback Lines			Front Setback Lines		
Line #	Length	Direction	Line #	Length	Direction
S21	25.06'	S56° 00' 00" W	S49	42.59'	N40° 00' 00" W
S22	23.75'	S56° 00' 00" W	S50	35.86'	N28° 30' 00" W
S23	20.12'	S56° 00' 00" W	S51	27.46'	N00° 00' 00" E
S24	26.17'	S56° 00' 00" W	S52	33.78'	N00° 00' 00" E
S25	22.08'	S56° 00' 00" W	S53	27.08'	N00° 00' 00" E
S26	26.29'	S58° 30' 00" W	S54	21.61'	N00° 13' 46" W
S27	34.02'	S74° 00' 00" W	S55	24.63'	N04° 00' 00" E
S28	39.53'	S86° 00' 00" W	S56	32.08'	N15° 00' 00" E
S29	37.03'	N84° 00' 00" W	S57	38.41'	N25° 50' 23" E
S30	32.06'	N73° 00' 00" W	S58	28.93'	N45° 00' 00" E
S31	25.58'	N59° 30' 00" W	S59	40.00'	S45° 00' 00" E
S32	24.63'	N58° 00' 00" W	S60	34.81'	N16° 00' 00" W
S33	20.63'	S68° 00' 00" E	S61	32.92'	N16° 00' 00" E
S34	17.09'	N58° 00' 00" W	S62	27.06'	N03° 30' 00" W
S35	20.68'	N58° 00' 00" W	S63	24.78'	N00° 00' 00" E
S36	67.88'	N40° 00' 00" E	S64	28.70'	N00° 00' 00" E
S37	43.74'	N50° 00' 00" E	S65	33.89'	N15° 00' 00" E
S38	20.03'	S04° 11' 29" W	S66	37.97'	N24° 00' 00" E
S39	25.99'	S28° 30' 00" E	S67	20.00'	S47° 30' 00" E
S40	62.50'	N79° 00' 00" E	S68	21.05'	S62° 22' 51" E
S41	20.76'	S38° 00' 00" E	S69	26.66'	S58° 00' 00" E
S42	29.87'	S38° 00' 00" E	S70	47.65'	S33° 30' 00" W
S43	31.24'	S13° 25' 40" E	S71	20.73'	N53° 24' 06" E
S44	33.95'	S13° 39' 28" W	S72	26.39'	S31° 30' 00" E
S45	31.08'	S41° 34' 28" W	S73	24.52'	N56° 00' 00" E
S46	31.50'	S73° 30' 00" W	S74	21.63'	N58° 00' 00" E
S47	35.71'	S73° 30' 00" W	S75	19.52'	S43° 08' 13" E
S48	39.50'	N80° 00' 00" W			

BOUNDARY Line Table		
Line #	Length	Direction
L1	59.99'	S66° 51' 59"E
L2	129.96'	S24° 00' 00"W
L3	56.31'	S48° 49' 39"W
L4	89.36'	S18° 30' 00"W
L5	74.99'	N85° 30' 00"W
L6	74.53'	S69° 00' 00"W
L7	75.75'	S41° 30' 00"W
L8	118.77'	S21° 00' 00"W
L9	76.49'	S37° 00' 00"E
L10	97.72'	S41° 00' 00"E
L11	117.98'	S58° 00' 00"W
L12	50.07'	S52° 42' 56"W
L13	106.42'	S56° 00' 00"W

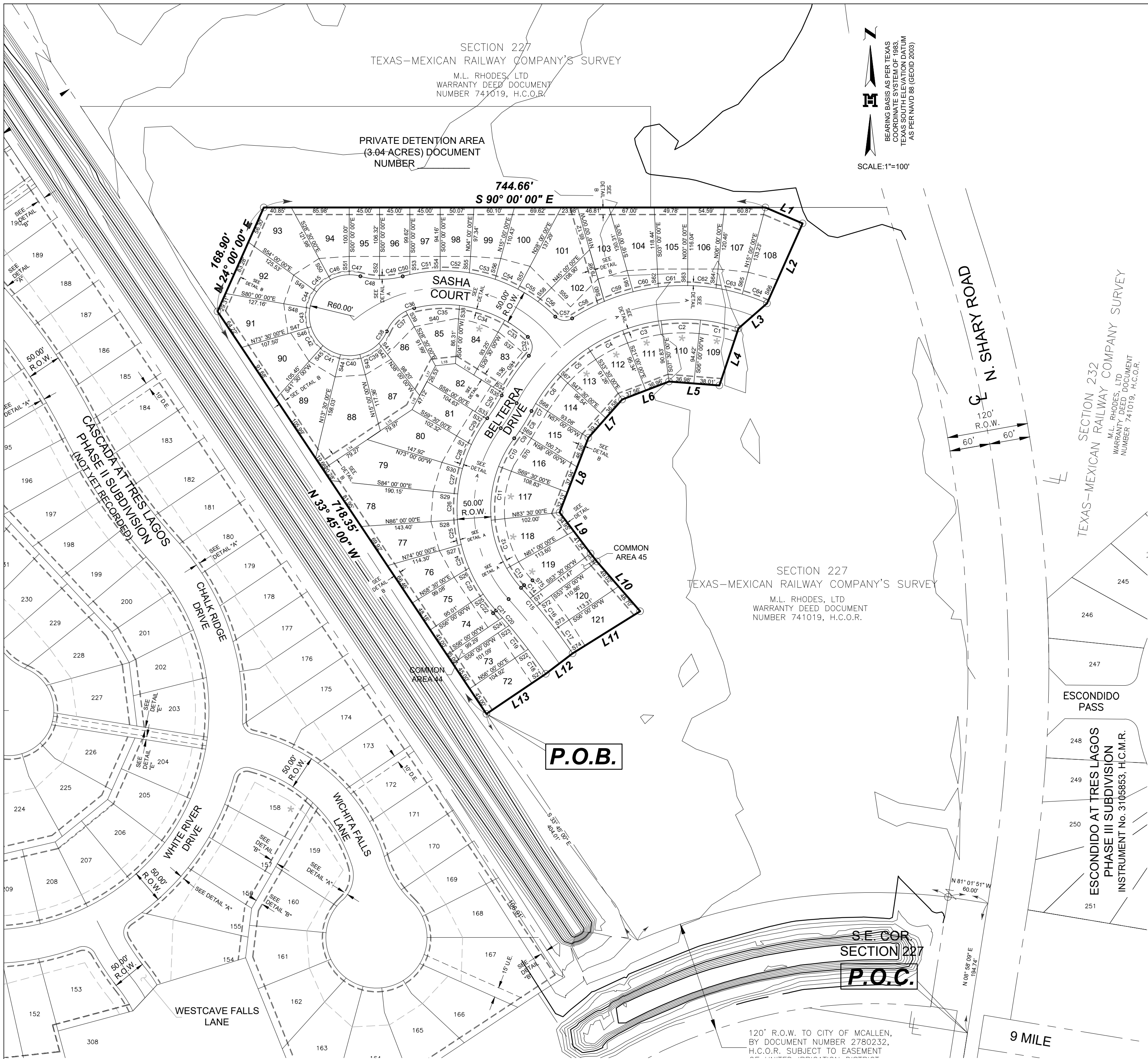
Line #	Length	Direction
L14	79.27'	S56° 15' 00"W
L15	56.74'	S56° 15' 00"W
L16	23.79'	N28° 00' 00"E
L17	26.53'	N28° 00' 00"E
L18	29.90'	N83° 41' 52"E
L19	32.07'	S58° 00' 00"E
L20	51.00'	S58° 00' 00"E

Lot #	SQ. FT.	Area
112	4468.32	0.103
113	4511.47	0.104
114	4488.73	0.103
115	4484.47	0.103
116	5344.83	0.123
117	5973.38	0.137
118	5923.24	0.136
119	5533.02	0.127
120	5183.85	0.119
121	5334.72	0.122

Lot Area Table			
Lot #	SQ. FT.	Area	
72	4763.92	0.109	
73	4643.83	0.107	
74	4347.74	0.100	
75	4346.18	0.102	
76	5375.80	0.123	
77	6435.90	0.148	
78	8703.88	0.200	
79	9890.73	0.227	
80	7467.52	0.149	
81	4695.25	0.108	
82	4579.59	0.105	
83	4912.74	0.113	
84	4608.32	0.106	
85	4946.83	0.114	
86	5055.10	0.116	
87	5968.48	0.137	
88	9253.95	0.212	
89	7607.58	0.175	
90	6328.10	0.145	
91	6968.84	0.160	

Lot Area Table		
Lot #	SQ. FT.	Area
92	6725.86	0.154
93	7603.84	0.175
94	5963.98	0.137
95	4447.97	0.107
96	4685.50	0.108
97	4326.94	0.099
98	4439.82	0.102
99	5075.64	0.113
100	6209.95	0.147
101	7133.81	0.164
102	5313.92	0.122
103	6117.66	0.142
104	6407.38	0.147
105	5449.90	0.125
106	5686.28	0.131
107	6290.64	0.144
108	6483.51	0.149
109	4417.55	0.101
110	4554.89	0.102
111	4471.22	0.103





Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	57.79	255.00	012° 59' 08"	N77° 50' 17"W	57.67	29.02
C2	58.73	255.00	013° 11' 43"	S89° 04' 18"W	58.60	29.49
C3	58.72	255.00	013° 11' 38"	S75° 52' 38"W	58.59	29.49
C4	57.78	255.00	012° 58' 54"	S62° 47' 22"W	57.65	29.01
C5	59.25	255.00	013° 18' 43"	S49° 38' 33"W	59.11	29.76
C6	54.90	255.00	012° 20' 08"	S36° 49' 08"W	54.79	27.56
C7	12.79	255.00	002° 52' 29"	S29° 12' 50"W	12.79	6.40
C8	34.56	305.00	006° 29' 33"	N31° 01' 22"E	34.54	17.30
C9	13.36	305.00	002° 30' 36"	N35° 31' 26"E	13.36	6.68
C10	47.94	175.00	015° 41' 41"	S28° 55' 54"W	47.79	24.12
C11	81.13	175.00	026° 33' 42"	S7° 48' 12"W	80.40	41.31
C12	75.65	175.00	024° 46' 03"	S17° 51' 41"E	75.06	38.42
C13	35.97	175.00	011° 48' 38"	S36° 08' 02"E	35.91	18.05
C14	20.53	925.00	001° 16' 19"	N41° 23' 11"W	20.53	10.27
C15	15.03	925.00	000° 55' 52"	N40° 17' 06"W	15.03	7.52
C16	43.96	925.00	002° 43' 22"	N38° 27' 29"W	43.95	21.98
C17	44.24	925.00	002° 44' 25"	N35° 43' 35"W	44.24	22.13
C18	45.02	875.00	002° 56' 54"	N35° 39' 46"W	45.02	22.52
C19	45.15	875.00	002° 57' 24"	N38° 36' 54"W	45.15	22.58
C20	15.10	875.00	000° 59' 20"	N40° 35' 16"W	15.10	7.55
C21	14.36	875.00	000° 56' 25"	N41° 33' 08"W	14.36	7.18
C22	30.87	225.00	007° 51' 38"	S38° 05' 31"E	30.84	15.46

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C23	44.12	225.00	011° 14' 09"	S28° 32' 38"E	44.05	22.13
C24	36.89	225.00	009° 23' 38"	S18° 13' 44"E	36.85	18.49
C25	37.11	225.00	009° 27' 04"	S8° 48' 23"E	37.07	18.60
C26	38.31	225.00	009° 45' 22"	S0° 47' 50"W	38.27	19.20
C27	38.22	225.00	009° 44' 00"	S10° 32' 31"W	38.18	19.16
C28	38.15	225.00	009° 42' 56"	S20° 15' 59"W	38.11	19.12
C29	44.41	225.00	011° 18' 34"	S30° 46' 44"W	44.34	22.28
C30	40.07	255.00	009° 00' 09"	N32° 16' 39"E	40.03	20.07
C31	67.79	305.00	012° 44' 08"	S34° 49' 36"W	67.66	34.04
C32	31.05	20.00	088° 57' 32"	N3° 17' 06"W	28.03	19.64
C33	42.40	185.00	013° 07' 52"	N54° 19' 48"W	42.31	21.29
C34	71.02	185.00	021° 59' 46"	N71° 53' 38"W	70.59	35.95
C35	67.64	185.00	020° 56' 54"	S86° 38' 02"W	67.26	34.20
C36	13.33	60.00	012° 43' 39"	S69° 47' 46"W	13.30	6.69
C37	41.89	60.00	040° 00' 09"	S43° 25' 52"W	41.04	21.84
C38	21.35	60.00	020° 23' 01"	N33° 37' 19"E	21.23	10.79
C39	33.18	60.00	031° 40' 48"	N59° 39' 13"E	32.75	17.02
C40	29.17	60.00	027° 51' 19"	N89° 25' 17"E	28.88	14.88
C41	29.48	60.00	028° 09' 03"	S62° 34' 32"E	29.18	15.04
C42	33.39	60.00	031° 53' 03"	S32° 33' 29"E	32.96	17.14
C43	27.86	60.00	026° 36' 05"	S3° 18' 55"E	27.61	14.18
C44	26.64	60.00	025° 26' 33"	S22° 42' 25"W	26.42	13.54

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C45	27.46	60.00	026° 13' 22"	S48° 32' 22"W	27.22	13.97
C46	28.97	60.00	027° 40' 08"	S75° 29' 07"W	28.69	14.78
C47	16.72	60.00	015° 57' 48"	N82° 41' 55"W	16.66	8.41
C48	28.85	120.00	013° 46' 30"	S81° 36' 15"E	28.78	14.49
C49	34.81	120.00	016° 37' 19"	N83° 11' 50"E	34.69	17.53
C50	10.87	235.00	002° 38' 58"	S76° 12' 40"W	10.87	5.43
C51	45.40	235.00	011° 04' 10"	S83° 04' 14"W	45.33	22.77
C52	43.44	235.00	010° 35' 32"	N86° 05' 55"W	43.38	21.78
C53	39.53	235.00	009° 38' 13"	N75° 59' 02"W	39.48	19.81
C54	36.79	235.00	008° 58' 11"	N66° 40' 50"W	36.75	18.43
C55	34.69	235.00	008° 27' 31"	N57° 57' 59"W	34.66	17.38
C56	34.59	235.00	008° 26' 03"	N49° 31' 12"W	34.56	17.33
C57	27.06	20.00	077° 30' 30"	S84° 03' 26"E	25.04	16.05
C58	54.13	305.00	010° 10' 07"	S62° 16' 23"W	54.06	27.14
C59	45.08	305.00	008° 28' 07"	S71° 35' 30"W	45.04	22.58
C60	37.95	305.00	007° 07' 47"	S79° 23' 27"W	37.93	19.00
C61	43.68	305.00	008° 12' 19"	S87° 03' 30"W	43.64	21.88
C62	42.20	305.00	007° 55' 40"	N84° 52' 31"W	42.17	21.13
C63	40.01	305.00	007° 31' 00"	N77° 09' 11"W	39.98	20.04
C64	39.25	305.00	007° 22' 27"	N69° 42' 28"W	39.23	19.65

Front Setback Lines		
Line #	Length	Direction
S21	25.06	S56° 00' 00"W
S22	23.75	S56° 00' 00"W
S23	20.12	S56° 00' 00"W
S24	26.17	S56° 00' 00"W
S25	22.08	S56° 00' 00"W
S26	26.29	S58° 30' 00"W
S27	34.02	S74° 00' 00"W
S28	39.53	S86° 00' 00"W
S29	37.03	N84° 00' 00"W
S30	32.06	N73° 00' 00"W
S31	25.58	N59° 30' 00"W
S32	24.63	N58° 00' 00"W
S33	20.63	S58° 00' 00"E
S34	17.09	N58° 00' 00"W
S35	20.68	N58° 00' 00"W
S36	67.88	N40° 00' 00"E
S37	43.74	N50° 00' 00"W
S38	20.03	S04° 11' 29"W
S39	25.99	S28° 30' 00"E
S40	62.50	N79° 00' 00"E
S41	20.76	S38° 00' 00"E
S42	29.87	S38° 00' 00"E
S43	31.24	S13° 25' 40"E
S44	33.95	S13° 39' 28"W
S45	31.08	S41° 30' 00"W
S46	31.50	S73° 30' 00"W
S47	35.71	S73° 30' 00"W
S48	39.50	N80° 00' 00"W

Front Setback Lines		
Line #	Length	Direction
S49	42.59	N54° 00' 00"W
S50	35.86	N28° 30' 00"W
S51	27.46	N00° 00' 00"E
S52	33.78	N00° 00' 00"E
S53	27.08	N00° 00' 00"E
S54	21.61	N00° 13' 46"W
S55	24.63	N04° 00' 00"E
S56	32.08	N15° 00' 00"E
S57	38.41	N25° 50' 23"E
S58	28.93	N45° 00' 00"E
S59	40.00	S45° 00' 00"E
S60	34.81	N16° 00' 00"W
S61	32.92	N16° 00' 00"W
S62	27.06	N03° 00' 00"W
S63	24.78	N00° 00' 00"E
S64	28.70	N06° 00' 00"E
S65	33.89	N15° 00' 00"E
S66	37.97	N24° 00' 00"E
S67	20.00	S47° 30' 00"E
S68	21.05	S56° 22' 51"E
S69	20.66	S58° 00' 00"E
S70	47.65	S33° 00' 00"W
S71	20.73	N53° 24' 06"E
S72	26.39	N53° 30' 00"E
S73	24.52	N56° 00' 00"E
S74	21.63	N58° 00' 00"E
S75	19.52	S43° 08' 13"E

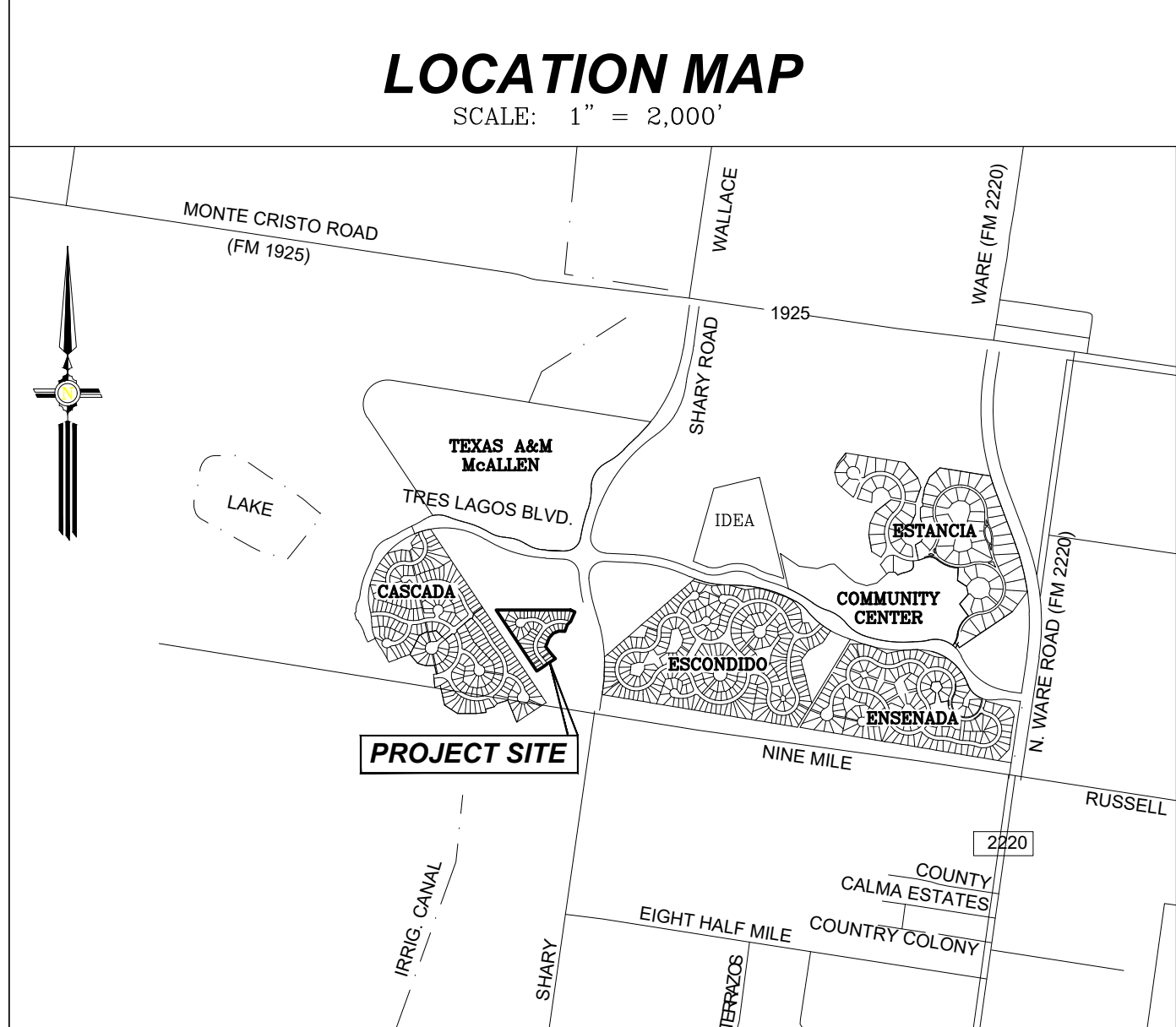
BOUNDARY Line Table		
Line #	Length	Direction
L1	59.99	S66° 51' 59"E
L2	129.96	S24° 00' 00"W
L3	56.31	S48° 49' 39"W
L4	89.36	S18° 30' 00"W
L5	74.99	N85° 30' 00"W
L6	74.53	S69° 00' 00"W
L7	75.75	S41° 30' 00"W
L8	118.77	S21° 00' 00"W
L9	76.49	S37° 00' 00"E
L10	97.72	S41° 00' 00"E
L11	117.98	S58° 00' 00"W
L12	50.07	S52° 42' 56"W
L13	106.42	S56° 00' 00"W

Lot Line Table		
Line #	Length	Direction
L14	79.27	S56° 15' 00"W
L15	56.74	S56° 15' 00"W
L16	23.79	N28° 00' 00"E
L17	26.53	N28° 00' 00"E
L18	29.90	N83° 41' 52"E
L19	32.07	S58° 00' 00"E
L20	51.00	S58° 00' 00"E

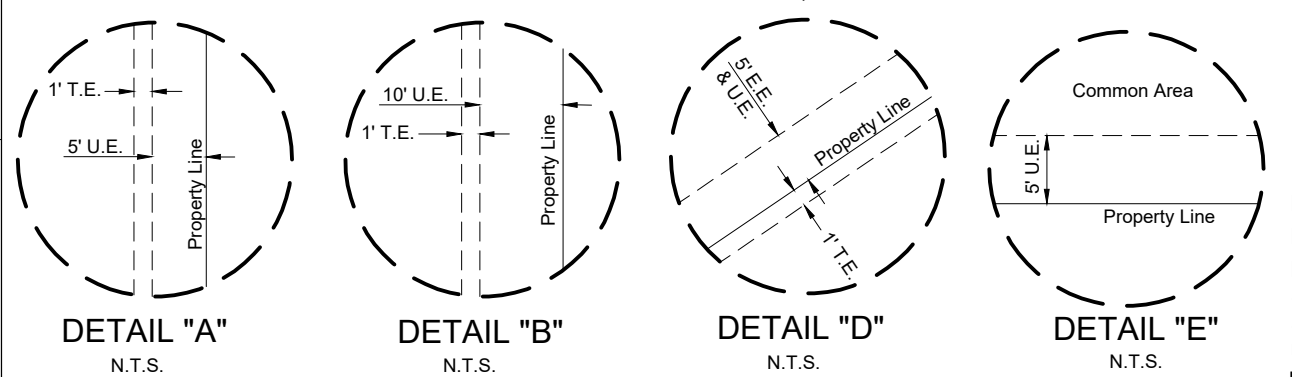
Lot Area Table		
Lot #	SQ. FT.	Area
72	4763.82	0.109
73	4643.93	0.107
74	4347.74	0.100
75	4436.18	0.102
76	5375.80	0.123
77	6435.90	0.148
78	8703.88	0.200
79	9890.73	0.227
80	6478.52	0.149
81	4695.25	0.108
82	4579.59	0.105
83	4912.74	0.113
84	4608.32	0.106
85	4946.83	0.114
86	5055.10	0.116
87	5968.48	0.137
88	9253.95	0.212
89	7607.58	0.175
90	6326.10	0.145
91	6968.84	0.160

Lot Area Table		
Lot #	SQ. FT.	Area
92	6725.86	0.154
93	7603.84	0.175
94	5963.98	0.137
95	4647.97	0.107
96	4685.50	0.108
97	4326.94	0.099
98	4439.82	0.102
99	5075.64	0.117
100	6209.95	0.143
101	7133.81	0.164
102	5313.92	0.122
103	6171.66	0.142
104	6407.38	0.147
105	5449.90	0.125
106	5686.28	0.131
107	6290.64	0.144
108	6483.51	0.149
109	4417.55	0.101
110	4454.89	0.102
111	4471.22	0.103

Lot Area Table		
Lot #	SQ. FT.	Area
112	4468.32	0.103
113	4511.47	0.104
114	4488.73	0.103
115	4484.47	0.103
116	5344.83	0.123
117	5973.38	0.137
118	5923.24	0.136
119	5533.02	0.127
120	5183.85	0.119
121	5334.72	0.122



SUBDIVISION MAP OF  
**BELTERRA AT TRES LAGOS**  
SUBDIVISION PHASE II  
METES AND BOUNDS DESCRIPTION  
8.126 ACRES OUT OF SECTION 227  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 4, PAGES 142-143, H.C.D.R.  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS



**M**  
MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. MONTYRE - EDINBURG, TX 78841  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: \_\_\_\_\_ R.N. DATE 06-23-2022  
SURVEYED, CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
FINAL CHECK \_\_\_\_\_ DATE \_\_\_\_\_





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

### SUBDIVISION NAME: BELTERRA AT TRES LAGOS PHASE II

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Interior Streets: 50 ft. ROW  
 Paving: 32 ft. Curb & gutter: both sides  
 \*Street names will be finalized prior to recording.  
 \*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  
 \*\*\*Monies must be escrowed if improvements are required prior to recording.

Applied

Interior streets: Proposed Sasha Court 50 ft. ROW  
 Paving: 32 ft. Curb & gutter: both sides  
 \*Street names will be finalized prior to recording.  
 \*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  
 \*\*\*Monies must be escrowed if improvements are required prior to recording.

Applied

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length: Common areas and access walks/drives provide per agreement.  
 \*\*Subdivision Ordinance: Section 134-118

Applied

\* 900 ft. Block Length for R-3 Zone Districts  
 \*\*Subdivision Ordinance: Section 134-118

NA

\* 600 ft. Maximum Cul-de-Sac: Cul-de-sac street length does not apply provided that the development uses the "coving method" and emergency access walks/drives are provided, per agreement.  
 \*\*\*Please provide paving dimensions around all islands to determine compliance prior to final/recording. As per utility layout submitted on 10/21/22, 32 ft. of paving around islands shown, and as per plat submitted on 10/21/22 a Cul-De-Sac radius of 60 ft. shown.  
 \*\*\*Paving must be 96 ft. in diameter face to face with minimum 10 ft. of ROW back of curb around Cul-De-Sac area. Island must meet 32 ft. paving all around and must be fire lane striped,  
 \*\*Subdivision Ordinance: Section 134-105

Required

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
 \*Alley/service drive easement required for commercial and multi-family properties.  
 \*\*Subdivision Ordinance: Section 134-106

NA

##### SETBACKS

\* Proposing: Front: 20 ft. minimum or as shown in "Front Setback Table" sheet 2 of 2 (greater applies)  
 - The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.  
 \*\*Zoning Ordinance: Section 138-356

Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Rear: 11 ft. or greater for easements.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Interior sides: 5 ft. or greater for easements.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>**The proposed subdivision complies with minimum setback requirements, as per agreement.</li> <li>***Zoning Ordinance: Section 138-356</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Side corner: 10 ft. or greater for easements</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Garage: 18 ft. except where greater setback is required, greater setback applies.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Required
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on: City Ordinance will not apply provided a sidewalk having at least an adequate width for pedestrian and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit of development, per agreement.</li> <li>**Note Provided: Interior sidewalks shall be installed at building permit stage as per sidewalk filed with the city by registered engineer designing the unit of development, per agreement.</li> <li>Revisions needed: <ul style="list-style-type: none"> <li>- Please provide sidewalk plan prior to final.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> </ul> </li> <li>**Subdivision Ordinance: Section 134-120</li> </ul>	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</li> <li>Revisions Needed: <ul style="list-style-type: none"> <li>- Revise note #8 as shown above, as plat boundaries do not have frontage along N. Shary Rd.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> </ul> </li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Required
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Please revise plat note #9 as shown above prior to final.</li> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Required
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
**Must comply with City Access Management Policy	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



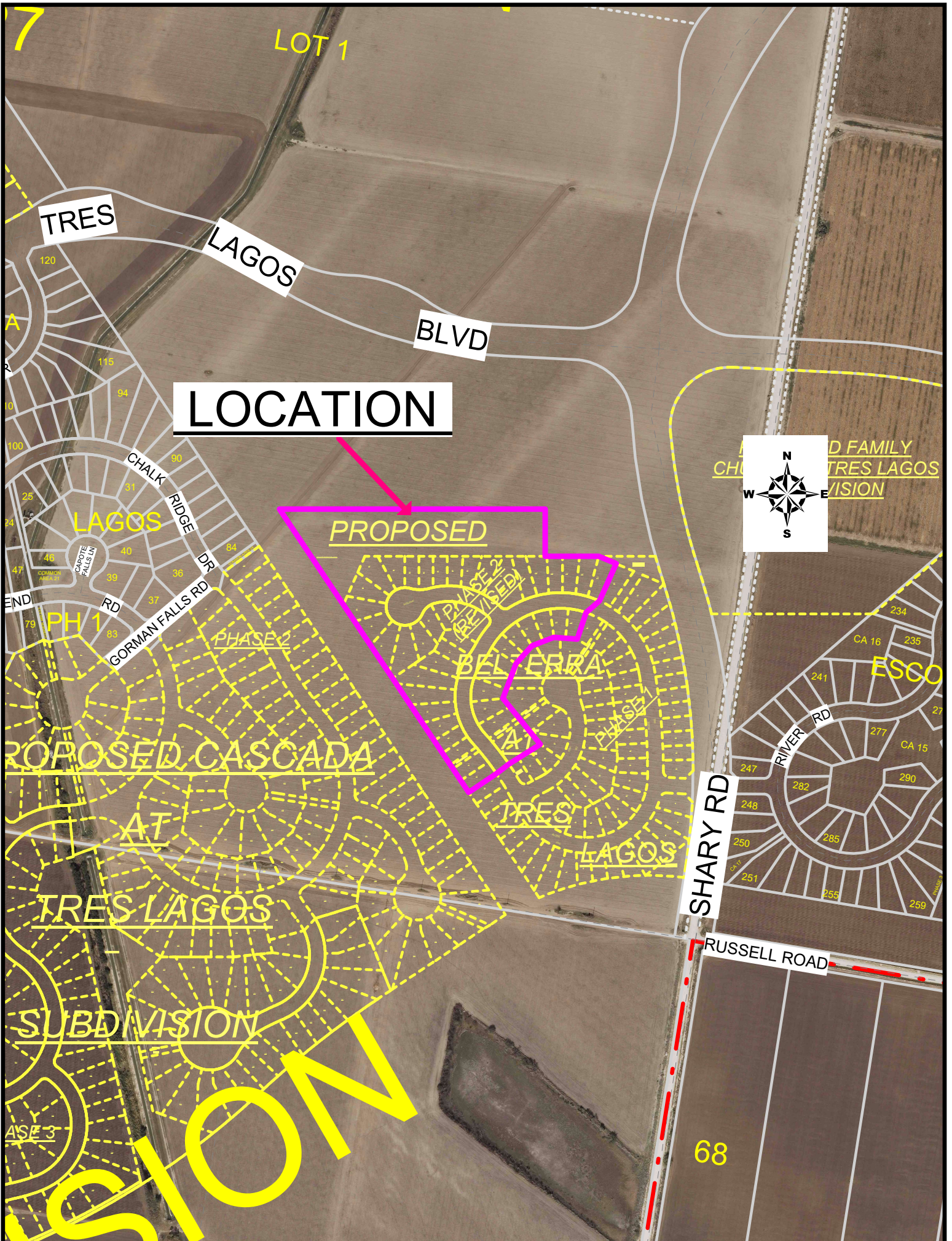
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	NA
	Applied
	NA
	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets: Access to subdivision from Proposed Belterra at Tres Lagos Phase I , which has access to N. Shary Road.</p> <p>**The proposed subdivision complies with minimum access points, as per agreement.</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area</p> <p>Revisions Needed:</p> <p>* Some lots are not meeting the minimum 5,000 sq. ft. requirement, but not less than 4,000 sq. ft. As per the agreement and resolution 2023-01-01 the minimum lot size in Tres Lagos is 4,000 sq. ft.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
	Applied
<b>ZONING/CUP</b>	
<p>* Existing: R-1 (single-family residential) Proposed: R-1 (single-family residential)</p> <p>***Rezoning to R-1 approved by Planning and Zoning Board at their P&amp;Z meeting of August 16, 2022 and by City Commission on August 12, 2022.</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Rezoning to R-1 approved by Planning and Zoning Board at their P&amp;Z meeting of August 16, 2022 and by City Commission on August 12, 2022.</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	Completed
<b>PARKS</b>	
<p>* Land dedication in lieu of fee. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	Applied
	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Pending review by the City Manager's Office. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.	Applied
<b>TRAFFIC</b>	
* As per Traffic Department, TG triggered a TIA Level 1; however, the trips did not exceed the approved Master Traffic Impact Analysis (TIA) of Tres Lagos from 2016. Approval will be honored based on 2016 Master TIA.	Applied
As per Traffic Department, TG triggered a TIA Level 1; however, the trips did not exceed the approved Master Traffic Impact Analysis (TIA) of Tres Lagos from 2016. Approval will be honored based on 2016 Master TIA.	Applied
<b>COMMENTS</b>	
<p>Comments:</p> <p>*Must comply with City's Access Management Policy.</p> <ul style="list-style-type: none"> <li>- The latest submittal only includes page 2. Page 1 must be submitted for tracing review and plat notes must be finalized prior to recording.</li> <li>- Private detention area with document number located outside plat boundary, clarify prior to final/recording as revisions may be required on plat as applicable.</li> <li>- Submit ownership map prior to final/recording with surrounding legal descriptions and document numbers, to ensure no landlocked properties exists or will be created, including the detention lot.</li> <li>- Provide legal description of adjacent properties on all sides prior to recording. Review and revise as applicable.</li> <li>- Signature blocks must follow Sec 134-61 of the Subdivision ordinance prior to recording.</li> <li>- Add the layout of Belterra at Tres Lagos Phase I on the plat and vicinity map when it is recorded prior to recording Phase II. Phase II may not be recorded prior to Phase I as the access to current lots will be through Phase I.</li> </ul>	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied





LOCATION

PROPOSED



SHARY RD

RUSSELL ROAD

68





# City of McAllen

SUB 2023-0059

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>CEH ADDITION</u> Location <u>North East Corner of South 23rd Street and F.M 1016</u> City Address or Block Number <u>6321 S. 23<sup>RD</sup> ST</u> Number of Lots <u>1</u> Net Acres <u>3.5</u> Gross Acres <u>3.5</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing Zoning <u>I-1</u> Proposed Zoning <u>I-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>HCDD 1</u> Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial <u>Yes</u> Residential _____ Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>0</u> Parcel # <u>1125956</u> Tax Dept. Review <u>NPG 6-19-23</u> Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ Legal Description <u>C.E. HAMMOND AN IRR TR S335'-W365.50'-LOT 30 &amp; N84.48'-W365.50'</u> <u>LOT 31- BLK 3 3.50 AC NET</u>	
Owner	Name <u>Interchange Park Partners, INC</u> Phone <u>210 495 6776</u> Address <u>1900 NW Loop 410</u> E-mail <u>jimgt@gnpsga.com.mx</u> City <u>San Antonio</u> State <u>Tx</u> Zip <u>78213</u>	
Developer	Name <u>Circle K</u> Phone <u>281-855-6433</u> Address <u>19500 Bulverde Rd, Suite 100</u> E-mail <u>matt@morrisassoc.com</u> City <u>San Antonio</u> State <u>TX</u> Zip <u>78259</u> Contact Person <u>Matt Marek</u>	
Engineer	Name <u>Morris + Associates, Engineers LLC</u> Phone <u>832.653.3373. ext 116</u> Address <u>14139 Huffmeister Road</u> E-mail <u>e.clarke@morrisassoc.com</u> City <u>Cypress</u> State <u>TX</u> Zip <u>77429</u> Contact Person <u>Emma Clarke</u>	
Surveyor	Name <u>Eagle Surveying</u> Phone <u>940.222.3009</u> Address <u>222 South Elm Street, Suite 200</u> E-mail <u>brad@eaglesurveying.com</u> City <u>Denton</u> State <u>TX</u> Zip <u>76201</u>	

KF





## Proposed Plat Submittal

**Minimum Developer's Requirements Submitted with Application**

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\***

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**Owners Signature**

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 6/19/2023

Print Name Jose Maria Garza Trevion

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application



LOT 1  
SUBD.

12

9

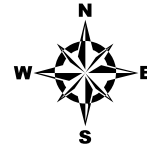
SUBDIVISION

29

23RD ST

WAREHOUSE KINGDOM PHASE 2  
SUBDIVISION

30



AMMOND'S

LOCATION

BDIVISION

J.G.  
ORTEGON  
SUBDIVISION  
LOT "A"

PROPOSED CEH ADDITION  
SUBDIVISION

MILITARY HIGHWAY (F.M. 1016)

1A

3

WAREHOUSE  
KINGDOM

HCWID #3 MAIN CANAL

4

SUBD

HIGHWAY

6450  
5-A 5-B  
6400  
5-C  
6420  
7  
6500  
18  
6798

BLK A

18

6798



9

A

9

7

18

18

6798



7

18

18

6798



7

18

18

6798





OWNER'S CERTIFICATE AND DEDICATION

WHEREAS, INTERCHANGE PARK PARTNERS, INC. is the owner of a 3.50 acre tract or parcel of land situated in the Juan Antonio Survey, Abstract Number 44 in Hidalgo County, Texas and being all of a called 3.5 acre tract of land described in the deed to Interchange Park Partners, Inc., recorded in Document Number 2017-2840653 of the Official Records of Hidalgo County, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** at a capped 1/2" iron rod stamped "CVQLS" found at the Northwest corner of said 3.5 acre tract and the common Southwest corner of Warehouse Kingdom Subdivision, Phase II, recorded in Document Number 3297741 of the Map Records of Hidalgo County, Texas and being in the East right-of-way line of Farm to Market Road 1926 (S. 23rd Street);

**THENCE** South 80°58'15" East, with the North line of said 3.5 acre tract and the common South line of said Warehouse Kingdom Subdivision, Phase II, a distance of 365.50 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set at the Northeast corner of said 3.5 acre tract;

**THENCE** South 09°01'45" West, with the East line of said 3.5 acre tract, a distance of 419.48 feet to 1/2" iron rod with an illegible cap found at the Southeast corner of said 3.5 acre tract and being in the North right-of-way line of Farm to Market Road 1016;

**THENCE** with the South line of said 3.5 acre tract and the common North right-of-way line of said Farm to Market Road 1016 the following courses and distances:

With a curve to the right, having a radius of 1849.86 feet, a delta angle of 06°42'40", a chord bearing and distance of North 84°48'52" West, 216.55 feet and an arc length of 216.67 feet to a 1/2" iron rod with an illegible cap found;

North 81°30'12" West, a distance of 49.52 feet to a 1/2" iron rod with an illegible cap found at the Southerly Southwest corner of said 3.5 acre tract;

North 36°14'57" West, a distance of 140.63 feet to a 1/2" iron rod found at the Westerly Southwest corner of said 3.5 acre tract and being in the East right-of-way line of said Farm to Market Road 1926;

**THENCE** North 09°01'45" East, with the West line of said 3.5 acre tract and the common East right-of-way line of said Farm to Market Road 1926 a distance of 335.50 feet to the **POINT OF BEGINNING** and containing 3.50 acres of land more or less.

STATE OF TEXAS §  
COUNTY OF HIDALGO §

We, the undersigned owner of the land shown on this plat and designated herein as **CEH ADDITION**, an addition to the City of McAllen, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public all streets, alleys, parks, watercourses, drains, easements, water lines, sewer lines, storm sewers, fire hydrants and public places which are installed or which we will cause to be installed thereon, shown or not shown, if required otherwise to be installed or dedicated under the subdivision approval process of the City of McAllen, all the same for the purposes therein expressed, either on the plat or on the official minutes of the applicable authorities of the City of McAllen.

Interchange Park Partners, Inc.

3030 N.E. Loop 410, San Antonio TX 78218

By:

STATE OF TEXAS §  
COUNTY OF HIDALGO §

Before me, the undersigned notary public, on this day the owner personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same purposes and considerations therein expressed and in the capacity therein stated. All given under my hand and seal of office.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Notary Public for the State of Texas  
My commission expires on : \_\_\_\_\_

I, the undersigned, Mayor of the City of McAllen, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of the City wherein my approval is required.

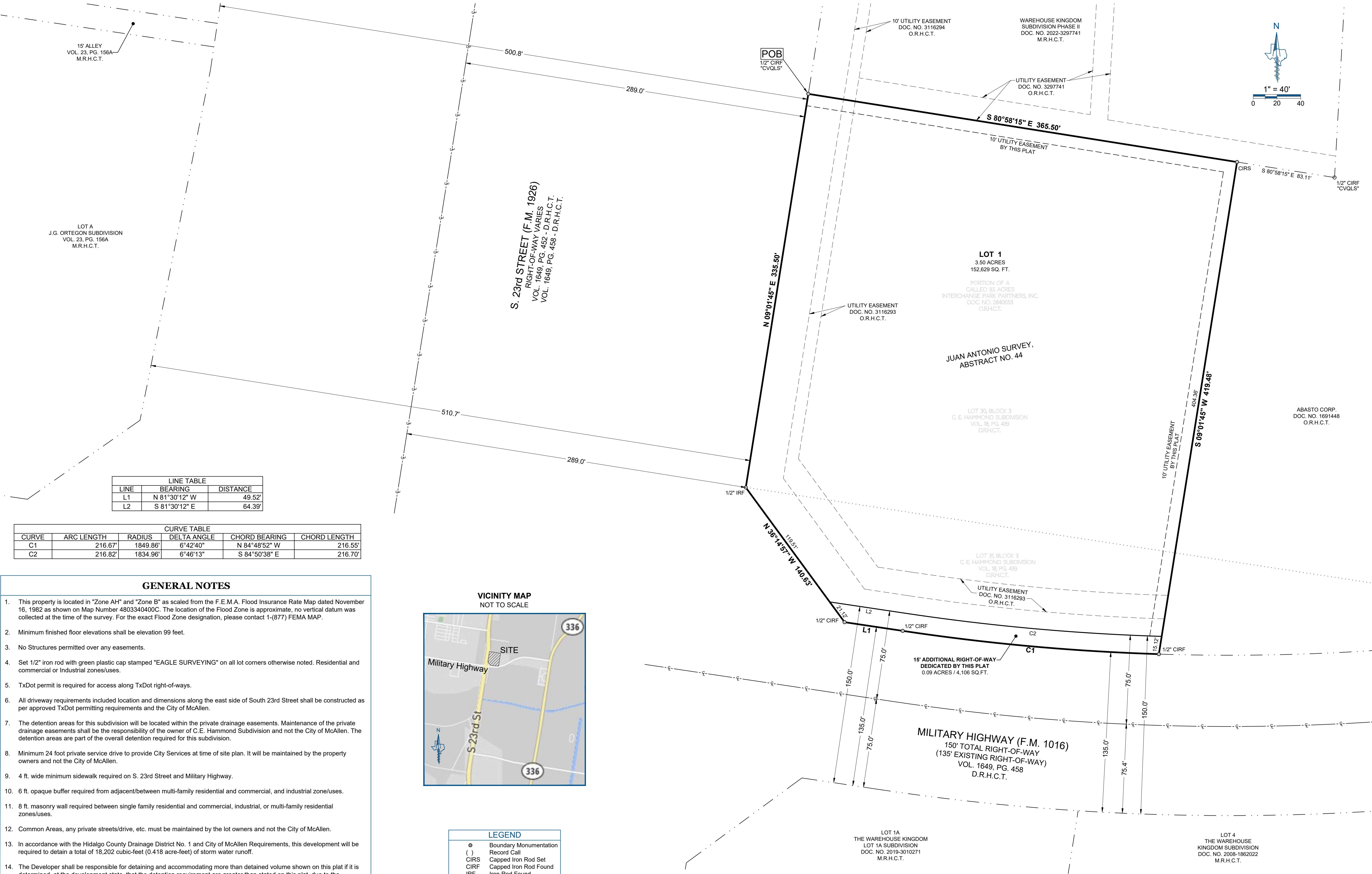
Mayor, City of McAllen \_\_\_\_\_ Date \_\_\_\_\_

I, the undersigned, Chairman of the Planning and Zoning Commission of the City of McAllen hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of the City wherein my approval is required.

Chairman, Planning Commission \_\_\_\_\_ Date \_\_\_\_\_

FINAL PLAT  
CEH ADDITION  
LOT 1

A TRACT OF LAND CONTAINING 3.50 ACRE OF LAND SITUATED IN HIDALGO COUNTY, TEXAS, BEING A PART OF OR PORTION OF LOTS 30 AND 31, BLOCK 3, C.E. HAMMOND SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 18, PAGE 438-439, DEED RECORDS, HIDALGO COUNTY, TEXAS, AN ALSO BEING ALL OF A TRACT OF LAND DEEDED TO INTERCHANGE PARK PARTNERS, INC., RECORDED IN DOCUMENT NUMBER 2017-2840653, DEED RECORDS, HIDALGO COUNTY, TEXAS



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 81°30'12" W	49.52'
L2	S 81°30'12" E	64.39'

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	216.67'	1849.86'	6°42'40"	N 84°48'52" W	216.55'
C2	216.82'	1834.96'	6°46'13"	S 84°50'38" E	216.70'

GENERAL NOTES

- This property is located in "Zone AH" and "Zone B" as scaled from the F.E.M.A. Flood Insurance Rate Map dated November 16, 1982 as shown on Map Number 4803340400C. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- Minimum finished floor elevations shall be elevation 99 feet.
- No Structures permitted over any easements.
- Set 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" on all lot corners otherwise noted. Residential and commercial or Industrial zones/uses.
- TxDot permit is required for access along TxDot right-of-ways.
- All driveway requirements included location and dimensions along the east side of South 23rd Street shall be constructed as per approved TxDot permitting requirements and the City of McAllen.
- The detention areas for this subdivision will be located within the private drainage easements. Maintenance of the private drainage easements shall be the responsibility of the owner of C.E. Hammond Subdivision and not the City of McAllen. The detention areas are part of the overall detention required for this subdivision.
- Minimum 24 foot private service drive to provide City Services at time of site plan. It will be maintained by the property owners and not the City of McAllen.
- 4 ft. wide minimum sidewalk required on S. 23rd Street and Military Highway.
- 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zone/uses.
- 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.
- Common Areas, any private streets/drive, etc. must be maintained by the lot owners and not the City of McAllen.
- In accordance with the Hidalgo County Drainage District No. 1 and City of McAllen Requirements, this development will be required to detain a total of 18,202 cubic-feet (0.418 acre-feet) of storm water runoff.
- The Developer shall be responsible for detaining and accommodating more than detained volume shown on this plat if it is determined, at the development state, that the detention requirement are greater than stated on this plat, due to the impervious area being greater than the plat engineer considered in the hydraulic calculations for this subdivision.

SETBACKS

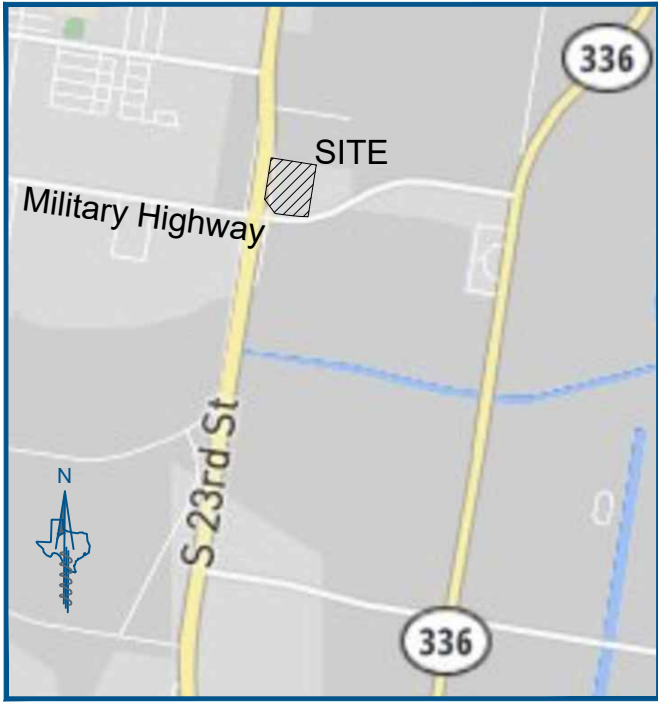
**Front:** In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever applies.

**Rear:** In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

**Sides:** In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

**Corner:** In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

VICINITY MAP  
NOT TO SCALE



LEGEND	
●	Boundary Monumentation
( )	Record Call
CIRS	Capped Iron Rod Set
CIRF	Capped Iron Rod Found
IRF	Iron Rod Found
POB	Point of Beginning
VOL.	Volume
PG.	Page
DOC. NO.	Document Number
D.R.H.C.T.	Deed Records, Hidalgo County, Texas
O.R.H.C.T.	Official Records, Hidalgo County, Texas
M.R.H.C.T.	Map Records, Hidalgo County, Texas

STATE OF TEXAS §  
COUNTY OF DENTON §

I, the undersigned, Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correctly made and is prepared from an actual survey on the property made under my supervision on the ground.

PRELIMINARY

this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

Matthew Raabe, R.P.L.S. #6402 \_\_\_\_\_ Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, on this day personally appeared **MATTHEW RAABE**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas \_\_\_\_\_

My commission expires on \_\_\_\_\_.

SURVEYOR

Eagle Surveying, LLC  
Contact: Brad Eubanks  
222 S. Elm Street, Suite 200  
Denton, TX 76201  
(940) 222-3009

OWNER

Interchange Park Partners, Inc.  
3030 N.E. Loop 410  
San Antonio, TX 78218

JOB NUMBER
2207-053-03
DATE
11/08/2023
REVISION
-
DRAWN BY
BE/EN



Eagle Surveying, LLC  
222 South Elm Street  
Suite: 200  
Denton, TX 76201  
940.222.3009  
www.eaglesurveying.com  
TX Firm # 10194177





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

### SUBDIVISION NAME: CEH ADDITION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

S 23rd St: dedication as required for 75 ft. from the centerline, for 150 ft. total ROW

Paving: By State Curb & gutter: By State

Revisions needed:

- If 510.7 ft. and 500.8 ft. are existing ROW, please label "Existing ROW" prior to final/recording.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to recording.

\*\*COM Thoroughfare Plan

Required

Military Highway: Dedication as required for 75 ft. from centerline for 150 ft. total ROW

Paving: 65 ft. to 105 ft. Curb & gutter: both sides

Revisions needed:

- Provide a copy of the document referenced on the plat for staff review prior to final/recording.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to recording.

\*\*COM Thoroughfare Plan

Required

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3T & R-3C Zone Districts

\*\*Subdivision Ordinance: Section 134-118

Applied

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*Alley/service drive easement required for commercial properties

\*Plat note #8 proposes minimum 24 ft. private service drive to provide City Services at times of site plan.

\*\*Subdivision Ordinance: Section 134-106

Applied

##### SETBACKS

\*S. 23rd Street/Military Highway: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with average existing structures, whichever is greater applies.

- Revise the plat note from "whichever applies" to "whichever is greater applies" prior to final/recording.

- Since the subdivision is a corner lot you can revise the plat note as shown above and remove the corner setback note.

\*\*Zoning Ordinance: Section 138-356 & 138-367

Required



<p>* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Corner: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. - Since the subdivision is a corner lot you can revise the front setback note as shown above and remove the corner setback note. **Zoning Ordinance: Section 138-356 &amp; 138-367</p> <p>* Garage **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
	Applied
	Applied
	NA
	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on S. 23rd Street and Military Highway. ** Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final/recording. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Required
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
<b>NOTES</b>	
<p>**Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Applied
	Required
	Applied
	Applied
	NA
	NA



LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Compliance
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Compliance
ZONING/CUP	
* Existing: I-1 Proposed: I-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. As per the subdivision application submitted on June 19, 2023, a commercial development is proposed. Park fees do not apply to commercial properties, unless the proposed use changes.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording As per the subdivision application submitted on June 19, 2023, a commercial development is proposed. Park fees do not apply to commercial properties, unless the proposed use changes.	NA
* Pending review by the City Manager's Office. As per the subdivision application submitted on June 19, 2023, a commercial development is proposed. Park fees do not apply to commercial properties, unless the proposed use changes.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation was approved, and TIA Waived	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Submitted application proposed the name of the subdivision as "CEH Addition." Remove "Lot 1" from the name of the subdivision and revise it on the plat prior to final/recording as follows: " Map of CEH Addition Subdivision" - Provide legal description of the adjacent properties on all sides, including the adjacent property on the east side, prior to final/recording. - All signature blocks must comply with Section 134-61 of the subdivision ordinance prior to recording. *Must comply with City's Access Management Policy.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED.	Applied



23RD ST

LOCATION

WAREHOUSE KINGDOM PHASE 2  
SUBDIVISION

SUBDIVISION

29

30



16  
ORTEGON  
SUBDIVISION

PROPOSED CEH ADDITION  
SUBDIVISION

MILITARY HIGHWAY (F.M. 1016)

WAREHOUSE  
KINGDOM

HCWID #3 MAIN CANAL

Y HIGHWAY

BLKA

6400

6420

6500

6798

1A

3

SUBD

BLDG I

BLDG J

BLDG K

BLDG L

BLDG M

BLDG N

BLDG O

BLDG P

BLDG Q

BLDG R

BLDG S

BLDG T

BLDG U

BLDG V

BLDG W

BLDG X

BLDG Y

BLDG Z

BLDG AA

BLDG AB

BLDG AC

BLDG AD

BLDG AE

BLDG AF

BLDG AG

BLDG AH

BLDG AI

BLDG AJ

BLDG AK

BLDG AL

BLDG AM

BLDG AN

BLDG AO

BLDG AP

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BLDG AR

BLDG AS

BLDG AT

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BLDG AW

BLDG AX

BLDG AY

BLDG AZ

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BLDG BX

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BLDG CB

BLDG CC

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BLDG CE

BLDG CF

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BLDG CI

BLDG CJ

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BLDG GQ

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BLDG GX

BLDG GY

BLDG GZ

BLDG HA

BLDG HB

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BLDG HV

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BLDG HX

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BLDG IC

BLDG ID

BLDG IE

BLDG IF

BLDG IG

BLDG IH

BLDG II

BLDG IJ

BLDG IK

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BLDG IM

BLDG IN

BLDG IO

BLDG IP

BLDG IQ

BLDG IR

BLDG IS

BLDG IT

BLDG IU

BLDG IV

BLDG IW

BLDG IX

BLDG IY

BLDG IZ

BLDG JA

BLDG JB

BLDG JC

BLDG JD

BLDG JE

BLDG JF

BLDG JG

BLDG JH

BLDG JI

BLDG JJ

BLDG JK

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BLDG KO

BLDG KP

BLDG KQ

BLDG KR

BLDG KS

BLDG KT

BLDG KU

BLDG KV

BLDG KW

BLDG KX

BLDG KY

BLDG KZ



SUB2022-0126



City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>AUSTIN 495 PLAZA SUBDIVISION</u></p> <p>Location <u>SOUTH SIDE OF PECAN AVE. (FM 495) APPROXIMATELY 1,180 FT EAST OF BENTSEN RD.</u></p> <p>City Address or Block Number <u>4101 PECAN BLVD</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.995</u> Net acres <u>0.940</u></p> <p>Existing Zoning <u>C-3</u> Proposed <u>C-3</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>GENERAL BUSINESS</u> Proposed Land Use <u>GENERAL BUSINESS</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. _____ Tax Dept. Review _____</p> <p>Legal Description <u>A 0.995 OF AN ACRE TRACT BEING OUT OF LOT 7, BLOCK 2, C.E. HAMMOND SUBDIVISION IN HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 8, AMP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.</u></p>
Owner	<p>Name <u>JINGUO LIU</u> Phone <u>(646) 289-1560</u></p> <p>Address <u>3308 SANTA OLIVIA</u></p> <p>City <u>MISSION</u> State <u>TX</u> Zip <u>78572</u></p> <p>E-mail <u>hellosamliu@gmail.com</u></p>
Developer	<p>Name <u>JINGUO LIU</u> Phone <u>(646) 289-1560</u></p> <p>Address <u>3308 SANTA OLIVIA</u></p> <p>City <u>MISSION</u> State <u>TX</u> Zip <u>78572</u></p> <p>Contact Person <u>JINGUO LIU</u></p> <p>E-mail <u>hellosamliu@gmail.com</u></p>
Engineer	<p>Name <u>IDEN I. TREVINO</u> Phone <u>956-283-8847</u></p> <p>Address <u>200 S. 10 ST. SUITE 1303</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>IDEN TREVINO</u></p> <p>E-mail <u>ident@trevinoengineering.com, karime@trevinoengineering.com</u></p>
Surveyor	<p>Name <u>HOMERO LUIS GUTIERREZ</u> Phone <u>956-369-0988</u></p> <p>Address <u>P.O. BOX 548</u></p> <p>City <u>McALLEN</u> State <u>TX</u> Zip <u>78505</u></p>

ENTERED

OCT 26 2022

Initial: NM



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/  
easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

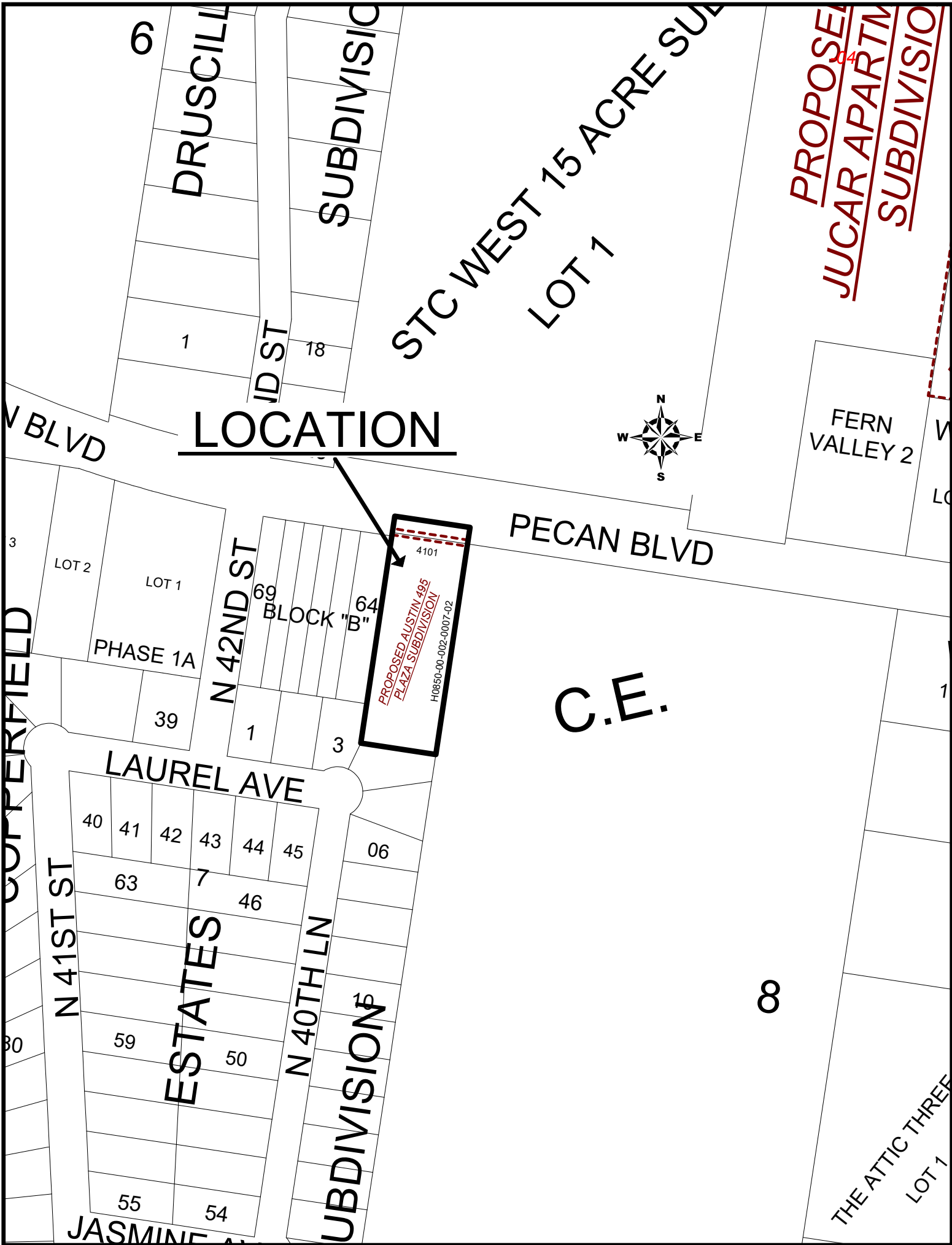
Signature  Date 10/24/2022

Print Name IDEN I. TREVINO

Owner ☐

Authorized Agent ☒





6

DRUSCILLA

SUBDIVISION

STC WEST 15 ACRE SUBDIVISION  
LOT 1

PROPOSED  
JUCAR APARTMENT  
SUBDIVISION

FERN VALLEY 2

LOCATION



PECAN BLVD

C.E.

COPPERFIELD

LOT 2

LOT 1

PHASE 1A

N 42ND ST

BLOCK "B"

PROPOSED AUSTIN 495  
PLAZA SUBDIVISION  
H0850-00-002-0007-02

4101

LAUREL AVE

N 41ST ST

ESTATES

N 40TH LN  
SUBDIVISION

JASMINE AVE

THE ATTIC THREE  
LOT 1

08

06

46

7

40

41

42

43

44

45

63

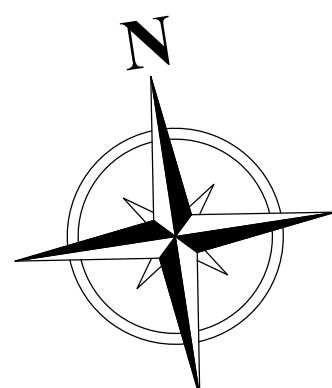
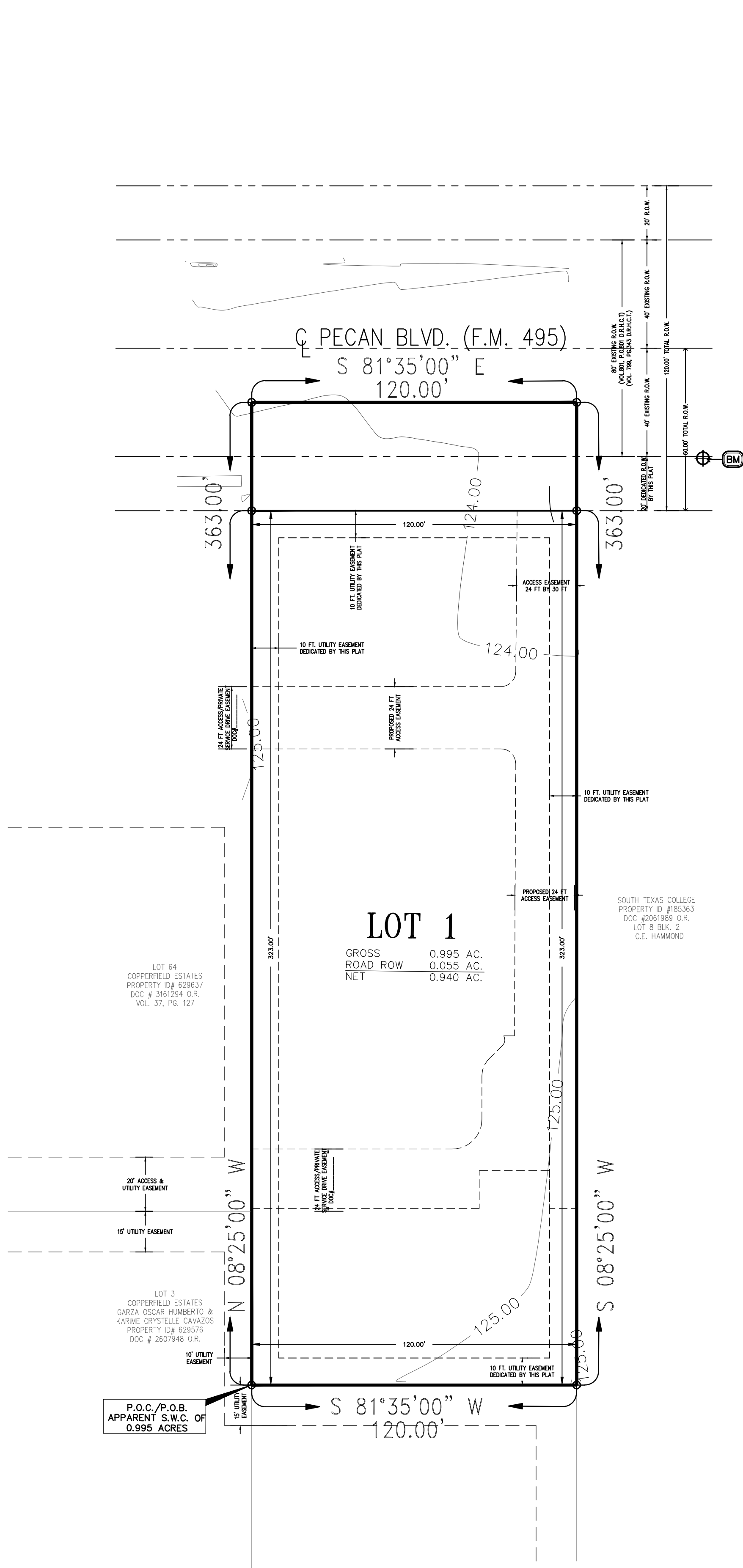
59

50

55

54





SCALE: 1"=30'

#### LEGEND

- FOUND IRON ROD
- 1/2" IRON ROD

#### GENERAL NOTES

- THE SUBDIVISION IS IN FLOOD ZONE "C" DEFINED AS AREAS OF MINIMAL FLOODING. COMMUNITY PANEL NO. 480343 0005 C MAP REVISED NOVEMBER 2, 1982.
- BENCHMARK = COTTON PICKER SPINDLE @ POWER POLE LOCATED APPROXIMATELY 46.67 FEET EAST OF THE NORTHWEST CORNER OF THIS SUBDIVISION. ELEV. 125.72
- MINIMUM BUILDING SETBACKS  
FRONT: IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR LINE WITH AVERAGE SETBACK, WHICHEVER IS GREATER APPLIES.  
REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.  
SIDES: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN,WHICHEVER IS GREATER APPLIES.
- A TOTAL OF 0.092 ACRE FEET (4,032 CUBIC FEET) OF STORM WATER RETENTION IS REQUIRED FOR THIS SUBDIVISION.
- ALL LOT CORNER MARKED WITH A 1/2-INCH DIAMETER ROD
- ALL UTILITIES IN THIS SUBDIVISION SHALL BE UNDERGROUND
- A 5 FT WIDE SIDEWALK IS REQUIRED ALONG PECAN BLVD. (F.M. 495)
- OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE OF DETENTION PONDS
- SHOULD ANY ENTITIES HAVING AUTHORITY OVER THE RECORDED EASEMENTS DEDICATED HEREIN NEED TO REPAIR, REPLACE, INSTALL, OR IN ANY WAY REQUIRE EXCAVATION, ACCESS TO THE LINES THEREIN, THAT ENTITY SHALL HAVE THE RIGHT TO ACCESS THE EASEMENT WHICH MAY CAUSE INCIDENTAL DAMAGE TO PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, WALLS, SLABS, LANDSCAPING AND PRIVATE IRRIGATION SYSTEMS. OWNER(S) OF PROPERTIES SHALL HOLD HARMLESS AND INDEMNIFY ANY SUCH ENTITY FROM THE DAMAGES AND/OR REPLACEMENT COSTS CAUSED BY NEEDED WORK.
- ALL IRRIGATION DISTRICT EASEMENTS, IF SHOWN, ARE EXCLUSIVE TO HIDALGO COUNTY IRRIGATION DISTRICT NO.1, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT IT EXPRESS WRITTEN APPROVAL.
- UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES, OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM HIDALGO COUNTY IRRIGATION DISTRICT NO.1.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY HIDALGO COUNTY IRRIGATION DISTRICT NO.1. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
- 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USES
- 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE/USES
- COMMON AREAS, AND ANY ACCESS/PRIVATE SERVICE DRIVE EASEMENTS ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.

#### HIDALGO COUNTY DRAINAGE DISTRICT No. 1

HIDALGO COUNTY DRAINAGE DISTRICT No. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL SESIN, P.E., CFM  
GENERAL MANAGER  
HIDALGO COUNTY DRAINAGE DISTRICT No.1

#### HIDALGO COUNTY IRRIGATION DISTRICT #1

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #1 ON THIS DAY OF \_\_\_\_\_, 20\_\_\_\_. NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT \_\_\_\_\_ ATTEST: SECRETARY \_\_\_\_\_



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF MAP RECORDS OF HIDALGO COUNTY TEXAS  
BY: \_\_\_\_\_ DEPUTY

#### STATE OF TEXAS COUNTY OF HIDALGO

(I/WE),THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **AUSTIN 495 PLAZA SUBDIVISION** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

JINGUO LIU  
OWNER/REPRESENTATIVE

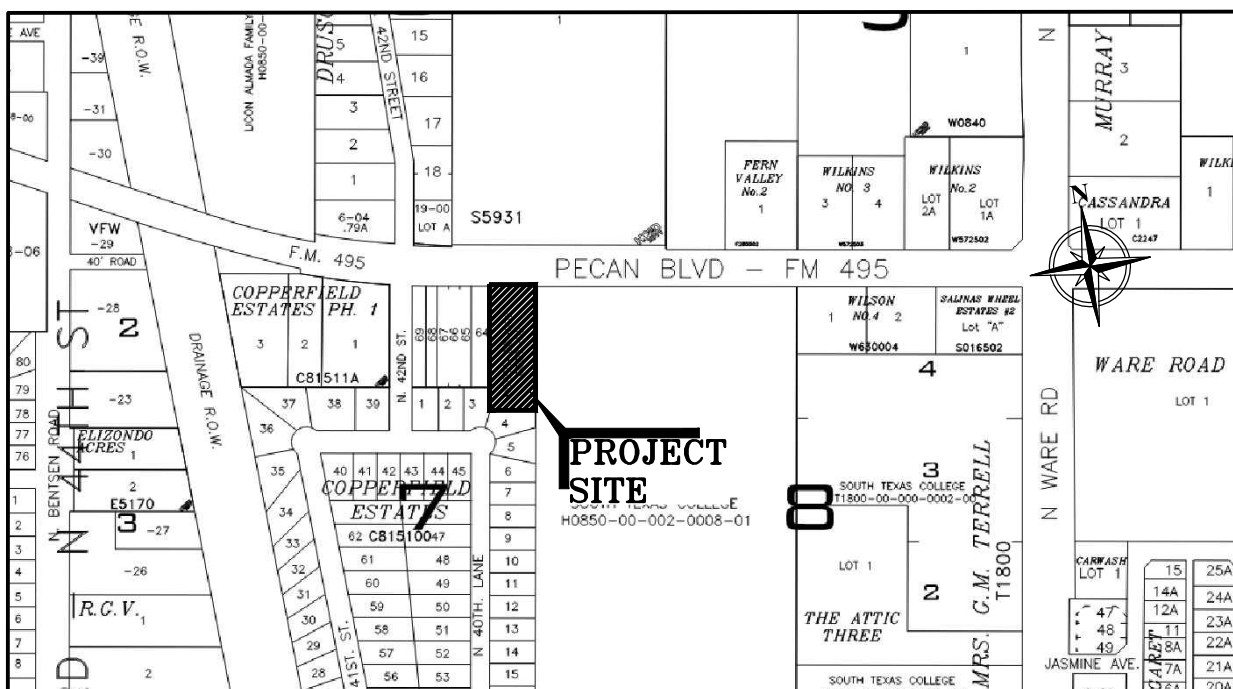
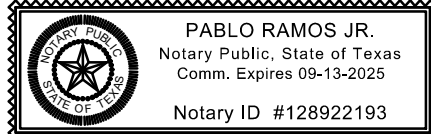
DATE

#### STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_\_



VICINITY MAP  
1 INCH = 500 FEET

#### METES AND BOUNDS

AN 0.995-OF AN ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 7, BLOCK 2, C.E. HAMMOND SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 8, HIDALGO MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS; AND AS FURTHER DESCRIBED IN SPECIAL WARRANTY DEED RECORDED VIA DOCUMENT NO. 2008-1951767, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED IN THE CITY OF McALLEN ON THE SOUTH SIDE OF PECAN AVENUE (FM 495) APPROXIMATELY 1,180 FEET EAST OF BENTSEN ROAD, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A No.4 REBAR FOUND AT AN EXISTING CONCRETE BLOCK WALL CORNER FOR THE APPARENT SOUTHWEST CORNER OF SAID 0.995-OF AN ACRE TRACT, ALSO BEING THE POINT OF BEGINNING (P.O.B.) OF SAID 0.995-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, N 08 DEGREES 25 MINUTES 00 SECOND E, ALONG AN EXISTING CONCRETE BLOCK WALL TO THE LEFT, AND WITH THE APPARENT WEST LOT LINE OF SAID 0.995-OF AN ACRE TRACT PASSING THE END OF THE BLOCK WALL, THENCE WITH AN EXISTING CEDAR FENCE TO THE LEFT VARYING FROM 4.6 FEET TO ZERO FEET, A DISTANCE OF 341.12 FEET PASSED A FOUND No.4 REBAR ON THE APPARENT EXISTING SOUTH RIGHT-OF-WAY LINE OF SAID PECAN AVENUE, CONTINUING FOR A TOTAL A DISTANCE OF 361.12 FEET (363.12 FEET (363.00 FEET RECORDED) TO A POINT BEING 20.00 FEET SOUTH OF THE ORIGINAL 40-FOOT EXISTING RIGHT-OF-WAY CENTERLINE OF SAID PECAN AVENUE FOR THE APPARENT NORTHWEST CORNER OF SAID 0.995-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81 DEGREES 35 MINUTES 00 SECONDS E, WITH A LINE 20.00 FEET SOUTH OF AND PARALLEL TO THE SAID PECAN AVENUE ORIGINAL 40-FOOT EXISTING RIGHT-OF-WAY CENTERLINE, AND WITH THE APPARENT NORTH LOT LINE OF SAID LOT 7 AND OF SAID 0.995-OF AN ACRE TRACT, A DISTANCE OF 120.00 FEET TO A POINT WITHIN EXISTING RIGHT-OF-WAY OF SAID PECAN AVENUE AND BEING 20.00 FEET SOUTH OF THE SAID PECAN AVENUE ORIGINAL 40-FOOT EXISTING RIGHT-OF-WAY CENTERLINE FOR THE APPARENT NORTHEAST CORNER OF SAID 0.995-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08 DEGREES 25 MINUTES 00 SECOND W, WITH THE APPARENT EAST LOT LINE OF SAID 0.995-OF AN ACRE TRACT, A DISTANCE OF 20.00 FEET TO A FOUND No. 4 REBAR FOUND ON THE SAID PECAN AVENUE SOUTH RIGHT-OF-WAY LINE CONTINUING FOR A TOTAL DISTANCE OF 361.12 FEET (363.00 FEET RECORDED) TO A FOUND No.4 REBAR FOR THE APPARENT SOUTHEAST CORNER OF SAID 0.995-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 81 DEGREES 35 MINUTES 00 SECONDS W, WITH THE APPARENT SOUTH LOT LINE OF SAID 0.995-OF AN ACRE TRACT, A DISTANCE OF 120.00 FEET TO THE SAID FOUND No.4 REBAR FOR THE SOUTHWEST CORNER OF 0.995-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED, AND FOR THE POINT OF BEGINNING, CONTAINING A GROSS OF 0.995-OF AN ACRE OF LAND, OF WHICH 0.055 OF AN ACRE LIES IN EXISTING ROAD RIGHT-OF-WAY, FOR A NET OF 0.940 OF AN ACRE, MORE OR LESS.

BEARING BASIS AS PER THE NORTHERNMOST EAST LOT LINE OF COPPERFIELD ESTATES, RECORDED IN VOLUME 37, PAGE 127, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS.

#### CITY OF McALLEN MAYOR

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN \_\_\_\_\_ DATE \_\_\_\_\_ CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

#### CITY OF McALLEN PLANNING & ZONING

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

#### STATE OF TEXAS COUNTY OF HIDALGO

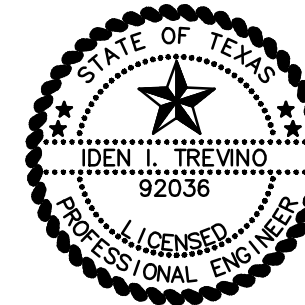
I, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.



HOMERO LUIS GUTIERREZ RPLS NO. 2791 \_\_\_\_\_ DATE \_\_\_\_\_

#### STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN I. TREVINO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.



IDEN I. TREVINO, PE \_\_\_\_\_ NO. 92036 \_\_\_\_\_ DATE \_\_\_\_\_

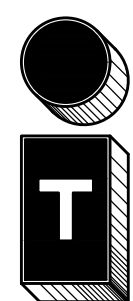
DATE OF PREPARATION: OCTOBER 27, 2023

#### PRINCIPAL CONTACTS:

	ADDRESS	CITY & ZIP	PHONE
OWNER:	JINGUO LIU	3308 SANTA OLIVIA	MISSION, TEXAS 78572 (646) 289-1560
ENGINEER:	IDEN I. TREVINO, P.E.	2211 E. GRIFFIN PKWY, STE 160	MISSION, TEXAS 78572 (956) 283-8847
SURVEYOR:	HOMERO LUIS GUTIERREZ, RPLS	P.O. BOX 548	McALLEN, TEXAS 78505 (956) 369-0988

## AUSTIN 495 PLAZA SUBDIVISION

A 0.995 OF AN ACRE TRACT BEING OUT OF LOT 7, CLOCK 2, C.E. HAMMOND SUBDIVISION IN HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 8, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.



## TREVIÑO ENGINEERING

FIRM No. F-7906

TEL No. (956) 283-8847 2211 E. Griffin Pkwy, Suite 160  
ident@trevinoengineering.com Mission, Texas 78572





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: AUSTIN 495 PLAZA SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Pecan Boulevard: Minimum 20 ft. of dedication for 60 ft. from centerline for 120 ft. total ROW.  
Paving :65 -85 ft. Curb & gutter Both Sides.

Revisions Needed:

- Provide a copy of document regarding referenced existing dedications prior to recording.
- Clarify 20' ROW reference across Pecan Blvd, if existing include as part of existing ROW labeling, any dedications that have not been done by plat or separate instrument should not be included on plat, finalize prior to recording. Any dedication done by separate instrument must include instrument number finalize all ROW labeling and dedications prior to recording.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Required

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts.

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.

\*\*Subdivision Ordinance: Section 134-105

NA

Compliance

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*Alley/service drive easement required for commercial, industrial, and multi-family properties.

\*\*As per plat submitted on October 19th, 2023 plat proposes 24 ft. access easement.

Revisions Needed:

-Remove proposed from all dedications, and clarify if dedicated by this plat, finalize prior to recording.

-Revise labeling as follows: 24 ft. Access and Service Drive Easement, finalize wording for labeling and notes prior to recording.

-Reciprocal access agreement needed for connections at the North and South to existing access easement to the west, document number needs to be included on plat prior to recording. Finalize Access and Service Drive Easement requirements prior to recording.

-Additional notes may be required as applicable regarding any extensions to adjoining properties, finalize wording for notes prior to recording.

\*\*Access/ Service Drive Easement must be minimum 24 ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements.

\*\*Subdivision Ordinance: Section 134-106

Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



SETBACKS	
* Front: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. *92 ft. as that is the average of the existing structures along that block. ***Zoning Ordinance: Section 138-356, 138-367	Applied
* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356	Applied
* Sides In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356	Applied
* Corner: Interior Lot **Zoning Ordinance: Section 138-356	NA
* Garage: Commercial Development. **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required along Pecan Boulevard (F.M. 495). **5 ft. sidewalk as per Engineering Department. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
Revisions needed: -Any reciprocal access agreement must be finalized prior to recording with document number shown on plat. **Must comply with City Access Management Policy ***As per Traffic Department, McAllen Access Spacing requirement for Pecan Blvd at 45 MPH is 360 ft. from any driveway/entrances/streets, Variance Approved with conditions	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas and any Access and Service Drive Easements , etc. must be maintained by the lot owners and not the City of McAllen.	Required
Revisions Needed: -Revise note #15 as shown above, prior to recording. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 134-168 applies if private subdivision is proposed.</li> <li>****Section 110-72 applies if public subdivision is proposed.</li> <li>*****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	NA
	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: C-3 (General Business) District Proposed: C-3 (General Business) District</li> <li>**Zoning Ordinance: Article V</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>***Zoning Ordinance: Article V</li> </ul>	NA
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee. As per application dated October 26,2022 proposed land use is C-3 General Business, commercial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated October 26,2022 proposed land use is C-3 General Business, commercial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office. As per application dated October 26,2022 proposed land use is C-3 General Business, commercial developments do not apply to Parks.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation approved, TIA waived.</li> </ul>	Completed
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> <li>** As per Traffic Department, Trip Generation approved, TIA waived.</li> </ul>	NA
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>*Must comply with City's Access Management Policy.</li> <li>*Any abandonments must be done by separate process, not by plat</li> <li>*Reciprocal access agreement needed for connections at the North and South to existing access easement to the west, document number needs to be included on plat prior to recording. Finalize Access and Service Drive Easement requirements prior to recording. Additional notes may be required as applicable regarding any extensions to adjoining properties, finalize wording for notes prior to recording.</li> </ul>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied



An aerial photograph of a residential subdivision. The image is divided into several rectangular lots by white lines. Each lot contains a house with a swimming pool. The houses are mostly two-story buildings with brown or grey roofs. The surrounding area is green with trees and grass. Overlaid on the image is yellow text. At the top, the word "DRUSCILLA" is written in large, bold, yellow capital letters. Below it, the word "SUBDIVISION" is written in the same style. On the left side, the number "6" is written in large, bold, yellow capital letters. On the right side, the number "18" is written in large, bold, yellow capital letters. The text "6" and "18" are positioned near the top of the image. The text "DRUSCILLA" and "SUBDIVISION" are positioned in the middle of the image. The text "6" and "18" are positioned near the bottom of the image.

An aerial photograph of a large, empty parking lot. The lot is divided into several sections by white lines. There are many parking spaces, each marked with a white 'P'. A few palm trees are scattered throughout the lot. A yellow diagonal watermark across the image reads "STC WEST 15 ACRE SUB LOT 7". In the background, there is a small building and some trees. The surrounding area appears to be a mix of dirt and grass.



**PROPOSED**  
**JUCAR APARTMENT**  
**SUBDIVISION**

## LOCATION



C.E.

8

THE ATTIC THREE  
LOT 2

An aerial photograph of a road intersection. The text "N BLVD" is overlaid in large, bold, yellow letters, rotated diagonally to match the road's orientation. The road is paved and has a yellow center line. The surrounding area is mostly dry, brownish ground with some sparse vegetation.

# CORPUS FIELD

N 42ND ST

PHASE 1A

An aerial photograph of a residential street. A yellow street sign with the text 'LAUREL AVE' is visible in the foreground, partially obscuring the view of the houses and trees below. The street is paved and has a white line marking. The surrounding area includes green lawns, trees, and parts of houses.

W 41ST ST

NJHI07N

IBDIVISION<sup>19</sup>



Sub 2020-0089

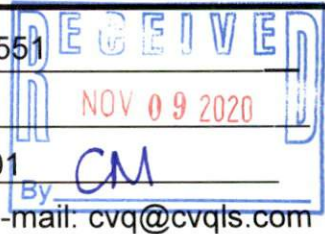


City of McAllen  
Planning Department

**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>McAllen Palms Business Park Subdivision</u></p> <p>Location <u>West side of old south 10th St. approx. 2,000' north of W. Military Highway</u></p> <p>City Address or Block Number <u>4900 S. OLD 10<sup>th</sup> ST.</u></p> <p>Number of lots <u>25</u> Gross acres <u>76.03</u> Net acres <u>74.28</u></p> <p>Existing Zoning <u>I-1</u> Proposed <u>I-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Open</u> Proposed Land Use <u>Light Industrial</u> Irrigation District # _____</p> <p><b>Residential</b> Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> <b>Commercial</b> Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> <b>ETJ</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Legal Description <u>75.81 acres out of lots 11 and 12, section 5, Hidalgo Canal Company Subdivision, Hidalgo County, Texas recorded in Volume Q, Page 177, Deed Records.</u></p>
Owner	<p>Name <u>Megaware Corp., A Texas Corporation</u> Phone <u>(956) 631-2133</u></p> <p>Address <u>2501 Military Highway, Suite F-8</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78503</u></p> <p>E-mail <u>eliojb@usa.net</u></p>
Developer	<p>Name <u>Megaware Corp., A Texas Corporation</u> Phone <u>(956) 631-2133</u></p> <p>Address <u>2501 Military Highway, Suite F-8</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78503</u></p> <p>Contact Person <u>Elio Botello</u></p> <p>E-mail <u>eliojb@usa.net</u></p>
Engineer	<p>Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u></p> <p>Address <u>416 E. Dove Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u></p> <p>Contact Person <u>Javier Hinojosa, P.E.</u></p> <p>E-mail <u>javhin@rgv.rr.com</u></p>
Surveyor	<p>Name <u>CVQ Land Surveyors, LLC</u> Phone <u>(956) 618-1551</u></p> <p>Address <u>517 Beaumont Avenue</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person: <u>Carlos Vasquez, R.P.L.S.</u></p>





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/  
easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature \_\_\_\_\_ Date 11-4-2020

Print Name Elio Botello

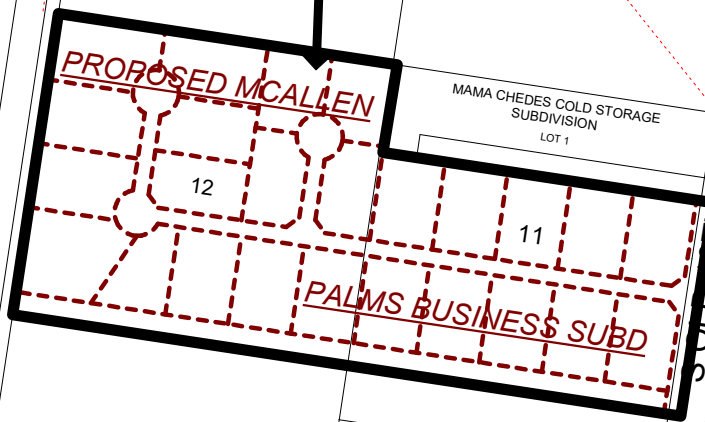
Owner ☒

Authorized Agent ☐

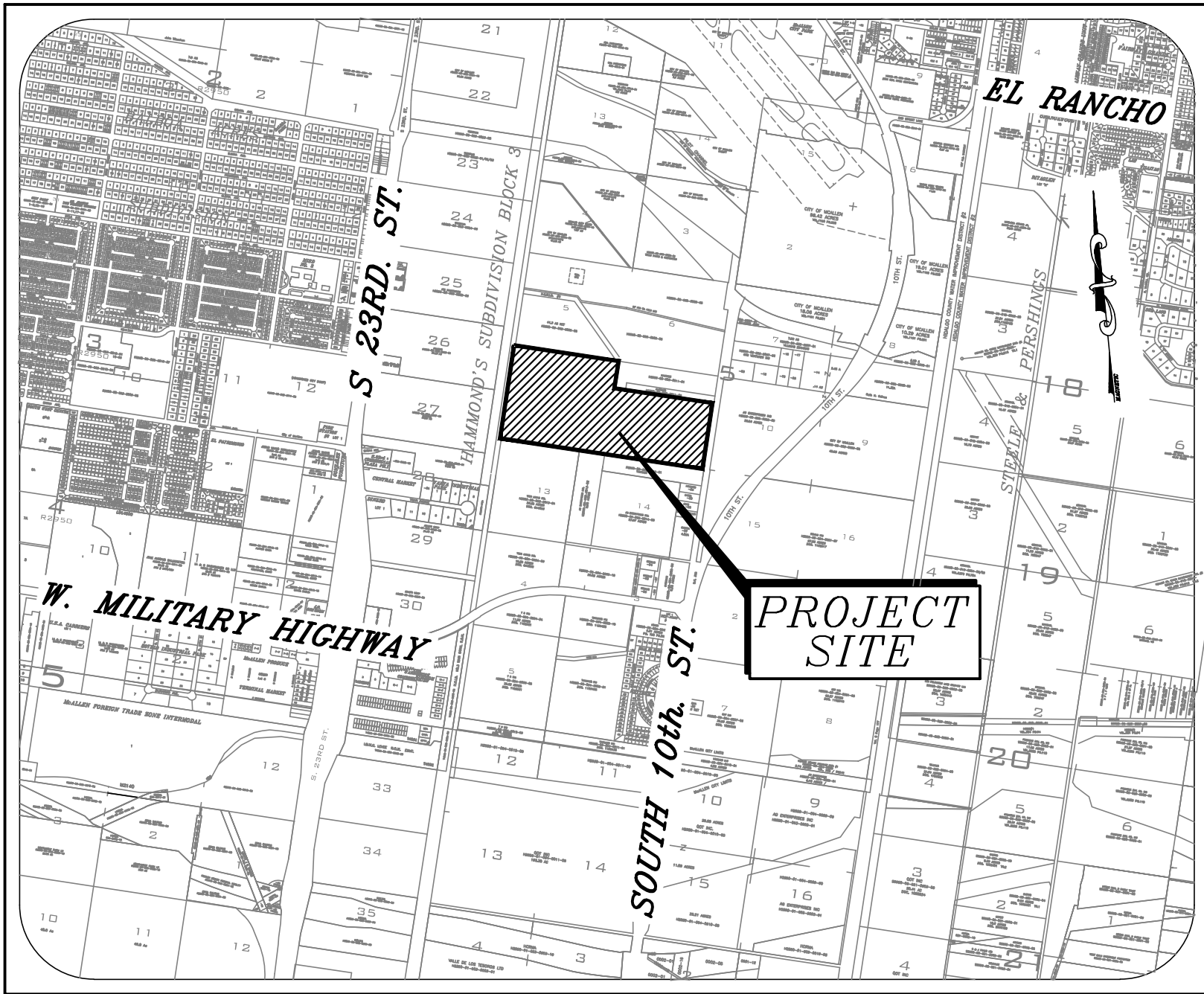
09/15



# LOCATION







LOCATION MAP  
SCALE: 1" = 2000'

GENERAL NOTES

- THIS PROPERTY IS LOCATED IN ZONES "B" AND "AH" ON A FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 480334 0400C, REVISED NOVEMBER 6, 1982. ZONE "B" IS DEFINED AS "AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD." ZONE "AH" IS DEFINED AS "AREAS OF 100-YEAR FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; BASE FLOOD ELEVATIONS ARE SHOWN, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED." A BASE FLOOD ELEVATION HAS BEEN DETERMINED TO BE ELEVATION 95.00 AS PER THIS FLOOD INSURANCE RATE MAP.
- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT MID POINT OF THE LOT.
- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
  
FRONT: 75 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS  
REAR: AS PER ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
INTERIOR SIDE: AS PER ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.  
CORNER SIDE: AS PER ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
- NO STRUCTURES PERMITTED OVER ANY EASEMENTS.
- A TOTAL OF 16.873 ACRE FEET (734.991 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. THIS DETENTION SHALL BE PROVIDED WITHIN AN AREAS DESIGNATED AS LOCATED ALONG THE SOUTHEAST CORNER OF THIS SUBDIVISION.
- NEAREST CITY OF McALLEN BENCHMARK: (MC 88)  
MC 88 IS LOCATED ON THE BACK PARKING LOT OF THE CASCADE POOL, WHICH IS LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF S. 10TH STREET AND BALES STREET. THE MONUMENT IS 457 FEET WEST FROM THE BACK OF CURB OF S. 10TH STREET AND 190 FEET SOUTH FROM THE CENTERLINE OF BALES STREET.
- A 5 FOOT WIDE MINIMUM SIDEWALK REQUIRED ALONG THE WEST SIDE OF OLD S. 10TH STREET AND A 4' SIDEWALK SHALL BE REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS.
- SET 1/2" Ø IRON ROD WITH A PLASTIC CAP STAMPED "CVOQLS" ON ALL LOT CORNERS UNLESS OTHERWISE NOTED. RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES.
- 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, AND ALONG OLD S. 10TH STREET.
- 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG OLD S. 10TH STREET.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY WATER IMPROVEMENT DISTRICT #3 AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.
- MAINTENANCE OF THE DETENTION AREA LOT A AND B WILL BE THE RESPONSIBILITY OF THE OWNERS OF McALLEN PALMS BUSINESS PARK. THIS DETENTION AREA IS PART OF THE OVERALL DETENTION REQUIRED FOR THIS SUBDIVISION.
- A 25' X 25' SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
- A BUFFER SHALL BE PROVIDED TO SCREEN REFUSE AREAS (INCLUDING REFUSE DUMPSTERS, COMPACTORS AND CONTAINED COMPACTORS), OUTDOOR STORAGE AREAS AND LOADING DOCKS FROM PUBLIC STREETS.
- SITE PLAN MUST BE APPROVED BY THE PLANNING AND OTHER DEVELOPMENT DEPARTMENTS PRIOR TO BUILDING PERMIT ISSUANCE.
- A MINIMUM 22 FT. FIRE DEPARTMENT ACCESS DRIVE R.O.W. WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE CITY OF McALLEN.

METES AND BOUNDS

A TRACT OF LAND CONTAINING 75.81 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOTS 11 AND 12, SECTION 5, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME Q, PAGE 177, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND SAID 75.81 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, FOR REFERENCE AT THE NORTHEAST CORNER OF SAID LOT 11, WITHIN OLD 10TH STREET, (STATE HIGHWAY 336) RIGHT-OF-WAY, THENCE S 08°38'54" W, WITH THE EAST LINE OF SAID LOT 11 WITHIN SAID OLD 10TH STREET, (STATE HIGHWAY 336) A DISTANCE OF 383.83 FEET, TO A COTTON PICKER SPINDLE FOUND, ON THE SOUTHEAST CORNER OF A TRACT OF LAND DEEDED TO EDUARDO ELIZONDO RECORDED IN DOCUMENT NUMBER 2600462 HIDALGO COUNTY, TEXAS, FOR THE POINT OF BEGINNING, AND THE NORTHEAST CORNER OF THIS TRACT;

THENCE S 08°38'54" W, CONTINUING WITH THE EAST LINE OF SAID LOT 11 WITHIN SAID OLD 10TH STREET, (STATE HIGHWAY 336) A DISTANCE OF 936.51 FEET, TO A COTTON PICKER SPINDLE FOUND, ON THE SOUTHEAST CORNER OF SAID LOT 11, FOR THE SOUTHEAST HEREOF;

THENCE N 81°20'40" W, ALONG THE SOUTH LINE OF SAID LOT 11, AT A DISTANCE OF 51.00 FEET PASS THE SOUTHEAST CORNER OF A TRACT OF LAND DEEDED TO THE STATE OF TEXAS RECORDED IN VOLUME 1053 PAGE 224 DEED RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING A TOTAL DISTANCE OF 54.92 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" SET, ON THE SOUTHWEST CORNER OF SAID STATE OF TEXAS TRACT, AND THE WEST RIGHT-OF-WAY LINE OF SAID OLD 10TH STREET, (STATE HIGHWAY 336), CONTINUING ALONG THE SOUTH LINE OF SAID LOT 11, AT A DISTANCE OF 1464.39 FEET PASS THE COMMON CORNER OF SAID LOTS 11 AND 12, AT A DISTANCE OF 2889.33 PASS THE EAST LINE OF A 40.0 FOOT ROAD EASEMENT RECORDED IN VOLUME R PAGE 91 DEED RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING A TOTAL DISTANCE OF 2929.33 FEET TO A 1/2" IRON ROD FOUND ON THE SOUTHWEST CORNER OF SAID LOT 12, AND THE EAST LINE OF A 200 FOOT HIDALGO COUNTY IRRIGATION DISTRICT NO. 3 CANAL RIGHT-OF-WAY, FOR THE SOUTHWEST CORNER HEREOF;

THENCE N 08°38'54" E, ALONG THE WEST LINE OF SAID LOT 12, AND THE EAST LINE OF SAID 200 FOOT CANAL RIGHT-OF-WAY, A DISTANCE OF 1320.34 FEET TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" SET ON THE NORTHWEST CORNER OF SAID LOT 12, FOR THE NORTHWEST CORNER HEREOF;

THENCE S 81°20'40" E, ALONG THE NORTH LINE OF SAID LOT 12, AT A DISTANCE OF 40.0 FEET PASS THE EAST RIGHT-OF-WAY LINE OF SAID 40.0 FOOT ROAD EASEMENT, AT A DISTANCE OF 1464.93 FEET PASS AN IRON PIPE FOUND ON THE COMMON CORNERS OF SAID LOTS 11 AND 12, CONTINUING A TOTAL DISTANCE OF 1485.15 FEET TO THE CENTER LINE OF A CONCRETE CANAL FOR THE MOST NORTHERLY NORTHEAST CORNER HEREOF;

THENCE S 09°13'46" W, ALONG THE CENTERLINE OF SAID CONCRETE CANAL A DISTANCE OF 384.84 FEET TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" FOUND FOR AN INSIDE CORNER HEREOF;

THENCE S 81°23'02" E, ALONG THE CENTERLINE OF SAID CONCRETE CANAL A DISTANCE OF 1394.22 FEET TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVO LS" SET ON THE WEST RIGHT-OF-WAY LINE OF SAID OLD 10TH STREET (STATE HIGHWAY 336) AND THE NORTHWEST CORNER OF A TRACT OF LAND DEEDED TO THE STATE OF TEXAS RECORDED IN VOLUME 1053 PAGE 222 DEED RECORDS, HIDALGO COUNTY, TEXAS, AT A DISTANCE OF 1408.08 FEET PASS THE NORTHEAST CORNER OF SAID STATE OF TEXAS TRACT, CONTINUING A TOTAL DISTANCE OF 1448.08 FEET TO THE POINT OF BEGINNING, CONTAINING 75.81 ACRES OF LAND MORE OR LESS, OF WHICH 0.95 ACRES LIES IN OLD THE STREET (STATE HIGHWAY 336).

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, HOLDER(S), OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S), OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE McALLEN PALMS BUSINESS PARK SHOWN ON THIS PLAT AND DESIGNATED HEREIN THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATING OF THE PROPERTY AS PROVIDED FOR HEREIN.

BANK NAME SIGNATURE

PRINTED NAME & TITLE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED,

KNOWN TO ME TO BE THE INDIVIDUAL WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE DAY OF , 20 A.D.

NOTARY PUBLIC, TEXAS  
MY COMMISSION EXPIRES:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENT DISTRICT No. 3 ON THIS THE DAY OF , 20 .

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THIS PLAT, OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

O.E. BRAND JR., PRESIDENT MARK FREELAND, SECRETARY

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211( C ). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

SUBDIVISION PLAT OF  
McALLEN PALMS  
BUSINESS PARK

A TRACT OF LAND CONTAINING 75.81 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOTS 11 AND 12, SECTION 5, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME Q, PAGE 177, DEED RECORDS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS McALLEN PARK BUSINESS PARK, AN ADDITION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

MEGAWARE CORP., A TEXAS CORPORATION  
2501 MILITARY HIGHWAY, SUITE F-8  
McALLEN, TX 78503  
BY: ELIO BOTELLO, PRESIDENT

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY THE OWNER PERSONALLY APPEARED ELIO BOTELLO KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE DAY OF ,20 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON:

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

THIS SUBDIVISION PLAT OF McALLEN PALMS BUSINESS PARK HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF McALLEN, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS DAY OF , 20 A.D.

CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS  
COUNTY OF HIDALGO

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E. DATE  
REGISTERED PROFESSIONAL ENGINEER NO. 74808

STATE OF TEXAS  
COUNTY OF HIDALGO

I, CARLOS VASQUEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

CARLOS VASQUEZ, R.P.L.S. DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4608  
C.V.Q. LAND SURVEYORS, LLC  
517 BEAUMONT AVE.  
McALLEN, TEXAS 78501  
TEL. (956) 618-1551 DATE SURVEYED APRIL 09, 2019  
TBPELS FIRM NO. 10119600



FILE FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: AT AM/PM

INSTRUMENT NUMBER  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: DEPUTY

REVISION DATE: AUGUST 28, 2023  
DATE OF PREPARATION: AUGUST 01, 2020

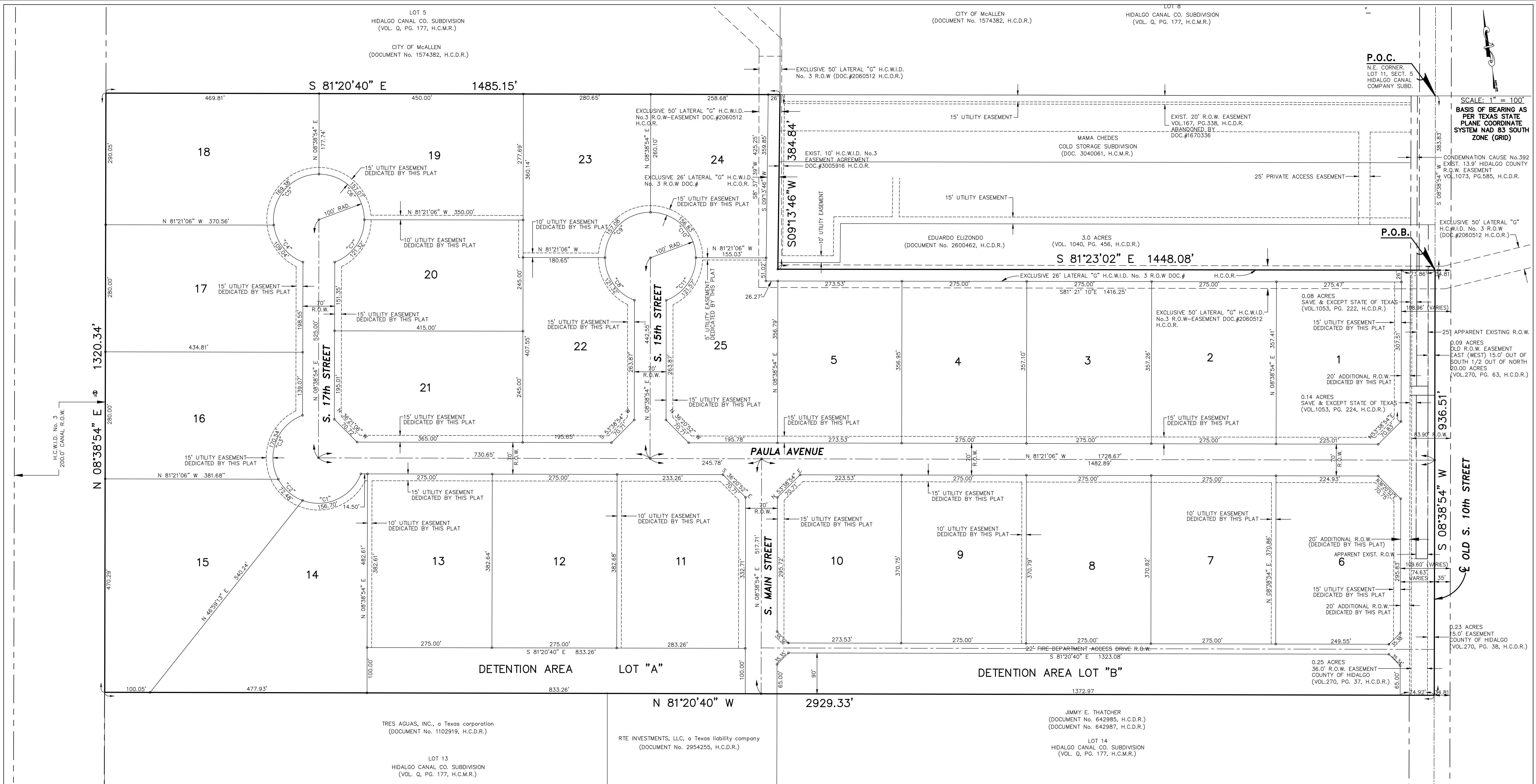
DRAWN BY: P.GONZALEZ



JAVIER HINOJOSA ENGINEERING  
CONSULTING ENGINEERS  
416 E. DOVE AVENUE McALLEN, TEXAS 78504  
PHONE (956) 668-1588  
javhin@javierhinojosaeng.com  
TBPELS FIRM NUMBER F-1295

PRINCIPAL CONTACTS:			
NAME	ADDRESS	CITY & ZIP	PHONE #
OWNER: MEGAWARE CORPORATION	2501 MILITARY HIGHWAY, SUITE F-8	McALLEN, TX 78503	(956) 631-2133
ENGINEER: JAVIER HINOJOSA	416 E. DOVE AVENUE	McALLEN, TX 78504	(956) 668-1588
SURVEYOR: CARLOS VASQUEZ	517 BEAUMONT AVE.	McALLEN, TX 78501	(956) 618-1551





CURVE DATA					
CURVE	DELTA	RADIUS	TANGENT	ARC LENGTH	CH. BEARING
"C1"	89°46'57"	100.00'	99.62'	156.70'	141.15' S74°01'37"W
"C2"	41°31'51"	100.00'	37.92'	72.48'	70.91' N40°19'27"W
"C3"	97°43'26"	100.00'	114.48'	170.56'	150.63' N29°18'12"E
"C4"	62°30'49"	100.00'	60.70'	109.04'	103.77' S29°38'50"E
"C5"	97°02'20"	100.00'	113.11'	169.36'	149.84' S50°07'44"W
"C6"	90°00'00"	100.00'	100.00'	157.08'	141.42' N36°21'06"W
"C7"	69°28'23"	100.00'	69.34'	121.32'	113.96' N43°23'05"E
"C8"	69°30'46"	100.00'	69.34'	121.32'	113.96' S26°06'29"E
"C9"	90°00'00"	100.00'	100.00'	157.08'	141.42' S53°38'54"W
"C10"	89°51'34"	100.00'	99.75'	156.83'	141.25' N36°25'19"W
"C11"	69°39'11"	100.00'	69.57'	121.57'	114.22' N43°20'04"E

IRREGULAR LOTS				
LOT #	SQ. FT.	ACRES	LOT #	SQ. FT.
1	97,427	2.237	14	133,325
2	98,541	2.262	15	132,101
3	98,499	2.261	16	114,435
4	98,456	2.260	17	118,124
5	97,889	2.247	18	127,180
6	103,949	2.386	19	117,118
7	105,281	2.417	20	97,241
8	105,271	2.417	21	100,420
9	105,262	2.416	22	94,436
10	105,253	2.416	23	93,213
11	105,244	2.416	24	84,959
12	105,234	2.415	25	93,285
13	105,225	2.415		

PRINCIPAL CONTACTS:			
NAME	ADDRESS	CITY & ZIP	PHONE #
OWNER: MEGAWARE CORPORATION	2501 MILITARY HIGHWAY, SUITE F-8	McAlLEN, TX 78503	(956) 631-2133
ENGINEER: JAVIER HINOJOSA	416 E. DOVE AVENUE	McAlLEN, TX 78504	(956) 668-1588
SURVEYOR: CARLOS VASQUEZ	517 BEAUMONT AVE.	McAlLEN, TX 78501	(956) 618-1551



FILE FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

SUBDIVISION PLAT OF  
**McAlLEN PALMS  
BUSINESS PARK**

A TRACT OF LAND CONTAINING 75.81 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOTS 11 AND 12, SECTION 5, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME Q, PAGE 177, DEED RECORDS.





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: MCALLEN PALMS BUSINESS PARK SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

S. Old 10th Street: Proposing 20 ft. of additional ROW for 108.96' to 109.60' total ROW.

Paving: 65 ft. Curb & gutter: Both sides

Revisions needed:

-Revise street name as shown above were applicable, prior to recording/Mylar printing.(Plat, notes, etc.)

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan,

\*\*\*Monies must be escrowed if improvements are not built prior to recording.

Interior Streets : 70 ft. total ROW

Paving: 44 ft. Curb & gutter: Both sides

Pending items needed:

- Street names to be established prior to recording, finalize prior to recording/Mylar printing.

-Proposed S. Main Street stub out street cannot dead end, plat needs to be revised

accordingly or provide for approved turnaround, prior to final. shown cannot dead end, revise accordingly prior to recording. Future streets/ stub outs must provide temporary turnaround within this subdivision boundary, finalize prior to recording.

\*Proposed Paula Avenue exceeds the 1200 ft. in length. Plat needs to be revised or engineer needs to submit a variance letter. Engineer submitted a variance application on August 24th,2023,requesting a variance to the 1200ft. Block Length requirement. Under the authority and review of the Planning Director the Variance request to the block length was approved administratively.

\*\*Proposed South 17th Street was proposed to extend south into Lots 14 & 15; revise plat accordingly or submit variance request prior to final. Engineer submitted variance request on August 24th ,2023 regarding N/S Quarter mile requirement, After review of the surrounding area due to the existing irrigation canal to the west and collector alignment, the N/S half mile collector street along the western boundary is not feasible.

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan,

\*\*\*Monies must be escrowed if improvements are not built prior to recording.

Required

Required



<p>N/S Half Mile Collector (Western boundary):Dedication as needed for 70ft. total ROW  Paving:44 ft. Curb &amp; gutter: Both sides  Pending Items:  -Clarify if previously referenced 40 ft. Easement provides for ROW dedication, prior to recording. Once clarified if dedication turns out to be ROW, additional requirements may apply to the development regarding perimeter streets, looping, etc. and the plat would have to be revised accordingly, finalize prior to recording. If ROW, the plat must be revised to show ROW dedication and would require revised final approval by the Planning and Zoning Commission prior to recording. Subdivision requirements regarding street alignment, paving, escrows, etc. will have to be reviewed, once clarified. Finalize prior to recording.  -Please submit a copy of referenced Vol. Q, Pg. 177, H.C.M. R for staff review prior to recording.  -Any abandonments must be done by separate process, not by plat.  *Engineer submitted variance request on August 24th ,2023 regarding N/S Quarter mile requirement, After review of the surrounding area due to the existing irrigation canal to the west and collector alignment, the N/S half mile collector street along the western boundary is not feasible.  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	Required
<p>Paving _____ Curb &amp; gutter _____  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are required prior to recording.</p>	NA
<p>Paving _____ Curb &amp; gutter _____  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are required prior to recording.</p>	NA
<p>* 1,200 ft. Block Length.  Revision needed:  -Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 1200 ft. maximum block length requirement. Engineer submitted a variance application on August 24th,2023,requesting a variance to the 1200ft. Block Length requirement. Under the authority and review of the Planning Director the Variance request to the block length was approved administratively.  **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts.  **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac  Revision needed:  -Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement. Engineer submitted a Variance request on August 24th,2023 to the 600 ft. maximum cul-de sac length, should the variance be approved it should be subject to 60 ft. of ROW with 40 ft. of paving. The Planning and Zoning Commission considered the subdivision in revised preliminary form as well as the variances, at their meeting of October 17th, 2023. Following a short discussion, the Board unanimously approved the subdivision in revised preliminary form and recommended approval of the requested variance. At the City Commission meeting of October 23rd,2023 the Variance was approved as recommended and requested.  **In general, cul-de-sacs shall not exceed 600 feet in length, and shall have a turnaround of not less than 100 feet in diameter (right-of-way) with a pavement diameter of 80 feet in residential areas, and shall have a turnaround not less than 200 feet in diameter (right-of-way) with pavement diameter of 180 feet in commercial and industrial areas. Sec 134-105(g)  ***Subdivision Ordinance: Section 134-118</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.            *Alley/service drive easement required for commercial, industrial, and multi-family properties.            Revisions Needed:            -As per discussion with Engineer note to be included regarding service drive easement note requirements in lieu of alley, please include a note as follows :“A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the city of McAllen.” finalize prior to recording.            **Private Access Service Drive Easement must be minimum 24 ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements.            **Subdivision Ordinance: Section 134-106</p>	Required
<b>SETBACKS</b>	
<p>* Front: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies.            Revisions Needed:            -Clarify proposed note or revise plat note as shown above prior to recording.            *Proposing: 75 feet or greater for approved site plan or easements.            ****Zoning Ordinance: Section 138-356,134-367</p>	Required
<p>* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.            Revisions Needed:            -Revise note as shown above prior to recording.            **Proposing: As per zoning ordinance or greater for approved site plan or easements.            ***Zoning Ordinance: Section 138-356</p>	Required
<p>* Interior Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.            Revisions Needed:            -Revise note as shown above prior to recording.            **Proposing: As per zoning ordinance or greater for approved site plan or easements.            ***Zoning Ordinance: Section 138-356</p>	Required
<p>* Corner side: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.            Revisions Needed:            -Revise note as shown above prior to recording.            **Proposing: As per zoning ordinance or greater for approved site plan or easements.            ***Zoning Ordinance: Section 138-356</p>	Required
<p>* Garage: Commercial/Industrial Development.            **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
<b>SIDEWALKS</b>	
<p>* 5 ft. wide minimum sidewalk required on S. Old 10th Street and 4 ft. sidewalk required on both sides of all interior streets.            Revisions Needed:            -Revise note#7 as shown above prior to recording.            **Subdivision Ordinance: Section 134-120</p>	Required
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along S. Old 10th Street. Revisions needed: -Revise note as shown above, prior to recording. -Remove note#15 as it is a requirements not a required plat note. **A buffer shall be provided to screen refuse areas (including refuse dumpsters, compactors and contained compactors), outdoor storage areas and loading docks from public streets. ***Landscaping Ordinance: Section 110-46</p>	Required
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along S. Old 10th Street. Revisions Needed: -Revise note#11 as shown above prior to recording. **Must comply with City Access Management Policy</p>	Required
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
<p>* Common Areas, detention areas, and any Private Access's/Service Drives Easements must be maintained by the lot owners and not the City of McAllen</p>	Required
<p>Pending Items: -Include note, finalize wording for note prior to recording.</p>	
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p>	Applied

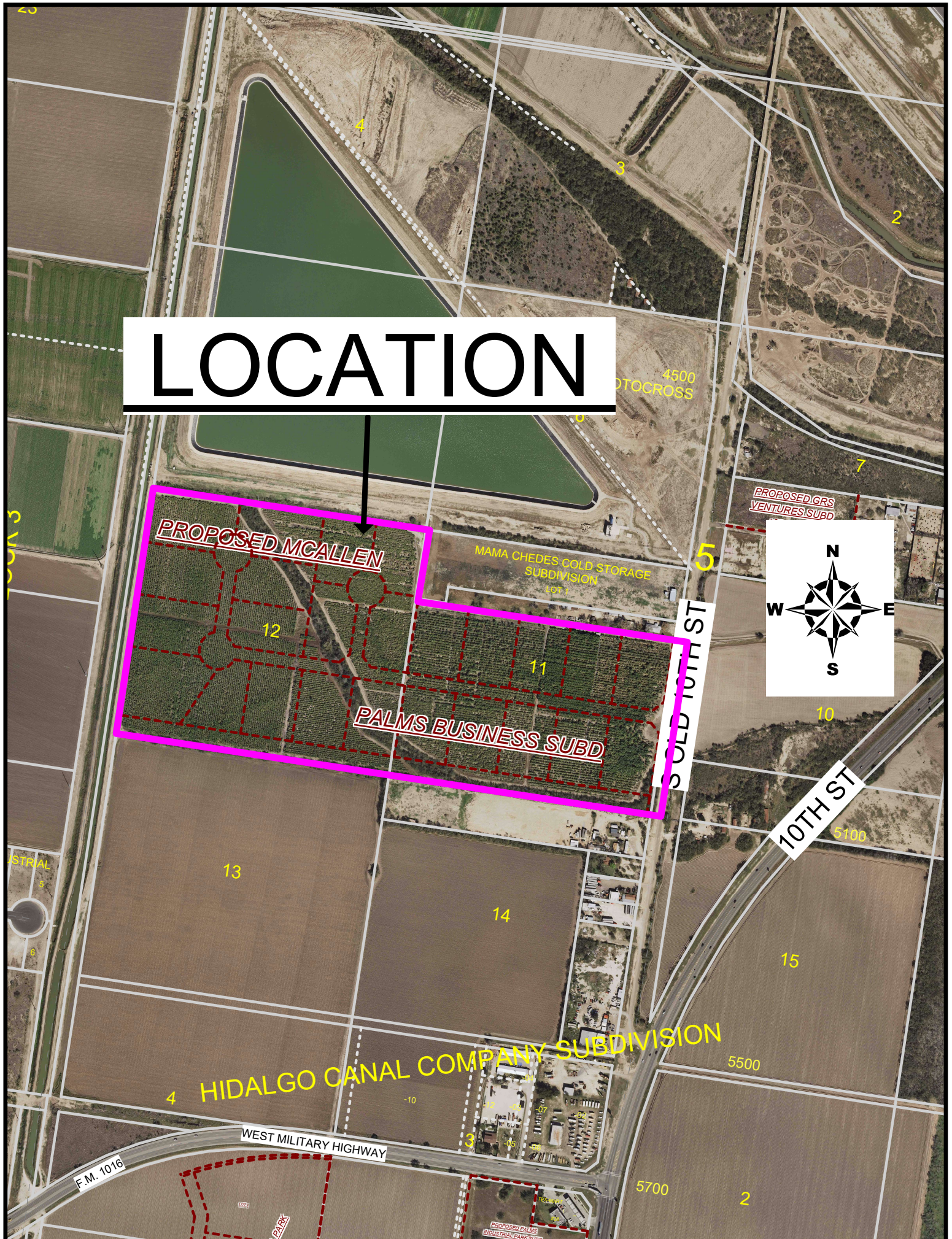


<ul style="list-style-type: none"> <li>* Minimum lot width and lot area.</li> </ul> Revisions Needed: <ul style="list-style-type: none"> <li>-Clarify ownership of Exclusive 26' Lateral G H.C.W.I.D No.3 R.O.W D as lot lines for lots 1-5 and 24-25 do not extend to subdivision boundary as previously shown, clarify and finalize prior to recording. Any changes to plat boundary's or lot lines would require revised final approval by the Planning and Zoning Commission prior to recording.</li> </ul> **Zoning Ordinance: Section 138-356	Required
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: I-1(Light Industrial) District Proposed: I-1(Light Industrial) District</li> </ul> ***Zoning Ordinance: Article V	Compliance
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> </ul> ***Zoning Ordinance: Article V	NA
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee. As per application dated November 09,2020 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated November 09,2020 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office. As per application dated November 09,2020 proposed land use is I-1 (light industrial) District. Industrial developments do not apply to Parks.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation approved, TIA waived.</li> </ul>	Completed
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>** As per Traffic Department, Trip Generation approved, TIA waived.</li> </ul>	
<b>COMMENTS</b>	
Comments/Revisions needed: <ul style="list-style-type: none"> <li>-Finalize any secondary access requirements as applicable regarding Fire department requirements prior to recording.</li> <li>- Note #17,22' Fire Department Access Drive ROW, must be labeled as "Private" on plat, and be gated. If public it should be a minimum of 24 ft. wide, with a minimum 24 ft. of paving, finalize dedications and labeling prior to recording. Additional notes regarding maintenance of Secondary Access for Fire Department, must be finalized prior to recording.</li> <li>-Any abandonments must be done by separate process, not by plat.</li> <li>-Requirements subject to change once updated plat has been submitted and reviewed by staff.</li> <li>-Subdivision approved in Preliminary form at the P&amp;Z meeting of December 1, 2020.</li> <li>-At the Planning &amp; Zoning Commission meeting of February 7th, 2023, the board voted to approve the preliminary 6-month extension subject to conditions noted, drainage, and utility approvals.</li> <li>-Must comply with City's Access Management Policy</li> </ul>	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO CONDITIONS NOTED.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



# LOCATION





SUB2022-0031

1300 Houston Avenue  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)



City of McAllen  
Planning Department

APPLICATION FOR  
SUBDIVISION PLAT REVIEW

H3850000002700

Project Description	<p>Subdivision Name <u>Northwood Trails Block II and Block III</u></p> <p>Location <u>North 29th Street 195.0' north of Freddy Gonzalez Dr</u></p> <p>City Address or Block Number <u>3300 FREDDY GONZALEZ DR</u></p> <p>Number of lots <small>Block II - 64 Multi-Family</small> <small>Block III - 67 Single Family</small> Gross acres <u>42.62</u> Net acres _____</p> <p>Existing Zoning _____ Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use _____ Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due \$ <u>28,591.61</u></p> <p>Legal Description <u>A 42.62 Acre Tract of Land Out of Lot 27 &amp; 28 and 30, La Lomita</u> <u>Irrigation and Construction Company's Subdivision Hidalgo County, Texas</u></p>
Owner	<p>Name <u>Red Rock Real Estate Development Group, Ltd.</u> Phone <u>(956) 800-1333</u></p> <p>Address <u>2912 S. Jackson Rd</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u></p> <p>E-mail <u>riocantu@yahoo.com</u></p>
Developer	<p>Name <u>Red Rock Real Estate Development Group, Ltd.</u> Phone <u>(956) 800-1333</u></p> <p>Address <u>2912 S. Jackson Rd</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u></p> <p>Contact Person <u>Manuel Cantu</u></p> <p>E-mail <u>riocantu@yahoo.com</u></p>
Engineer	<p>Name <u>Quintanilla, Headley &amp; Associates, Inc.</u> Phone <u>(956) 381-6480</u></p> <p>Address <u>124 E. Stubbs</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u></p> <p>Contact Person <u>Alfonso Quintanilla, P.E.</u></p> <p>E-mail <u>alfonsoq@qha-eng.com</u></p>
Surveyor	<p>Name <u>Quintanilla, Headley &amp; Associates, Inc.</u> Phone <u>(956) 381-6480</u></p> <p>Address <u>124 E. Stubbs</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u></p> <p>E-mail <u>alfonsoq@qha-eng.com</u></p>

ENTERED

MAR 11 2022

Initial: MC



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 1/2" by 11" Sealed Survey showing existing structures/easements  
or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad DWG file of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date Feb 24, 2022

Print Name Manuel N. Cantu Jr, Member

Owner ☒

Authorized Agent ☐





City of McAllen

**Planning Department**  
**VARIANCE TO SUBDIVISION**  
**PROCESS APPLICATION**

VAR2023-0021

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220

McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

**Project**

Legal Description A 40.85 acre tract of land out of Lots 27, 28, and 30, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas.

Street Address North 29th Street, 195.0' north of Freddy Gonzalez Drive

Number of lots 128 Gross acres 40.85

Existing Zoning  Existing Land Use Vacant

☐ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

**Applicant**

Name Quintanilla, Headley & Associates, Inc. Phone (956) 381-6480

Address 124 E. Stubbs St. E-mail office@gha-eng.com

City Edinburg State TX Zip 78539

**Owner**

Name Red Rock Real Estate Development Group, LTD. Phone (956) 800-1333

Address 2912 S. Jackson Road E-mail riocantu@yahoo.com

City McAllen State TX Zip 78503

**Authorization**

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes ☐ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] Date

Print Name Red Rock Real Estate Development Group, LTD. by: Manuel Cantu, Manager ☒ Owner ☐ Authorized Agent

**Office**

\*FOR OFFICE USE ONLY\*

APPLICATION FILING FEE: ☒ \$250.00

Accepted by [Signature]

Payment received by [Signature] Date OCT 18 2023

Rev 06/21







# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The land being developed is restricted by principal arterial to the south, irrigation canal and ditch to the north and west. The excessive restrictions surrounding this property are the special circumstances for this development.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

This variance is necessary to preserve the overall dynamics of the subdivision in which the developer has in mind.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

Approving block lengths greater than and ROW's less than the stated ordinance length and allowing unenclosed carports to encroach on the setback line within private gated community is not detrimental to public health, safety or welfare injurious to property owners in the area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The property to the south is already developed, the property to the east and north is an existing irrigation R.O.W. with canal and ditch. The property to west is a recorded subdivision and a major state road. To the south is Phase I and then a water treatment plant. These variances will not prevent the orderly subdivision of other land in the area.





**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**

**Consulting Engineers ★ Land Surveyors**

Alfonso Quintanilla, P.E. # 95534 R.P.L.S. #4856 Eulalio Ramirez, P.E. # 77062

Engineering Firm Registration No. F-1513

Surveying Firm Registration No. 100411-00

Municipal & County Projects ★ Subdivisions ★ Surveys

October 16, 2023

City of McAllen  
Edgar I. Garcia, AICP, CNU-A  
Director of Planning  
311 N. 15<sup>th</sup> Street  
McAllen, TX 78501

**Re: Proposed Northwood Trails Block II & III**

Dear Mr. Garcia:

On behalf of the developer, this letter is to request the following variances from the City's requirements:

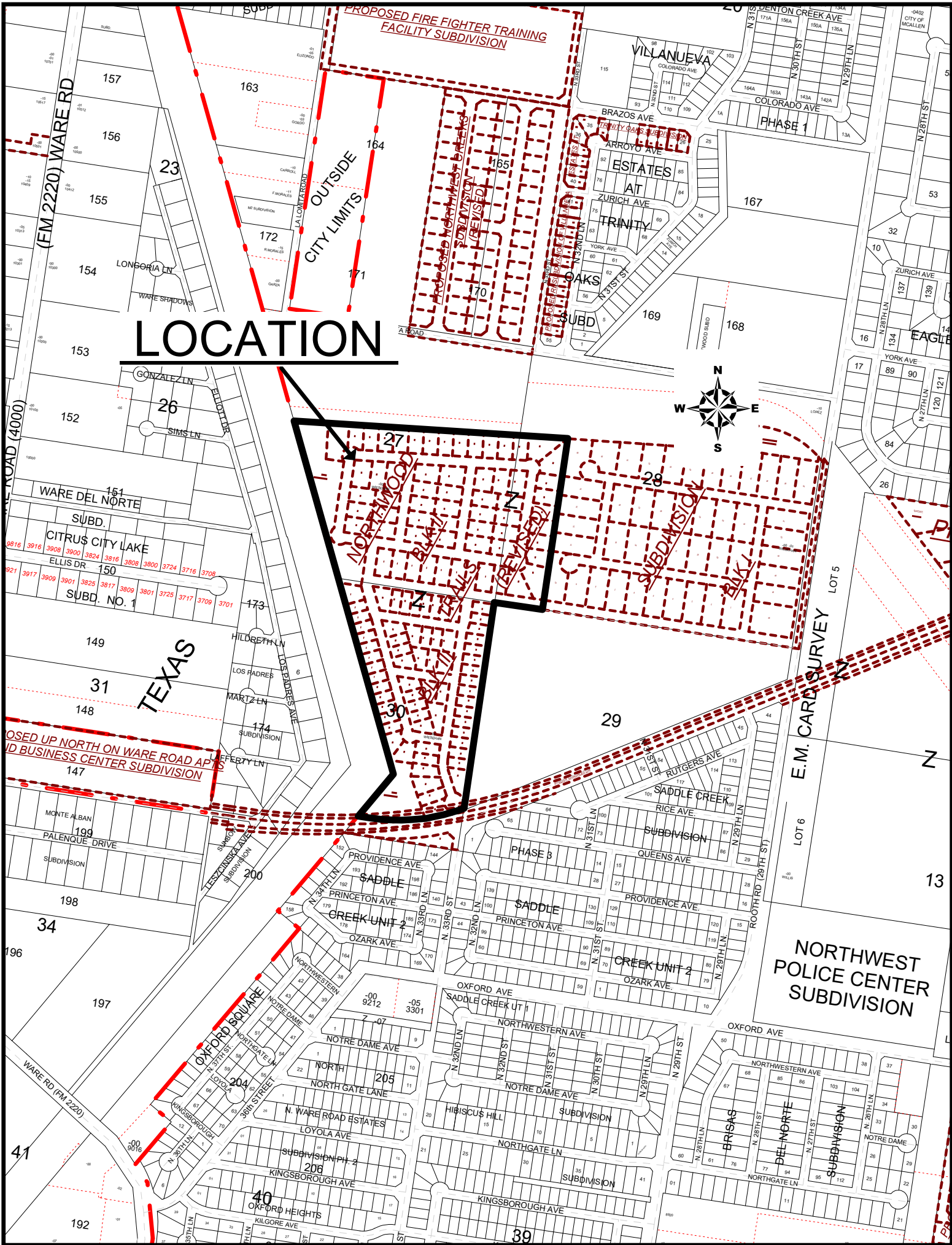
1. Block length for Block II: 900'
2. Front setback for Block II: 20' except 10' for unenclosed carport only
3. N. 33<sup>rd</sup> Street (N/S ¼ Mile Collector) 60' R.O.W., 40' B-B: Proposed 50' R.O.W. with 10' utility and sidewalk easement on both sides, 32' B-B
4. Block II: 60' R.O.W.: Proposed 55' R.O.W.

Should you have any questions or require additional information, please feel free to call me at (956) 381-6480.

Respectfully,

Alfonso Quintanilla, P.E., R.P.L.S.  
President





# LOCATION









# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

### SUBDIVISION NAME: NORTHWOOD TRAILS BLOCK II AND BLOCK III

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

Freddy Gonzalez Dr.: 100 ft. ROW  
Paving: 65 ft. Curb & gutter: Both Sides  
Revisions Required:

-As per plat submitted on October 6th, 2022, dedication for Freddy Gonzalez Drive no longer present, reserve strip created, as per section 134-104 there shall be no reserve strips controlling access to land dedicated or intended to be dedicated to public use, please provide for dedication. As per plat submitted on October 26th, 2023 previously referenced reserve strip now being dedicated as ROW with round about design proposed, finalize any ROW requirements as applicable prior to final.

\*\*\*Freddy Gonzalez Dr. alignment will be finalized prior to final

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

N. 33rd Street ( N/S 1/4 Mile collector): 60 ft. ROW

Paving: 40 ft. Curb & gutter: Both Sides

Revisions Needed:

-Engineer submitted a Variance request on October 18th, 2023 to the ROW requirements for N.33rd Street a 1/4 mile collector being utilized for a interior street to be reduced to 50 ft. of ROW with 32ft. paving with 10 ft. Utility and Sidewalk Easements on both sides. Development staff have reviewed the request and recommend compliance with requirements as noted above 60 ft. of ROW with 40 ft. of paving.

-Street names will be established once ROW dedication have finalized.

-Intersection of N. 33rd Street at Freddy Gonzalez Dr. and 33rd Street to the south being reviewed and may require redesign of the intersection prior to final As per plat submitted on October 26th, 2023 at intersection, round about design proposed, finalize any ROW requirements as applicable prior to final.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

University Avenue E/W collector (Boundary between Block II & III): 60 ft. ROW

Paving: 40 ft. Curb & gutter: Both Sides

Revisions Needed:

-Label ROW dedication for University Avenue along lot 39 and lots 40-47, prior to final, to ensure compliance with minimum requirements as noted above.

- As per conversation with engineer on January 4th, 2023, 257.77 feet of 50 ft. ROW dedication are proposed to be dedicated by this subdivision: the other 10 ft. will be dedicated when the property to the south develops.

\*\*\*Between lots 1 and 24 Block III and lots 59-61 Block II, provide for a "knuckle" or redesign if the street will not cross the existing canal. As per plat submitted on October 6th, 2022 subdivision layout no longer presents University Avenue abutting existing canal.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>Internal Streets for R-1(Block III): 50 ft. ROW Paving: 32 ft. Curb &amp; gutter: Both Sides Revisions Needed: -Submit any applicable gate details for staff to review prior to final. Gate details may increase ROW required prior to final. -Secondary access required as per subdivision ordinance and Fire Department -As per plat submitted on October 6th,2022, dedication for N.33rd Street as a internal street with Cul-De-Sac, please provide for N/S 1/4 Mile collector dedication along eastern plat boundary prior to final. As per plat submitted on October 26th,2023 North 33rd Street provides outlet to Freddy Gonzalez Dr. Cul-de-Sac no longer proposed. -Street names will be established once ROW dedication have finalized. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Internal Streets for R-3A (Block II): 60 ft. ROW Paving: 40 ft. Curb &amp; gutter: Both Sides Revisions Needed: -Engineer submitted a Variance request on October 18th,2023 to the ROW requirements for Block II to remain at 55 ft. of ROW. Development staff have reviewed the request and should the variance be approved it should be subject to 40 ft. of paving and 10 ft. Utility and Sidewalk easement dedications on both sides as currently shown on plat. -Submit any applicable gate details for staff to review prior to final. Gate details may increase ROW required prior to final. -Secondary access required as per subdivision ordinance and Fire Department **Street name will be assigned prior to final ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision layout for Block II does not comply with block length requirement, please revise accordingly prior to final. Engineer submitted a Variance request on October 18th,2023 to the 900 ft. block length requirements for Block III. Under the authority and review of the Planning Director the Variance request to the block length was approved ***Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac Revisions Needed: -As per plat submitted on October 6th,2022 subdivision layout for block III along lots 23-39 does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement for Cul-de Sac's. Review and finalize prior to final. As per plat submitted on October 26th,2023 North 33rd Street provides outlet to Freddy Gonzalez Dr. Cul-de-Sac no longer proposed. **Subdivision Ordinance: Section 134-105</p>	Applied
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft. Revisions needed: - Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision Ordinance: Section 134-106</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



SETBACKS	
<p>* Front: Block II (multifamily lots): 20 ft. or greater for easements</p> <p>Revisions Needed: -Engineer submitted a variance application on October 18th, 2023 requesting a front setback of 20 feet except 10 feet for unclosed carports only for block II. Wording for front setback notes must be finalized given the outcome of the request prior to final.</p> <p>Front: Block III(single family lots): 25 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Sides: 6 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Non-compliance</p> <p>Applied</p> <p>Applied</p> <p>Applied</p> <p>Applied</p> <p>Applied</p>
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along Freddy Gonzalez Dr., and both sides of University Avenue, North 33rd Street, and all interior streets.</p> <p>Revisions Needed: -Please revise plat note #9 as shown above prior to final, note subject to change once ROW requirements for Freddy Gonzalez Dr. have been established. **5 ft. sidewalk might be required on both sides of Freddy Gonzalez Dr. by Engineering Department once ROW requirements have finalized. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> <p>Revisions Needed: -Please remove reference from plat note #9, as it is a requirement but not as a plat note.</p>	<p>Non-compliance</p> <p>Non-compliance</p>
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along Freddy Gonzalez Dr., and University Avenue. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Applied</p> <p>Applied</p> <p>Required</p>
NOTES	
<p>* No curb cut, access, or lot frontage permitted along Freddy Gonzalez Dr. and University Avenue.</p> <p>Revisions Needed: -As per conversation with Engineering Department, curb cut access along N.33rd Street to be limited, finalize wording for note prior to final. **Must comply with City Access Management Policy</p>	<p>Non-compliance</p>

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>Revisions Needed:</p> <p>-Revise note #10 as shown above prior to final.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	NA
	NA
	Non-compliance
	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
	Required
<b>LOT REQUIREMENTS</b>	
<p>* Minimum lot width and lot area</p> <p>**All lots must comply with minimum 50 ft. lot width and corner lots must be 4 ft. wider.</p> <p>Revisions Needed:</p> <p>-Lots 53and 68 do not comply with minimum lot frontage requirements for corner lots review and revise accordingly and verify all other lots are in compliance with frontage and minimum lot square footage requirements prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Lots fronting public streets</p> <p>Revisions Needed:</p> <p>-Provide for frontage for Lot "B" detention pod, minimum 25 ft., review and revise prior to final.</p> <p>As per plat submitted on October 26th,2023,Lot B detention pond presents frontage along round about verify with engineering regarding lot frontage requirements prior to final.</p> <p>**Subdivision Ordinance: Section 134-1</p>	Non-compliance
	Non-compliance
<b>ZONING/CUP</b>	
<p>* Existing: R-1(Single-Family Residential) District and R-3A (Multifamily Residential) District</p> <p>Proposed: R-1(Single-Family Residential) District and R-3A (Multifamily Residential)</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	Complete



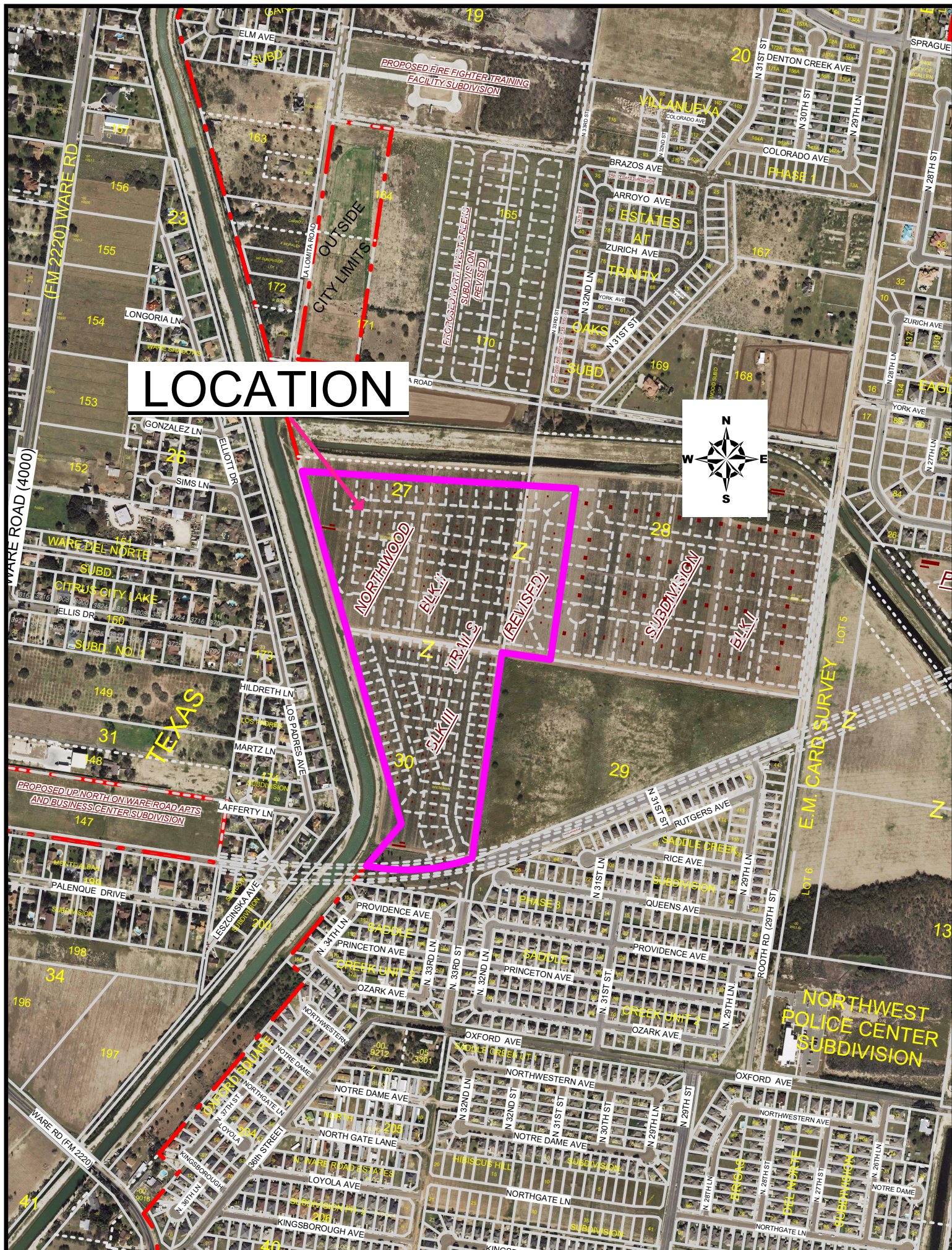
PARKS	
<p>* Land dedication in lieu of fee. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	TBD
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	TBD
<p>*Pending review by the City Mangers Office. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	Required
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	Non-compliance
	TBD
COMMENTS	
<p>Comments:</p> <p>*Must comply with City's Access Management Policy.</p> <p>**As per plat submitted October 6th,2022 no proposed secondary accesses provided for Blocks II &amp; III, please revise layout to comply with secondary access requirements. As per plat submitted on October 26th,2023 North 33rd Street provides outlet to Freddy Gonzalez Dr. Cul-de-Sac no longer proposed.</p> <p>***Finalize ROW requirements as noted prior to final.</p> <p>*** Subdivision was approved in preliminary form at the Planning and Zoning meeting of April 5, 2022.</p> <p>****Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL AND CLARIFICATION OF THE REQUESTED VARIANCES.	Applied









# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

Project Information	Subdivision Name <u>El Dorado at Thousand Oaks I, II, III, IV</u> <i>PH2</i>	
	Location <u>SE corner of Mile 8 1/2 Road and 38th Street</u>	
	City Address or Block Number <i>13100 N. 38<sup>th</sup> ST</i>	
	Number of Lots <u>173</u> Gross Acres <u>65.56</u> Net Acres <u>65.11</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1 and R-3A</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____	
	Existing Land Use <u>Open Land</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>N/A</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <i>22,153.68</i>	
	Parcel # <i>552128</i> Tax Dept. Review <i>NY</i>	
	Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>A 65.56 acre tract of land out of Lots 7, 8, 13, 14, 15, 16, and 17, Section 234, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas.</u>		
Owner	Name <u>Red Rock Real Estate Development Group, LTD.</u> Phone <u>(956) 800-1333</u>	
	Address <u>2912 S. Jackson Road</u> E-mail <u>riocantu@yahoo.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Red Rock Real Estate Development Group, LTD.</u> Phone <u>(956) 800-1333</u>	
	Address <u>2912 S. Jackson Road</u> E-mail <u>riocantu@yahoo.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
	Contact Person <u>Manuel Cantu</u>	
Engineer	Name <u>Quintanilla, Headley &amp; Associates, Inc.</u> Phone <u>(956) 381-6480</u>	
	Address <u>124 E. Stubbs Street</u> E-mail <u>alfonsoq@qha-eng.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Alfonso Quintanilla</u>	
Surveyor	Name <u>Quintanilla, Headley &amp; Associates, Inc.</u> Phone <u>(956) 381-6480</u>	
	Address <u>124 E. Stubbs Street</u> E-mail <u>alfonsoq@qha-eng.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	


**ENTERED**

JUL 10 2023

Name: *NM*



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application	<p><b><u>In Person Submittal Requirements</u></b></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps</li> <li>- 2 8 ½" by 11" copies/legible copies of plat with name &amp; north arrow</li> <li>- 6 Folded blue-line prints of the proposed plat</li> <li>- 2 Warranty Deeds (identifying owner on application)</li> <li>- AutoCAD 2005 DWG file and PDF of plat</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)</li> </ul>	<p><b><u>Email Submittal Requirements</u></b></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- Survey</li> <li>- Location Map</li> <li>- Plat &amp; Reduced P</li> <li>- Warranty Deed</li> <li>- DWG File</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation, if applicable</li> </ul> <p><small>*Documents must be submitted in PDF format. No scanned documents*</small></p> <p><small>*Please submit documents to <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p> <p style="text-align: center;"><b>*ORIGINAL APPLICATION &amp; FEE MUST BE SUBMITTED IN PERSON*</b></p>
	<p><b>PLAT TO SHOW:</b></p> <ul style="list-style-type: none"> <li>- Metes and bounds</li> <li>- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts</li> <li>- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines</li> <li>- North arrow, scale and vicinity map</li> <li>- Name &amp; dimension of adjoining street ROWs (total width &amp; width from centerline)</li> </ul> <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p>	
Owners Signature	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>May 15, 2023</u></p> <p>Print Name <u>Manuel Cantu</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input type="checkbox"/></p> <p style="text-align: center;"><small>The Planning Department is now accepting DocuSign signatures on application</small></p>	





City of McAllen

**Planning Department**  
**VARIANCE TO SUBDIVISION**  
**PROCESS APPLICATION**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220

McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

VAR2023-0028

**Project**

Legal Description A 65.56 acre tract of land out of Lots 7, 8, 13, 14, 15, 16, and 17, Section 234, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas.

Street Address SE corner of Mile 8 1/2 Rd and 38th St

Number of lots 174 Gross acres 65.56

Existing Zoning Open Land Existing Land Use Residential

☐ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

**Applicant**

Name Quintanilla, Headley & Associates, Inc. Phone 381-6480

Address 124 E. Stubbs E-mail office@qha-eng.com

City Edinburg State TX Zip 78539

**Owner**

Name Red Rock Real Estate Development Group, LTD. Phone 800- 1333

Address 2912 S. Jackson Road E-mail riocantu@yahoo.com

City McAllen State TX Zip 78503

**Authorization**

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes

☐ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature]

Date \_\_\_\_\_

Print Name Red Rock Real Estate Development ☒ Owner

Group, Ltd by Manuel Cantu, Manager

☐ Authorized Agent

**Office**

\*FOR OFFICE USE ONLY\*

APPLICATION FILING FEE: ☐ \$250.00

Accepted by [Signature]

Payment received by \_\_\_\_\_ Date \_\_\_\_\_

Rev 06/21





**City of McAllen**  
***Planning Department***  
**REASON FOR APPEAL**

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.**

**\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.**

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The land being developed is restricted by existing subdivisions or developers to the north, state highway to the west, irrigation canal and ditch to the east and a water treatment plant to the south. The excessive restrictions surrounding this property are the special circumstances for this development.

2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

This variance is necessary in order to accommodate the variety of lot sizes and uses for this multi-faceted development. In order to continue with 3 single-family blocks of different sizes and 1 multi-family block, the block lengths were exceeded to allow the land to be used to its maximum potential.

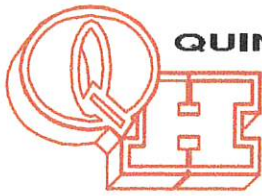
3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

Approving block lengths greater than the stated ordinance length and allowing unenclosed carports to encroach on the setback line within private gated community is not detrimental to public health, safety or welfare injurious to property owners in the area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The property to the north is already developed, the property to the east is an existing irrigation R.O.W. with canal and ditch. The property to west is a recorded subdivision and a major state road. To the south is Phase I and then a water treatment plant. These variances will not prevent the orderly subdivision of other land in the area.





**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**

**Consulting Engineers ★ Land Surveyors**

Alfonso Quintanilla, P.E. # 95534 R.P.L.S #4856 Eulalio Ramirez, P.E. # 77062  
Engineering Firm Registration No. F-1513  
Surveying Firm Registration No. 100411-00  
Municipal & County Projects ★ Subdivisions ★ Surveys

November 14, 2023

City of McAllen  
Edgar I. Garcia, AICP, CNU-A  
Director of Planning  
311 N. 15<sup>th</sup> Street  
McAllen, TX 78501

**Re: Proposed Eldorado at Thousand Oaks I, II, III, IV Phase II**

Dear Mr. Garcia:

On behalf of the developer, this letter is to request the following variances from the City's requirements:

1. Block length:

Block I: 1,200'

Block III: 900'

Block IV: 600' Cul-de Sac (Developer is requesting the lengths to exceed the 600' length and for the paving to remain at 32' back of curb to back of curb and within 50' of road right of way)

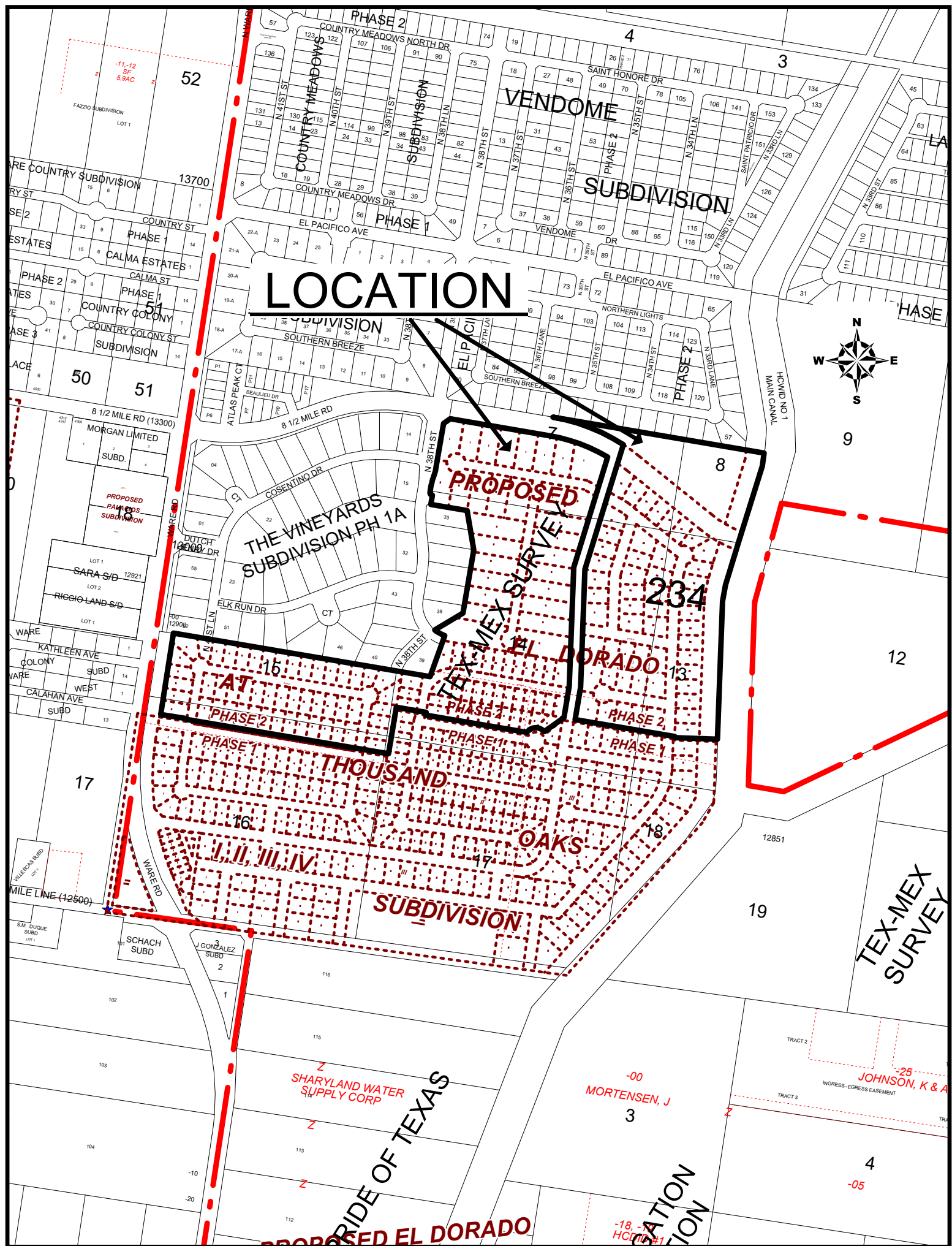
2. Front setback for Block III: 20' except 10.0 feet for unenclosed carport only

Should you have any questions or require additional information, please feel free to call me at (956) 381-6480.

Respectfully,

Alfonso Quintanilla, P.E., R.P.L.S.  
Project Engineer



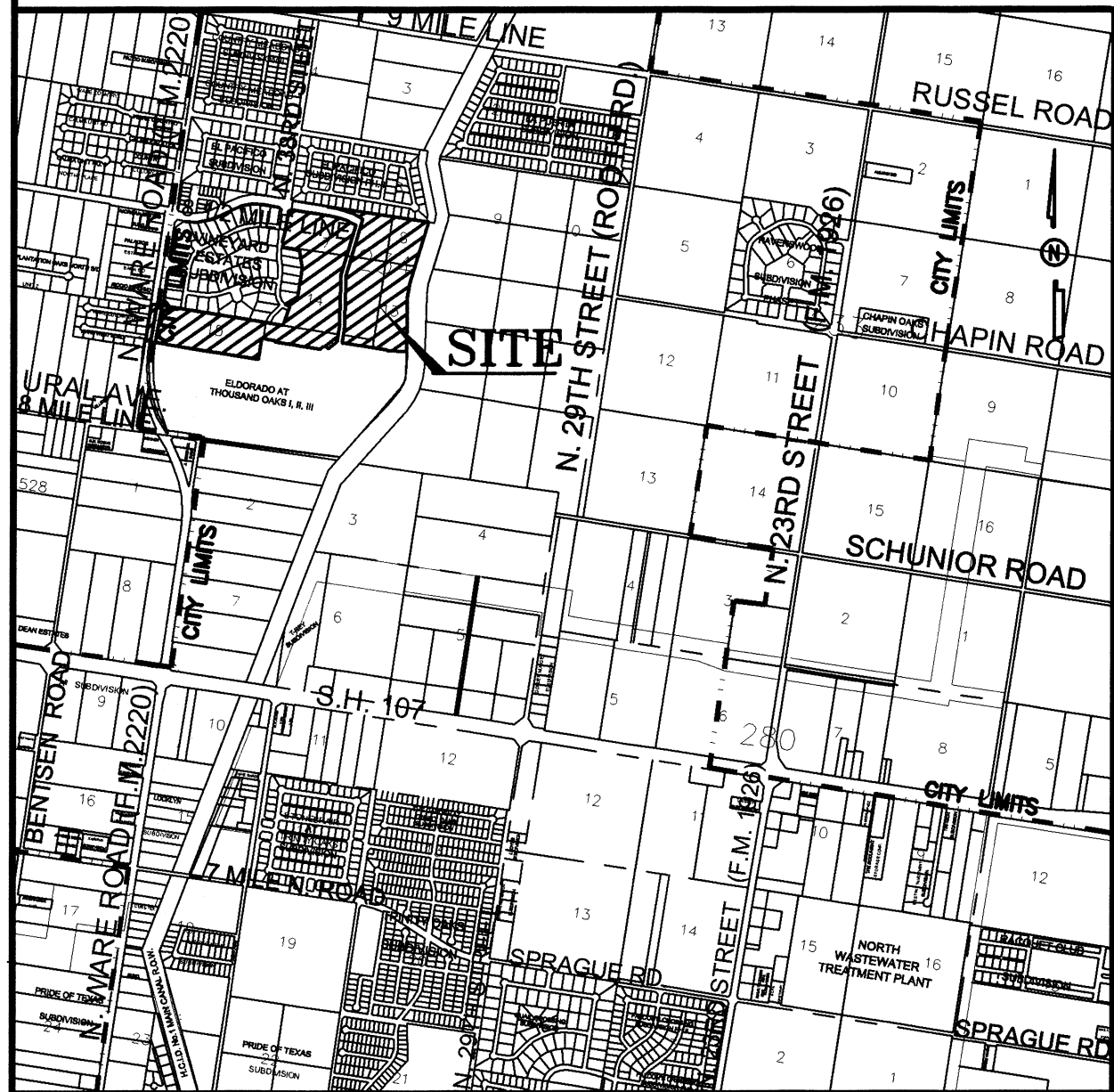




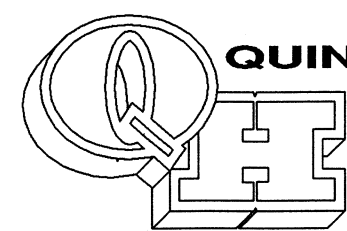
PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "X" (UN-SHADED) AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. FLOOD ZONE DESIGNATION: ZONE "A". NO BASE FLOOD ELEVATIONS DETERMINED. COMMUNITY-PANEL NUMBER 480334 0325 D MAP REVISED: MAY 17, 2001
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF CURB OF THE STREET AT MID POINT OF EACH LOT.
- LEGEND ● - DENOTES 1/2"x 24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.
- MINIMUM BUILDING SETBACK LINES: FOR BLOCKS I, II, III AND IV  
FRONT: 25.00 FT. BLOCKS I, II & IV  
FRONT: 20.00 FT. BLOCK III EXCEPT 10 FT. FOR UNENCLOSED CARPORT ONLY OR GREATER FOR EASEMENTS  
REAR: 10.00 FT. OR GREATER FOR EASEMENTS.  
INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS  
CORNER SIDE: 10.00 FT. OR GREATER FOR EASEMENTS.  
GARAGE: 18.00 FT. OR GREATER FOR EASEMENT EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
- NO BUILDINGS OR DRAINAGE DETENTION AREAS SHALL BE CONSTRUCTED OVER ANY EASEMENT.
- ENGINEERED DRAINAGE DETENTION IS: C.F. ( \_\_\_\_\_ AC./FT.) TOTAL FOR MASTER PLAN (1147.17 AC.) REQUIRED PRO-RATED ENGINEERED DRAINAGE DETENTION FOR 65.56 ACRES IS: C.F. ( \_\_\_\_\_ AC./FT.)
- BENCHMARK NOTE: CITY OF MCALLEN NO. MC 33, EAST SIDE OF NORTH WARE ROAD (FM 2220) BY THE WATER TREATMENT PLANT DRAINAGE DETENTION FOR EL DORADO AT THOUSAND OAKS I, II, III & IV EAST RIGHT OF WAY LINE-ELEVATION 118.60, DATUM NAD83
- AN ENGINEERED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- A 4.00 FOOT MINIMUM SIDEWALK IS REQUIRED ON URAL AVE. 1/2 MILE RD., BOTH SIDES OF VERDE AVE. AND N. 34TH LN. AND ON BOTH SIDES OF ALL INTERIOR STREETS. A MINIMUM 5.00 FOOT SIDEWALK IS REQUIRED ON N. WARE RD. (FM 2220).
- FOR BLOCKS I, II, III AND IV: NO CURB CUT, ACCESS OR FRONTAGE PERMITTED ALONG NORTH WARE RD (FM 2220), VERDE AVE. AND ALONG N. 34TH LN. INCLUDING LOTS 87-88 AND 97-106 & 116 BLOCK III, LOTS 8 AND LOTS 10-18, BLOCK IV.
- E.E. DENOTES ELECTRICAL EASEMENT
- 25.00' X 25.00' SIGHT OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS.
- AS PER MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR EL DORADO AT THOUSAND OAKS I, II, III & IV PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER \_\_\_\_\_ AND AS PER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR EL DORADO AT THOUSAND OAKS I, II, III & IV PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER \_\_\_\_\_ (SINGLE FAMILY BLOCK I LOTS 53-78) DOCUMENT NUMBER \_\_\_\_\_ (MULTIFAMILY BLOCK III LOTS 83-135) AND DOCUMENT NUMBER \_\_\_\_\_ (SINGLE FAMILY BLOCK IV LOTS 1-30) HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THE ASSOCIATION/OWNERS, AND/OR ASSIGNEES, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS, ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
- AS PER MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR EL DORADO AT THOUSAND OAKS I, II, III & IV PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER \_\_\_\_\_ AND AS PER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR EL DORADO AT THOUSAND OAKS I, II, III & IV PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER \_\_\_\_\_ (SINGLE FAMILY BLOCK II LOTS 79-117), HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL AND VOID.
- AS A MASTER DRAINAGE DETENTION PLAN, THE COMMON AREAS/REGIONAL DETENTION POND/DRAINAGE EASEMENT, SHALL BE CAPABLE OF DETAINING AT LEAST \_\_\_\_\_ AC.-FT. OF WHICH MUST BE ALLOCATED FOR THE USE OF EL DORADO AT THOUSAND OAKS I, II, III AND IV PHASE II
- 8.00 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- BUFFER REQUIREMENTS FOR BLOCK I, II, III AND IV-6.00' OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES AND ALONG EAST SIDE OF N. WARE RD. (FM 2220). BOTH SIDES OF VERDE AVE. AND ON LOTS 105 AND 106 IN BLOCK II, LOTS 87, 88, 97, 98-104, AND 116 IN BLOCK III, LOTS 11-18, BLOCK IV, ALONG NO. 34TH LN.
- ALL SHARPLYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARPLYLAND WATER SUPPLY CORPORATION.
- MCALLEN PARKLAND ADVISORY BOARD MET ON \_\_\_\_\_ TO CONSIDER A VARIANCE OF "FEES IN LIEU OF LAND DEDICATION-\$700 PER DWELLING UNITS" MCALLEN PARKLAND ADVISORY BOARD APPROVED THE REQUESTED VARIANCE WITH THE FOLLOWING CONDITIONS: FIFTY (50) PERCENT OF PARK FEES (\$350) TO BE PAID UP FRONT PRIOR TO PLAT. THE REMAINING FIFTY (50) PERCENT (\$350) IS TO BE PAID THROUGH THE BUILDING PERMIT APPLICATION PROCESS. EL DORADO AT THOUSAND OAKS I, II, III AND IV PHASE II IS COMPOSED OF 333 UNITS, FIFTY PERCENT (50%) UP FRONT IS \$116,550.00 THE OTHER FIFTY PERCENT (50%) IS \$350 PER EACH OF THE 333 UNITS UNTIL PROJECT IS COMPLETED. THE REMAINING FIFTY PERCENT (50%) (\$116,550.00) IS TO BE PAID THROUGH THE BUILDING PERMIT APPLICATION.
- THE AREA IDENTIFIED AS LOT "B" DETENTION AREA SHALL BE MAINTAINED BY DEVELOPER, EL DORADO AT THOUSAND OAKS I, II, III AND IV PHASE II, AND/OR HOMEOWNERS ASSOCIATION, INC. (E.A.T.O.H.O.A.), ITS SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF MCALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERECTED IN THE COMMON AREA/REGIONAL DETENTION POND/DRAINAGE EASEMENT, WHICH SHALL BE USED EXCLUSIVELY AS A STORM WATER DETENTION AREA. THE LOT OWNERS' PRO RATA SHARES (INCLUDING DRAINAGE EASEMENT MAINTENANCE) SHALL BE DETERMINED BY THE E.A.T.O.H.O.A., FAILING SUCH MAINTENANCE OBLIGATIONS, THE CITY OF MCALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNERS' COST, WHICH COST MAY BECOME A LIEN AGAINST THE PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THE UNDER EXISTING ORD. SEC. 134-168, AS THE SAME MAY BE AMENDED, THE SPECIFIC AND EXCLUSIVE USE OF THE STORM WATER DETENTION AREA, THE OWNERS' MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION
- COMMON AREAS MUST BE MAINTAINED BY THE LOT OWNERS, HOA AND NOT THE CITY OF MCALLEN.

LOCATION MAP SCALE: 1" = 2000'







QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
ENGINEERING REGISTRATION NUMBER F-1513  
SURVEYING REGISTRATION NUMBER 100411-00  
P2

LAND SURVEYORS  
PHONE 956-381-6480  
FAX 956-381-0527  
ALFONSO@QHA-ENG.COM

EL PACIFICO SUBDIVISION PHASE I RECORDED IN VOLUME 47, PAGE 1, MAP RECORDS, HIDALGO COUNTY, TEXAS.

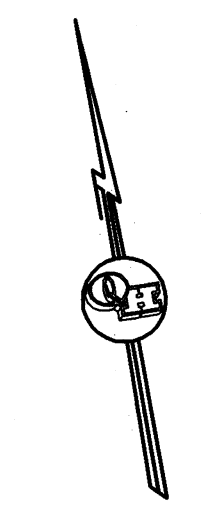
P.O.C. TRACT No. II  
S.W. COR.  
EL PACIFICO SUBD  
PHASE II

FND. 1/2" IRON ROD WITH CAP MELDEN & HUNT INC.  
N.E. COR., AMENDED VINEYARD ESTATES  
SUBDIVISION PHASE IA  
S 80°24'08" E

P.O.B. TRACT No. II  
FND. 1/2" IRON ROD WITH PLASTIC CAP  
STAMPED RPLS 4856  
S 80°24'08" E

EL PACIFICO SUBDIVISION PHASE II RECORDED IN VOLUME 53, PAGE 8, MAP RECORDS, HIDALGO COUNTY, TEXAS.

FND. 1/2" IRON ROD  
S.E. COR.  
EL PACIFICO SUBDIVISION  
PHASE II



SCALE 1" = 100'

NORTH WARE ROAD (F.M. 2220)

DUTCH HENRY DR.

N. 41ST LN.

STATE OF TEXAS  
COUNTY OF HIDALGO



ALFONSO QUINTANILLA  
R.P.L.S. No. 4856

JUNE 26, 2023

COUNTY OF HIDALGO  
STATE OF TEXAS



ALFONSO QUINTANILLA  
P.E. No. 95534

11-7-23

STREET RIGHT OF WAY  
DEDICATION BY THIS PLAT.

AMENDED VINEYARD ESTATES SUBDIVISION  
PHASE IA RECORDED IN INSTRUMENT  
NUMBER 2347052, MAP RECORDS,  
HIDALGO COUNTY, TEXAS.

STREET RIGHT OF WAY  
DEDICATION BY THIS PLAT.

FND. 1/2" IRON ROD WITH  
CAP MELDEN & HUNT INC.  
S.E. COR. AMENDED  
VINEYARD ESTATES  
SUBDIVISION PHASE IA  
RECORDS, HIDALGO COUNTY, TEXAS.

RIGHT-OF-WAY EASEMENT GRANTED TO  
SHARYLAND WATER SUPPLY CORPORATION,  
RECORDED UNDER DOCUMENT NUMBER 684408,  
MAP RECORDS, HIDALGO COUNTY, TEXAS.

SARA SUBDIVISION, RECORDED IN  
VOLUME 35, PAGE 16A, MAP  
RECORDS, HIDALGO COUNTY, TEXAS

WARE COLONY SUBDIVISION, RECORDED IN  
VOLUME 178, MAP RECORDS, HIDALGO  
COUNTY, TEXAS

THE STATE OF TEXAS TRACT: A1 2.3535 ACRE  
TRACT OF LAND OUT OF LOTS 15 AND 16,  
SECTION 234, TEXAS-MEXICAN RAILWAY  
COMPANY'S SURVEY, ACCORDING TO DEED  
RECORDED UNDER COUNTY CLERK'S DOCUMENT  
NUMBER 3425742, OFFICIAL RECORDS, HIDALGO  
COUNTY, TEXAS.

ELDORADO AT THOUSAND OAKS I, II, III RECORDED IN INSTRUMENT  
NUMBER 3466554, MAP RECORDS, HIDALGO COUNTY, TEXAS.

# SUBDIVISION PLAT OF : ELDORADO AT THOUSAND OAKS I, II, III, & IV PHASE II

(PRIVATE SUBDIVISION BLOCK I, III AND IV)

A 36.68 ACRE TRACT OF LAND OUT OF LOTS 7, 14, 15, 16 AND  
17, SECTION 234, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,  
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT  
THEREOF RECORDED IN VOLUME 3, PAGE 14, MAP RECORDS,  
HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY  
DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S  
DOCUMENT NUMBER 3081767, OFFICIAL RECORDS, HIDALGO  
COUNTY, TEXAS.

A 26.88 ACRE TRACT OF LAND OUT OF LOTS 7, 8, 13 AND 14,  
SECTION 234, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,  
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT  
THEREOF RECORDED IN VOLUME 3, PAGE 14, MAP RECORDS,  
HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY  
DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S  
DOCUMENT NUMBER 3081767, OFFICIAL RECORDS, HIDALGO  
COUNTY, TEXAS.

CURVE	DELTA	RADIUS	LENGTH	CHORD
"A"	20°12'14"	175.00'	61.71'	61.39'
"B"	90°26'07"	15.00'	23.68'	21.29'
"C"	08°30'29"	200.00'	29.70'	29.67'
"D"	08°31'07"	200.00'	29.74'	29.71'
"E"	21°11'19"	890.00'	329.13'	327.26'
"F"	23°21'43"	990.00'	403.67'	400.88'

LOT "B"  
(3.85 acres)

8 1/2 MILE ROAD  
(PUBLIC STREET)

BLOCK IV

BLOCK III

BLOCK II

BLOCK I

WOLF CREEK AVE.  
(PRIVATE ST.)

NORTH WARE ROAD (F.M. 2220)



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY

FILENAME	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
F:\DATA\PREP\SUBD\WOLF\ELDORADO AT THOUSAND OAKS I, II, III, & IV	JUNE 26, 2023	JG		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY	





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

**SUBDIVISION NAME: EL DORADO AT THOUSAND OAKS I, II, III AND IV**

### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

North Ware Road: Dedication as needed for 150 ft. Total ROW.

Paving: by the state Curb & gutter: by the state

Revisions Needed:

-Provide a copy of existing dedication for staff review, prior to final.

-Label Centerline, existing ROW dedications, from centerline, total, etc. on both sides, as to ensure compliance with dedication requirements as noted above, prior to final.

-Clarify any acquisitions by the state and existing dedications prior to final.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

North 34th Lane: 60 Total ROW.

Paving : 40 ft. Curb & gutter Both Sides

Revisions Needed:

-Provide Existing ROW details along with document number for existing dedications, prior to final.

\* North 34th Lane along Blocks II,III and IV, dedicated by Eldorado at Thousand Oaks I,II, and III recorded plat.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

8 1/2 Mile Road: Dedication as needed for 100 ft. Total ROW

Paving: 65 ft. Curb & gutter: Both sides

Revisions Needed:

-Provide Existing ROW details along with document number for existing dedications, prior to final.

\*Portion of 8 1/2 Mile Road along Block IV, dedicated by Eldorado at Thousand Oaks I,II, and III recorded plat.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance



<p>1. Block I and Block II: 50 ft. ROW ( Zoned R-1) (Block I Private Streets and Block II Public Streets)  Paving: 32 ft. Curb &amp; gutter: Both sides  Revisions Needed:  -Subdivision layout must be revised as to provide for street looping or extension and not dead-end any existing streets as shown on the northside of Block I and II and SW Corner of Block IV dedicated by Vineyards Estates Subdivision Phase 1A , should the streets not be looped or extended, a Cul-de-Sac with paving diameter 96 ft. paving diameter face-to-face with appropriate ROW of 10 ft. back of curb within the boundaries of this development will be required. (Rear of Lots 73 and 59 Block I and Lot 117 Block II). As per plat submitted on November 14th,2023 turnarounds proposed, layout is under review ROW subject to increase and a Auto-Turn study may be required to determine if in compliance maneuverability requirements of Fire and Public Works department. Finalize turnaround requirements prior to final.  -For Block I, provide gate details prior to final. Gate details will have to be approved by staff prior to final. Increase in ROW widths required as needed to accommodate gate detail requirements, sidewalks, and pedestrian gates, finalize prior to final.  -For Block II, provide paving details for area along lots 93 and 117 to ensure adequate maneuverability through street curvature, finalize prior to final.  -Street names will be established prior to final. Finalize street name requirement prior to final.  ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>2. Block III: 60 ft. ROW( Zoned R3-A) (Private Streets)  Paving 40 ft. Curb &amp; gutter: Both sides  Revisions Needed:  - ROW at "Cul-De Sac" areas may have to be increased to comply with Fire Department requirements, finalize prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required.  -For Block III, provide gate details prior to final. Gate details will have to be approved by staff prior to final. Increase in ROW widths required as needed to accommodate gate detail requirements, sidewalks, and pedestrian gates, finalize prior to final.  -Street names will be established prior to final. Finalize street name requirement prior to final.  ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	
<p>3. Block IV: 50 ft. ROW ( Zoned R-1) (Private Streets)  Paving: 32 ft. Curb &amp; gutter: Both sides  Revisions Needed:  - ROW at "Cul-De Sac" areas may have to be increased to comply with Fire Department requirements, finalize prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required.  --For Block III, provide gate details prior to final. Gate details will have to be approved by staff prior to final. Increase in ROW widths required as needed to accommodate gate detail requirements, sidewalks, and pedestrian gates, finalize prior to final.  -Street names will be established prior to final. Finalize street name requirement prior to final.  *Must escrow monies if improvements are not built at this time, prior to recording.  **Barricade and/or temporary turnaround at the north end of streets as needed.</p>	
<p>Paving _____ Curb &amp; gutter _____  ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA



<p>* 1,200 ft. Block Length. Pending Items: -Subdivision layout for Block I(Lots 58-73) does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 1200 ft. maximum block length requirement. Engineer submitted a Variance request on October 18th,2023 to the 1200 ft. block length requirements for Block I. **Subdivision Ordinance: Section 134-118</p>	Non-compliance
<p>* 900 ft. Block Length for R-3 Zone Districts. Revisions Needed: -Subdivision layout for Block III(Lots 123-135) does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 900 ft. maximum block length requirement. Engineer submitted a Variance request on October 18th,2023 to the 900 ft. block length requirements for Block III. Under the authority and review of the Planning Director the Variance request to the block length was approved administratively. **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac. Pending Items: - For Block IV subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement. Should a variance be approved ROW requirements subject to increase to 60 ft. of ROW with 40 ft. of paving. Engineer submitted a Variance request on October 18th,2023 to the 600ft. Cul-de-Sac length requirements for Block IV and updated letter submitted on November 14th,2023 the developer is requesting 50 ft. of ROW with 32 ft. of paving. Development staff have reviewed the request and should the variance be approved it should be subject to 50 ft. of ROW with 10 ft. Utility and Sidewalk easement dedications on both sides with 40 ft. of paving. -As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required. -Provide "Cul-De Sac" details prior to final. Auto Turn Study may be required to verify compliance with maneuvering space needed at "Cul-De Sac", "Knuckle's", and curvatures, prior to final. **Subdivision Ordinance: Section 134-105</p>	Non-compliance
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft. Revisions needed: - Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final. *Alley/service drive easement required for commercial and multi-family properties. **Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>* Front: 25.00 ft. Blocks I, II, &amp; IV or greater for easements. * Front: 20.00 ft. Block III or greater for easements. Revisions Needed: -Engineer submitted a variance application on October 18th,2023 requesting a front setback of 20 feet except 10 feet for unclosed carports only, for block III only. Wording for front setback notes must be finalized given the outcome of the request prior to final. -For Blocks I, II, &amp; IV revise setback as shown above, prior to final. *Proposing:25.00 ft. Blocks I, II, &amp; IV 20.00 ft. Block III except 10 feet for unclosed carports only or greater for easements. **Zoning Ordinance: Section 138-356</p>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Rear: 10 ft. or greater for easements.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Interior Sides: In accordance with Zoning Ordinance or greater for easements.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Corner: 10 ft. or greater for easements</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: 18 ft. or greater for easements except where greater setback is required, greater setback applies.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Applied
	Applied
	Applied
	Applied
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* A 4 ft. wide minimum sidewalk required on both sides of 8 1/2 Mile Road, North 34th Lane, and all interior streets. A 5 ft. wide minimum sidewalk required along North Ware Road (F.M.2220).</li> <li>Revisions Needed:</li> <li>-Revise note #9 as shown above, finalize wording for note prior to final.</li> <li>**Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize wording for note prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Ware Road, North 34th Lane, 8 1/2 Mile Road for Block IV and Lots 116-123 Block III.</li> <li>Revisions Needed:</li> <li>- Revise note#17 as shown above, finalize wording for note prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Non-compliance
	Applied
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along North Ware Road (F.M.2220), 8 1/2 Mile Road for Block IV and Lots 116-123 Block III, North 34th Lane, North 38th Street for Block IV.</li> <li>Revisions Needed:</li> <li>-Revise note #10 as shown above, finalize wording for note prior to final.</li> <li>**Must comply with City Access Management Policy</li> <li>For Block III, as applicable:</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more dwelling units on each lot if applicable.</li> <li>**Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final.</li> <li>***Zoning Ordinance: Section 138-210.</li> </ul>	Non-compliance
	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



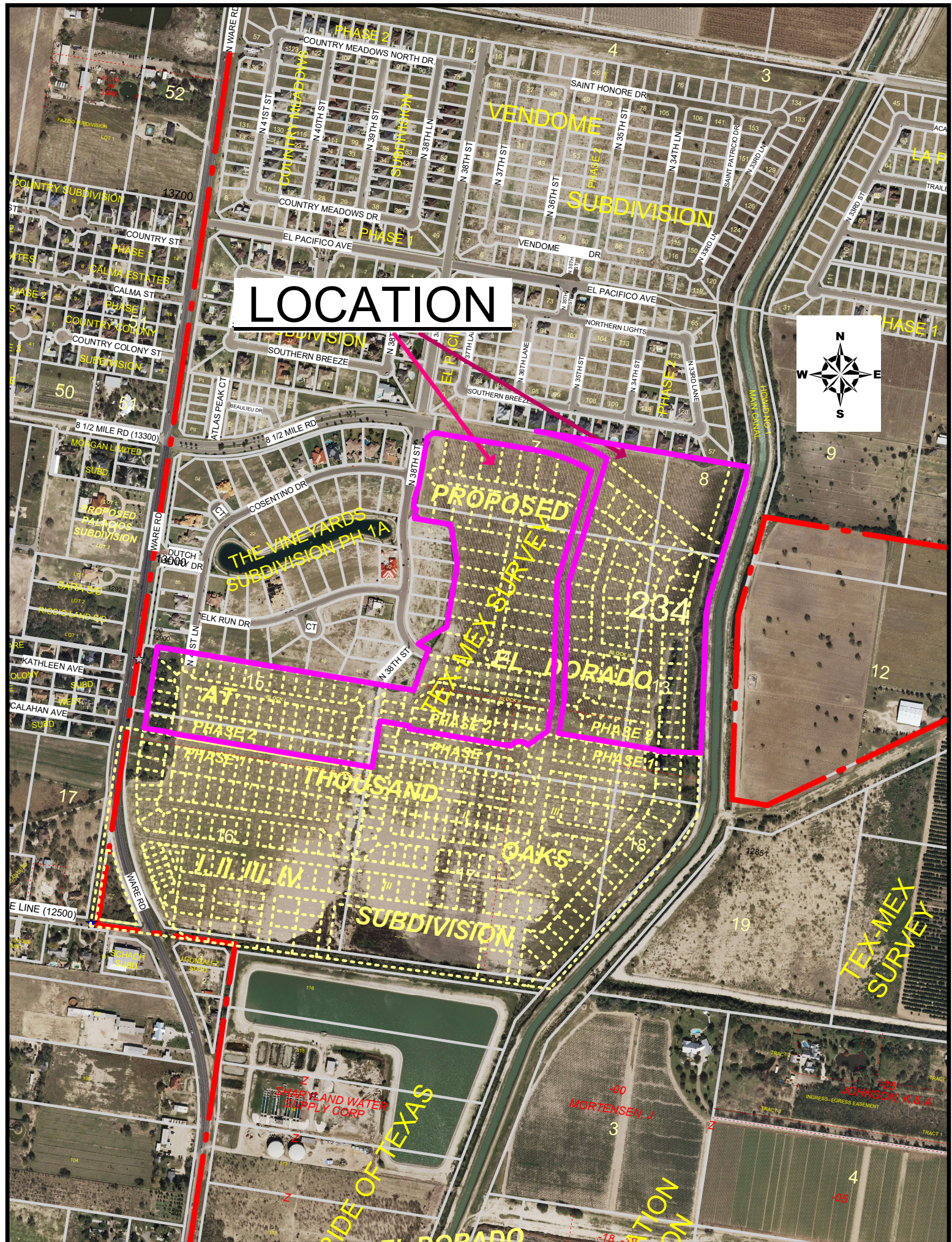
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>**Proposing: Common areas must be maintained by the Lot Owners, HOA, and not the City of McAllen.</p> <p>*** Note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final.</p>	Required
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>Revisions Needed: Developer/Homeowner's Association/Owner notes must be revised to include all blocks, finalize note wording prior to final.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets</p> <p>**Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area.</p> <p>**Proposed subdivision layout is compliant with proposed zoning requirements, lot width and area compliance to finalized once zoning requirements have been established, finalize prior to final. Planning and Zoning Commission recommended approval of the request from R-1 to R-3A for Block III portion of this development at their meeting of July 12, 2023. and was approved by the City Commission at their meeting of August 14, 2023.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<b>ZONING/CUP</b>	
<p>* Existing R-1 (Single-Family Residential) District (Blocks I,II, &amp; IV) and R-3A (Multi-family Residential) District (Block III) District Proposed : R-1 (Single-Family Residential) District (Blocks I,II, &amp; IV) and R-3A (Multi-family Residential) District (Block III)</p> <p>*Planning and Zoning Commission recommended approval of the request from R-1 to R-3A for Block III portion of this development at their meeting of July 12, 2023. and was approved by the City Commission at their meeting of August 14, 2023.</p> <p>***Engineer must continue to verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final.</p> <p>***Zoning Ordinance: Article V</p>	Applied



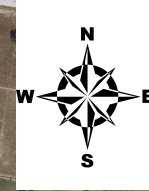
<p>* Rezoning Needed Before Final Approval</p> <p>**Planning and Zoning Commission recommended approval of the request from R-1 to R-3A for Block III portion of this development at their meeting of July 12, 2023. and was approved by the City Commission at their meeting of August 14, 2023.</p> <p>***Engineer must continue to verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final.</p> <p>***Zoning Ordinance: Article V</p>	Applied
<b>PARKS</b>	
<p>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	TBD
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of lots/dwelling units prior to final. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	TBD
<p>* Pending review by City Managers Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office.</p>	TBD
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Master Trip Generation for both Phase I and II has been approved. Master TIA has been approved with conditions.</p>	Compliance
<p>* As per Traffic Department, Master Trip Generation for both Phase I and II has been approved. Master TIA has been approved with conditions.</p>	Compliance
<b>COMMENTS</b>	
<p>Comments:</p> <p>*Must comply with City's Access Management Policy.</p> <p>*Any abandonments must be done by separate process, not by plat, any abandonments by separate instrument must be finalized prior to recording.</p> <p>**Clarify proposed use of Lot B, subdivision requirements subject to change and additional notes may be required as applicable, once clarified.</p>	Applied
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL AND CLARIFICATION OF THE REQUESTED VARIANCES.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review





# LOCATION







## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

### SUBDIVISION PLAT REVIEW APPLICATION

Sub2022-0083

Project Information	Subdivision Name	JOHN H SHARY SUBDIVISION / PROPOSED BENTSEN VILLAGE SUBDIVISION		
	Location	On the west side of South Bentsen Road approximately 1,168 feet from West US Business 83		
	City Address or Block Number	420 S. BENTSEN RD.		
	Number of Lots	29	Gross Acres	2.983
		<small>R3T, R1 &amp; R3A</small>	Net Acres	
	Existing Zoning		Proposed Zoning	R3A
			Rezoning Applied for	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Existing Land Use	Vacant	Proposed Land Use	4-Plex
			Irrigation District #	HCID#1
		Replat	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Commercial <input type="checkbox"/> Residential <input type="checkbox"/>
	Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Rollback Tax Due	
	Parcel #	281096	Tax Dept. Review	MC
	Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	Other	
	Legal Description	2.681 acres, being a part or portion out of the abandoned canal R.O.W.m know as the "Old Edinburg Canal" that lies between the North and the South Line of Lot 198 and the South Line of Lot 208, John H. Shary Subdivision, according to the plat therefore recorded in Volume 1, Page 17, Hidalgo County Map Records. City of McAllen, Hidalgo County, Texas		
Owner	Name	Arnold R Gonzalez Jr		
	Address	814 Cimarron Drive		
	City	Mission	State	Texas
Developer	Name	Argo Construction		
	Address	2425 E 6th Street		
	City	Mission	State	Texas
	Contact Person	Arnold Gonzalez, Member		
Engineer	Name	Melden & Hunt, Inc.		
	Address	115 West McIntyre Street		
	City	Edinburg	State	Texas
	Contact Person	Mario A. Reyna, P.E.		
Surveyor	Name	Melden & Hunt, Inc.		
	Address	115 West McIntyre Street		
	City	Edinburg	State	Texas

RECEIVED

JUL 14 2022

Initial:

AM



8200-55068112

## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable


### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.14.2022

Print Name Mario A. Reyna, P.E.

Owner ☐

Authorized Agent ☒



VAR 2023-0005



City of McAllen

# Planning Department

## VARIANCE TO SUBDIVISION PROCESS APPLICATION

 311 North 15<sup>th</sup> Street  
 McAllen, TX 78501  
 P. O. Box 220

 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

Project

Legal Description

2.681 acres, being a part of portion out of the abandoned canal R.O.W. know as the "Old Edinburg Canal" that lies between the north and south line of Lot 198, and the south line of Lot 208, John H. Shary Subdivision, according to the plat thereof recorded in Volume 1, Page 17, Hidalgo County Map Records, City of McAllen, Hidalgo County, Texas.

Street Address

420 South Bentsend Road

Number of lots 29Gross acres 2.983Existing Zoning R-3TExisting Land Use Vacant

☒ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant

Name Argo ConstructionPhone (956) 600-3570Address 2425 E 6th StreetE-mail nono\_glz@hotmail.comCity MissionState TexasZip 78572

Owner

Name Arnold R Gonzalez JrPhone (956) 600-3570Address 814 Cimarron DriveE-mail nono\_glz@hotmail.comCity MissionState TexasZip 78572

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes☒ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Date March 02, 2023Print Name Mario A. Reyna, P.E.☐ Owner☒ Authorized Agent

Office

\*FOR OFFICE USE ONLY\*

APPLICATION FILING FEE:

☐ \$250.00Accepted by KF

Payment received by \_\_\_\_\_ Date \_\_\_\_\_

Rev 06/21

ENTERED

MAR 02 2023

Initial: NM





# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The owner is requesting in lieu of the required 60-foot ROW we have a 50 foot ROW with a the pavement being 40 feet for the proposed private subdivision. We will have an additional 10 foot of utility and sidewalk easement on either side. At the end of the single private street within the proposed subdivision, we are proposing a hammer head to allow fire apparatus traveling within the subdivision the ability to turn around, this is allowed by fire code.

2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

The variance is necessary so that we can utilize the most of the land while still keeping in requirements with all city departments requirements and standards. The developer will still meet the requirements for emergency vehicles while allowing the residents to enjoy their property. This will be a private subdivision and residents that reside within the subdivision will travel along the roadway. It is a single street subdivision with a total of 29 lots, 27 lots will be used for residential townhomes and 2 lots will be utilized for detention/common area.

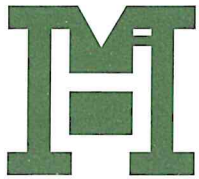
3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen. This subdivision will be a private subdivision and only residents residing within the gated community will navigate through the street.





TBPELS Firm # F-1435  
TBPELS # 10096900

# MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

March 02, 2023

Mr. Edgar Garcia, Planning Director  
**CITY OF MCALLEN PLANNING DEPARTMENT**  
311 N. 15<sup>TH</sup> Street  
McAllen, TX 78501

**Re: Bentsen Village Subdivision – Variance for Sect. 134-105 – Street requirements**

**Dear Mr. Garcia:**

On behalf of the developer, ARGO Construction, we respectfully request a variance to the following item:

1. Chap. 134. – Division 2- Specifications- Sec. 105

The developer is respectfully requesting a variance from the City of McAllen's Street Requirements. What is proposed is a single residential street with a 50-foot right-of-way with a 10-foot utility & sidewalk easement on each side running the length of the subdivision in lieu of the 60-foot required by the City of McAllen. We are proposing a 40-foot pavement section for the interior street with sidewalks 4 foot from back of curb and utilities running adjacent along the street. We are proposing a hammerhead at the end of the street to provide the required turn around for emergency vehicles.

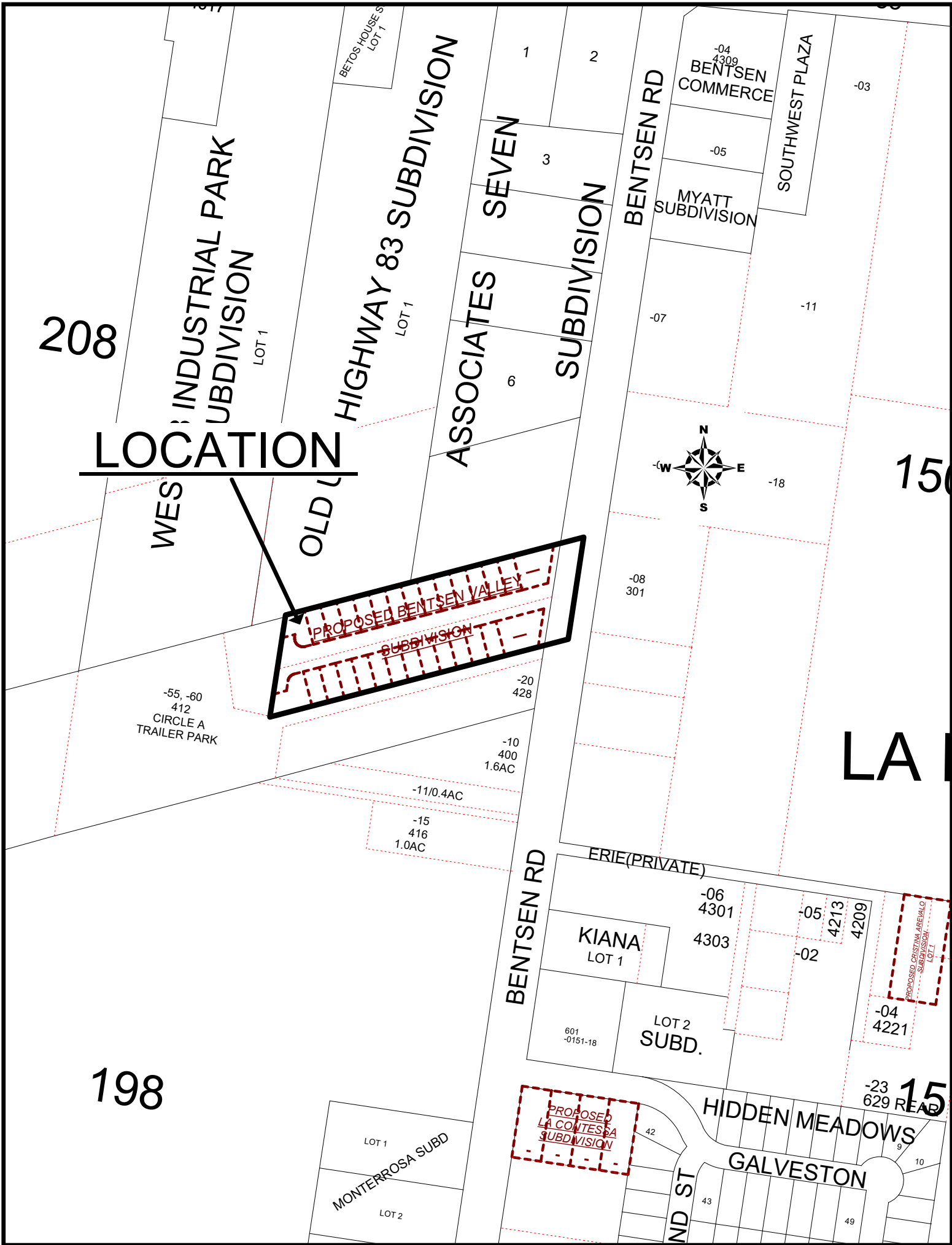
This variance request will not be detrimental to public safety, health or welfare and will not prevent the orderly subdivision of other land within the immediate area. The 50-foot right-of-way will also allow emergency vehicles the necessary means and time to respond to emergencies within the subdivision.

Please consider on this request at the next Planning & Zoning and advised us as soon as possible on your decision. If you have any questions or comments, please contact our office. Thank you.

Sincerely,  
MELDEN & HUNT, INC.

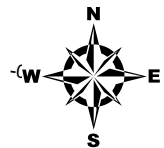
Mario A. Reyna, P.E.  
President





LOCATION

PROPOSED BENTSEN VALLEY SUBDIVISION



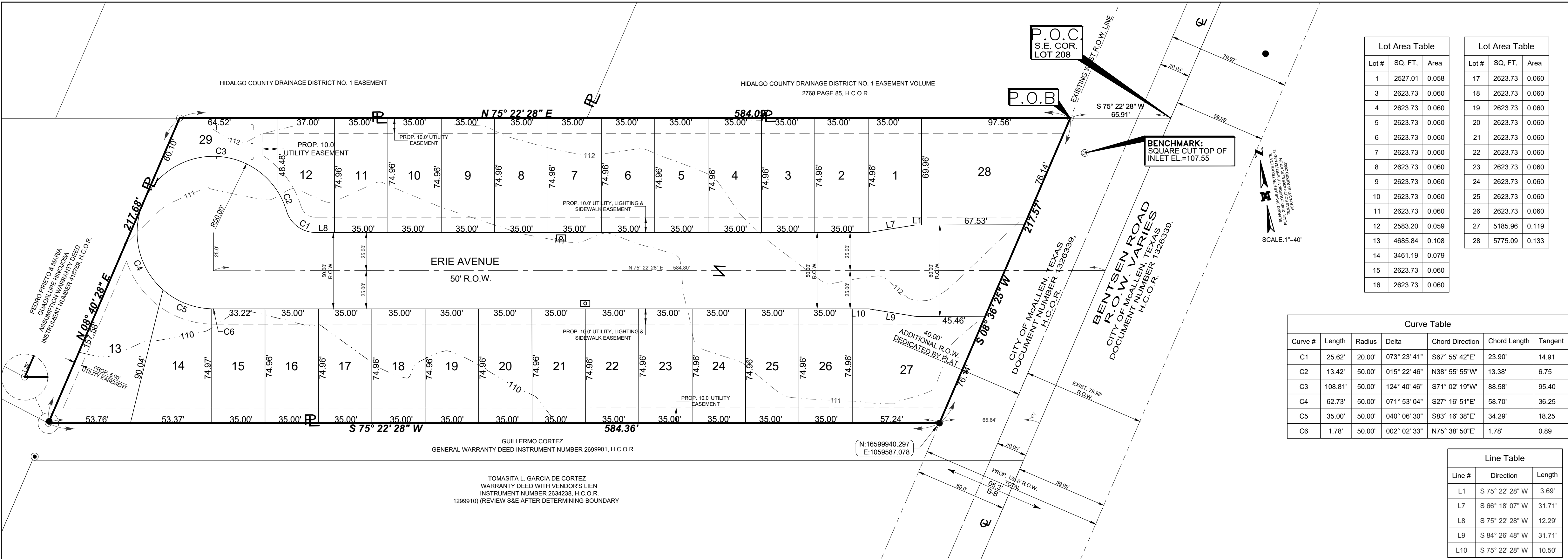
198

150

LA I

15





THE STATE OF TEXAS  
COUNTY OF HIDALGO

IWE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS BENTSEN VILLAGE SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SANITARY SEWER LINES, STORM SEWERS, FIRE HYDRANTS, PUBLIC PLACES, WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN AND REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREON OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

ARNOLDO R. GONZALEZ SR.  
814 CIMARRON DRIVE  
MISSION, TX. 78572

DATE

ARNOLDO R. GONZALEZ JR.  
814 CIMARRON DRIVE  
MISSION, TX. 78572

DATE

GUILLERMO A. CORTEZ  
814 CIMARRON DRIVE  
MISSION, TX. 78572

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARNOLDO R. GONZALEZ SR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ARNOLDO R. GONZALEZ JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GUILLERMO A. CORTEZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

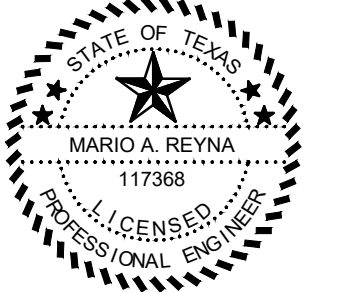
NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

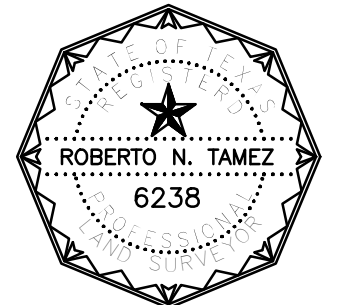
MARIO A. REYNA, PROFESSIONAL ENGINEER # 117368  
STATE OF TEXAS  
DATE PREPARED: 01-23-2023  
DATE REVISED: 07-14-2023  
ENGINEERING JOB NO. 22023.00



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF BENTSEN VILLAGE, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON: 04-22-2022, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ,  
REGISTERED PROFESSIONAL LAND SURVEYOR # 6238  
STATE OF TEXAS  
DATE SURVEYED: 04-22-22  
T-1047, PAGE 67  
SURVEY JOB NO. 22023.08



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT

SECRETARY

## SUBDIVISION MAP OF BENTSEN VILLAGE

BEING A SUBDIVISION OF 2.681 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF THE ABANDONED CANAL RIGHT-OF-WAY, KNOWN AS THE "OLD EDINBURG CANAL" THAT LIES BETWEEN THE NORTH LINE OF LOT 198 AND THE SOUTH LINE OF LOT 208, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS

### METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 2.681 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF THE ABANDONED CANAL RIGHT-OF-WAY, KNOWN AS THE "OLD EDINBURG CANAL" THAT LIES BETWEEN THE NORTH LINE OF LOT 198 AND THE SOUTH LINE OF LOT 208, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS, SAID 2.681 ACRES WERE CONVEYED TO ARNOLDO R. GONZALEZ, JR. A/K/A ARNOLDO ROLANDO GONZALEZ BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3200886, HIDALGO COUNTY OFFICIAL RECORDS, SAID 2.681 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING, AT THE SOUTHEAST CORNER OF SAID LOT 208, AND WITHIN THE EXISTING RIGHT-OF-WAY OF BENTSEN ROAD;

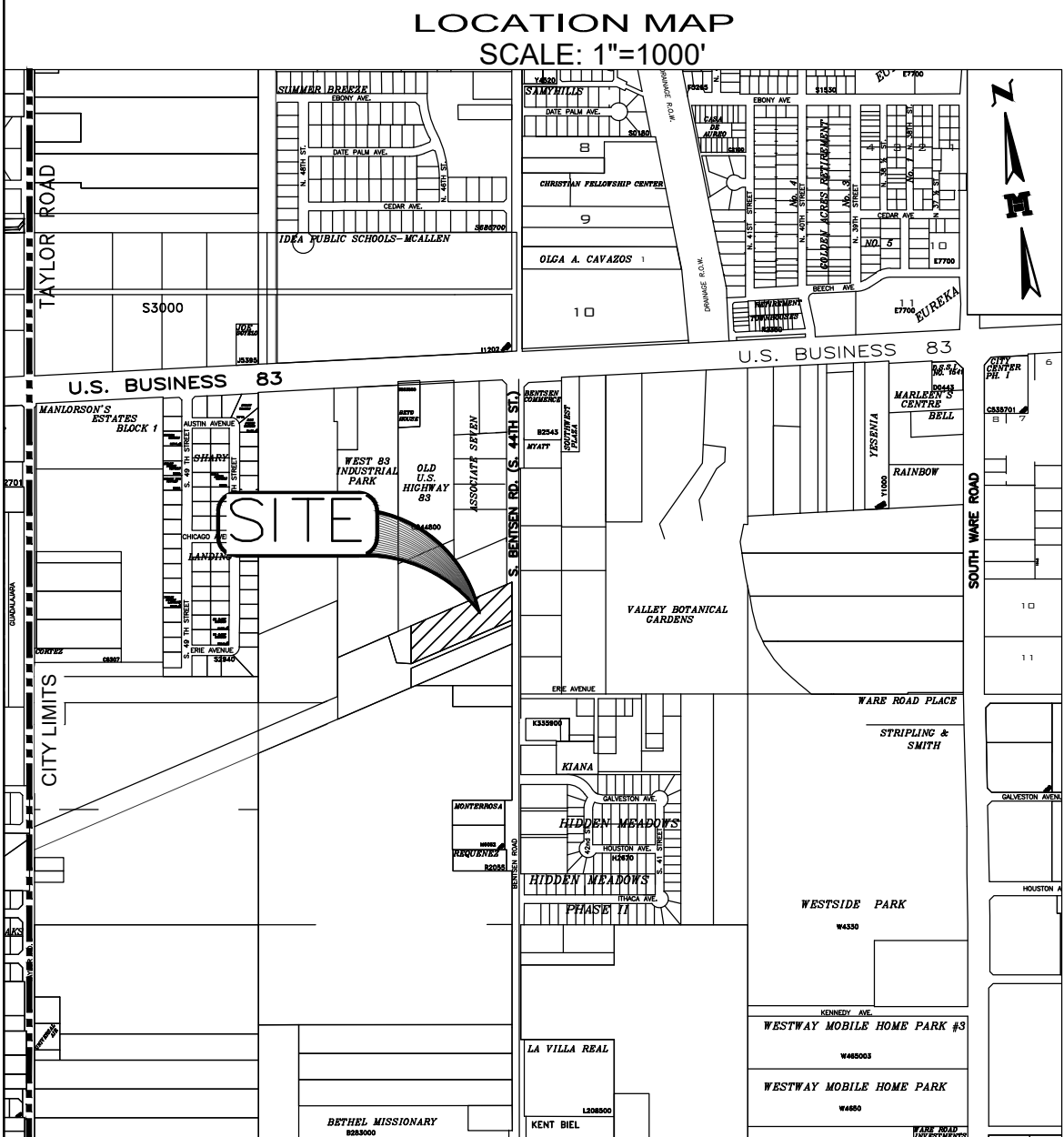
THENCE, S 75° 22' 28" W, ALONG THE SOUTH LINE OF SAID LOT 208, A DISTANCE OF 65.91 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF SOUTH BENTSEN ROAD, FOR THE POINT OF BEGINNING, AND THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 08° 36' 25" W, ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, A DISTANCE OF 217.57 FEET TO A NO. 4 REBAR FOUND AT THE SOUTHEASTERMOST NORTHEAST CORNER OF A CERTAIN TRACT CONVEYED TO GUILLERMO CORTEZ BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2899901, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, S 75° 22' 28" W, ALONG THE NORTH LINE OF SAID TRACT CONVEYED TO GUILLERMO CORTEZ, A DISTANCE OF 584.36 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 40' 28" E, ALONG THE EAST LINE OF A CERTAIN TRACT CONVEYED TO PEDRO PRIETO AND MARIA GUADALUPE HINOJOSA BY VIRTUE OF AN ASSUMPTION WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 416769, HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 1.29 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 217.68 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID LOT 208, FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, N 75° 22' 28" E, ALONG THE SOUTH LINE OF SAID LOT 208, A DISTANCE OF 584.09 FEET, TO THE POINT OF BEGINNING AND CONTAINING 2.681 ACRES OF LAND, MORE OR LESS.

DRAWN BY: R. DE JESUS DATE 07-17-23  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE

**M** **MELDEN & HUNT, INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX. 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com



### LEGEND

- FOUND No.4 REBAR
- FOUND No.5 REBAR
- FOUND PIPE
- FOUND 2" DISK
- SET NAIL
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- RIGHT OF WAY
- R.O.W. - HIDALGO COUNTY DEED RECORDS
- H.C.D.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
- S.W. COR. - SOUTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- G.W.D. - GENERAL WARRANTY DEED
- D.W.W. - DEED WITHOUT WARRANTY
- EXIST. - EXISTING
- DOC. NO. - DOCUMENT NUMBER
- W.D. - WARRANTY DEED
- S.W.D. - SPECIAL WARRANTY DEED
- JUDGEMENT NUN PRO TUNC
- W.D.W.V.L. - WARRANTY DEED WITH VENDORS LEAN
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- S.W. - SIDEWALK EASEMENT DEDICATED BY THIS PLAT
- E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- N.T.S. - NOT TO SCALE
- T.E. - TECHNOLOGY EASEMENT
- CL - CENTERLINE OF ROAD





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

SUBDIVISION NAME: BENTSEN VILLAGE SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. Bentsen Road: Proposing 40 ft. dedication for 120 ft. total ROW  Paving: 65 ft. Curb &amp; gutter: both sides  Revisions Needed:  -City of McAllen thoroughfare plan designates S. Bentsen Road, as a Minor arterial with 100 ft. of ROW. Clarify proposed dedications, as they exceed current requirements of 30ft of additional dedication for 50 ft. from centerline for 100 ft. Total ROW, finalize prior to final.  -Ensure that Centerline is presented correctly, review and revise as applicable prior to final.  -Staff is reviewing ROW requirements clarify the proposal shown prior to final.  -Remove "prop" from ROW labeling, prior to final.  -Remove reference to 65.3' B-B, prior to final.  *Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Erie Avenue (Interior Street): 60 ft. ROW  Paving: 40 ft. Curb &amp; gutter: both sides  Pending items:  - Proposing 50 ft.-60 ft. of ROW; Engineer submitted application March 02,2023, requesting that the ROW be reduced from 60 ft. to 50 ft., the Engineer has indicated that the paving width will remain at 40 ft., and will have an additional 10 ft. Utility and Sidewalk Easement on either side. Development staff has reviewed the request and indicated that if approved that a 10 ft. U.E and Sidewalk Easement be dedicated along the front of the lots as applicable.  -Need to submit an ownership map to assure no landlocked property exists, or if additional streets are required to provide street frontage to adjacent properties, prior to final. If additional streets are required or extension of proposed Erie Avenue, requirements will be applied accordingly and plat will have to be adjusted accordingly.  -Ensure that parcel of land at the end of Erie Avenue provides for 50 ft. of frontage, finalize prior to final  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____  *Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>* 1,200 ft. Block Length .  **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts  **Subdivision Ordinance: Section 134-118</p>	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



<p>* 600 ft. Maximum Cul-de-Sac. Pending Items: -Provide Cul-de-Sac details on plat, prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required. -Provide distance from S. Bentsen Rd. ROW to the back of Cul-De-Sac to verify compliance with 600 ft. block length requirements for Cul-de-Sacs, finalize prior to final. Detail may be provided on separate exhibit, finalize prior to final. *Engineer submitted application March 02,2023, requesting a variance to the Cul-De Sac requirements and proposing hammer head. As per plat submitted on March 17th, 2023, Cul-de-Sac being proposed, clarify proposed plat layout as it does not correspond to the submitted variance, clarify prior to final. As per updated plats submitted plat no longer presents hammer head turn around. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft. Revisions needed: - Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final. *As per Public Works Department requirements subdivision being processed with centralized location. **Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>* Front: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. ****Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. ****Zoning Ordinance: Section 138-356</p>	Applied
<p>* Interior Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. ****Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage:18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required along S. Bentsen Road and Both sides of all interior Streets. Revisions needed: -Revise note #7 as shown above prior to final. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. ***Please finalize plat note prior to final. ****Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



BUFFERS	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along S.Bentsen Road.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
NOTES	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along S. Bentsen Road.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>**Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development.</li> <li>***Zoning Ordinance: Section 138-21</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Proposing: Common areas, and detention pond must be maintained by lot owners and not the City of McAllen.</li> <li>Revisions Needed:</li> <li>-Finalize wording for note once subdivision requirements have been finalized. Finalize prior to final.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>***Section 110-72 applies if public subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 134-168 applies if private subdivision is proposed.</li> <li>****Section 110-72 applies if public subdivision is proposed.</li> <li>*****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>Pending Items:</li> <li>-Need to submit an ownership map to assure no landlocked property exists, or if additional streets are required to provide street frontage to adjacent properties, prior to final. If additional streets are required, additional requirements will be applied accordingly.</li> <li>-Ensure that parcel of land at the end of Erie Avenue provides for 50 ft. of frontage, finalize prior to final.</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Non-compliance

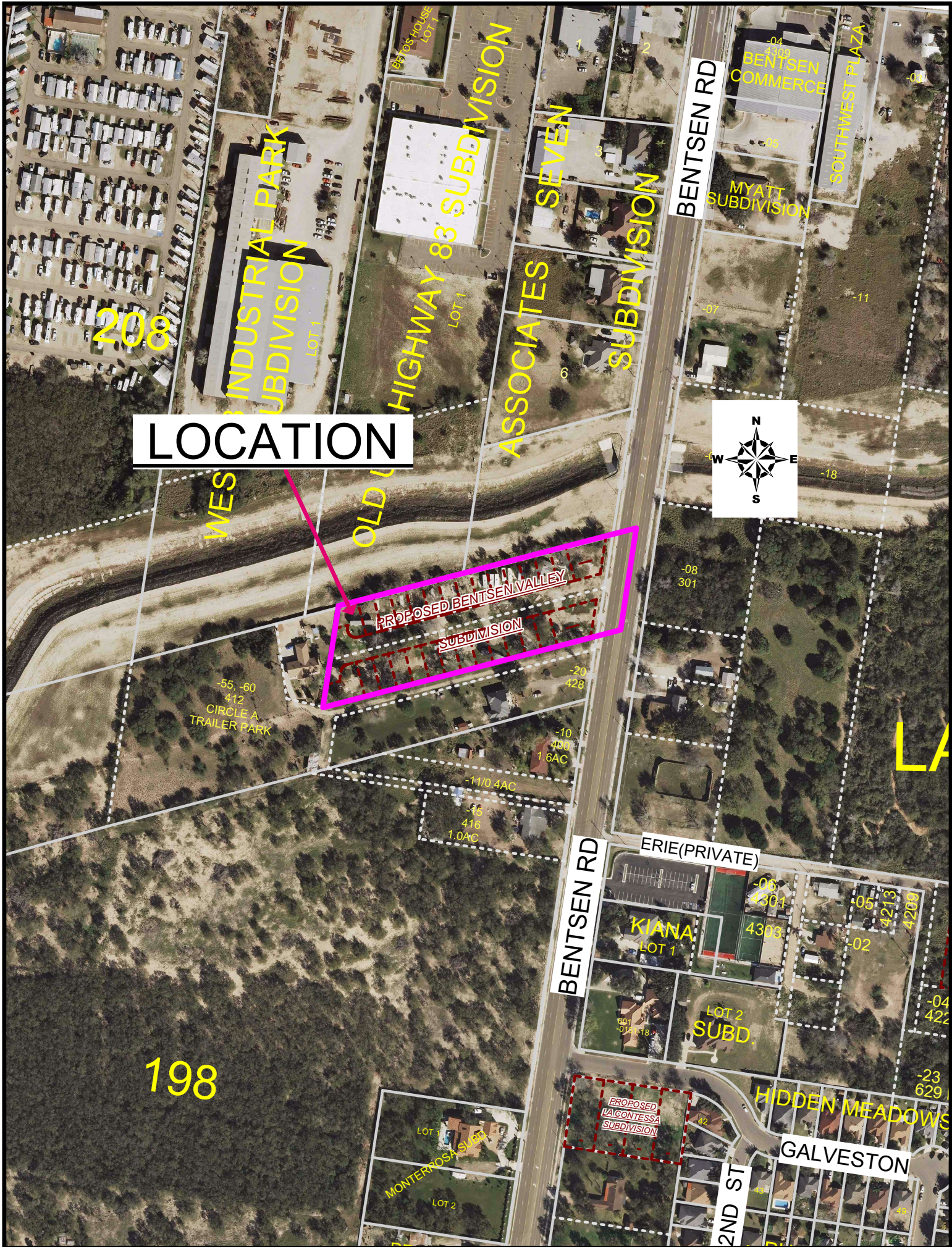
**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Compliance
<b>ZONING/CUP</b>	
* Existing: R3-T (Townhouse Residential) District Proposed:R3-T (Townhouse Residential) District ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **Proposed zoning is compliant with current zoning. ***If the use changes, rezoning will be required, prior to final. ****Zoning Ordinance: Article V	NA
<b>PARKS</b>	
* Land dedication in lieu of fee. As per R3-T plat submitted on March 17th,2023 there are 28 total lots proposed, lots 27 and 28 to be used for detention. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per dwelling unit and payable prior to plat recording. In this case fees amount to \$18,200. (26 X \$700). Fees are dependent on the number of units, so fees can go up or down.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per R3-T plat submitted on March 17th,2023 there are 28 total lots proposed, lots 27 and 28 to be used for detention. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per dwelling unit and payable prior to plat recording. In this case fees amount to \$18,200. (26 X \$700). Fees are dependent on the number of units, so fees can go up or down.	Required
* Pending review by City Manager's Office. As per R3-T plat submitted on March 17th,2023 there are 28 total lots proposed, lots 27 and 28 to be used for detention. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per dwelling unit and payable prior to plat recording. In this case fees amount to \$18,200. (26 X \$700). Fees are dependent on the number of units, so fees can go up or down.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip generation for 29 lot townhomes will be waived.	Complete
* Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip generation for 29 lot townhomes will be waived.	NA
<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy. **Need to submit an ownership map to assure no landlocked property exists, or if additional streets are required to provide street frontage to adjacent properties, prior to final. If additional streets are required, additional requirements will be applied accordingly.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED AND CLARIFICATION OF THE REQUESTED VARIANCE FOR THE INTERIOR STREET ROW.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**





LOCATION



PROPOSED BENTSEN VALLEY  
SUBDIVISION

BENTSEN RD

ERIE (PRIVATE)

KIANA  
LOT 1

LOT 2  
SUBD

HIDDEN MEADOWS

GALVESTON

2ND ST

MONTERROSA SUBD  
LOT 1  
LOT 2

INDUSTRIAL PARK  
SUBDIVISION  
LOT 1

HIGHWAY 83 SUBDIVISION  
LOT 1

ASSOCIATES SEVEN  
SUBDIVISION

MYATT  
SUBDIVISION

BENTSEN  
COMMERCE

SOUTHWEST PLAZA

-55, -60  
412  
CIRCLE A  
TRAILER PARK

-11/0.4 AC  
-10  
400  
1.6 AC  
-15  
416  
1.0 AC

-20  
428

-06  
4301

4363

-05  
4213

4209

-02

-04  
422

-23  
629

208

198



**City of McAllen**  
**Planning Department**

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

SUB2023-0087

Project Information	Subdivision Name	VILLAS AT NORTHGATE SUBDIVISION		
	Location	2,600 FEET WEST FROM THE INTERSECTION OF 10TH ST. AND NORTHGATE LN ON THE SOUTH RIGHT-OF-WAY OF NORTHGATE LN.		
	City Address or Block Number	1701 NORTHGATE LN		
	Number of Lots	13	Gross Acres	4.74
	Net Acres		ETJ	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning	R-1	Proposed Zoning	R-1
	Rezoning Applied for	<input type="checkbox"/> Yes <input type="checkbox"/> No Date		
	Existing Land Use	R-1	Proposed Land Use	R-1
	Irrigation District #	H.C.I.D. #2		
	Replat	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input type="checkbox"/> Residential <input checked="" type="checkbox"/>		
Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Estimated Rollback Tax Due	0.00			
Parcel #	162803			
Tax Dept. Review	[Signature]			
Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other			
Legal Description	BEING A 4.74 ACRES TRACT OF LAND OUT OF AND FORMING PART OR PORTION OF LOT 21, EBONY HEIGHTS CITRUS GROVES UNIT No. 1, RECORDED IN VOLUME 5, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS.			
Owner	Name	LOURDES GABRIELLA VELA		
	Address	6703 N. 11TH ST.		
	City	MCALLEN,	State	TEXAS
Developer	Name	LOURDES GABRIELLA VELA		
	Address	6703 N. 11TH STREET		
	City	MCALLEN	State	TEXAS
	Zip	78504		
	Contact Person	LOURDES GABRIELLA VELA		
Engineer	Name	IVAN GARCIA P.E., R.P.L.S.		
	Address	921 S. 10TH STREET		
	City	EDINBURG	State	TEXAS
	Zip	78539		
Surveyor	Name	IVAN GARCIA P.E., R.P.L.S.		
	Address	921 S. 10TH STREET		
	City	EDINBURG	State	TEXAS
	Zip	78539		







City of McAllen

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220

**Planning Department**  
**VARIANCE TO SUBDIVISION**  
**PROCESS APPLICATION**

McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

*11/20/23 - 0031*

<b>Project</b>	Legal Description	BEING A 4.112 ACRES TRACT OF LAND OUT OF AND FORMING PART OR PORTION OF LOT 20 AND 21, EBONY HEIGHTS CITRUS GROVES UNIT No. 1, RECORDED IN VOLUME 5, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 4.112 ACRES TRACT BEING THE SAME LAND DESCRIBED IN A WARRANTY DEED FROM MARIA DE LOURDES VELA AND HUSBAND, LUIS FABIAN VELA TO LOURDES GABRIELLA VELA, AND RECORDED IN DOCUMENT #3413477, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.	
	Street Address	<u>Villas At Northgate Subdivision</u>	
	Number of lots	<u>13</u>	Gross acres <u>4.112 ACRES</u>
	Existing Zoning	<u>R-1</u>	Existing Land Use <u>SINGLE FAMILY RESIDENTIAL</u>
<input type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required			
<b>Applicant</b>	Name	<u>RIO DELTA ENGINEERING</u>	Phone <u>(956) 380-5152</u>
	Address	<u>921 S. 10TH AVENUE</u>	E-mail <u>EDINBURG@RIODELTAENGINEERING.COM</u>
	City	<u>EDINBURG</u>	State <u>TX</u> Zip <u>78539</u>
<b>Owner</b>	Name	<u>LOURDES GABRIELLA VELA</u>	Phone _____
	Address	<u>6703 N. 11TH STREET</u>	E-mail _____
	City	<u>McALLEN</u>	State <u>TX</u> Zip <u>78504</u>
<b>Authorization</b>	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.		
	Signature	<u>[Signature]</u>	Date <u>11/3/23</u>
	Print Name	<u>Irish Garcia P.E., R.P.L.S.</u>	<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent
<b>Office</b>	*FOR OFFICE USE ONLY*		
	APPLICATION FILING FEE:	<input type="checkbox"/> \$250.00	
	Accepted by _____	Payment received by _____	Date _____
	Rev 06/21		







# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

THE CITY OF MCALLEN HAS ALREADY PREVIOUSLY ACQUIRED A PORTION OF THIS LAND FROM THE OWNER AND PROVIDED AMPLE RIGHT-OF-WAY FOR THE EXTENSION OF BICENTENNIAL BLVD. THE EXISTING RIGHT-OF-WAY IS CURRENTLY 80 FEET.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

ANY ADDITIONAL RIGHT-OF-WAY DEDICATION WOULD GREATLY LIMIT THE NUMBER OF LOTS WE CAN PROVIDE WITH THIS SUBDIVISION AND ULTIMATELY CREATE A HARDSHIP FOR THIS PROPERTY.

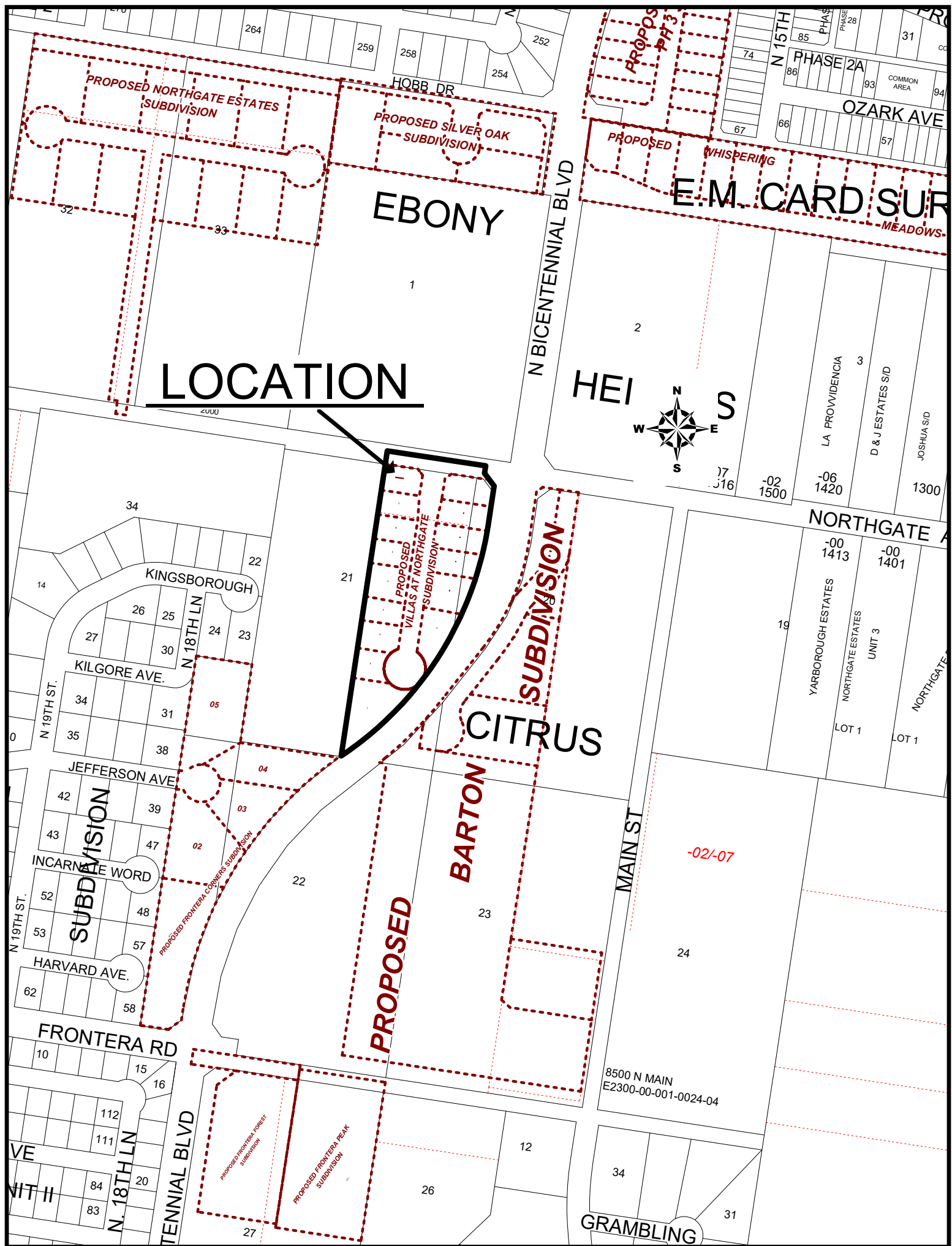
3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

BICENTENNIAL BLVD. ALREADY HAS A FULLY DEVELOPED 56' B-B CROSS-SECTION THAT INCLUDES SIDEWALKS ALONG IT'S WEST RIGHT-OF-WAY. ANY ADDITIONAL RIGHT-OF-WAY WOULD NOT SEEM NECESSARY.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

THIS VARIANCE WILL ONLY BE LIMITED TO THE FRONTAGE THIS PROPERTY HAS ALONG BICENTENNIAL BLVD. AND WILL NOT AFFECT ANY OTHER FUTURE DEVELOPMENTS IN THE AREA.













# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

### SUBDIVISION NAME: VILLAS AT NORTHGATE SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

Northgate Lane : Proposing 15 ft. dedication for 35 ft. from centerline for 70 ft. total ROW  
Paving: 44 ft. Curb & gutter: both sides

Revisions Needed:

- Label ROW from Centerline to new plat boundary, prior to final.
- Provide break down of exiting ROW on both sides of centerline prior to final.
- Label total ROW after accounting for dedication from center line as "Total", prior to final.,
- Include additional ROW being dedicated by this plat labeling and dimension along plat boundary as to ensure compliance with requirements as noted above, prior to final.
- Provide additional ROW details for corner clip area, prior to final.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

North Bicentennial Blvd.: Dedication as needed for 75ft. from centerline for 150 ft. Total ROW.  
Paving :65-105 ft. Curb & gutter Both Sides.

Revisions Needed:

- Include street name as shown above, prior to final.
- Provide full row details for North Bicentennial Blvd on both sides of centerline, to finalize ROW requirements, finalize prior to final.
- Clarify what appears to be a remnant tract along eastern plat boundary adjacent to North Bicentennial Boulevard prior to final, subdivision requirement subject to change once clarified, finalize prior to final. As per plat submitted on November 16th,2023 plat no longer exhibits what appeared to be a remnant tract.
- Verify alignment of existing N. Bicentennial Blvd to the North and South prior to final.
- Include total ROW Labeling with dimensions prior to final.
- Include document numbers on plat and provide any documents as applicable regarding any existing ROW dedications for N. Bicentennial Blvd.
- City of McAllen thoroughfare plan designates N. Bicentennial Blvd, as a Hi-Speed arterial with 150 ft. of total ROW. Current subdivision layout does not comply with required ROW dedication requirements. Engineer submitted a variance request to allow existing ROW to remain with no additional dedications by this plat.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>Interior Street: Dedication as needed for 50 ft. total ROW.  Paving: 32 ft. Curb &amp; gutter: Both Sides  *Plat dedication ranges proposes 50-60 ft. of total ROW dedication.  Revisions Needed:  -Street names will be established prior to final and plat will need to revised accordingly. Must include private reference after street name.  - As per plan submitted on August 9th ,2023 gate details submitted entrance exhibits 60 ft. of total ROW with islands, engineer must clarify pavement width on both sides of islands as 20 ft. of paving is required face to face on both sides, row subject to increase to accommodate paving, gate mechanisms, islands and 4 ft. sidewalk on both sides finalize gate area requirements as applicable prior to final  **Engineer must clarify if subdivision is proposed to be private as gate details were submitted, clarify prior to final. As per plat submitted on November 16th,2023 subdivision proposed to be Private.  ***The ROW for interior street is proposed to be adjacent to N. Bicentennial ROW. Clarify/revise the plat, since Internal street cannot have curb cut along N. Bicentennial and the buffer may not be placed on the ROW. Cul-De-Sac may have to be adjusted/moved to accommodate for improvements such as buffers. Finalize prior to final. As per plat submitted on November 16th,2023, plat appears to exhibit the necessary spacing to accommodate requirements as noted above.  ****As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, as per plat submitted on August 9th,2023 55 ft. total radius of ROW presented along Cul-de-Sac review and revise accordingly prior to final. As per plat submitted on November 16th,2023, plat appears to exhibit the necessary ROW to accommodate requirements as noted above.  *****Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  *****Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>Paving _____ Curb &amp; gutter _____  **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>* 1,200 ft. Block Length.  **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 900 ft. Block Length for R-3 Zone Districts.  **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac  **The ROW for interior street is proposed to be adjacent to N. Bicentennial ROW. Clarify/revise the plat, since Internal street cannot have curb cut along N. Bicentennial and the buffer may not be placed on the ROW. Cul-De-Sac may have to be adjusted/moved to accommodate for improvements such as buffers, finalize prior to final.  ***ROW at "Cul-de Sac" areas may have to be increased to comply with Fire Department requirements, finalize prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required. As per plat submitted on November 16th,2023, plat appears to exhibit the necessary ROW to accommodate requirements as noted above.  *****Subdivision Ordinance: Section 134-105</p>	Applied



<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision is proposed to be single-family residential. ***Subdivision Ordinance: Section 134-106	NA
<b>SETBACKS</b>	
* Front: 25 ft. or greater for easements. ***Zoning Ordinance: Section 138-356	Applied
* Rear: 10 ft. or greater for easements. ***Zoning Ordinance: Section 138-356	Applied
* Interior sides: 6 ft. or greater for easements. ***Zoning Ordinance: Section 138-356	Applied
* Corner: 10 ft. or greater for easements ***Zoning Ordinance: Section 138-356	Applied
* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356	Applied
* ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required along Northgate Lane, North Bicentennial Boulevard and both sides of all interior streets. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize wording for note prior to final. As per plat submitted on November 16th, 2023 plat exhibits 5 ft. in note requirements. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Northgate Lane and North Bicentennial Boulevard. **Subdivision buffers must be located out of the ROW. ***Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along Northgate Lane and North Bicentennial Boulevard. **As per Traffic Department, No individual access to Bicentennial Blvd or Northgate lane would be granted. ***Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



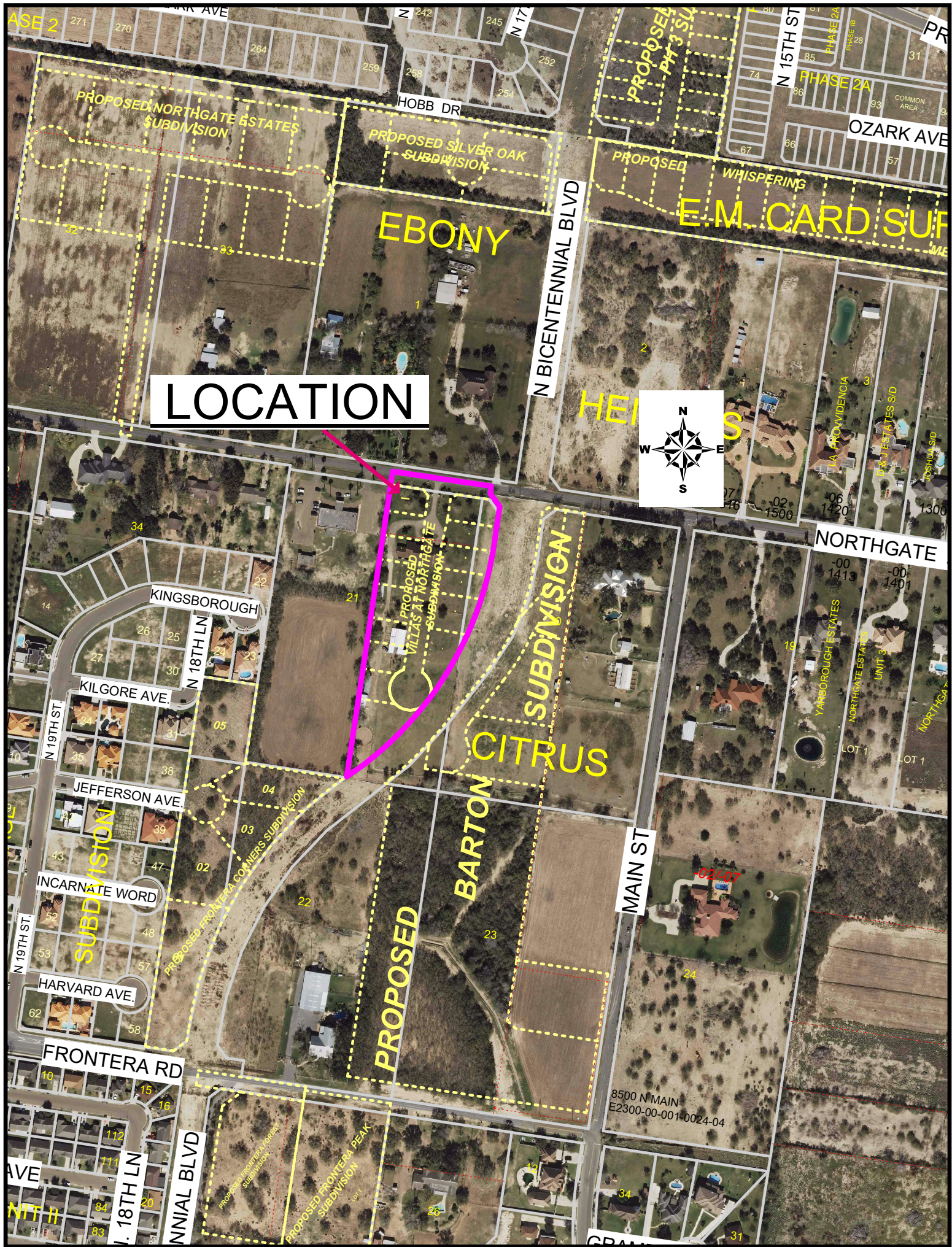
<p>* Common Areas, any private streets, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: -Revise note#15 as shown above, prior to final.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Non-compliance
	Required
	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	Compliance
	Compliance
<b>ZONING/CUP</b>	
<p>* Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval **Proposed zoning is compliant with current zoning. ***Zoning Ordinance: Article V</p>	Compliance
	NA
<b>PARKS</b>	
<p>* Land dedication in lieu of fee. As per plat submitted on August 9th,2023 a total of 13 lots proposed park fees total to \$9,100 (\$700 X13 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on August 9th,2023 a total of 13 lots proposed park fees total to \$9,100 (\$700 X13 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p> <p>* Pending review by the City Manager's Office. As per plat submitted on August 9th,2023 a total of 13 lots proposed park fees total to \$9,100 (\$700 X13 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p>	NA
	Required
	NA
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation for a 15-single family Lot Subdivision is waived.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> <p>** As per Traffic Department, Trip Generation for a 15-single family Lot Subdivision is waived.</p>	Compliance
	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



COMMENTS	
Comments: -Must comply with City's Access Management Policy. - Any abandonments must be done by separate process, not by plat. -As per plat submitted on November 16th,2023 subdivision proposed to be Private.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE APPROVAL AND CLARIFICATION OF THE REQUESTED VARIANCE FOR NORTH BICENTENNIAL BLVD.	Applied

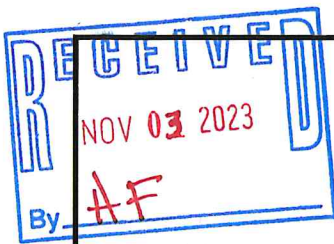




LOCATION







City of McAllen

SUB2023-0121

## Planning Department

311 NORTH 15<sup>TH</sup> STREET (956) 681-1250 (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

	Subdivision Name <u>PHARES SUBDIVISION LOT 5A</u>	
	Legal Description <u>BEING A 0.149 ACRES OF LAND OUT OF AND FORMING PART OR PORTION OF THE NORTH 34.00 FEET OF THE WEST 65.00 FEET OF LOT 5, PHARES SUBDIVISION, RECORDED IN VOLUME 1927, PAGE 314, MAP RECORDS OF HIDALGO COUNTY, TEXAS.</u>	
	Location <u>THE SUBDIVISION IS LOCATED AT THE NORTHEAST CORNER OF CEDAR AVENUE AND N. 22ND STREET</u>	
	City Address or Block Number <u>2128 CEDAR AVE</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>0.149</u> Net Acres <u>0.149</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial ( <u>    </u> Acres)/ <input checked="" type="checkbox"/> Residential ( <u>1</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-2</u> Proposed Zoning <u>R-2</u> Applied for Rezoning <input type="checkbox"/> No/ <input checked="" type="checkbox"/> Yes: Date <u>N/A</u>	
	Existing Land Use <u>SINGLE FAMILY RESIDENTIAL</u> Proposed Land Use <u>SINGLE FAMILY RESIDENTIAL</u>	
	Irrigation District # <u>1</u> Water CCN: <input type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other <u>    </u>	
	Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>186033 + 186034</u>	
	Estimated Rollback Tax Due <u>    </u> Tax Dept. Review <u>Marisela Rey</u>	
Owner	Name <u>JAVIER MARTINEZ &amp; MARIA P. HINOJOSA DE MARTINEZ</u>	Phone <u>    </u>
	Address <u>304 NORTH 22 STREET</u>	E-mail <u>JAVIER.MARTINEZJR@YAHOO.COM</u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>JAVIER MARTINEZ &amp; MARIA P. HINOJOSA DE MARTINEZ</u>	Phone <u>    </u>
	Address <u>304 NORTH 22 STREET</u>	E-mail <u>    </u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>JAVIER MARTINEZ</u>	
Engineer	Name <u>RIO DELTA ENGINEERING</u>	Phone <u>(956) 380-5152</u>
	Address <u>921 S. 10TH AVENUE</u>	E-mail <u>EDINBURG@RIODELTAENGINEERING.COM</u>
	City <u>EDINBURG</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>IVAN GARCIA P.E., R.P.L.S.</u>	
Surveyor	Name <u>RIO DELTA ENGINEERING</u>	Phone <u>(956) 380-5152</u>
	Address <u>921 S. 10TH AVENUE</u>	E-mail <u>EDINBURG@RIODELTAENGINEERING.COM</u>
	City <u>921 S. 10TH AVENUE</u> State <u>TX</u> Zip <u>78539</u>	



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents\*

\*Submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL\*

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

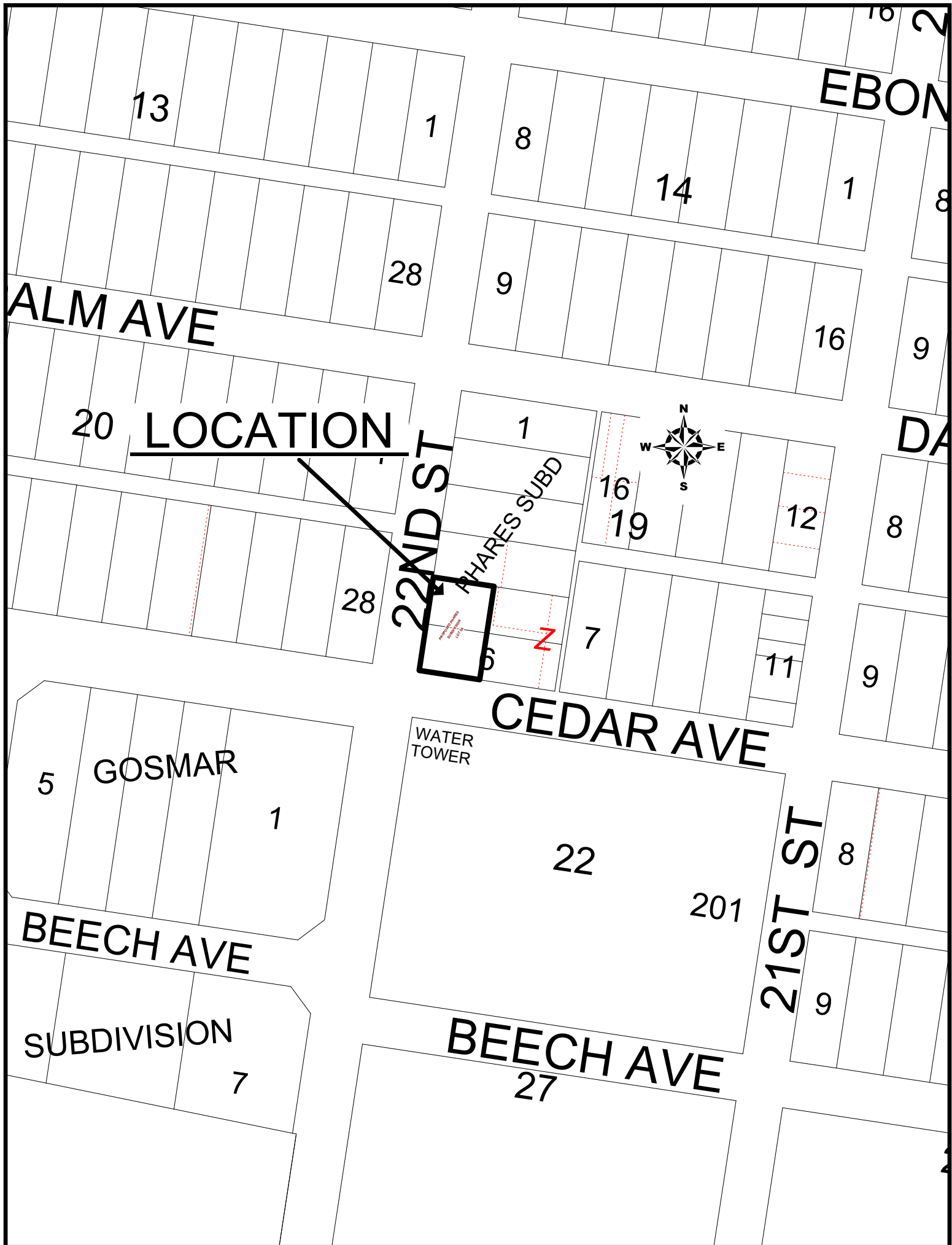
Signature \_\_\_\_\_ Date 11/2/23

Print Name Tuan Garcia P.E., R.P.L.S

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion





LOCATION

22ND ST

CEDAR AVE

21ST ST

BEECH AVE

BEECH AVE

EBON

DA

WATER  
TOWER

PHARES SUBD

GOSMAR

SUBDIVISION









# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: PHARES SUBDIVISION LOT 5A

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

N. 22nd Street: Dedication for 25 ft. from centerline for 50 ft. total ROW.  
Paving: 32 ft. Curb & gutter: Both Sides

Revisions Needed:

- Reference the document number on the plat for the existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review prior to final.

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are required prior to recording.

Non-compliance

Cedar Avenue: Dedication for 25 ft. from centerline for 50 ft. total ROW.

Paving: 32 ft. Curb & gutter: Both Sides

Revisions Needed:

-Revise street name as shown above were applicable, plat notes, etc. prior to final.

- Reference the document number on the plat for the existing ROW, adjacent to the subdivision boundary, and provide a copy for staff review prior to final.

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are required prior to recording.

Non-compliance

NA

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are required prior to recording.

\* 1,200 ft. Block Length.

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts.

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.

\*\*Subdivision Ordinance: Section 134-105

Compliance

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*As per application dated November 03,2023, proposed land use is single-family, service drive requirements will have to be reviewed as applicable if use changes.

\*\*Alley/service drive easement required for commercial and multi-family properties.

\*\*\*Subdivision Ordinance: Section 134-106

Applied

##### SETBACKS

\* Front: Proposing: 25 ft. or greater for easements.

Revisions needed:

-Clarify proposed setback , 20 feet is required as per Zoning Ordinance. Note should include reference to in line with average setbacks of existing structures once finalized. Finalize wording for note prior to final.

\*\*Zoning Ordinance: Section 138-356,138-367

\* Rear: 10 ft. or greater for easements.

\*\*Zoning Ordinance: Section 138-356

Non-compliance

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Sides: 6 ft. or greater for easements.</li> <li>Revisions needed: <ul style="list-style-type: none"> <li>- Revise front setback as shown above or clarify proposed setback prior to final.</li> </ul> </li> <li>*Proposing: 6 ft. except 10 ft. for easements.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Corner: 10 ft. or greater for easements.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: 18 ft. except where greater setback is required; greater setback applies</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Non-compliance
	Applied
	Applied
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on Cedar Avenue and N. 22nd Street.</li> <li>Revisions Needed: <ul style="list-style-type: none"> <li>-Revise note#8 as shown above, prior to final.</li> </ul> </li> <li>*Side walk requirements may increase to 5 ft. as per Engineering Department requirements, finalize wording for note prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</li> <li>Revisions Needed: <ul style="list-style-type: none"> <li>-Revise plat note#11 as shown above prior to final and clarify reference to N. 22nd Street.</li> </ul> </li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Non-compliance
	Applied
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>**Must comply with City Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>***Section 110-72 applies if public subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Applied
	NA
	NA
	NA
	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 134-168 applies if private subdivision is proposed.</li> <li>****Section 110-72 applies if public subdivision is proposed.</li> <li>*****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing:R-2(Duplex-Fourplex) District Proposed:R-2(Duplex-Fourplex) District</li> <li>*As per application dated November 03,2023, proposed land use is single-family, additional requirements regarding zoning and subdivision may be required if use changes.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per lot/dwelling unit and payable prior to plat recording. In this case fees amount to \$700 (1X \$700). Fees are dependent on the number of lots/dwelling units, so fees can go up or down.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation is waived for 1 single family residential.</li> </ul>	Completed
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> <li>** As per Traffic Department, Trip Generation is waived for 1 single family residential.</li> </ul>	Applied
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>*Must comply with City's Access Management Policy.</li> <li>*Any abandonments must be done by separate process, not by plat.</li> <li>*As per application dated November 03,2023, proposed land use is single-family, additional requirements regarding zoning and subdivision may be required if use changes.</li> <li>*Public hearing needed for residential replat.</li> </ul>	Applied
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



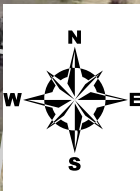


EBON

PALM AVE

LOCATION

22ND ST



CEDAR AVE

21ST ST

BEECH AVE

BEECH AVE

WATER TOWER

GOSMAR

SUBDIVISION

SHARES SUBD

PRODUCING SHARES  
SUNSHINE  
TOTAL AREA  
10.5 AC

201

27

22

28

9

8

14

16

9

20

28

16  
19

12

8

11

9

5

1

8

9

7

13

1

1

16

2





City of McAllen

SUB2023-0175

Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	M.J. Terrace		
	Legal Description	A 1.313 acre tract more or less out of Lots 175 and 176, Pride O' Texas Subdivision, Hidalgo County, Texas.		
	Location	Bentsen Road and Mile 6 Road		
	City Address or Block Number	9318 N. BENTSEN RD		
	Total No. of Lots	1	Total Dwelling Units	
	Gross Acres	1.313	Net Acres	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated/ <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (Acres)/ <input type="checkbox"/> Residential (1 Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	Existing Zoning ETJ Proposed Zoning ETJ Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date			
	Existing Land Use Residential Proposed Land Use Residential			
Owner	Irrigation District #	HCID #1	Water CCN:	<input type="checkbox"/> MPU/ <input checked="" type="checkbox"/> Sharyland Water SC Other
	Agricultural Exemption:	<input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No		
	Parcel #	P8500-00-000-0175-00		
	Estimated Rollback Tax Due	not in city limits Tax Dept. Review MR		
Developer	Name	Michelle Scurlock	Phone	(956) 329-0898
	Address	9318 N. Bentsen Road	E-mail	mscurlock@gmail.com
	City	McAllen	State	TX Zip 78504
	Contact Person	Michelle Scurlock		
Engineer	Name	Quintanilla, Headley & Associates, Inc.	Phone	(956) 381-6480
	Address	124 E. Stubbs St.	E-mail	office@qha-eng.com
	City	Edinburg	State	TX Zip 78539
	Contact Person	Alfonso Quintanilla, P.E.		
Surveyor	Name	Quintanilla, Headley & Associates, Inc.	Phone	(956) 381-6480
	Address	124 E. Stubbs St.	E-mail	office@qha-eng.com
	City	Edinburg	State	TX Zip 78539





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

*Michelle Scurlock*

Date

*8/28/23*

Print Name

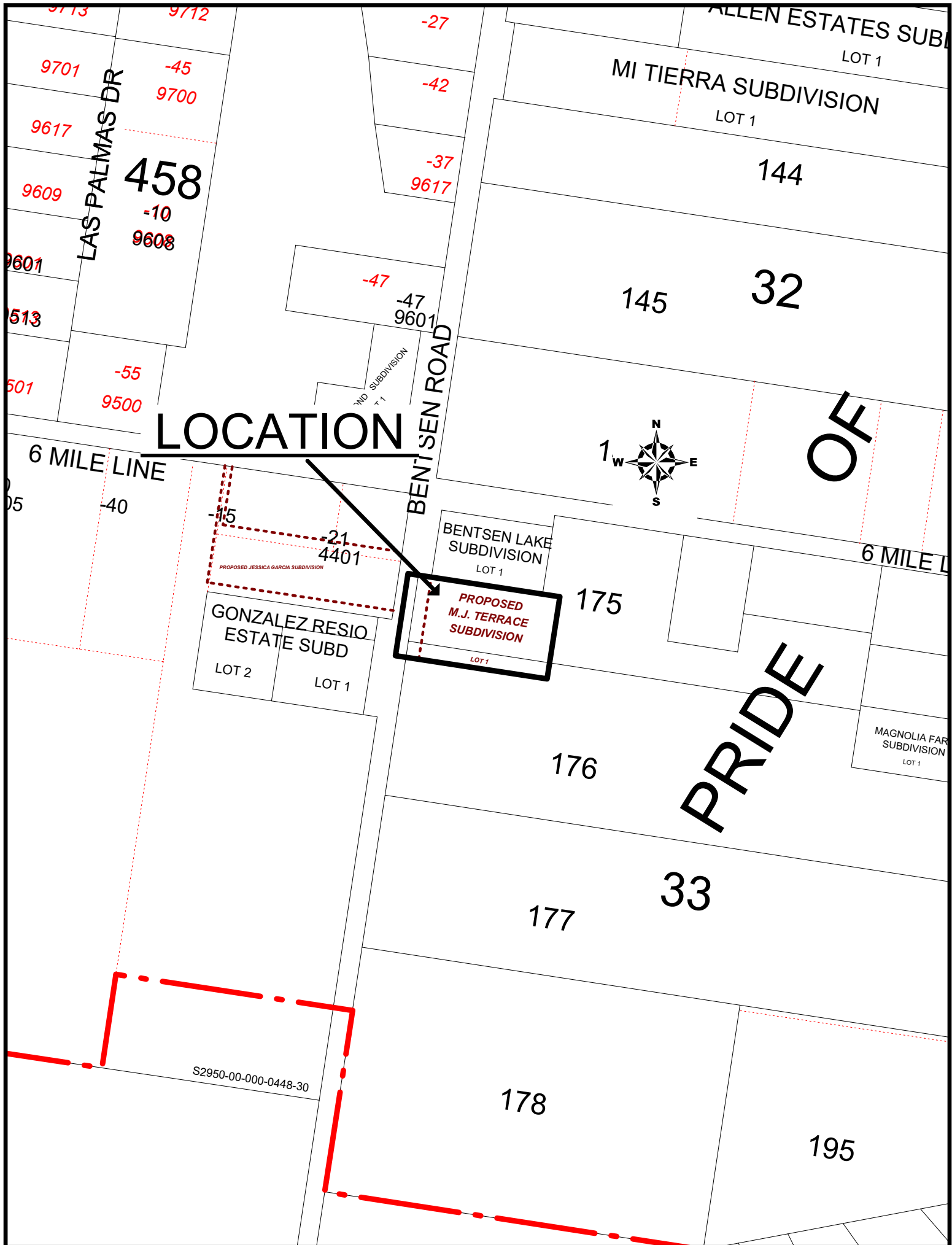
*Michelle Scurlock*

Owner ☒

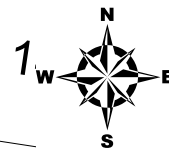
Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application





LOCATION



OF


PRIDE

S2950-00-000-0448-30



**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**

---

 <p><b>CONSULTING ENGINEERS</b>          124 E. STUBBS ST.          EDINBURG, TEXAS 78539          ENGINEERING REGISTRATION NUMBER F-1513          SURVEYING REGISTRATION NUMBER 100411-00</p>	<p><b>LAND SURVEYORS</b>          PHONE 956-381-6480          FAX 956-381-0527          ALFONSO@QHA-ENG.COM</p>
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# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: M.J. TERRACE

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

North Bentsen Road: 20 ft. dedication for 50 ft. from centerline for 100 ft. of total ROW  
Paving: 65 ft. Curb & gutter: Both sides

Revisions Needed:

- Revise street name as shown above, prior to final.
- On plat clarify if additional ROW is being "dedicated by this plat", prior to final
- Label Total ROW after accounting for dedication prior to final.
- Clarify if there are any existing dedications along this plat boundary done by separate instrument, prior to final. Any existing dedication should be reference by document number on plat with a copy provided for staff review prior to final. Once clarified ROW requirements will have to be reviewed as to ensure compliance with requirement as noted above.
- Please submit ownership map of surrounding properties, to verify that no landlocked properties exist or will be created and if additional streets should be required as applicable, finalize prior to final.

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

\* 1,200 ft. Block Length.

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts.

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.

\*\*Subdivision Ordinance: Section 134-105

Non-compliance

NA

NA

Compliance

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <p>*Subdivision currently ETJ if annexed, service street requirements will have to be reviewed and may apply to this development.</p> <p>**Service Street: In residential subdivisions which have lots abutting major or minor arterials or major collectors, the residences on such lots shall not face the major or minor arterial or major collector, unless: There shall be provided, in addition to any front setback, a 20-foot planting area (as defined in chapter 110, article II, Landscaping) between such lot and the major or minor arterial or major collector; If rear garbage pickup and/or rear access are not available to such lot, there shall be placed a service street, in addition to the planting area described in subsection (d)a.1., between the front lot line of such lot, and such planting area. Such service street shall also be at least 20 feet wide, and built to city plans and specifications by the developer, finalize service street requirements prior to final.</p> <p>***Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front: 45.00 ft. or in line with average setbacks of existing structures or greater for easements, whichever is greater applies.</p> <p>Revisions Needed:</p> <p>-Revise note as shown above, prior to final.</p> <p>** Proposing: 25ft. or greater for easements, whichever is greater applies.</p> <p>***Subdivision Ordinance: Section 134-106</p> <p>****Zoning Ordinance: Section 138-356, 138-367</p> <p>* Rear: 10.00 ft. or greater for easements, whichever is greater applies.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Sides: 6.00 ft. or greater for easements, whichever is greater applies.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Corner: 10.00 ft. or greater for easements, whichever is greater applies.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Garage: 18.00 ft. except where greater setback is required, greater setback applies.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Applied
	Applied
	Applied
	Applied
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on North Bentsen Road.</p> <p>Revisions needed:</p> <p>-Include sidewalk note as shown above, prior to final.</p> <p>***Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize wording for note prior to final.</p> <p>**Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Non-compliance
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</p> <p>Revisions needed:</p> <p>-Include note as shown above, prior to final.</p> <p>**Landscaping Ordinance: Section 110-46</p>	Non-compliance



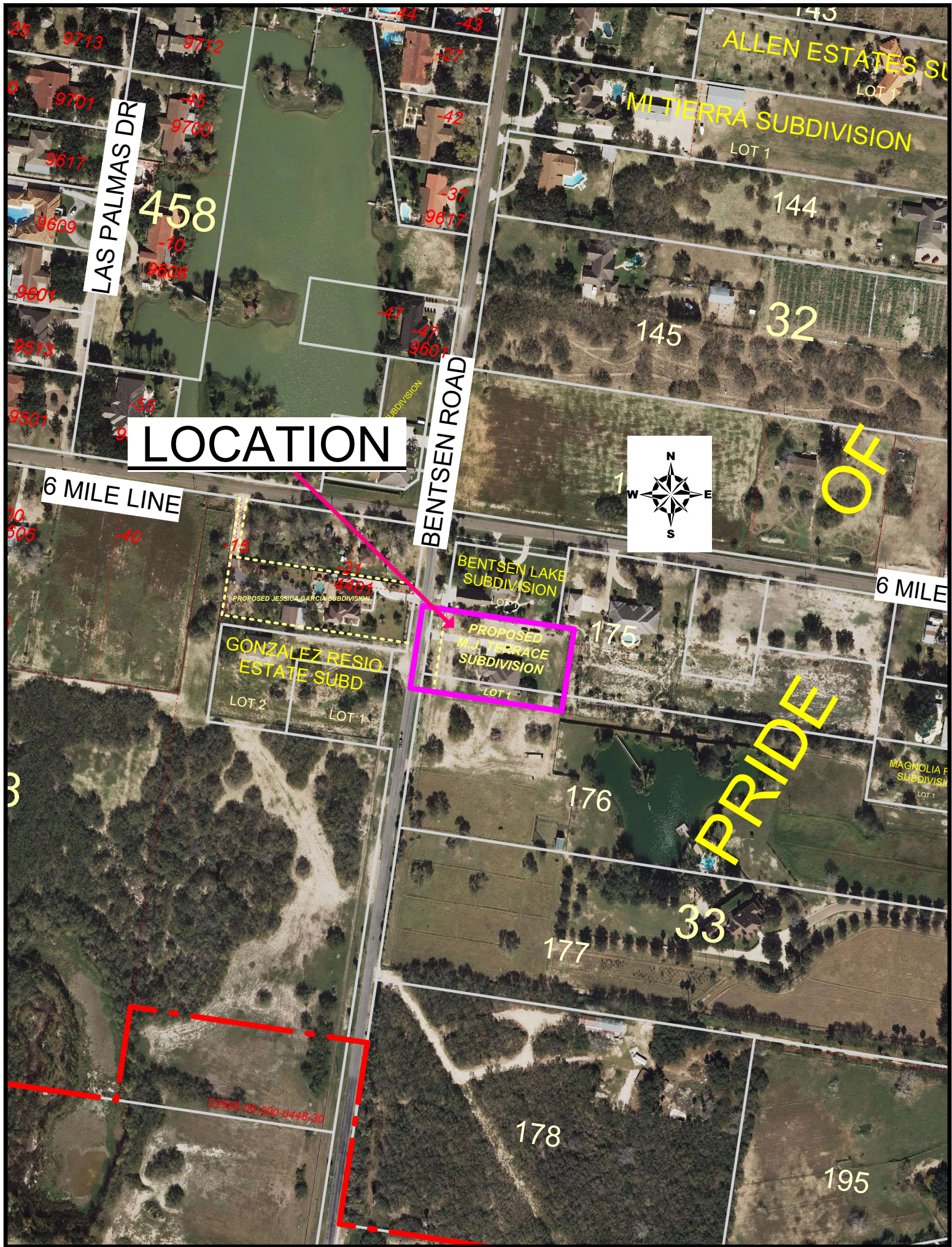
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>Revisions needed:</li> <li>-Include note as shown above, prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Non-compliance
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>**Must comply with City Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>***Section 110-72 applies if public subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 134-168 applies if private subdivision is proposed.</li> <li>****Section 110-72 applies if public subdivision is proposed.</li> <li>*****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Applied
	NA
	NA
	NA
	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>**Subdivision Ordinance: Section 134-1</li> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: (Extraterritorial jurisdiction) Proposed:(Extraterritorial jurisdiction)</li> <li>**As per application dated November 8th,2023 proposed land use is single-family.</li> <li>Pending Items:</li> <li>- Engineer must clarify annexation status as zoning requirements must be finalized prior to final.</li> <li>-Subdivision requirements subject to change once zoning requirements are finalized.</li> <li>***Zoning Ordinance: Article V</li> <li>* Rezoning Needed Before Final Approval</li> <li>Pending Items:</li> <li>- Engineer must clarify annexation status as zoning requirements must be finalized prior to final.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Required
	TBD

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



PARKS	
* Land dedication in lieu of fee.As per Parks Department, per application dated November 8th,2023 proposed one lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final.	TBD
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.As per Parks Department, per application dated November 8th,2023 proposed one lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final.	TBD
* Pending review by the City Manager's Office. As per Parks Department, per application dated November 8th,2023 proposed one lot single-family subdivision is not within City limits,(ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed. Engineer must clarify annexation status prior to final.	TBD
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	Applied
COMMENTS	
Comments: <ul style="list-style-type: none"> <li>- Must comply with City's Access Management Policy.</li> <li>- Any abandonments must be done by separate process, not by plat.</li> <li>- Engineer must clarify annexation status as zoning requirements must be finalized prior to final. Subdivision requirements subject to change once zoning requirements are finalized.</li> <li>-Please submit ownership map of surrounding properties, to verify that no landlocked properties exist or will be created and if additional streets should be required as applicable, finalize prior to final.</li> </ul>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, DRAINAGE, & UTILITY APPROVALS.	Applied





LAS PALMAS DR

458

LOCATION

6 MILE LINE

BENTSEN ROAD



GONZALEZ RESIO ESTATE SUBD

LOT 2

LOT 1

BENTSEN LAKE SUBDIVISION

LOT 1

PROPOSED M.J. TERRACE SUBDIVISION

LOT 1

MITIERRA SUBDIVISION

LOT 1

ALLEN ESTATES SUBD

LOT 1

MAGNOLIA F SUBDIVISION

LOT 1

PRIDE

OF

SP250-CD-000-0448-20





City of McAllen

Planning Department

SUB 2023-0122

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	Dos Lobos I Subdivision				
	Legal Description	BEING A 1.86 ACRE TRACT OUT OF LOT 4, SECTION 12, HIDALGO CANAL COMPANY'S SUBDIVISION VOLUME Q, PAGE 177, HIDALGO COUNTY,				
	Location					
	City Address or Block Number	1721 TRENTON RD				
	Total No. of Lots	1	Total Dwelling Units			
	Gross Acres	1.86	Net Acres			
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No					
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial ( 1.86 Acres)/ <input type="checkbox"/> Residential ( ___ Lots) Replat: <input type="checkbox"/> Yes/ <input type="checkbox"/> No					
	Existing Zoning	C-1	Proposed Zoning	C-1		
	Applied for Rezoning	<input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____				
Existing Land Use	vacant					
Proposed Land Use	Office Space					
Irrigation District #	HCWD#3	Water CCN:	<input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____			
Agricultural Exemption:	<input type="checkbox"/> Yes/ <input type="checkbox"/> No		Parcel #	189772		
Estimated Rollback Tax Due	N/A		Tax Dept. Review	NPG		
Owner	Name	DOS LOBOS UNA META, LLC		Phone	956-533-5776	
	Address	1720 W. MAPLE AVE.		E-mail	RONNIE@THESTRUCTURETEAM.COM	
	City	MCALLEN	State	TX	Zip	78504
Developer	Name	DOS LOBOS UNA META, LLC		Phone	956-533-5776	
	Address	1720 W. MAPLE AVE.		E-mail	RONNIE@THESTRUCTURETEAM.COM	
	City	MCALLEN	State	TX	Zip	78504
	Contact Person	RONNIE CAVASOS				
Engineer	Name	RIO DELTA ENGINEERING		Phone	956-380-5152	
	Address	921 S. 10TH STREET		E-mail	RIODELTA2004@YAHOO.COM	
	City	EDINBURG	State	TEXAS	Zip	78539
	Contact Person	IVAN GARCIA P.E., R.P.L.S.				
Surveyor	Name	RIO DELTA ENGINEERING		Phone	956-380-5152	
	Address	921 S. 10TH STREET		E-mail	RIODELTA2004@YAHOO.COM	
	City	EDINBURG	State	TEXAS	Zip	78539

KF





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents\*

\*Submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL\***

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 11/6/13

Print Name Ivan G. Gons

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

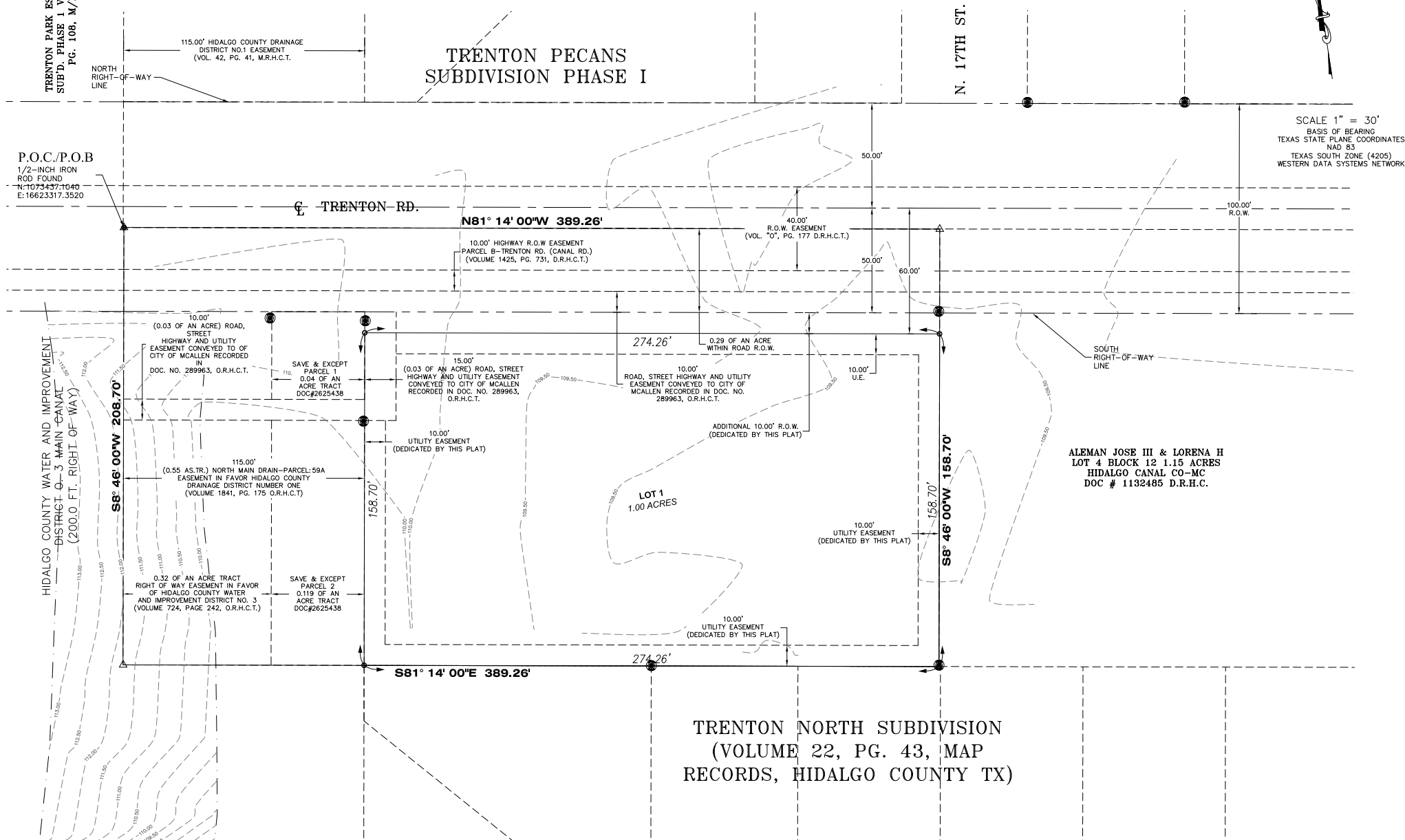








SCALE 1" = 30'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK







# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/16/2023

### SUBDIVISION NAME: DOS LOBOS I SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Trenton Road: Dedication as required for 60 ft. from centerline for 120 ft. total ROW  
Paving: 65-85 ft. Curb & gutter: both sides  
Revisions needed:  
- If 100 ft. is the existing ROW label it accordingly prior to final.  
- Provide a copy of the referenced documents for staff review prior to final.  
- Clarify how a portion of the 0.03 acres road, street, highway, and utility easement has been shown as part of Lot 1. Review and revised as applicable prior to final. Any abandonment must be done by a separate instrument and referenced on the plat.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording  
\*\*COM Thoroughfare Plan

Non-compliance

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

Applied

\* 900 ft. Block Length for R-3 Zone Districts

\*\*Subdivision Ordinance: Section 134-118

NA

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*Alley/service drive easement required for commercial properties

Revisions needed:

- Revise plat note 13 as follows: A minimum 24 ft. wide private service drive easement will be established as part of the site plan and will be maintained by the lot owner and not the City of McAllen.

\*\*Subdivision Ordinance: Section 134-106

Non-compliance

##### SETBACKS

\* Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater.

\*\*Zoning Ordinance: Section 138-356 & Sec 138-367

Applied

\* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater.

\*\*Zoning Ordinance: Section 138-356

Applied

\* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater.

\*\*Zoning Ordinance: Section 138-356

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Corner (proposed): In accordance with the Zoning Ordinance or greater for easements or in line with existing structures, or approved site plan, whichever is greater</li> <li>- Clarify/remove the corner setback written on the plat as the property does not seem to be a corner lot.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage _____</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Non-compliance
	NA
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on Trenton Avenue.</li> <li>Proposed: 5 ft. wide minimum sidewalk required along Trenton</li> <li>Revisions needed: <ul style="list-style-type: none"> <li>- Add "Avenue" at the end of plat note #8 prior to final.</li> <li>- Clarify if 5 ft. wide sidewalk is required by the Engineering Department prior to final.</li> </ul> </li> <li>**Engineering Department may require 5 ft. wide minimum sidewalk prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
	Applied
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>**Must comply with City Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Applied
	Applied
	Applied
	Applied
	NA
	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-1 Proposed: C-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. Application submitted on November 6, 2023, proposes a commercial development. Park fees do not apply to commercial lots unless the use is changed to residential.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Application submitted on November 6, 2023, proposes a commercial development. Park fees do not apply to commercial lots unless the use is changed to residential.	NA
* Pending review by the City Manager's Office. Application submitted on November 6, 2023, proposes a commercial development. Park fees do not apply to commercial lots unless the use is changed to residential.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Provide a copy of the referenced documents for staff review prior to final. - Clarify how a portion of the 0.03 acres road, street, highway, and utility easement has been shown as part of Lot 1. Review and revised as applicable prior to final. Any abandonment must be done by a separate instrument and referenced on the plat. - The dimensions and bearings on the metes and bounds, survey, and plat do not match. Review and revise as applicable prior to final. - The closing arrows on the south side of the subdivision do not match the written dimension. Review and revise prior to final. - The subdivision boundary must show the whole subdivision dimension. The east boundary does not show the fill dimension. Review and revise the dimension and closing arrows prior to final. - Add the legal description of all adjacent lots on all sides prior to final, including the lots on the north side of Trenton Road (Lots numbers and subdivision name needed) - The legend is not complete. Review and add any missing symbols on it prior to final. - Clarify the dashed line at the entrance of N. 17th Street prior to final. - On vicinity map, clarify/remove the bold line along N. Bicentennial Blvd. prior to recording. - Owner's signature block references private subdivision and Auburn Ave. Review and revise prior to recording. - All signature blocks must comply with Sec. 134-61 of the subdivision ordinance prior to recording. *Must comply with City's Access Management Policy.	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied









City of McAllen

SUB2023-0084

Planning Department

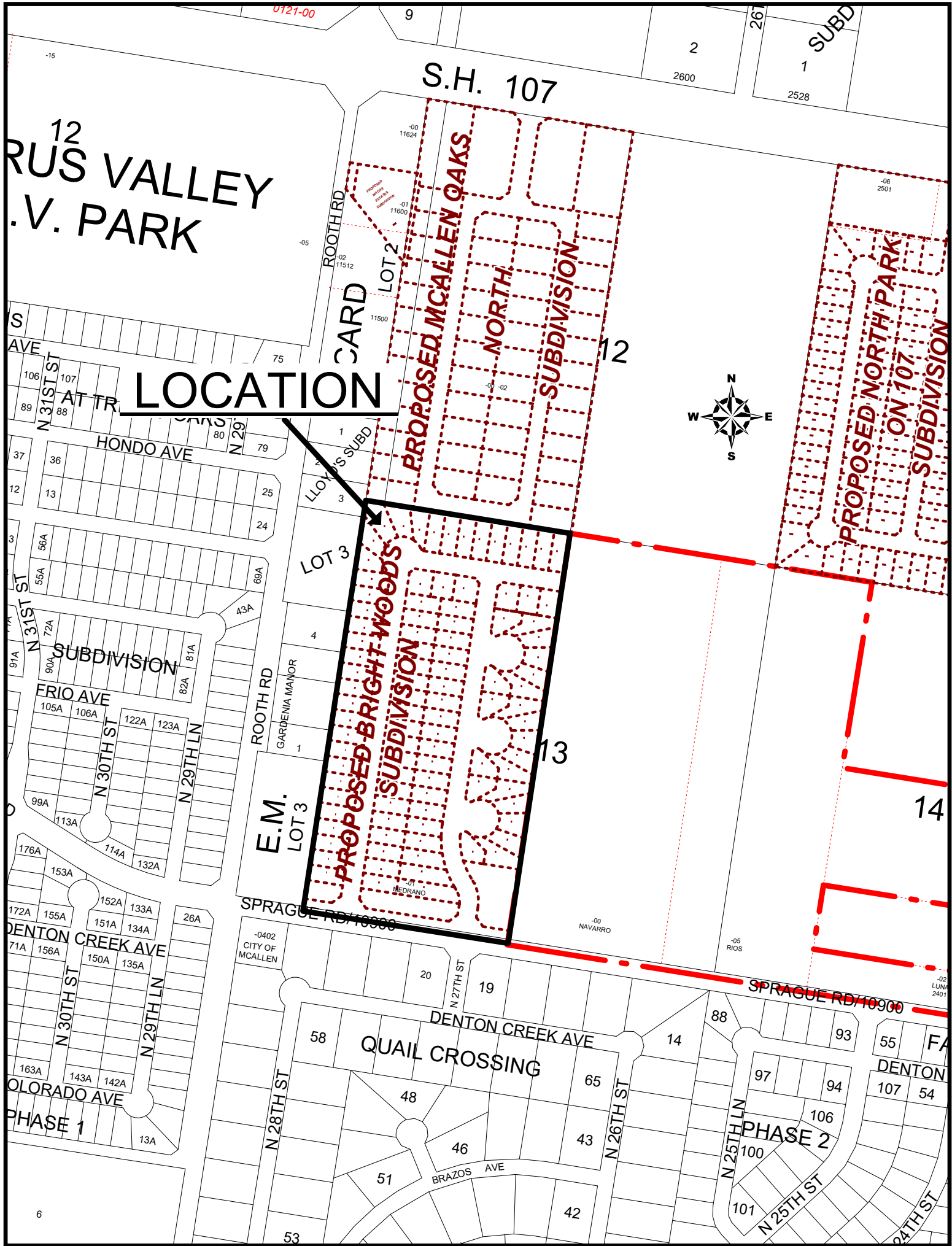
311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	Bright Woods Subdivision				
	Location	North side of Sprague St W, Approximately 300 feet east of N 29th St				
	City Address or Block Number	2700 SPRAGUE RD				
	Number of Lots	99	Gross Acres	19.94		
	Net Acres	18.09	ETJ	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Existing Zoning	R-3A	Proposed Zoning	R-3A		
	Rezoning Applied for	<input type="checkbox"/> Yes <input type="checkbox"/> No		Date	N/A	
	Existing Land Use	OPEN LAND	Proposed Land Use	DUPLEX	Irrigation District #	HCID1
	Replat	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Commercial		Residential	
	Agricultural Exemption	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Estimated Rollback Tax Due	N/A		
Parcel #	297743	Tax Dept. Review	Not in city Limits			
Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	Other				
Legal Description	A 19.946-ACRE (20.0 ACRES RECORDED) OF LAND, BEING OUT OF THE WEST HALF OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS.					
Owner	Name	Christina Sifuentes as Independent Executrix for the Estate of Teresa L. Medrano		Phone	956-648-1367	
	Address	4935 E. IOWA RD.		E-mail	hummingbird72@aol.com	
	City	Edinburg	State	TX	Zip	78542
Developer	Name	Star Trail Holdings, LLC		Phone	956-207-4913	
	Address	1007 Sycamore Ave.		E-mail	ireneuribe00@yahoo.com	
	City	McAllen	State	TX	Zip	78501
	Contact Person					
Engineer	Name	S2 ENGINEERING PLLC		Phone	956-403-9787	
	Address	2020 E GRIFFIN PKWY		E-mail	S2ENGINEERING.NS@GMAIL.COM	
	City	MISSION	State	TEXAS	Zip	78574
	Contact Person	JOSE NOE SALDIVAR P.E., C.F.M.				
Surveyor	Name	HOMERO GUTIERREZ R.P.L.S.		Phone	956-369-0988	
	Address	P.O. BOX 548		E-mail	homero_gutierrez@sbcglobal.net	
	City	MCALLEN	State	TEXAS	Zip	78501











STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW AND COMMENTS UNDER THE AUTHORITY OF JOSE N. SALDIVAR P.E. DATE: 11/08/23  
IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, AND/OR PERMIT PURPOSES.

Preliminary

JOSE N. SALDIVAR, P.E., C.F.M.  
LICENSED PROFESSIONAL ENGINEER No. 94076  
S2 ENGINEERING, PLLC  
2020 E. GRIFFIN PARKWAY  
MISSION, TEXAS 78574

STATE OF TEXAS  
COUNTY OF HIDALGO

I, RESTITUTO A. ASCANO III, A REGISTERED PROFESSIONAL LAND SURVEYOR IN TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF THE BRIGHT WOODS SUBDIVISION WAS PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON

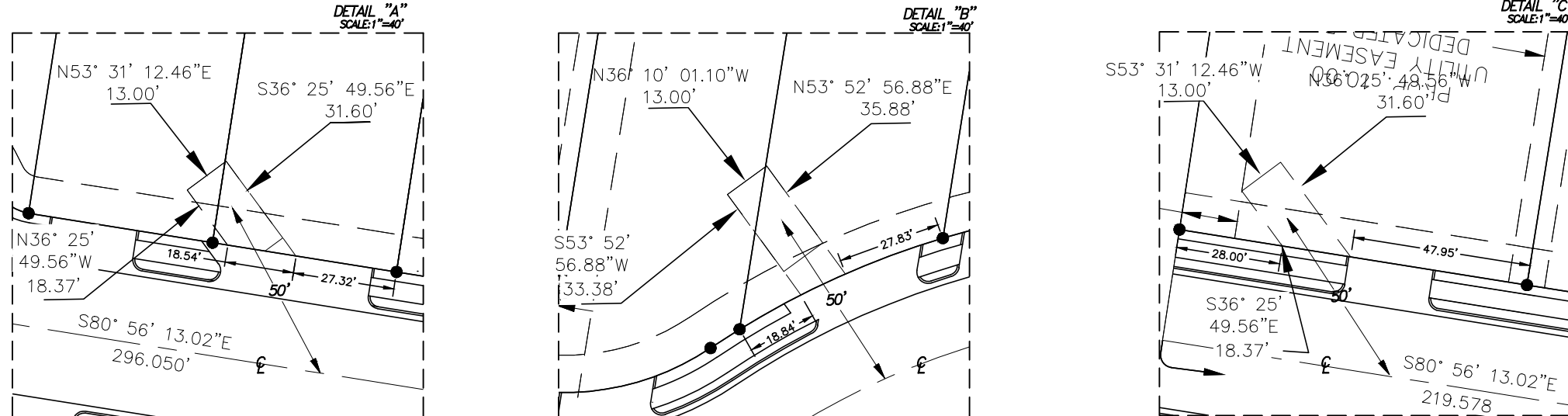
PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone
OWNER: IRENE URIBE MANRIQUE	1007 SYCAMORE AVE	MCALLEN, TEXAS, 78501	(956)207-4913
ENGINEER: JOSE N. SALDIVAR P.E., C.F.M.	2020 E. GRIFFIN PARKWAY	MISSION, TEXAS 78574	(956)403-9787
SURVEYOR: HOMERO GUTIERREZ R.P.L.S.	P.O. BOX 548	MCALLEN, TEXAS 78505	(956)369-0988

SUBDIVISION PLAT OF:

# BRIGHT WOODS SUBDIVISION

A 19.946-ACRE TRACT (20.0 ACRES RECORDED) OF LAND, BEING OUT OF THE WEST HALF OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168 - 171, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS.



**S2 ENGINEERING, PLLC**  
CIVIL ENGINEERING & LAND SURVEYING  
TBPE F-22858 TBLs 10194796

2020 E. GRIFFIN PARKWAY  
MISSION TEXAS, 78574  
PHONE (956) 403-9787

INDEX OF SHEETS				
SHEET 1:- HEADING; INDEX: LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION TRASH BIN ESMT DETAILS; SURVEYOR'S AND ENGINEER'S CERTIFICATION.				
SHEET 2:- HEADING; INDEX: LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; LEGAL DESCRIPTION (METES AND BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNERS' DEDICATION, CERTIFICATION, AND ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. NO.1 CERTIFICATION; REVISION NOTES.				
NO.	SHEET	REVISION	DATE	APPROVED



PLAT NOTES OF:  
**BRIGHT WOODS**  
**SUBDIVISION**

A 19.946-ACRE TRACT (20.0 ACRES RECORDED) OF LAND, BEING OUT OF THE WEST HALF OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168 - 171, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 19.946-ACRE TRACT (20.0 ACRES RECORDED) OF LAND, BEING OUT OF THE WEST HALF OF LOT 13, SECTION 280, TEXAS-MEXICAN RAILWAY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168 - 171, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS, AND AS DESCRIBED IN WARRANTY DEED VIA DOCUMENT NO. 28721 RECORDED IN VOLUME 1467, PAGES 710 - 711, IN THE HIDALGO COUNTY DEED RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED ON THE NORTH SIDE OF SPRAGUE ROAD APPROXIMATELY 220 FEET EAST OF ROTH ROAD, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A POINT ON THE APPARENT EXISTING CENTERLINE OF A 40-FOOT RIGHT-OF-WAY OF SAID SPRAGUE ROAD FOR THE APPARENT SOUTHWEST CORNER OF SAID LOT 13 AND OF SAID 19.946-ACRE TRACT, AND ALSO BEING THE POINT OF BEGINNING (P.O.B.) OF SAID 19.946-ACRE TRACT OF LAND HEREIN DESCRIBED:

THENCE, NORTH 08 DEGREES 52 MINUTES 04.93 SECONDS EAST, WITH THE APPARENT WEST LOT LINE OF SAID LOT 13, AND OF SAID 19.946-ACRE TRACT, A DISTANCE OF 20.00 FEET PASSED A NO. 4 REBAR FOUND ON THE APPARENT EXISTING NORTH RIGHT-OF-WAY LINE OF SAID SPRAGUE ROAD (N: 16636090.35, E: 1070980.1720), CONTINUING FOR A TOTAL DISTANCE OF 1,320.00 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT NORTHWEST CORNER OF SAID 19.946-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 80 DEGREES 55 MINUTES 40.88 SECONDS EAST, ALONG AN EXISTING 4-FOOT CONCRETE IRRIGATION CANAL TO THE RIGHT OF, AND WITH THE APPARENT NORTH LOT LINE OF SAID LOT 13 AND OF SAID 19.946- ACRE TRACT, A DISTANCE OF 657.30 FEET TO A NO. 4 REBAR FOUND FOR THE APPARENT NORTHEAST CORNER OF SAID 19.946-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 08 DEGREES 45 MINUTES 00.54 SECONDS WEST, WITH THE APPARENT EAST LOT LINE OF SAID 19.946-ACRE TRACT, A DISTANCE OF 1, 1,299.91 FEET PASSED A NO. 4 REBAR FOUND ON THE SAID SPRAGUE ROAD EXISTING NORTH RIGHT-OF-WAY LINE, CONTINUING FOR A TOTAL DISTANCE OF 1,319.91 FEET TO A POINT ON THE SAID SPRAGUE ROAD 40-FOOT RIGHT-OF-WAY CENTERLINE FOR THE APPARENT SOUTHEAST CORNER OF SAID 19.946- ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 80 DEGREES 56 MINUTES 13.02 SECONDS WEST, WITH THE SAID SPRAGUE ROAD 40-FOOT RIGHT-OF-WAY CENTERLINE, AND THE APPARENT SOUTH LOT LINE OF SAID LOT 13 AND OF SAID 19. 946-ACRE TRACT, A DISTANCE OF 659.97 FEET FOR THE APPARENT SOUTHWEST CORNER OF SAID 19.946-ACRE TRACT OF LAND HEREIN DESCRIBED, AND BEING THE POINT OF BEGINNING (P.O.B.), CONTAINING A GROSS OF 19.946 ACRES OF LAND, OF WHICH 0.303 OF AN ACRE LIES IN EXISTING ROAD RIGHT-OF-WAY, AND SAVE & EXCEPT 0.4527 OF AN ACRE IN HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 CANAL RIGHT-OF-WAY, FOR A NET OF 19.190 ACRES, MORE OR LESS.

GENERAL NOTES:

1. FLOOD ZONE STATEMENT:

FLOOD ZONE DESIGNATION: ZONE "X"

ZONE "X" AREAS (UNSHADED), AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN. ACCORDING TO COMMUNITY-PANEL NO. 480334 0325 D, MAP REVISED: MAY 17, 2001.

2. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE.

3. SETBACKS:

FRONT: 20.00 FEET OR GREATER FOR EASEMENT  
FRONT SETBACKS FOR LOTS 36, 44, 45, 51, 52, AND 58 SHALL BE LOT LINE FACING STREET.  
REAR: 10 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
SIDE CORNER: 10 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
INTERIOR SIDES: 6 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN  
CORNER: 10 FT. OR GREATER FOR EASEMENTS OR SITE PLAN.  
CORNER SET BACKS FOR LOTS 38,44, 45, 51, 52 AND 58 SHALL BE 20.00 FEET.  
GARAGE: 18 FT. EXCEPT WHEREVER GRATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.

4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE \_\_\_\_\_ CUBIC FEET STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON SITE VIA A DETENTION POND WITH A CAPACITY OF \_\_\_\_\_ CUBIC FEET WATER WILL THEN DISCHARGE THROUGH AN 24 BLEEDER LINE INTO AN EXISTING CITY OF McALLEN STORM SEWER NETWORK LOCATED ON THE NORTH ROAD RIGHT-OF-WAY OF SPRAGUE RD.

5. CITY OF McALLEN BENCHMARK: "MC 68" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK LINN ON OCTOBER 06 1999 BEING LOCATED ON NORTHEAST CORNER OF THE INTERSECTION OF JACKSON ROAD & EL DORA ROAD 20 ALUM PIPE WITH 3 ½ BRASS MONUMENT CAP ON TOP AT ELEVATION=1111.23 NORTHING \_\_\_\_\_ EASTING \_\_\_\_\_ (NAVDB8).

6. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.

7. 5FT WDE MINIMUM SIDEWALK REQUIRED ALONG THE NORTH SIDE OF SPRAGUE ROAD AND 4FT WDE MINIMUM SIDEWALK REQUIRED ALONG BOTH SIDES OF ALL INTERNAL STREETS.

8. 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.

9. AN 8 FT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL INDUSTRIAL OR MULTIFAMILY RESIDENTIAL ZONES/USES.

10. A 25FT X 25 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.

11. COMMON OR DETENTION AREAS ANY PRIVATE STREET/ALLEYS AND/OR GATES MUST BE MAINTAINED BY THE PROPERTY OWNERS/HOA AND NOT THE CITY OF McALLEN.

12. NO CURB CUT ACCESS OR LOT FRONTAGE PERMITTED ALONG SPRAGUE ROAD.

13. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR THE BRIGHT WOODS SUBDIVISION RECORDED UNDER DOCUMENT NUMBER \_\_\_\_\_, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSOR AND/OR ASSIGNS, AND NO THE CITY OF McALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL & VOID.

14. COMMON LOTS IDENTIFIED AS DETENTION AREAS SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION, BRIGHT WOODS SUBDIVISION HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNEES, AND NOT BY THE CITY OF McALLEN, NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERCTED IN COMMON LOTS, WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREAS, AFTER COMMON LOTS TRANSFER OF TITLE TO THE BRIGHT WOODS SUBDIVISION HOMEOWNER'S ASSOCIATION THE SUBDIVISION LOT OWNERS'S PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE BRIGHT WOODS SUBDIVISION HOMEOWNER'S ASSOCIATION FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(D). AS THE SAME MAY BE AMENDED THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOTS THE OWNER'S MAINTENANCE OBLIGATION, AND CONVEYANCE AS A DEED RESTRICTION RECORDED IN INSTRUMENT NO. \_\_\_\_\_ OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

15. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEER DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.

STATE OF TEXAS  
CITY OF McALLEN  
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THIS BRIGHT WOODS SUBDIVISION PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

CHAIRMAN OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS  
CITY OF McALLEN  
MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY TAHT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE:

CITY SECRETARY DATE:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE  
GENERAL MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1

ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SUBJECT TO RIGHTS OF WAY/EASEMENTS AS PER RECORD(S) IN

VOLUME \_\_\_\_\_, PAGE \_\_\_\_\_MAP RECORDS, HIDALGO COUNTY, TEXAS

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT ATTEST SECRETARY

STATE OF TEXAS  
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE), THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE BRIGHT WOODS SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

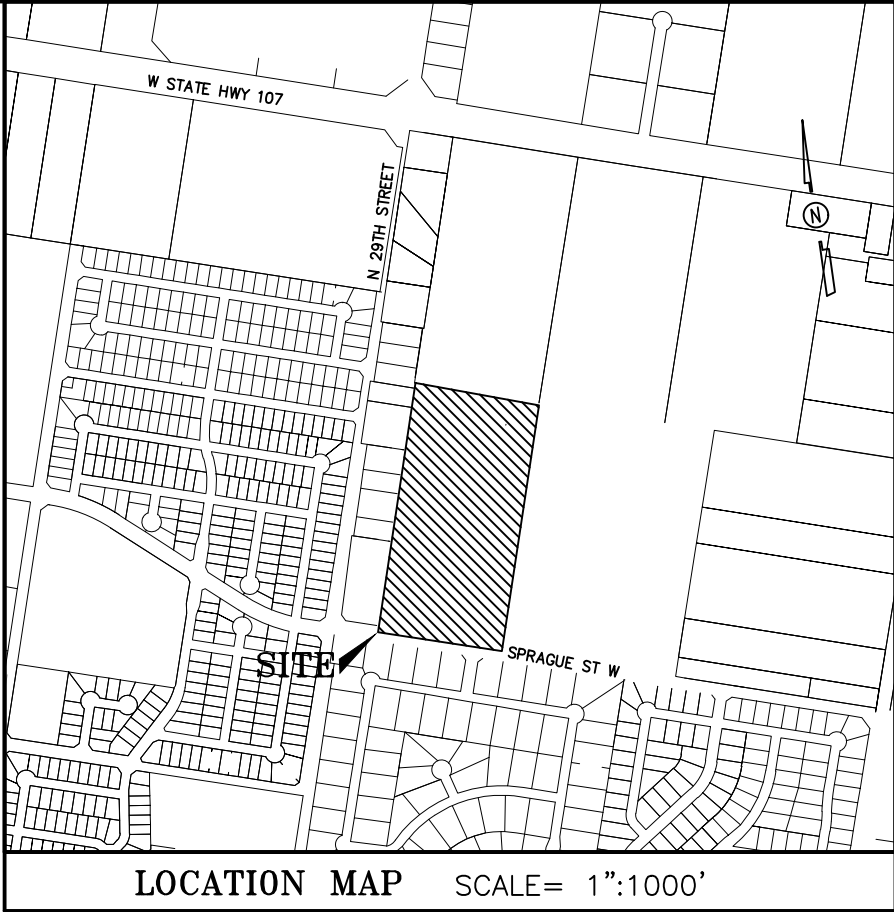
IRENE URIBE MANRIQUE, PRESIDENT DATE:  
STAR TRAIL HOLDINGS, LLC.  
1007 SYCAMORE AVE.  
McALLEN, TX 78501

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED IRENE URIBE MANRIQUE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

DATE MY COMMISSION EXPIRES



STATE OF TEXAS  
COUNTY OF HIDALGO

I, RESTITUTO A. ASCANO III, A REGISTERED PROFESSIONAL LAND SURVEYOR IN TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF THE BRIGHT WOODS SUBDIVISION WAS PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON \_\_\_\_\_



Preliminary  
RESTITUTO A. ASCANO III, RPLS DATE  
R.P.L.S. No. 6225

STATE OF TEXAS  
COUNTY OF HIDALGO

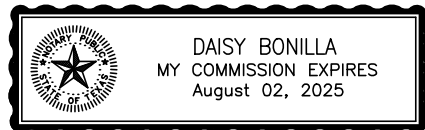
I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW AND COMMENTS UNDER THE AUTHORITY OF JOSE N. SALDIVAR, P.E. ON 11/08/23 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, AND/OR PERMIT PURPOSES.

Preliminary  
JOSE N. SALDIVAR, P.E. , C.F.M.  
LICENSED PROFESSIONAL ENGINEER No. 94076  
52 ENGINEERING, PLLC.  
2020 E. GRIFFIN PARKWAY  
MISSION, TEXAS 78574

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared IRENE URIBE MANRIQUE, proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, de-clared that the statements therein are true and correct and acknowledged that she executed the same for the purposed and consideration thereby expressed.  
Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2022.



NOTARY PUBLIC- STATE OF TEXAS

INDEX OF SHEETS

SHEET 1.- HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS, PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION, TRASH BIN ESMT DETAILS; SURVEYOR'S AND ENGINEER'S CERTIFICATION.

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PRINCIPAL CONTACTS:			
Name	Address	City & Zip	Phone
OWNER: IRENE URIBE MANRIQUE	1007 SYCAMORE AVE	McALLEN, TEXAS, 78501	(956)207-4913
ENGINEER: JOSE N. SALDIVAR P.E., C.F.M.	2020 E. GRIFFIN PARKWAY	MISSION, TEXAS 78574	(956)403-9787
SURVEYOR: HOMERO GUTIERREZ R.P.L.S.	P.O. BOX 548	McALLEN, TEXAS 78505	(956)369-0988

2020 E. GRIFFIN PARKWAY  
MISSION TEXAS, 78574  
PHONE (956) 403-9787

NO.	SHEET	REVISION	DATE	APPROVED





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/17/2023

### SUBDIVISION NAME: BRIGHT WOODS SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

Sprague Road: Dedication as required for 40 ft. from centerline for 80ft. total ROW  
Paving: 52 ft. Curb & gutter: both sides  
Revisions needed:  
- Show and label centerline to establish ROW dedication requirement prior to final.  
- Show and label the total existing ROW and ROW on both sides of centerline to finalize the ROW dedication requirements prior to final.  
- Show the document number on the plat for the existing ROW and provide a copy for staff review prior to final.  
- If 80 ft. is total ROW after ROW dedication, label it as "Total ROW" prior to final.  
- All ROW requirements must be finalized prior to final approval.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording.  
\*\*COM Thoroughfare Plan

Non-compliance

E/W Quarter Mile Collector (north boundary): dedication required for 60 ft. total ROW  
Paving: 40 ft. Curb & gutter: both sides  
Revisions needed:  
- Show ROW dedication for an E/W quarter mile collector on the north side prior to final.  
- Clarify if the E/W interior street is proposed in lieu of the northern boundary prior to final. If so, a temporary stub out to be extended to the west will be reviewed by staff prior to final. A temporary turn around may be required and must be finalized prior to final.  
- Submit a vicinity map showing the distance between the E/W interior street centerline and Guadalupe Ave. centerline to review the temporary stub out prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording.  
\*\*COM Thoroughfare Plan

Non-compliance

Interior Streets: Dedication as required for 60 ft. total ROW  
Paving: 40 ft. Curb & gutter: both sides  
Revisions needed:  
- Clarify if the subdivision is proposed to be public or private and submit gate details if proposed to be private to verify compliance.  
- A temporary turnaround at the east end of street fronting Lots 33 to 36 will be required on the plat, if layout remains as shown.  
- Money must be escrowed prior to recording to remove the turnaround when the street is extended to the east, if layout remains as shown.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording  
\*\*COM Thoroughfare Plan

Non-compliance

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* 1,200 ft. Block Length</li> <li>- The Block length on the west side is more than 1,200 ft. Submit a revised layout to comply with block length requirement or a variance request prior to final.</li> <li>**Subdivision Ordinance: Section 134-118</li> <li>* 900 ft. Block Length for R-3 Zone Districts</li> <li>**Subdivision Ordinance: Section 134-118</li> <li>* 600 ft. Maximum Cul-de-Sac</li> <li>**Cul-de-Sacs were removed in new layout.</li> <li>**Subdivision Ordinance: Section 134-105</li> </ul>	Non-compliance
	NA
	NA
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> <li>- Revise the plat to show alley/service drive easement prior to final.</li> <li>*Alley/service drive easement required for commercial and multifamily properties</li> <li>**Subdivision Ordinance: Section 134-106</li> </ul>	Non-compliance
<b>SETBACKS</b>	
<p>Front: 20 ft. or greater for easements or approved site plan</p> <ul style="list-style-type: none"> <li>- Clarify proposed setback/Revise setback plat note #3 as shown above prior to final.</li> <li>- Proposed: Front: 20 ft. or greater for easements. Front Setback for Lots 38, 44, 45, 51, 52, and 58 shall be lot line facing street</li> <li>**Zoning Ordinance: Section 138-356</li> </ul> <p>Rear: 10 ft. or greater for easements or approved site plan.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>Interior Sides: 6 ft. or greater for easements or approved site plan</p> <p>**Zoning Ordinance: Section 138-356</p> <ul style="list-style-type: none"> <li>* Corner: 10 ft. or greater for easements or approved site plan.</li> <li>- Clarify proposed note/Revise it as shown above prior to final.</li> <li>- Proposed: Corner: 10 ft. or greater for easements or approved site plan. Corner setbacks for Lots 38, 44, 45, 51, 52, and 58 shall be 20 ft.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: 18 ft. except wherever greater setback is required, greater setback applies.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Applied
	Applied
	Non-compliance
	Applied
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on Sprague Road, both sides of all interior streets, and along quarter mile collector if collector street is required.</li> <li>- Finalize the quarter mile collector requirement to finalize the sidewalk note requirement prior to final.</li> <li>** Engineering Department may require 5 ft. sidewalk prior to final.</li> <li>- Proposed: 5 ft. wide minimum sidewalk required along the north side of Sprague Road, and 4 ft. wide minimum sidewalk required along both sides of all interior streets.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Applied



BUFFERS	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, Sprague Road, and quarter mile collector if collector street is required.</li> <li>- Finalize the quarter mile collector requirement to finalize the buffer note requirement prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
NOTES	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along Sprague Road, and quarter mile collector.</li> <li>- Finalize the quarter mile collector requirement to finalize the note requirement prior to final.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for any lots with more than 4 dwelling units.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>- Clarify if the subdivision is public or private to finalize the plat note requirement prior to final.</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>- Clarify if the subdivision is public or private to finalize the respective Section of the ordinance prior to final.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>- Clarify if the subdivision is public or private to finalize the Section of the code prior to final.</li> <li>- Submit the draft HOA document for staff review prior to getting signatures. Signed HOA is required prior to recording.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> <li>* Lots fronting public/private streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>- Clarify the frontage of Lot 21. It seems that there is curve line which is not labeled. Review and revise as applicable prior to final.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



ZONING/CUP	
<p>* Existing: R-3A Proposed: R-3A            ***Zoning Ordinance: Article V            ** An annexation and initial zoning to R-3A was approved by the City Commission on March 28, 2023.</p> <p>* Rezoning Needed Before Final Approval            ***Zoning Ordinance: Article V            ** An annexation and initial zoning to R-3A was approved by the City Commission on March 28, 2023.</p>	Applied
	NA
PARKS	
<p>* Land dedication in lieu of fee.            * Based on the application submitted on August 8, 2023, 99 lots are proposed for a duplex on each lot. A revise plat submitted on November 8, 2023, shows 96 lots. A clarification by the engineer is needed if the total proposed number of units is 192 to finalize the park land dedication requirement prior to final. The originally submitted application must be revised to match the total number of lots and dwelling units prior to final.</p> <p>* Park Fee of \$700 per dwelling unit to be paid prior to recording (if requested by the applicant and approved by City Manager's Office)            ** Based on the application submitted on August 8, 2023, 99 lots are proposed for a duplex on each lot. A revise plat submitted on November 8, 2023, shows 96 lots. A clarification by the engineer is needed if the total proposed number of units is 192 to finalize the park land dedication requirement prior to final. The originally submitted application must be revised to match the total number of lots and dwelling units prior to final. If park fee in lieu of land dedication is needed, a request must be submitted and approved by the City Manager's Office. (If approved, based on 192 dwelling units, \$134,400 will be required)</p> <p>* Review and approval by the City Manager's Office is required, if paying park fee in lieu of park land dedication is requested by the applicant.            ** Based on the application submitted on August 8, 2023, 99 lots are proposed for a duplex on each lot. A revise plat submitted on November 8, 2023, shows 96 lots. A clarification by the engineer is needed if the total proposed number of units is 192 to finalize the park land dedication requirement prior to final. The originally submitted application must be revised to match the total number of lots and dwelling units prior to final. If park fee in lieu of land dedication is needed, a request must be submitted and approved by the City Manager's Office. (If approved, based on 192 dwelling units, \$134,400 will be required)</p>	Non-compliance
	Applied
	Applied
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	Required
	TBD



COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> <li>- Provide a copy of the referenced documents for staff review prior to final.</li> <li>- Use a bold line for the original subdivision boundary prior to final.</li> <li>- Clarify the discrepancy between the south side bearing of the subdivision and the survey prior to final.</li> <li>- Label the common lots (e.g. Lot A, Lot B, etc.) and add a plat note to clarify prior to final.</li> <li>- The proposed trash bin easements must be approved by all departments including Public Works and Utilities prior to final.</li> <li>- It seems that the trash bin easements do not extend all the way to the lot lines along the street ROW. Clarify/revise layout prior to final.</li> <li>- Some lots dimensions and information are overlapped with other texts or lines, review and revise as applicable prior to final.</li> <li>- Clarify and provide a copy of the referenced document referenced as "30 ft. Save and Except to Hidalgo County Irrigation District No. 1 Vol 24 Pages 168-171 Doc. 2880111" and clarify the overlap on a "proposed 20 ft. easement to Hidalgo Country Irrigation District No 1" and proposed 10 ft. U.E.</li> <li>- Remove any wording referencing "proposed" (e.g. Prop. 10 ft. U.E.) and change it to "By This Plat" if it is dedicated by this plat.</li> <li>- Any abandonment must be done by separate instrument and referenced on the plat prior to final/recording.</li> <li>- Signature blocks complying with Sec. 134-61 of the subdivision ordinance is required prior to final.</li> <li>- Legal description of all adjacent lots on all sides are required prior to final.</li> <li>- Clarify if the subdivision is public or private prior to final. Submit gate details if private to finalize ROW and plat note requirements prior to final.</li> <li>- It seems that the contour lines are missing elevation data. Review and revise as applicable.</li> </ul> <p>*Must comply with City's Access Management Policy.</p>	Non-compliance
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.</p>	Applied

















# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2023 CALENDAR

### Meetings:

-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment





HPC - Historic Preservation Council

### Deadlines:





D- Zoning/CUP Application      N - Public Notification

\* **Holiday** - Office is closed





### JANUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2 <b>HOLIDAY</b>	3	4	5 N-1/17& 1/18 D-2/7 & 2/8	6	7
8	9 	10 	11	12	13	14
15	16 A-2/7 & 2/8	17	18 N-2/7 & 2/8 D-2/21 & 2/22	19	20	21
22	23 	24 	25	26 <b>HPC</b>	27	28
29	30	31				





### FEBRUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-2/21 & 2/22	7	8 N- 2/21& 2/22 D- 3/7 & 3/8	9	10	11
12	13 	14 			17	18
19	20 A-3/2 & 3/3	21	22 N-3/7 & 3/8 D-3/21 & 3/22	23 <b>HPC</b>	24	25
26	27 	28 				





### MARCH 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-3/15 & 3/16	7	8 N-3/15 & 3/16 D-4/4 & 4/5	9	10	11
12	13 	14 			17	18
19	20 A-4/4 & 4/5	21	22 N-4/4 & 4/5 D-4/18 & 4/19	23	24	25
26	27 	28 	29 <b>HPC</b>	30	31	





### APRIL 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A-4/18 & 4/19	4	5 N-4/18 & 4/19 D-5/2 & 5/3	6	7 <b>HOLIDAY</b>	8
9	10 	11 	12	13	14	15
16	17 A- 5/2 & 5/3	18	19 N- 5/2 & 5/3 D-5/16 & 5/17	20	21	22
23	24 	25 	26	27 <b>HPC</b>	28	29
30						

### MAY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 5/16 & 5/17	2	3 D: 6/6 & 6/7 N-5/16 & 5/17	4	5	6
7	8 	9 	10	11	12	13
14	15	16	17 D-6/20 & 6/21		19	20
21	22 	23 	24 N-6/6 & 6/7	25 <b>HPC</b>	26	27
28	29 <b>HOLIDAY</b>	30	31			

### JUNE 2023



Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5 A-6/20 & 6/21	6	7 D-7/12 & 7/13 N-6/20 & 6/21	8	9	10
11	12 	13 	14	15	16	17
18	19	20	21 D-7/26 & 7/27	22	23	24
25	26 	27 	28 N-7/12 & 7/13	29 <b>HPC</b>	30	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.



## 2023 CALENDAR






### Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council







### Deadlines:

- D- Zoning/CUP Application
- N - Public Notification
- \* **Holiday** - Office is closed







### JULY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4 <b>HOLIDAY</b>	5	6	7	8
9	10  A-7/26 & 7/27	11 	12 N-7/26 & 7/27 D-8/8 & 8/9	13 	14	15
16	17	18	19	20	21	22
23	24  A-8/8 & 8/9	25 	26 N-8/8 & 8/9 D-8/22 & 8/23	27 <b>HPC</b>	28	29
30	31					







### AUGUST 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
6	7 A- 8/22 & 8/23	8 	9 N- 8/22 & 8/23 D-9/6 & 9/7	10	11	12
13	14 	15 	16	17	18	19
20	21 A- 9/6 & 9/7	22 	23 N- 9/6 & 9/7 D-9/19 & 9/20	24 <b>HPC</b>	25	26
27	28 	29 	30	31		








### SEPTEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4 <b>HOLIDAY</b>	5	6 N-9/19 & 9/20 D-10/3 & 10/4	7 	8 A-9/19 & 9/20	9
10	11 	12 	13	14	15	16
17	18 A-10/3 & 10/4	19 	20 D-10/18 & 10/19 N-10/3 & 10/4	21	22	23
24	25 	26 	27	28 <b>HPC</b>	29	30





### OCTOBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 	4 N-10/17 & 10/18 D-11/1 - 11/7	5	6	7
8	9 	10 	11	12	13	14
15	16 A-11/1 ZBA	17 	18 N- 11/1 ZBA D-11/15 & 11/21	19	20	21
22	23 	24 	25	26 <b>HPC</b>	27	28
29	30 A- 11/15 ZBA	31				

### NOVEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 N- 11/15 ZBA D-12/5 & 12/6	2	3	4
5	6 A-11/21 PZ	7 	8 N- 11/21 PZ	9	10	11
12	13 	14 	15  D-12/19 & 12/20	16	17	18
19	20 A-12/5&12/6	21 	22 N-12/5 & 12/6	23 <b>HOLIDAY</b>	24	25
26	27 	28 	29	30		

### DECEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5 	6 <b>HPC</b> D-TBA N-12/19 & 12/20	7	8	9
10	11 	12 	13	14	15	16
17	18 A- TBA	19 	20 D- TBA N- TBA	21	22	23
24	25 <b>HOLIDAY</b>	26 <b>HOLIDAY</b>	27	28	29	30